

AN ORDINANCE TO AMEND The Town of Weddington Zoning Map Elysian CZ 2025-01

WHEREAS, the Town of Weddington has received an application requesting that the zoning classification of parcels of land subject to the zoning regulations of the Town be reclassified; and

WHEREAS, notice of public hearing on the question of the reclassification of the subject parcels has been provided through posting of the property; and

WHEREAS, notice of public hearing on the question of the reclassification of the subject parcels has been provided through advertisement in a newspaper of general circulation in the Town; and

WHEREAS, property owners adjacent to the subject parcels have been notified by first class mail of the public hearing on the question of reclassification; and

WHEREAS, a public hearing on the question of the reclassification of the subject parcel has been held by the Town Council of the Town of Weddington; and

NOW, Therefore be it ordained by the Town Council of the Town of Weddington that tax parcel number 06099101 consisting of approximately 17 acres located Deal Road be reclassified as Conditional Zoning District as shown on Exhibit A titled Elysian, dated February 10, 2025 and is further subject to the conditions shown on Exhibit B Development Guidelines and Standards dated February 10, 2025 attached hereto and incorporated herein by reference.

Adopted the 10th day of February 2025

Jim Bell

Attest:

Karen Dewey, Town Administrator/Clerk



APPROVED AS TO FORM:

Karen Wolter, Town Attorney

Elysian at WeddingtonCZ 2025-01Deal Road, Weddington, NC 28212Exhibit APreliminary Sketch PlanExhibit AAugust 6th, 2024V3 Project #: 240110.01

PROJECT TEAM

Civil Engineering & Landscape Architecture



V3 Southeast 3700 South Boulevard, Suite 200 Charlotte, NC 28209 phone: 704-940-2883 www.v3co.com

Owner

Keystone Custom Homes 2030 Airport Flex Drive, Suite R Charlotte, NC 28208 phone: 877-821-2469

Surveying

Delta Land Service Inc. 1020 Crews Road Matthews, NC 28105 phone: 704-847-4700

n:\2024\240110 keystone deal road (nc)\Drawings\sheet drawings\240110_CO-100_COVER SHEET.dwg, 9/6/2024 11:49:01 AM, zackary hogan, Sheet Size 30x42, V3 Southeas

SHEET INDEX

Sheet Number	Description	Revision #	Date
SK-100	COVER SHEET		09.06.24
SK-101	DIMENSION CONTROL PLAN		09.06.24
SK-102	CELESTIAL WAY PROFILE		09.06.24
SK-103	UCPW SKETCH PLAN		09.06.24
SK-104	EROSION CONTROL PLAN (STAGE I)		09.06.24
SK-105	LANDSCAPE PLAN		09.06.24

