

INN



BARN



HOUSING





1 ELEVATION- EXTERIOR- EAST
1" = 10'-0"



2 ELEVATION- EXTERIOR- SOUTH
1" = 10'-0"



3 ELEVATION- EXTERIOR- NORTH
1" = 10'-0"



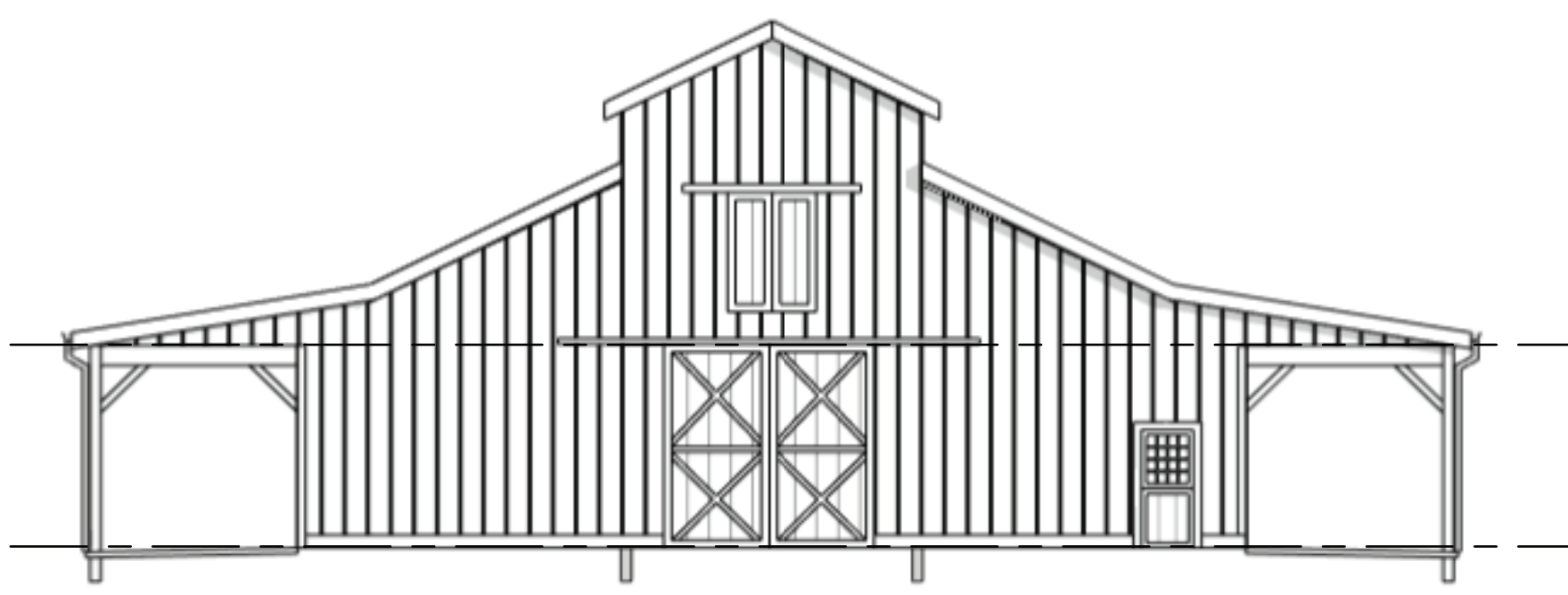
4 ELEVATION- EXTERIOR- WEST
1" = 10'-0"

