



**AN ORDINANCE TO AMEND The Town of Weddington Zoning Map  
Elysian  
CZ 2025-01**

WHEREAS, the Town of Weddington has received an application requesting that the zoning classification of parcels of land subject to the zoning regulations of the Town be reclassified; and

WHEREAS, notice of public hearing on the question of the reclassification of the subject parcels has been provided through posting of the property; and

WHEREAS, notice of public hearing on the question of the reclassification of the subject parcels has been provided through advertisement in a newspaper of general circulation in the Town; and

WHEREAS, property owners adjacent to the subject parcels have been notified by first class mail of the public hearing on the question of reclassification; and

WHEREAS, a public hearing on the question of the reclassification of the subject parcel has been held by the Town Council of the Town of Weddington; and

NOW, Therefore be it ordained by the Town Council of the Town of Weddington that tax parcel number 06099101 consisting of approximately 17 acres located Deal Road be reclassified as Conditional Zoning District as shown on Exhibit A titled Elysian, dated February 10, 2025 and is further subject to the conditions shown on Exhibit B Development Guidelines and Standards dated February 10, 2025 attached hereto and incorporated herein by reference.

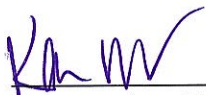
Adopted the 10<sup>th</sup> day of February 2025

  
\_\_\_\_\_  
Jim Bell, Mayor

Attest:

  
\_\_\_\_\_  
Karen Dewey, Town Administrator/Clerk

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Karen Wolter, Town Attorney





# Elysian at Weddington

## Deal Road, Weddington, NC 28212

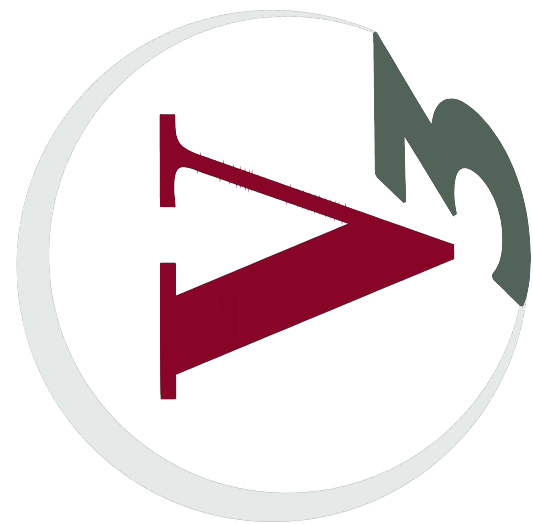
# Preliminary Sketch Plan

August 6th, 2024      V3 Project #: 240110.01

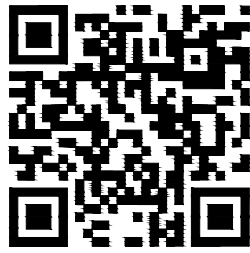
# CZ 2025-01

# Exhibit A

### PROJECT REVISIONS



**V3 Southeast**  
3700 South Blvd., Suite 200  
Charlotte, NC 28209  
p: 704-940-2883  
www.v3co.com



### PROJECT TEAM

#### Civil Engineering & Landscape Architecture



V3 Southeast  
3700 South Boulevard, Suite 200  
Charlotte, NC 28209  
phone: 704-940-2883  
www.v3co.com

#### Owner

Keystone Custom Homes  
2030 Airport Flex Drive, Suite R  
Charlotte, NC 28208  
phone: 877-821-2469

### Surveying

Delta Land Service Inc.  
1020 Crews Road  
Matthews, NC 28105  
phone: 704-847-4700