REGULATORY APPROVALS

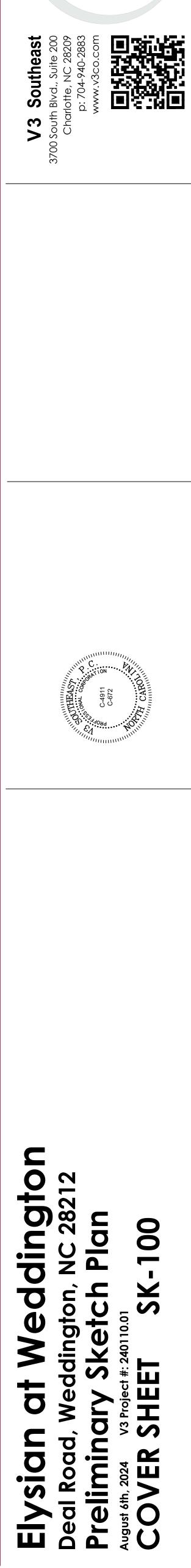
PROJECT CERTIFICATION CHECKLIST

SITE OVERVIEW MAP







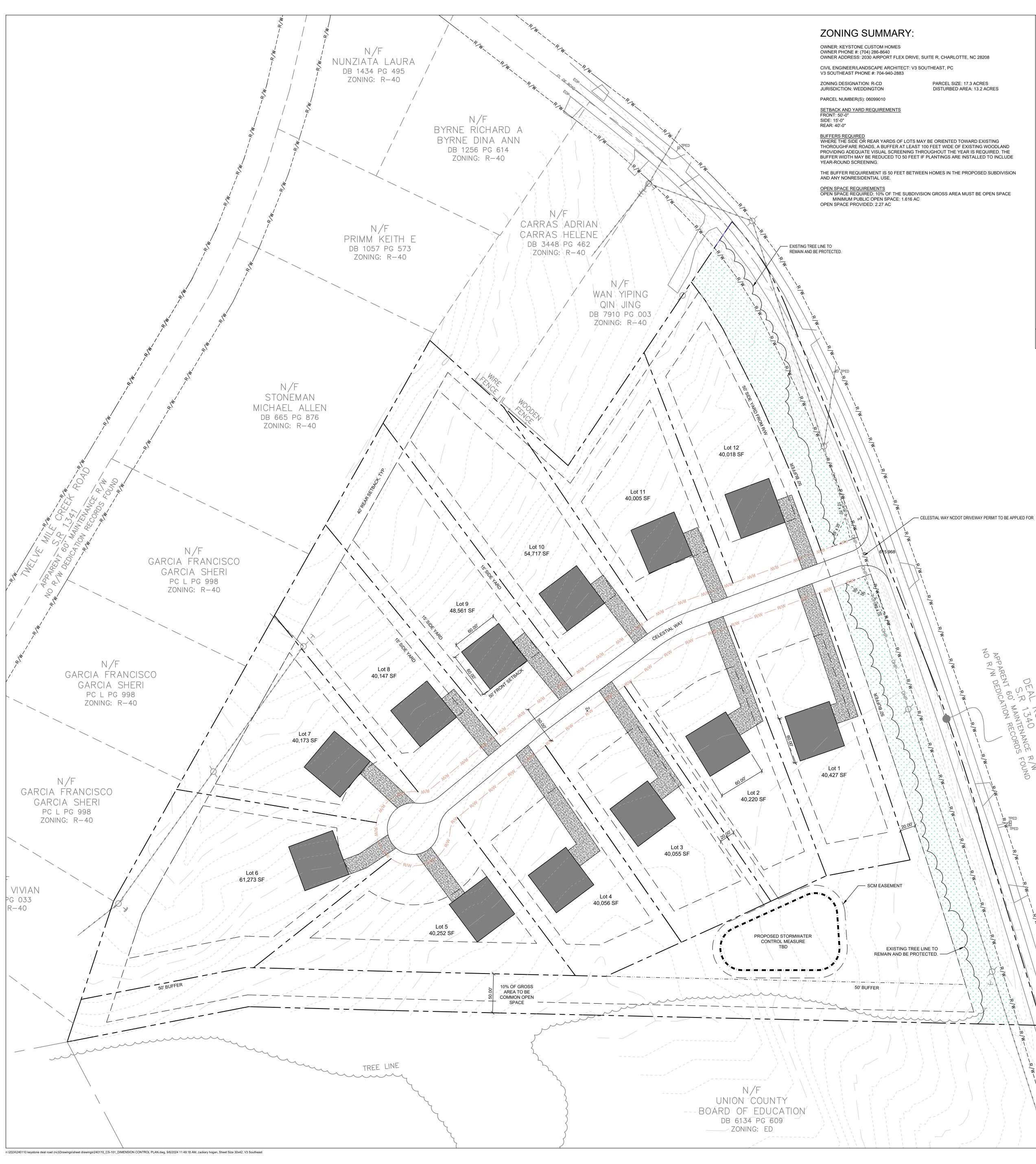


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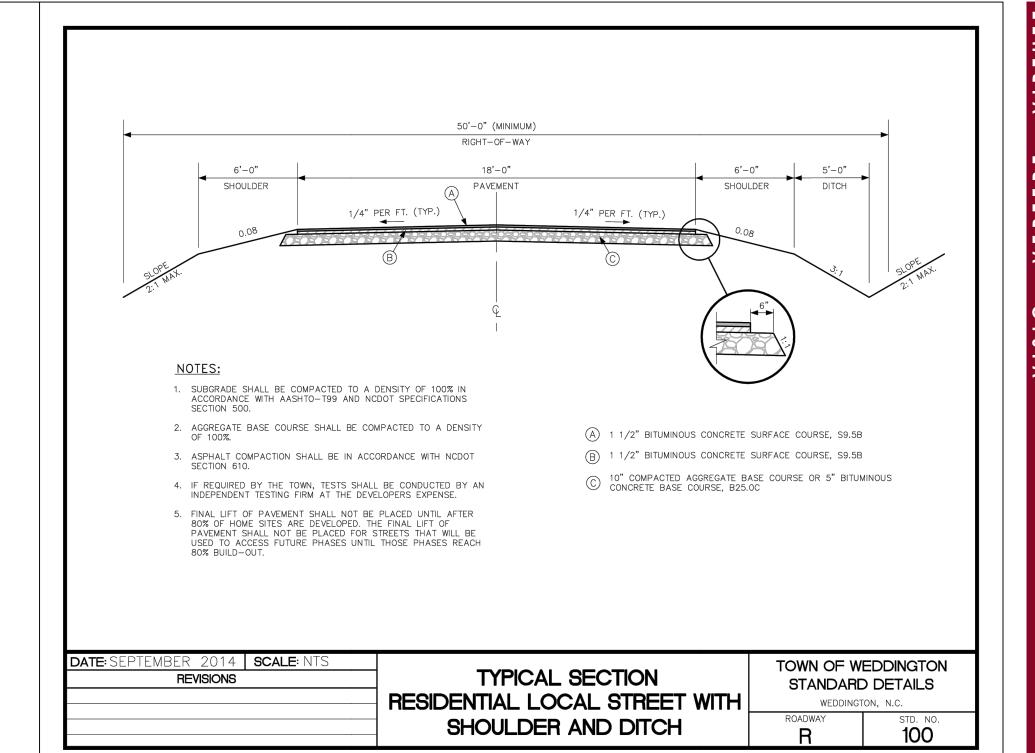
N.T.S.