0 5 10 20

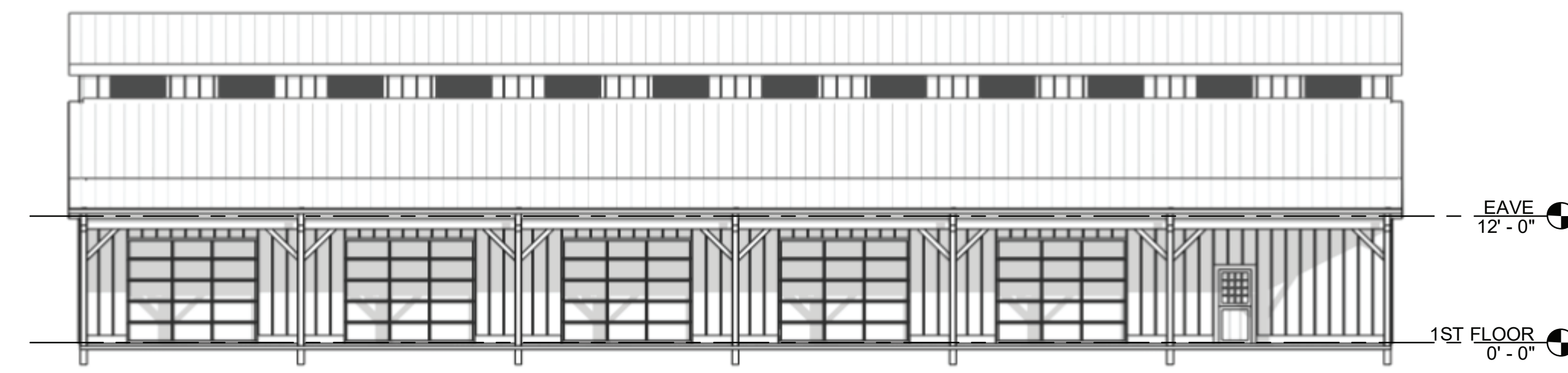




1 WEST ELEVATION
1" = 10'-0"



2 SOUTH ELEVATION
1" = 10'-0"



3 EAST ELEVATION
1" = 10'-0"

EAVE
12' - 0"
1ST FLOOR
0' - 0"



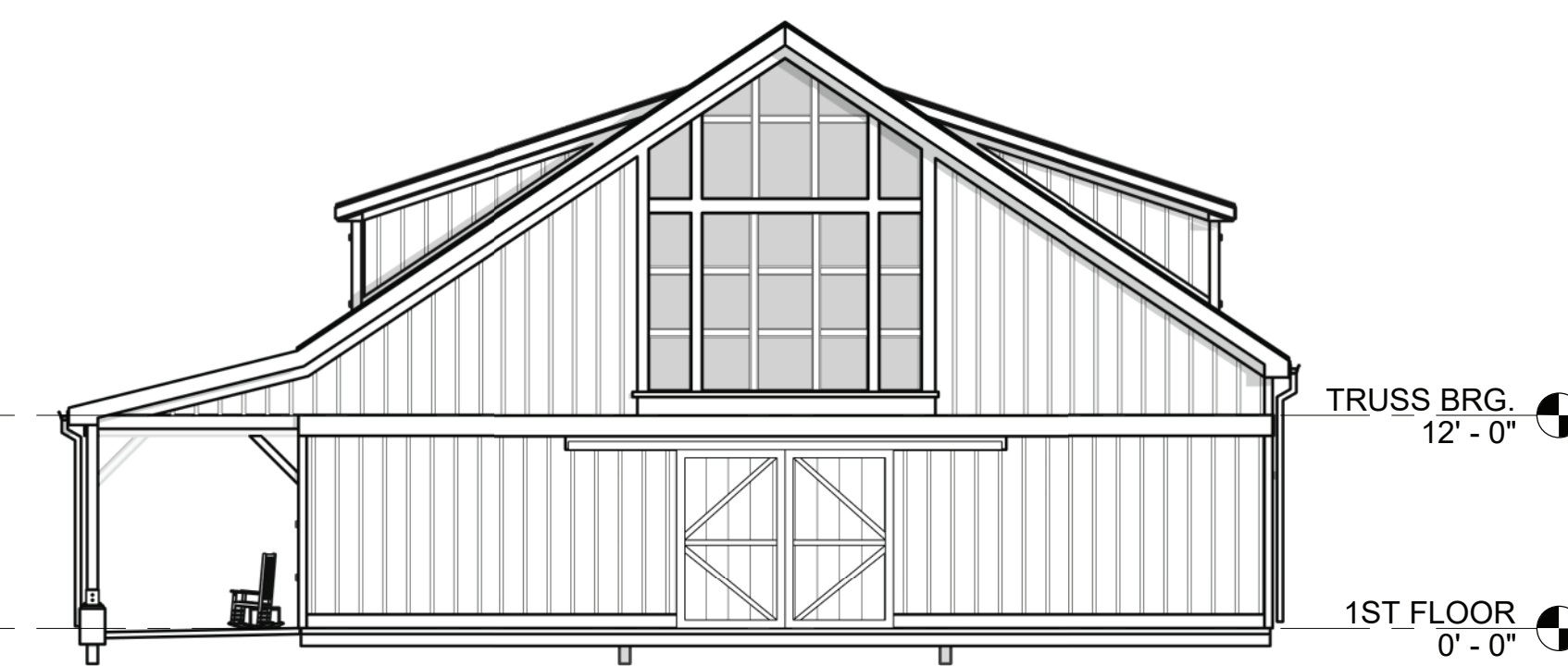
1 WEST ELEVATION
1" = 10'-0"