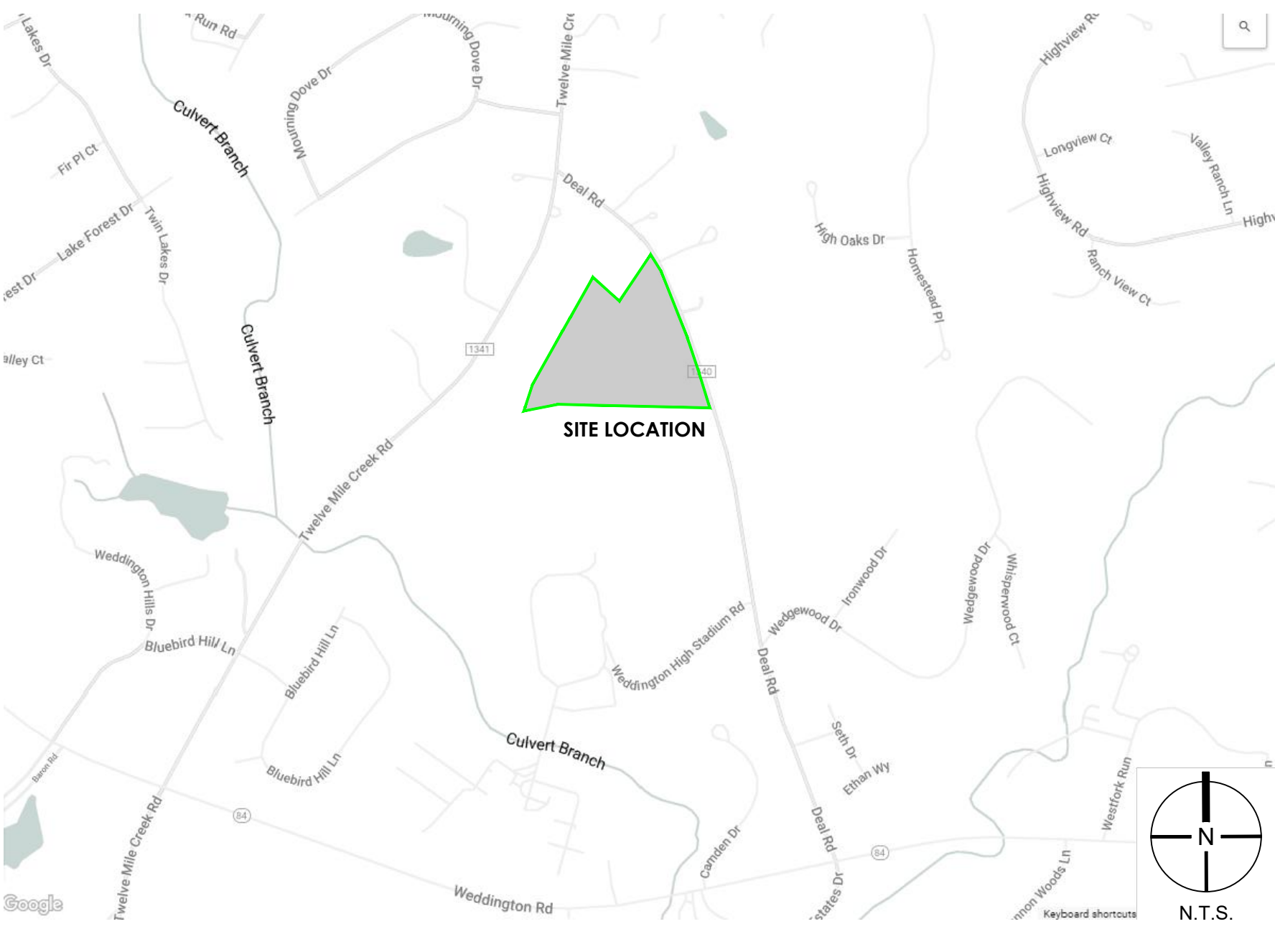
### SHEET INDEX

Sheet Number	Description	Revision #	Date
SK-100	COVER SHEET		09.06.24
SK-101	DIMENSION CONTROL PLAN		09.06.24
SK-102	CELESTIAL WAY PROFILE		09.06.24
SK-103	UCPW SKETCH PLAN		09.06.24
SK-104	EROSION CONTROL PLAN (STAGE I)		09.06.24
SK-105	LANDSCAPE PLAN		09.06.24