Keyboard shortcuts

VERTERE



PARCEL SIZE: 17.3 ACRES DISTURBED AREA: 13.2 ACRES



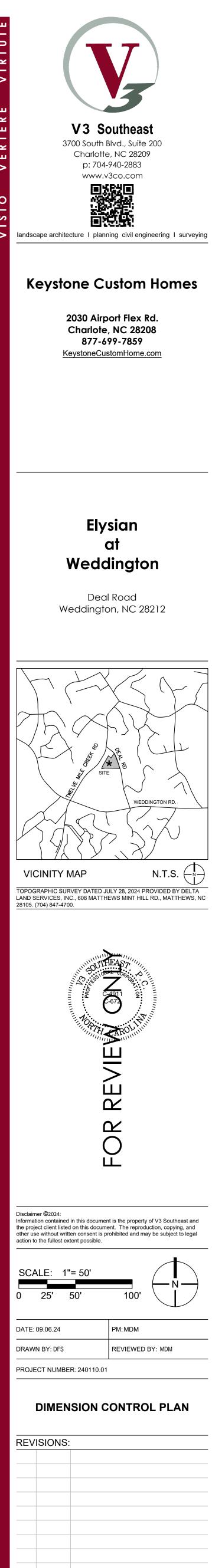
TOWN OF WEDDINGTON LOCAL STREET DETAIL

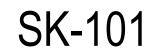
Parcel Table
 Parcel #
 Area
 Perimeter
 Segment Lengths
 Segment Bearings
N69° 41' 22.39"E 120.950 51.781 S19° 18' 19.71"E 63.241 S19° 05' 57.10"E 61.462 S18° 58' 26.75"E 40426.87 933.381 1 57.454 S18° 33' 19.27"E 126.881 S18° 20' 45.72"E 109.029 S79° 15' 11.89"W 342.583 N20° 55' 14.60"W 342.583 S20° 55' 14.60"E 78.131 S65° 23' 28.12"W 333.149 N34° 16' 51.12"W 2 40220.12 911.851 62.894 N53° 09' 37.65"E 50.485 N61° 25' 30.02"E 44.609 N69° 41' 22.39"E S34° 16' 51.12"E 333.149 54.229 S65° 03' 06.22"W 71.760 S65° 38' 51.51"W 3 40055.46 891.627 306.066 N34° 40' 14.30"W 6.453 N50° 40' 42.23"E 119.970 N53° 09' 37.65"E 39.288 N88° 41' 24.25"W 252.385 N36° 44' 55.59"W 4 40055.69 849.172 145.572 N50° 40' 42.23"E 306.066 S34° 40' 14.30"E 105.861 S65° 38' 51.51"W S36° 44' 55.59"E 252.385 412.053 N88° 35' 16.17"W 5 40251.91 1011.021 224.759 N51° 37' 04.13"E 101.866 N64° 46' 27.44"E 19.957 N28° 37' 44.81"E 10.324 N88° 26' 32.89"W 214.200 S79° 00' 22.36"W 132.307 N18° 14' 03.85"E 6 61272.70 1057.707 164.224 N29° 23' 38.85"E 259.482 S80° 34' 11.03"E 52.411 S22° 10' 45.37"E 224.759 S51° 37' 04.13"W 259.482 N80° 34' 11.03"W 255.440 N29° 23' 39.88"E 7 40172.85 879.499 291.255 S39° 10' 13.46"E 73.322 S53° 39' 06.19"W 291.255 N39° 10' 13.46"W 90.099 N29° 24' 34.28"E 42.933 N29° 28' 34.04"E 8 40147.25 898.049 0.024 S39° 23' 40.99"E 346.513 S39° 23' 40.99"E 108.664 S50° 36' 19.01"W 18.562 S74° 14' 21.21"W N39° 23' 40.99"W 346.513 149.779 N29° 30' 19.73"E 9 48560.55 1021.530 404.416 S36° 42' 10.98"E 74.751 S53° 09' 37.65"W 46.070 S50° 51' 36.02"W 404.416 N36° 42' 10.98"W N29° 30' 19.73"E 121.596 127.246 S47° 49' 36.91"E 10 54717.19 1102.277 328.976 S33° 57' 17.20"E 11.017 S54° 33' 47.52"W 109.026 S53° 09' 37.65"W N33° 57' 17.20"W 328.976 111.314 S47° 49' 36.91"E 174.305 N33° 55' 20.75"E 11 40004.57 1051.098 316.456 S21° 05' 06.01"E 66.154 S69° 41' 22.39"W 53.892 S62° 49' 39.90"W N21° 05' 06.01"W 316.456 108.528 N33° 55' 20.75"E 29.514 S37° 00' 01.87"E 42.408 S31° 54' 57.94"E 106.022 S26° 49' 21.78"E 12 40018.44 927.835 59.051 S23° 57' 47.33"E 59.365 S22° 53' 22.40"E 64.298 S21° 11' 29.22"E 22.187 S19° 43' 08.70"E 120.007 S69° 41' 22.39"W