2 SOUTH ELEVATION
1" = 10'-0"



3 EAST ELEVATION
1" = 10'-0"



4 NORTH ELEVATION
1" = 10'-0"

TRUSS BRG.
12' - 0"
1ST FLOOR
0' - 0"



TIDEWATER COTTAGE



CREOLE COTTAGE



SOUTHERN FARMHOUSE



SOUTHERN ANTEBELLUM

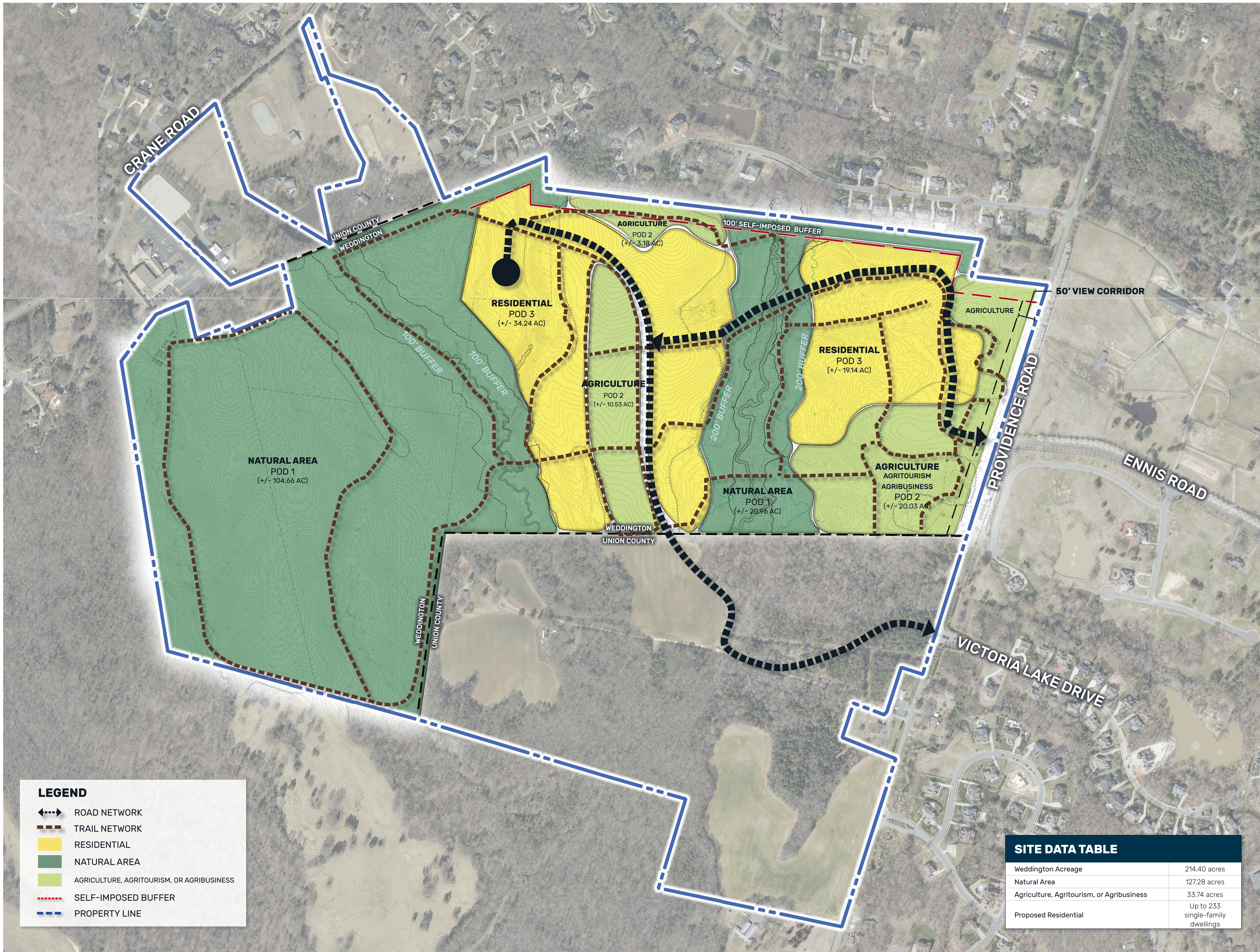


SOUTHERN VERNACULAR



SOUTHERN FARMHOUSE







50' WIDE ACCESS AND UTILITY EASEMENT FOR THE BENEFIT OF THE FOLLOWING TAX PARCELS FORMERLY 06180011, NOW 06180001 AND 06180002 PER PLAN BY S. NEAL BRIDGEMAN, NCPLS TITLED "LOT LINE REVISION SURVEY FOR PETER J. NIKONOVICH AND WIFE ANNETTE NIKONOVICH" DATED DECEMBER 14, 2012