### REGULATORY APPROVALS

### PROJECT CERTIFICATION CHECKLIST

### VICINITY MAP



### SITE OVERVIEW MAP



**Elysian at Weddington**  
Deal Road, Weddington, NC 28212  
**Preliminary Sketch Plan**  
August 6th, 2024      V3 Project #: 240110.01  
**COVER SHEET      SK-100**

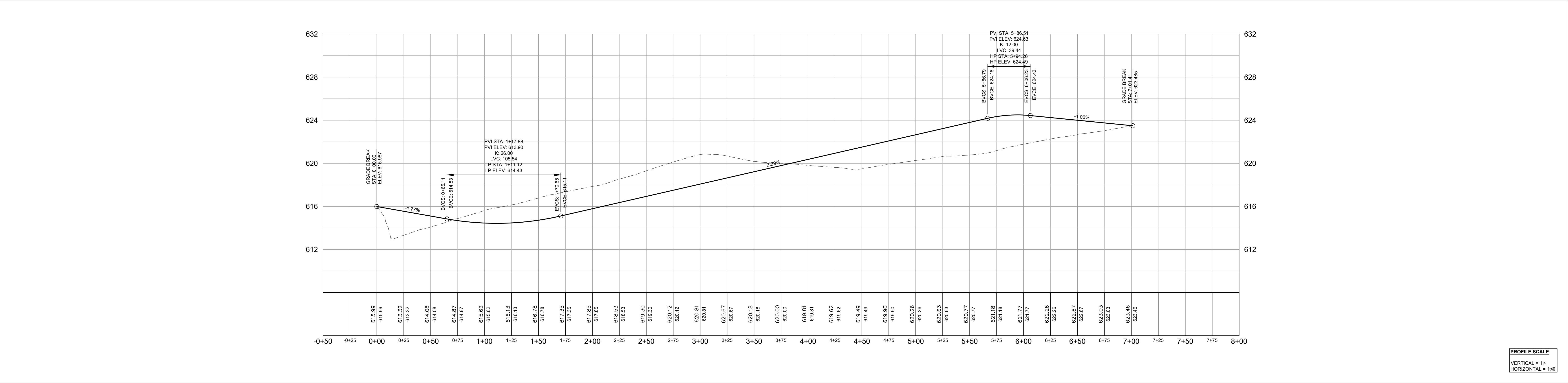




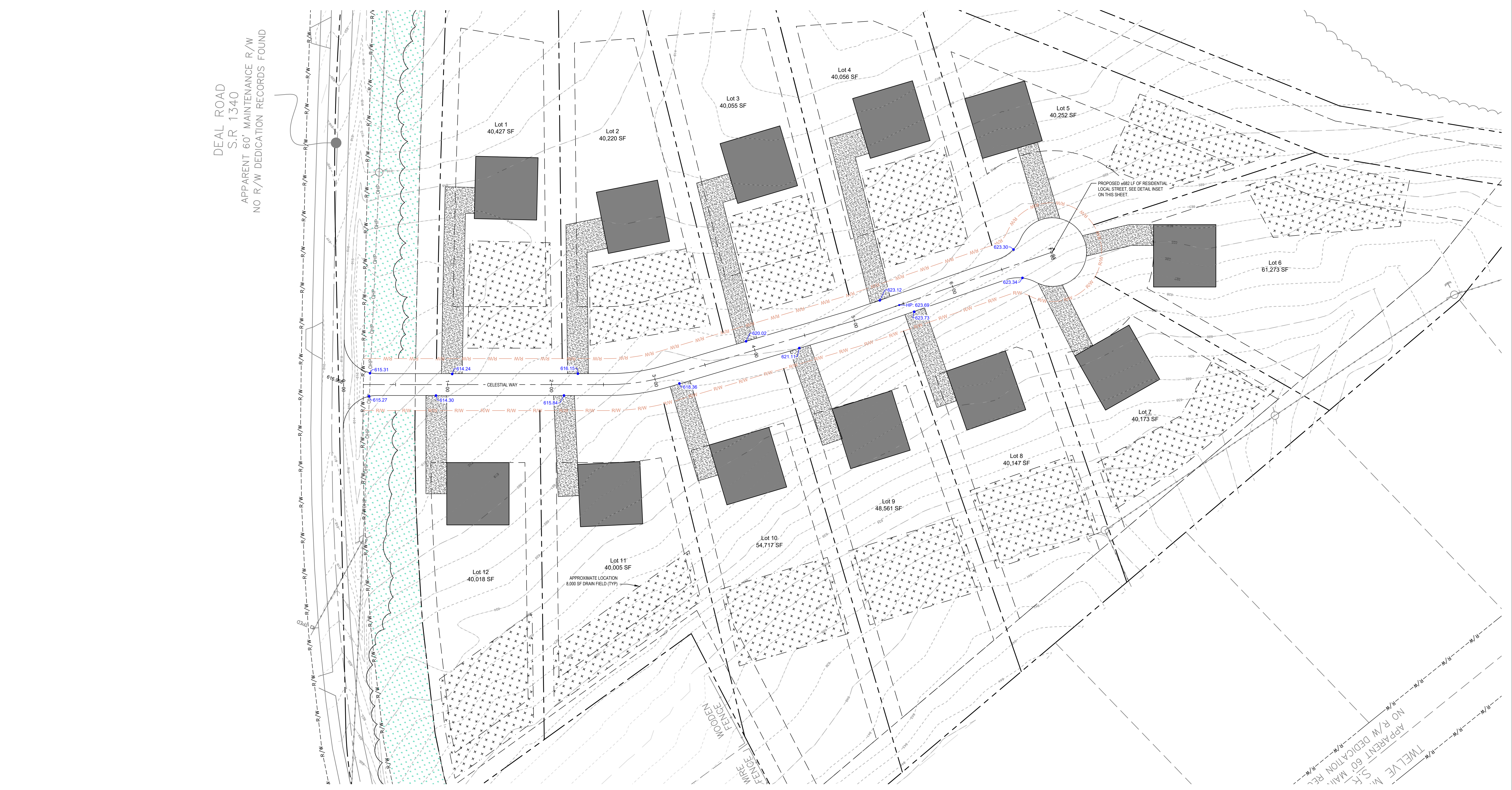
### Sketch Plan

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.





CELESTIAL WAY - STA. 0+00.00 TO STA. 7+01.41 - PROFILE



CELESTIAL WAY - STA. 0+00.00 TO STA. 7+01.41 - PLAN