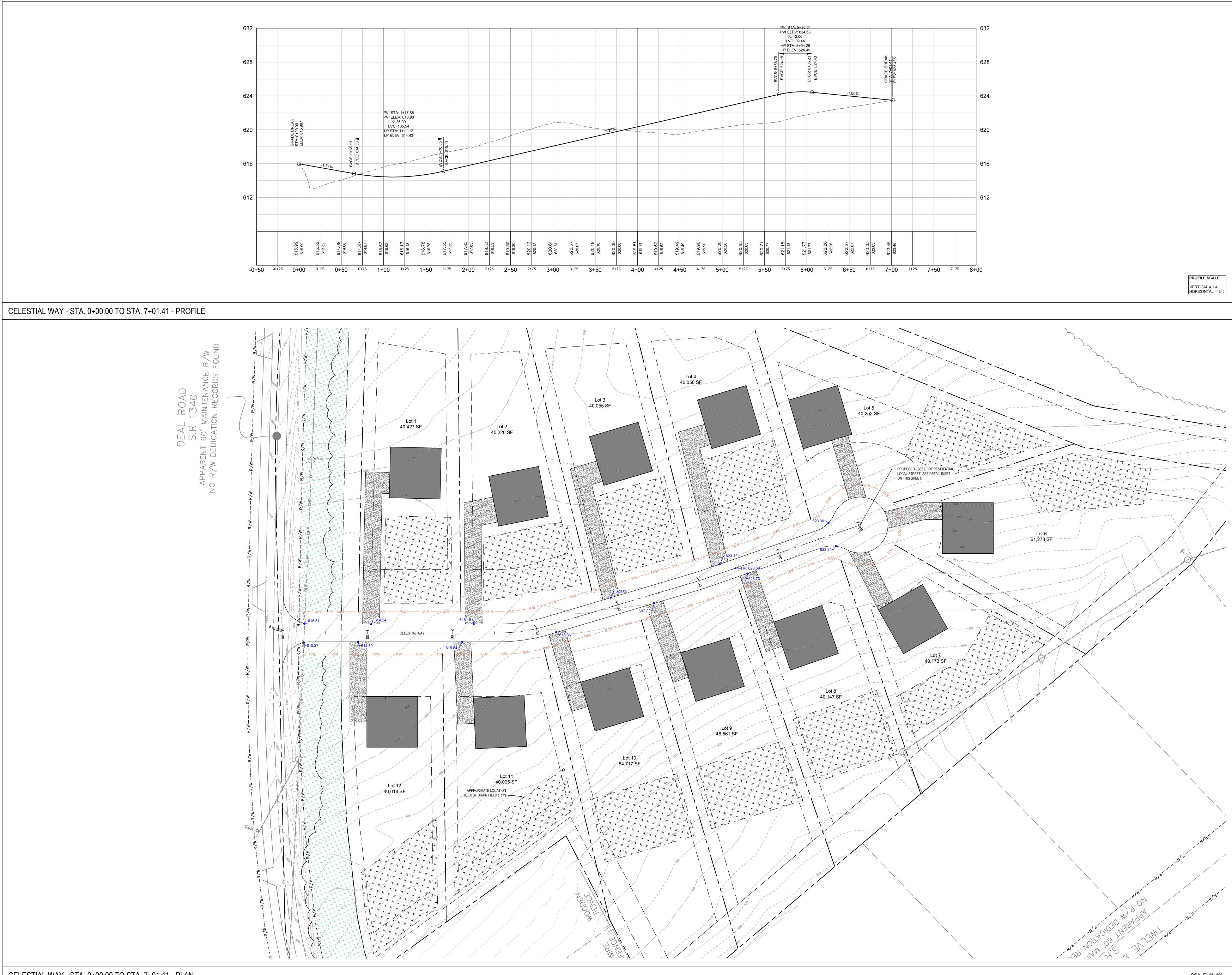
SCALE: N.T.S.

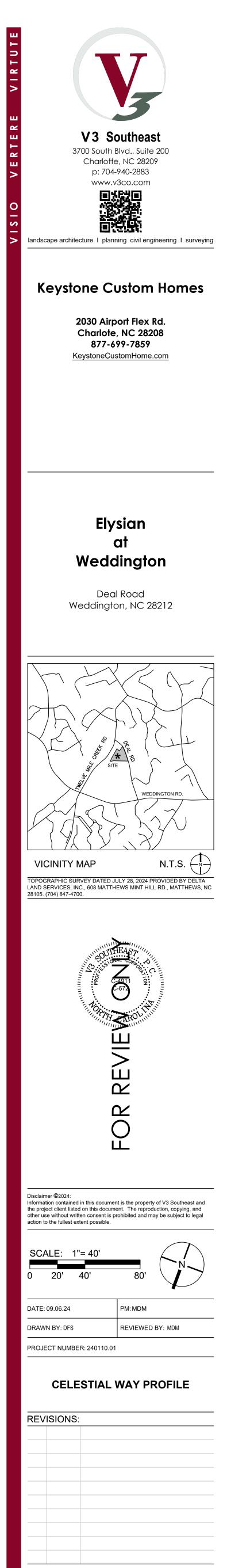


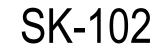
1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC. 2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.













GENERAL COMMENTS:

6.4. SEWER: (0)

7. PROPOSED METERS

7.2. IRRIGATION: (0)

7.3. FIRE: (0)

7.1. DOMESTIC: 3/4" METER (12)

1.1. 1.2. 1.3.	VELOPER INFORMATION: NAME: TOM CROUCH ADDRESS: 231 POST OFFICE DRIVE #B8 PHONE: 980-333-9019 EMAIL: TCROUCH@THEMOSERGROUPINC.COM
2.2. 2.3.	/NER: NAME: KEYSTONE CUSTOM HOMES ADDRESS: 2030 AIRPORT FLEX DRIVE, STE R, CHARLOTTE, NC 28208 PHONE #: 877-821-2469 EMAIL: UNKNOWN
3.1. 3.2. 3.3.	GINEER: NAME: V3 SOUTHEAST, PC: DAVID S. KLAUSMAN P.E. ADDRESS: 3700 SOUTH BLVD, STE 200, CHARLOTTE, NC 28209 PHONE #: 803-513-4734 EMAIL: DKLAUSMAN@V3CO.COM
4.1. 4.2. 4.3.	VELOPMENT INFORMATION NATURE: SINGLE FAMILY DETACHED RESIDENTIAL DEVELOPMENT PROPOSED LOTS: 12 AVG BLDG SQ. FTG: 3600 PROPOSED CONSTRUCTION: SITE DEVELOPMENT
5.1. 5.2. 5.3.	ANNING JURISDICTION: NAME: WEDDINGTON ADDRESS: DEAL ROAD, WEDDINGTON, NC 28212 PHONE #: 704-846-2709 EMAIL: TMANNING@TOWNOFWEDDINGTON.COM
6.1.	TIMATED CONSUMPTION OF FLOW DOMESTIC WATER: 400 GPD/CONNECTION = 400 X 12 = 4800 GPD IRRIGATION: (0) FIRE FLOW: (0)