TAX# 06204013
JEN NORTH CAROLINA 9, LLC
DB 6762 PG 882
PC 1 FILE 592 & 593

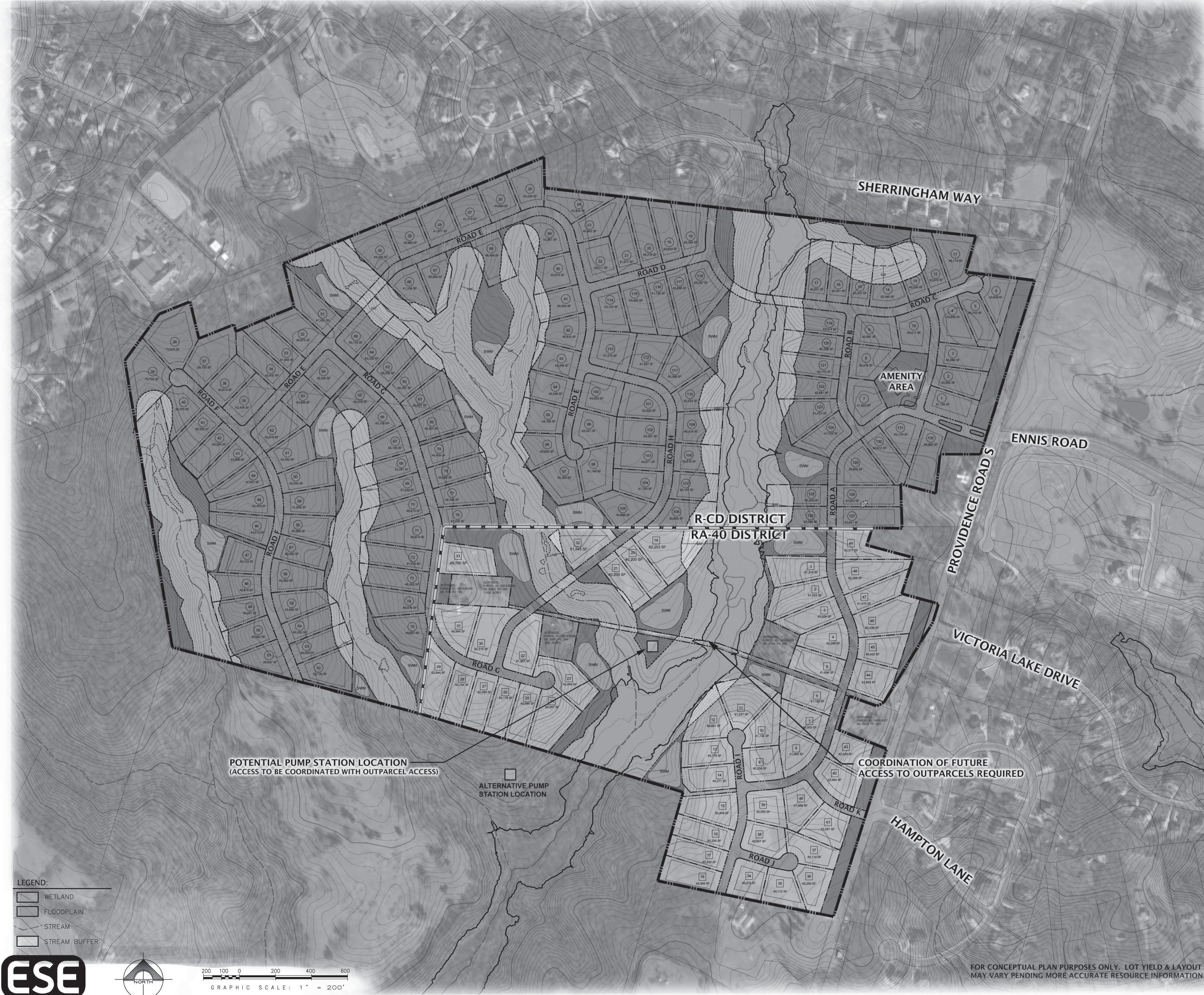
LINE	BEARING	DISTANCE
L1	S 34°47'49" W	64.19'
L2	N 55°55'52" E	28.29'
L3	S 25°05'27" E	38.14'
L4	N 40°11'12" E	23.2'
L5	N 41°54'22" E	70.64'
L6	N 36°11'21" E	59.98'
L7	N 29°23'18" E	50.02'
L8	N 13°11'20" W	39.9'
L9	N 53°17'34" E	28.6'
L10	S 15°51'03" W	97.24'