SCALE: 1"=40'



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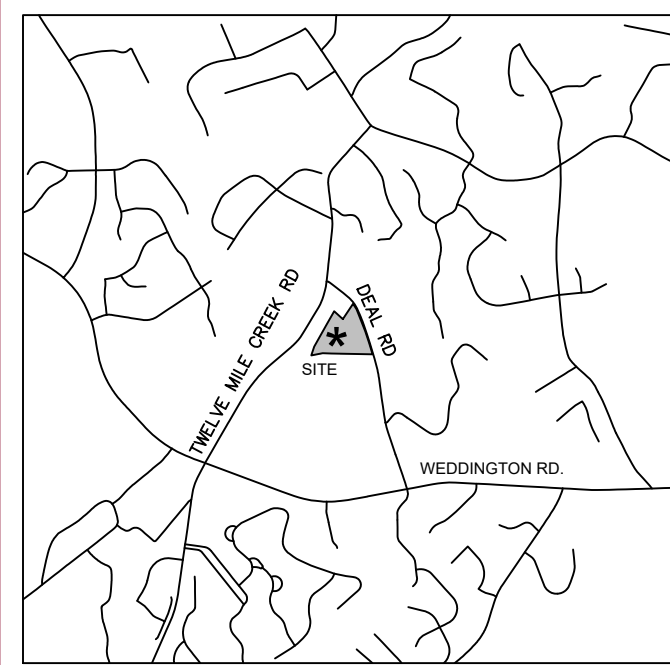
landscape architecture | planning | civil engineering | surveying

### Keystone Custom Homes

2030 Airport Flex Rd.  
Charlotte, NC 28208  
877-699-7859  
KeystoneCustomHome.com

### Elysian at Weddington

Deal Road  
Weddington, NC 28122



VICINITY MAP N.T.S.  
TOPOGRAPHIC SURVEY DATED JULY 28, 2024 PROVIDED BY DELTA  
LAND SERVICES, INC., 609 MATTHEWS MINT HILL RD., MATTHEWS, NC  
28105, (704) 847-4700.