LEGEND

SYMBOL	DETAIL
	-/-
W — PROPOSED WATER SERVICE	-/-
W PROPOSED WATER GATE VALVE (GV)	-/-
PROPOSED WATER METER	-/-

WATER DISTRIBUTION NOTES:

- PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE UTILITY CONNECTION POINT(S) AT BUILDING(S) BASED ON PLUMBING PLANS. NOTIFY V3 SOUTHEAST IMMEDIATELY OF ANY DISCREPANCIES.
- 2. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS UNION COUNTY WATER REQUIRED BACKFLOW PREVENTER.
- 3. ALL WATER LINES, VALVES, FITTINGS, ETC., SHALL BE INSPECTED BY THE CIVIL ENGINEER. INSPECTION SHALL INCLUDE VISUAL OBSERVATION AND WILL INCLUDE TESTING IF APPLICABLE. TESTING SHALL BE PER FEDERAL, STATE, LOCAL REQUIREMENTS, OR PROJECT SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE OR HAS ULTIMATE JURISDICTIONAL AUTHORITY.
- 4. CONTRACTOR SHALL CONTACT THE COUNTY ASSIGNED PLUMBING INSPECTOR FOR REVIEW OF WATER SYSTEM INSTALLATION, FROM THE BUILDING CONNECTION POINT TO THE MAIN LINE ONLY, PRIOR TO BACKFILLING TRENCHES.
- 5. WATER LINES SHALL BE INSTALLED WITH A MINIMUM 36" COVER. 6. WATER LATERAL(S) ARE LEFT (5) FIVE FEET FROM BUILDING FACE. REFER TO PLUMBING PLANS FOR CONNECTION POINTS. ALL CONNECTION MATERIAL BY BUILDING CONTRACTOR.
- 7. ALL WATER VALVES MUST BE LOCATED IN GRASS / LANDSCAPE AREA OR ASPHALT PARKING / DRIVES. VALVES ARE NOT ALLOWED IN CONCRETE SIDEWALK, PLAZAS,
- ETC. 8. EACH UNION COUNTY WATER BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A UNION COUNTY WATER APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