LEGEND

- Agrihood Buildings
- Houses
- Gravel Roads
- Paved
- Walking Trail
- Wooded Natural Area
- Lawn
- Garden Area
- Pecan Tree Grove
- Peaches
- Blueberries
- Vineyard





- LEGEND:
- WETLAND
 - FLOODPLAIN
 - STREAM
 - STREAM BUFFER



200 100 0 200 400 600
 GRAPHIC SCALE: 1" = 200'

FOR CONCEPTUAL PLAN PURPOSES ONLY. LOT YIELD & LAYOUT MAY VARY PENDING MORE ACCURATE RESOURCE INFORMATION



ROOTS FARM, LLC
REZONING PETITION NO. 2020-____
DEVELOPMENT STANDARDS
AS OF 11/11/2020

Development Data Table:

Agrihood Area:	+/- 214.40 acres
Tax Parcels:	06180010, 06180010B, 06180010C, 06153004, and 06153003
Existing Zoning:	R-CD
Proposed Zoning:	R-CD(CD)
Existing Use:	Agricultural
Proposed Uses:	Agrihood with agricultural, agribusiness, agritourism, and single-family residential uses
Maximum Building Height:	Per R-CD standards
Maximum Cottages:	Per R-CD standards
Parking, Signage, Landscaping, and Lighting:	Shall satisfy or exceed Ordinance requirements

I. General Provisions

- Site Location.** These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Roots Farm, LLC (the “Petitioner”) to accommodate an agrihood development on that approximately 214-acre site located on the western side of Providence Road, east of Crane Road, north of Victoria Lake Drive, and south of Sherringham Way, more particularly depicted on the Rezoning Plan (the “Agrihood”). The Agrihood is comprised of Tax Parcel Numbers 06180010, 06180010B, 06180010C, 06153004, and 06153003.
- Zoning Districts/Ordinance.** Development of the Agrihood will be governed by the Rezoning Plan as well as the applicable provisions of the Town of Weddington Zoning Ordinance (the “Ordinance”). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the R-CD zoning classification shall govern all development taking place on the Agrihood, subject to the provisions provided below.
- Use Areas.** For ease of reference and as an organizing principle associated with the Agrihood, a series of “Agricultural”, “Natural Areas”, “Residential”, and “Agribusiness/Agritourism” use areas (the “Use Areas”) are generally depicted on the Rezoning Plan. The exact boundaries of such Use Areas of the Agrihood may be modified as needed to reflect adjustments to internal streets, locations of buildings and other site elements and otherwise to fulfill the design and development intent of the Rezoning.
- Flexibility in Placement of Development/Site Elements; Alterations/Modifications.** The Use Area layout depicted on the Rezoning Plan is schematic in nature and intended to

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V. Architectural Standards

1. Vision and Intent

The architectural vision for Roots Farm is the celebration of the Carolina’s Piedmont Region’s agricultural heritage. The existing farmhouse, barns, and other agricultural structures all contribute to and guide the rural character of these standards by recalling certain aspects of the traditional regional farming complex and the associated rural farming villages.

The purposes of these Architectural Standards are (a) to provide physical standards and guidelines for the building and site designs for the Agrihood that creatively pay attention to regional precedent while emphasizing health, wellbeing and learning in connection with the region’s agriculture and nature; (b) to create a unified visual design throughout the Agrihood; (c) to maintain and display the spirit of the region’s agricultural background; (d) to define Residential Areas, Agricultural Areas, Agribusiness and Agritourism Areas, and Natural Areas through intentional building, access road, and walking trail placement; and (e) to create interconnectivity between the different areas of the Agrihood through pedestrian connections, bringing uses, activities, farming and nature together in a meaningful manner.

2. Residential Areas.

a. Architectural Materials.