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SCALE: 1"= 40'  
0 20' 40' 80'

DATE: 09/06/24 PM:MDM  
DRAWN BY: DFS REVIEWED BY: MDM  
PROJECT NUMBER: 240110.01

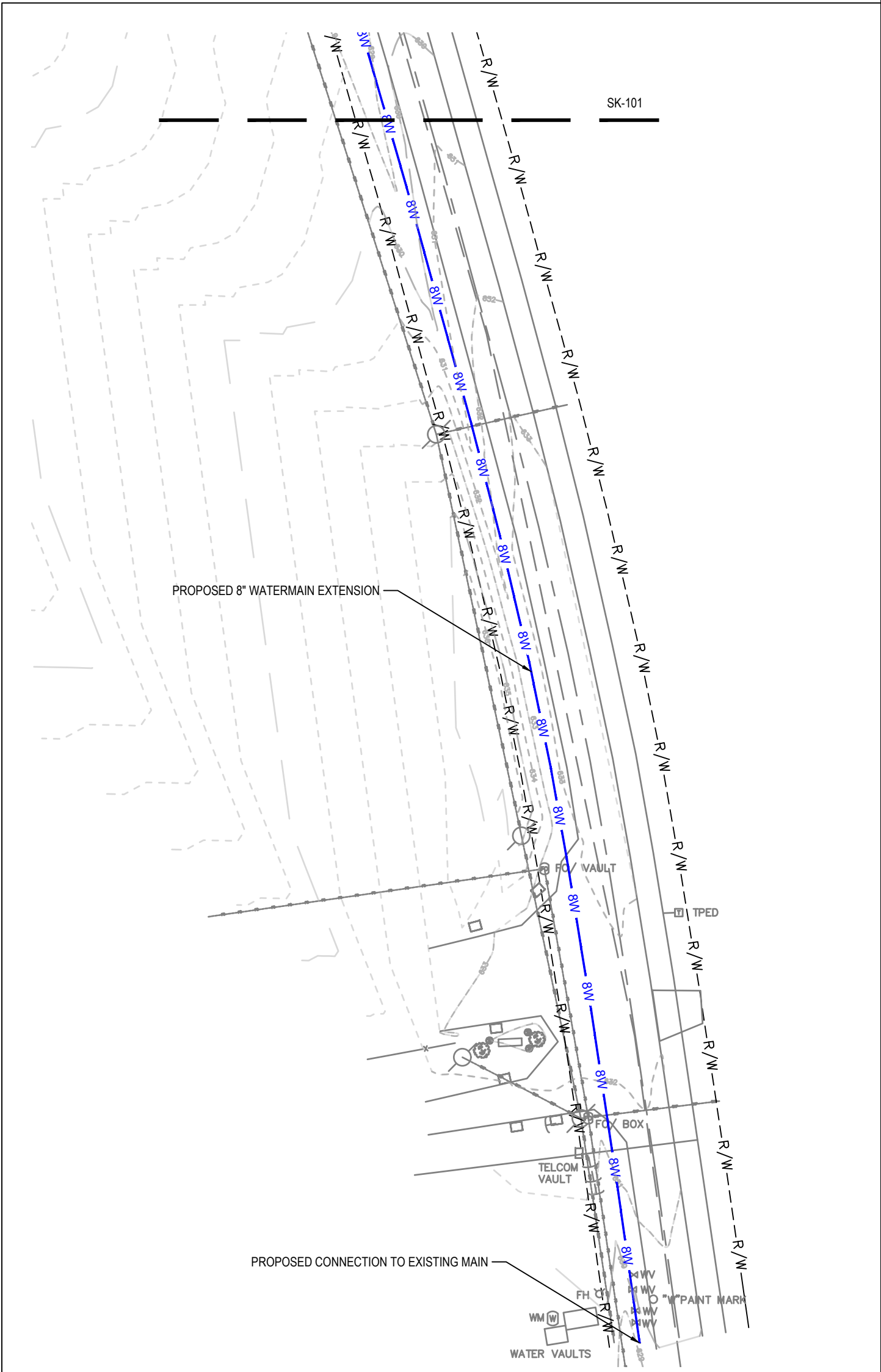
### CELESTIAL WAY PROFILE

REVISIONS:	