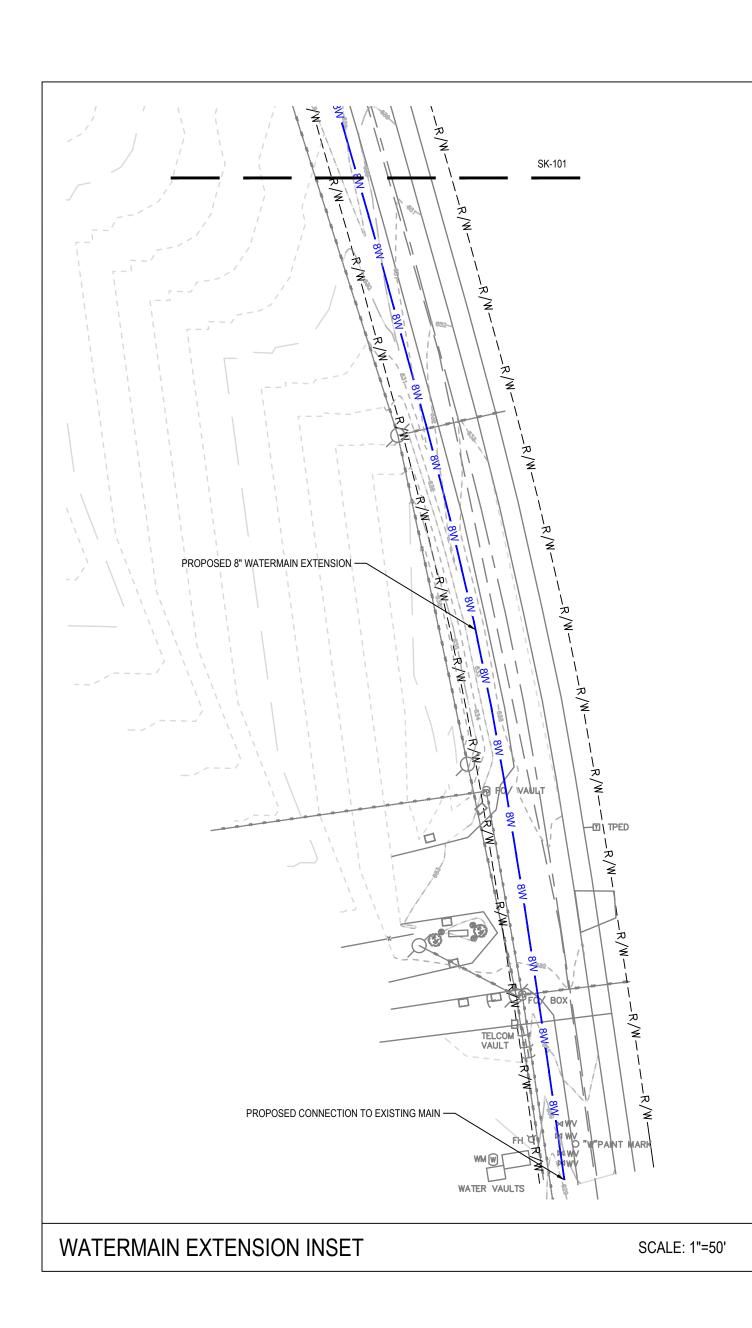
ADDITIONAL PLAN NOTES

- 1. WATER AND SEWER TAPS, MATERIALS, AND INSTALLATION TO BE BY THE DEVELOPER.
- 2. THE CONTRACTOR SHALL CONTACT UNION COUNTY WATER PERSONNEL AFTER THE MATERIALS HAVE BEEN APPROVED BY UNION COUNTY WATER AND AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. PLEASE REACH OUT TO LEE DILLON AT LEE.DILLON@UNIONCOUNTYNC.GOV TO SCHEDULE THE MEETING.
- 3. ANY WORK OR TEST PERFORMED WITHOUT NOTIFICATION AND CONTACT WITH FIELD INSPECTORS SHALL BE INSTALLED AT THE CONTRACTORS RISK AND SUBJECT TO REMOVAL
- 4. IF ANY WELLS AND/OR ON-SITE WASTEWATER DISPOSAL SYSTEMS ARE DISCOVERED DURING THE SITE DEVELOPMENT PROCESS THEY WILL NEED TO BE ABANDONED IN ACCORDANCE WITH APPLICAPLE NORTH CAROLINA LAWS AND RULES.