SK-102

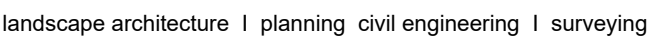
Sketch Plan





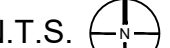
### Sketch Plan



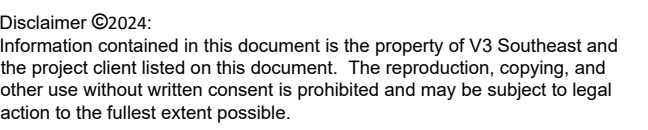


[KeystoneCustomHome.com](http://KeystoneCustomHome.com)

Deal Road  
Weddington, NC 28122



TOPOGRAPHIC SURVEY DATED JULY 28, 2024 PROVIDED BY DELTA  
LAND SERVICES, INC., 608 MATTHEWS MINT HILL RD., MATTHEWS, NC  
28105. (704) 847-4700.



REVISIONS:

### Sketch Plan

### PROPOSED STORM DRAINAGE

6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.

ROAD  
DEAL 1340  
S R MAINTENANCE FOUND  
APPARENT 60' RECORDS  
NO R/M DEDICATION  
R/M

PROPOSED  
TEMPORARY  
SEDIMENT BASIN

N/F  
UNION COUNTY  
BOARD OF EDUCATION  
DB 6134 PG 609  
ZONING: ED



1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
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**LEGEND**

SYMBOL	
	EXISTING TREE
	PROPOSED TREE PROTECTION FENCING
	PROPOSED TREE SAVE UNDISTURBED NATURAL AREA

DETAIL

-/-

-/-

-/-



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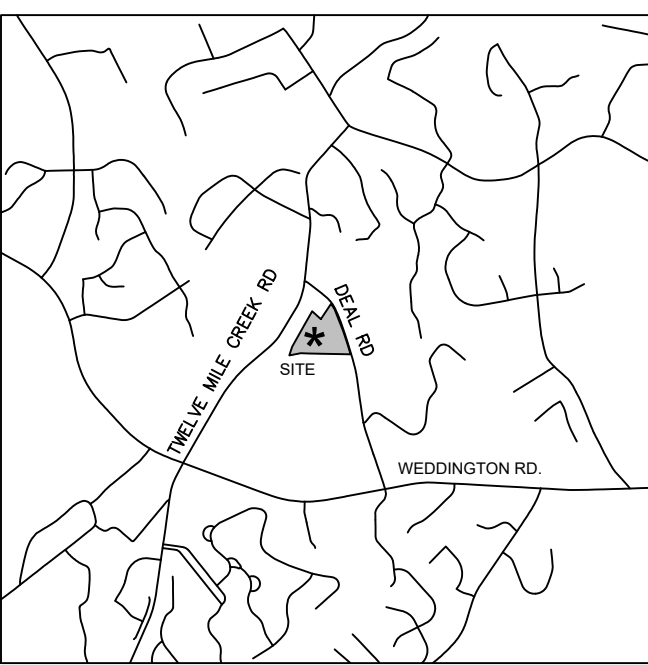
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**Keystone Custom Homes**

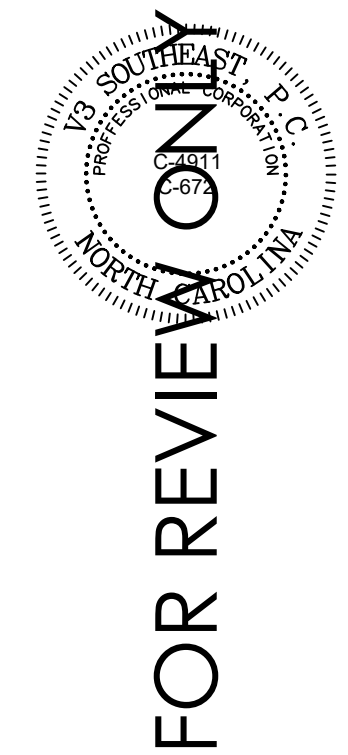
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**Elysian  
at  
Weddington**

Deal Road  
Weddington, NC 28212



VICINITY MAP N.T.S.  
TOPOGRAPHIC SURVEY DATED JULY 28, 2024 PROVIDED BY DELTA LAND SERVICES, INC., 608 MATTHEWS MINT HILL RD., MATTHEWS, NC 28105, (704) 847-4700.



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SCALE: 1"= 50'  
0 25' 50' 100'

DATE: 09/06/24 PM:MDM  
DRAWN BY: ZJH REVIEWED BY: MDM  
PROJECT NUMBER: 240110.01

**LANDSCAPE PLAN**

REVISIONS:	

**SK-105**

Sketch Plan



1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
2. ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS.





**CZ 2025-01**

**ELYSIAN**


**EXHIBIT B. DEVELOPMENT STANDARDS**

1. Development Standards. Development of the Property will be governed by these development standards, all submittals presented to the Town Board in support of this application, and the applicable provisions of the Town of Weddington Unified Development Ordinance in place on the Filing Date.
2. Applicability of Other Regulations. The Rezoning Plan shall comply with the current version of applicable non-Unified Development Ordinance at the time of individual permit submission unless otherwise specified under state or federal law, including G.S. 160D-108: Permit Choice and Vested Rights. Examples of these codes may include, but are not limited to, building codes, fire codes, and/or codes or regulations administered by outside agencies.
3. Schematic Nature of Rezoning Plan. The Rezoning Plan shows the general location of all structures and exact locations of structures may be altered or modified during design, engineering, and construction phases of the development so long as the minimum Ordinance standards are met, and such alterations or modifications are materially in keeping with the Rezoning Plan.
4. Permitted Uses. Permitted uses for this site include all uses permitted in the R-CD and R-40 districts. This site may be developed with up to eleven (11) single-family residential units.
5. Environmental Features and Open Space:
  - a. The site shall comply with the minimum Open Space and Tree Save requirements as set forth in D-917A (p) and (q) of the Weddington Unified Development Ordinance.



6. Stormwater Management. Applicant shall meet all requirements for storm water management as required by the Weddington Unified Development Ordinance and as required by town engineers.
7. Access and Transportation.
  - a. All roadway improvements and construction within the subdivision will be subject to the standards and criteria of the Town of Weddington and/or NCDOT standards for road construction.
  - b. Applicant shall only be required to provide one ingress/egress from Deal Road to the subdivision.
8. Streetscape, Setbacks, Buffers, and Yards:
  - a. Where side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required. Town Staff will review the landscape plan for the buffer
  - b. A fifty (50) foot buffer shall be provided between homes in the subdivision and any nonresidential use.
  - c. Within the Fifty (50) foot buffers where natural landscape does not provide sufficient screening for adjoining existing homes and along Deal Road frontage per section D-917A(O) of the Unified Development Ordinance, applicant with enhance those areas of the buffer with evergreen plantings, such as Nellie Stevens, Burford Holly, Ligustrum or similar approved evergreen species.
  - d. A minimum fifty (50) foot front yard, fifteen (15) foot side yard and twenty-five (25) foot corner side yard, and forty (40) foot rear yard setback shall be provided.
  - e. Street trees shall be provided on each side of the street spaced forty (40) feet on center or based on tree species in compliance with Section D-917A(Q)(1)(b).
  - f. Applicant will work with Town Staff and Union County Public Schools to explore a pedestrian path connecting the property to the adjoining school property.

This 10<sup>th</sup> day of February, 2025

  
\_\_\_\_\_  
Keystone Custom Homes      KEITH FENN