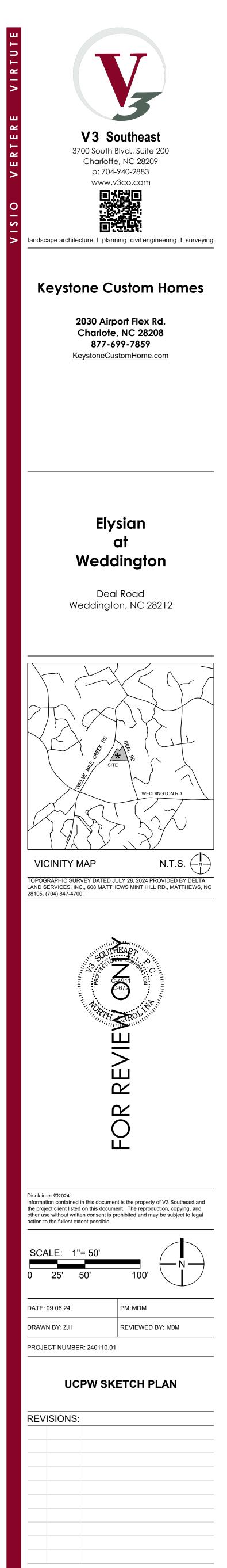
PROPOSED FH

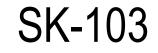
EXTENSION FROM TEE TO TAP. -

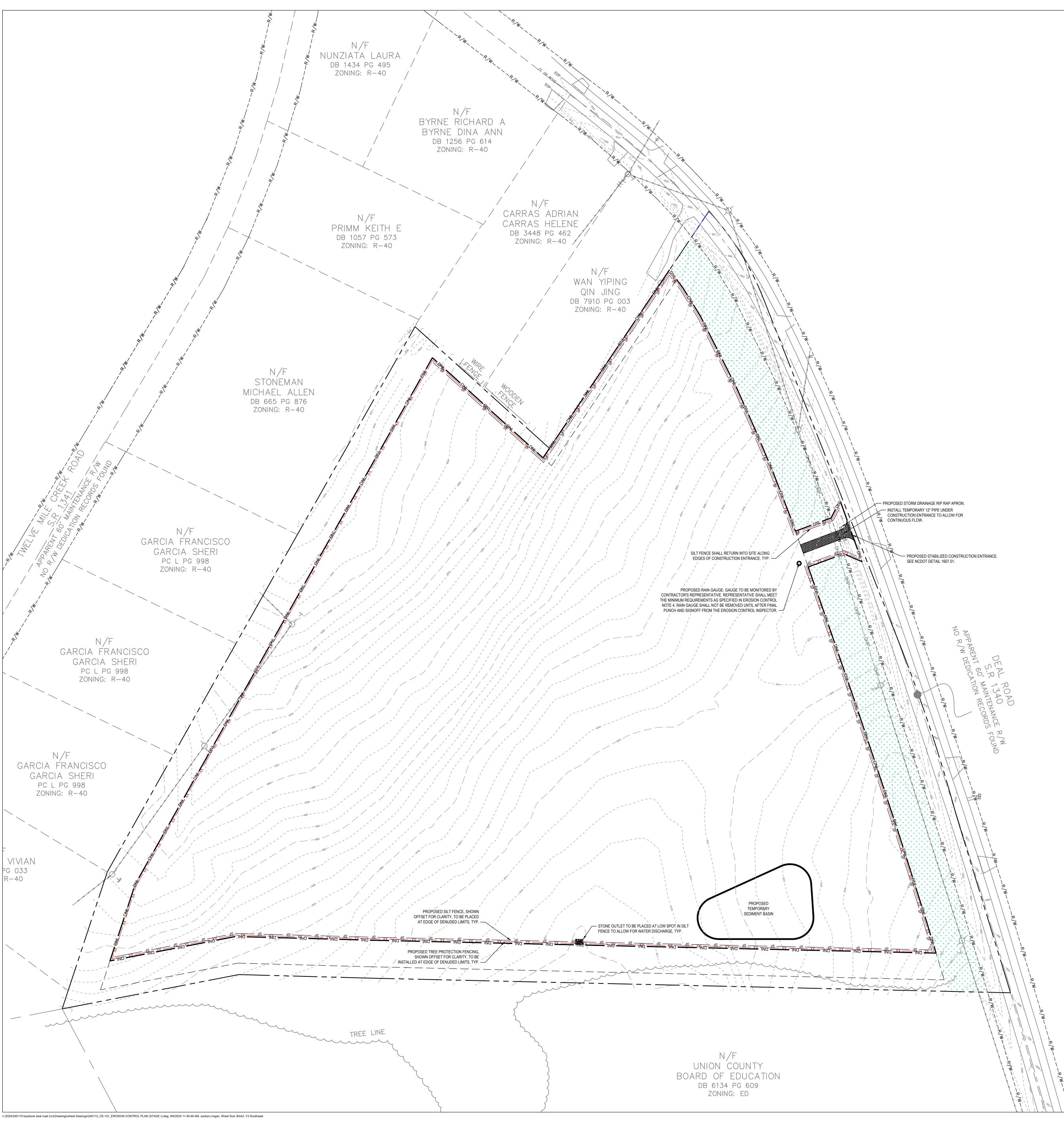
WATERMAIN EXTENSION INSET











I EGEND

SYMBOL	DETAIL
SEDIMENT BASIN	-/-
DNL DENUDED LIMITS	-/-
PROPOSED STABILIZED CONSTRUCTION ENTRANCE	-/-
XX PROPOSED TREE PROTECTION FENCE	-/-
SF PROPOSED SILT FENCE	-/-
	-/-

EROSION CONTROL NOTES:

- ANY DISTURBANCE BEYOND THE DENUDED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
- 2. DISTURBING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
- 3. CONTRACTOR SHALL MEET REQUIREMENTS SET FORTH IN THE "NEW GROUND STABILIZATION REQUIREMENTS" NPDES PERMIT EFFECTIVE APRIL 1, 2019 FOR THE EPA EFFLUENT GUIDELINES.
- 4. CONTRACTOR SHALL APPOINT A REPRESENTATIVE TO MONITOR AND INSPECT GROUND COVER AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER A STORM GREATER THAN 1/2 INCH. REPRESENTATIVE SHALL BE A LICENSED ENGINEER IN THE STATE OF NORTH CAROLINA OR A CERTIFIED SITE INSPECTOR IN CURRENT STANDING WITH NCDEQ. CONTRACTOR PRODUCE AND KEEP ONSITE ALL MONITORING AND INSPECTION LOGS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PROVIDE OWNER AND V3 SOUTHEAST REPRESENTATIVE NAME AND LICENSE OR CERTIFICATION NUMBER PRIOR TO INSTALLING EROSION CONTROL MEASURES.
- 5. ALL SLOPES GREATER THAN 2.5:1 SHALL BE STABILIZED WITH EROSION MATTING.
- 6. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR TO CONTROL EROSION AND SEDIMENTATION OF THE SITE.
- 7. ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.
- 8. SITE SOILS CLASSIFICATION IS GfB2. 9. RIVER BASIN: YADKIN-PEE DEE
- 10. THE TOTAL SITE ACREAGE IS 17.3 ACRES. THE TOTAL DENUDED AREA IS 13.2 ACRES.

STAGE 1 CONSTRUCTION SEQUENCE

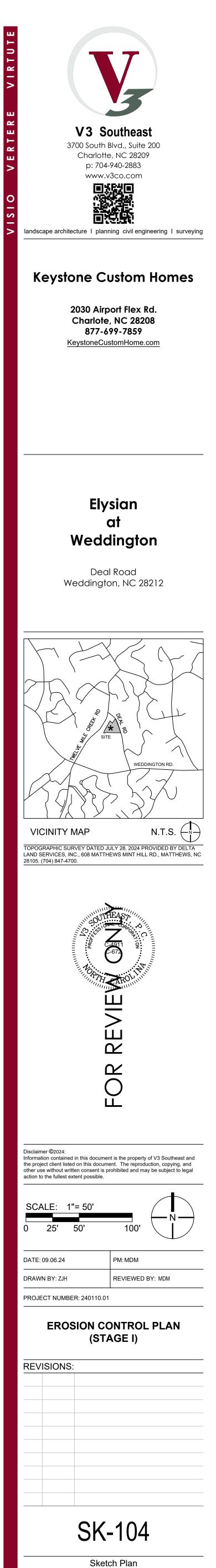
- 1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE TOWN OF WEDDINGTON AND UNION COUNTY.
- 2. SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION AND IS SUBJECT TO FINE.
- 3. INSTALL CONSTRUCTION ENTRANCE, TREE PROTECTION, AND SILT FENCE, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES. CALL FOR ON-SITE INSPECTION BY INSPECTOR TO GAIN APPROVAL TO PROCEED WITH REMAINING INSTALLATION OF EROSION AND SEDIMENT CONTROL DEVICES.
- 4. FOR STAGED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH STAGE OF EROSION CONTROL MEASURES.
- 5. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
- 6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.



SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS,

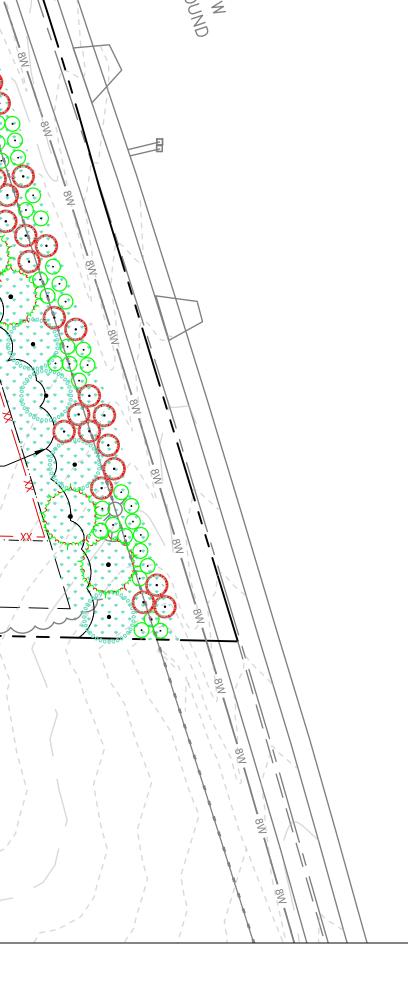
2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.





LEGEND SYMBOL	DETAIL
EXISTING TREE	-/-
XX PROPOSED TREE PROTECTION FENCING	-/-
PROPOSED TREE SAVE UNDISTURBED NATURAL AREA	-/-

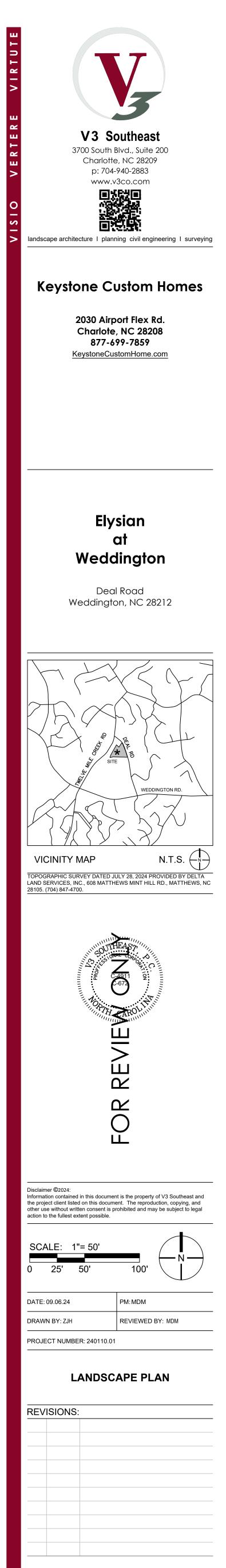
- PROPOSED EVERGREEN SHRUBS TO INFILL BETWEEN EXISTING AND





SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC. 2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS,







CZ 2025-01 Elysian Exhibit B. Development Standards

- 1. <u>Development Standards</u>. Development of the Property will be governed by these development standards, all submittals presented to the Town Board in support of this application, and the applicable provisions of the Town of Weddington Unified Development Ordinance in place on the Filing Date.
- 2. <u>Applicability of Other Regulations</u>. The Rezoning Plan shall comply with the current version of applicable non-Unified Development Ordinance at the time of individual permit submission unless otherwise specified under state or federal law, including G.S. 160D-108: Permit Choice and Vested Rights. Examples of these codes may include, but are not limited to, building codes, fire codes, and/or codes or regulations administered by outside agencies.
- 3. <u>Schematic Nature of Rezoning Plan</u>. The Rezoning Plan shows the general location of all structures and exact locations of structures may be altered or modified during design, engineering, and construction phases of the development so long as the minimum Ordinance standards are met, and such alterations or modifications are materially in keeping with the Rezoning Plan.
- 4. <u>Permitted Uses</u>. Permitted uses for this site include all uses permitted in the R-CD and R-40 districts. This site may be developed with up to eleven (11) single-family residential units.
- 5. Environmental Features and Open Space:
 - a. The site shall comply with the minimum Open Space and Tree Save requirements as set forth in D-917A (p) and (q) of the Weddington Unified Development Ordinance.

CZ 2025-01 Exhibit B Page 2

- 6. <u>Stormwater Management.</u> Applicant shall meet all requirements for storm water management as required by the Weddington Unified Development Ordinance and as required by town engineers.
- 7. Access and Transportation.
 - a. All roadway improvements and construction within the subdivision will be subject to the standards and criteria of the Town of Weddington and/or NCDOT standards for road construction.
 - b. Applicant shall only be required to provide one ingress/egress from Deal Road to the subdivision.
- 8. <u>Streetscape, Setbacks, Buffers, and Yards:</u>
 - a. Where side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required. Town Staff will review the landscape plan for the buffer
 - b. A fifty (50) foot buffer shall be provided between homes in the subdivision and any nonresidential use.
 - c. Within the Fifty (50) foot buffers where natural landscape does not provide sufficient screening for adjoining existing homes and along Deal Road frontage per section D-917A(O) of the Unified Development Ordinance, applicant with enhance those areas of the buffer with evergreen plantings, such as Nellie Stevens, Burford Holly, Ligustrum or similar approved evergreen species.
 - d. A minimum fifty (50) foot front yard, fifteen (15) foot side yard and twentyfive (25) foot corner side yard, and forty (40) foot rear yard setback shall be provided.
 - e. Street trees shall be provided on each side of the street spaced forty (40) feet on center or based on tree species in compliance with Section D-917A(Q)(1)(b).
 - f. Applicant will work with Town Staff and Union County Public Schools to explore a pedestrian path connecting the property to the adjoining school property.

This 10th day of February, 2025

Keystone Custom Homes KEITH FERN