- The residential dwellings constructed in the Residential Areas may use a variety of building materials. Except as expressly permitted herein, vinyl shall not be used as a building material.
- The building materials used for residential dwellings will be a combination of the following: (a) brick, stone or textured concrete bases; (b) brick veneer siding; (c) stone cladding siding; clapboard siding (wood and/or cementitious materials); (d) board and batten siding (wood and/or cementitious materials); (e) wood, cementitious and/or cellular PVC trim materials; and (f) metal and vinyl soffits and eaves undersides.
- Exterior windows and glazing shall (a) be clear, low-E insulating glass units; (b) consist of aluminum painted, vinyl clad wood, or vinyl windows with traditional frames; and (c) utilize vertical/minimum two times taller than wide window units to enhance vertical scale on front/street facing elevations.
- The roofs of the residential dwellings shall consist of (a) prefinished seam metal roofs or architectural profile asphalt shingles; (b) prefinished metal gutters and down spouts; and (c) traditional roof appurtenances such as cupolas, lightning rods, wind vanes, diagonal braces/brackets, and exposed roofing structural members.

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depict the possible general arrangement of permitted uses and improvements on the Agrihood. Accordingly, the ultimate layout, locations and sizes of the Agrihood elements generally depicted on the Rezoning Plan, if provided, are graphic representations of the possible proposed Agrihood and site elements. It is intended that this Rezoning Plan provide for flexibility in ultimate layout, locations and sizes of site elements including allowing alterations or modifications to graphic representations in accordance with the requirements set forth on this Rezoning Plan, the Development Standards, and the Ordinance.

Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Agrihood in accordance with the provisions of Section 58-271 of the Ordinance. Minor alterations to the Rezoning Plan not otherwise contemplated by this Rezoning Plan are subject to Section 58-271(k) of the Ordinance.

- Five-Year Vested Rights.** Pursuant to the provisions of Section 38.65 of the Ordinance and N.C.G.S. Section 160A-385.1, due to the master planned large scale nature of the Agrihood, the level of investment, the timing of phasing and certain infrastructure improvements, economic cycles and market conditions, this Petition includes vesting of the approved Rezoning Plan and conditional zoning districts associated with the Petition for a five (5) year period, but such provisions shall not be deemed a limitation on any other vested rights whether at common law or otherwise.
- Phases.** The current projected phasing of the proposed Agrihood is as follows: (i) Phase I would focus on (a) agricultural uses, (b) infrastructure including septic, private road network, water, and utilities to serve the Agrihood, (c) the inn, (d) single-family residential dwelling units on the east side of the Agrihood, and (e) a market barn; (ii) Phase II would focus on single-family residential dwelling units on the west side of the Agrihood; and (iii) Phase III would focus on additional single-family residential dwelling units on the west side of the Agrihood. The ultimate phasing and timeline of construction of the proposed Agrihood are subject to change.

II. Permitted Uses

- Agricultural Areas.** The Agricultural Areas of the Agrihood, and any other area within the Agrihood, may be devoted to any agricultural uses permitted by right or under prescribed conditions in the R-CD Zoning District, together with any incidental or accessory uses associated therewith.
- Residential Areas.** The Residential Areas of the Agrihood may be devoted to any residential uses permitted by right or under prescribed conditions in the R-CD Zoning District, together with any incidental or accessory uses associated therewith. The total number of single-family residential dwelling units for the entire Agrihood shall not exceed one (1) dwelling unit per 40,000 square feet.
- Agribusiness and Agritourism Areas.** The Agribusiness and Agritourism Areas of the Agrihood may be devoted to agribusiness and agritourism uses permitted by right or under prescribed conditions in the R-CD Zoning District, together with any incidental or

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- Architectural Variation.** No two identical architectural elevations which include identical facades, roof lines, door and window placement and details, shall be built adjacent to or directly across from each other.
- Architectural Features.** Residential dwellings shall include the following design features:
 - Mainly two, three, and some four-bedroom single-family detached units placed in clusters to create neighborhood settings.
 - Either one (1)-story structure with up to 14’-0” building height or a two (2)-story structure with up to 26’-0” building height, in no case shall building height exceed the maximum building height permitted under the Ordinance.
 - Façades shall be fenestrated with traditional style vertical windows and doors with transoms to accentuate vertical massing.
 - Front porches are encouraged to emphasize the openness of the walking neighborhood, creating the sense of community within the Agrihood.
 - Residential dwellings may have standing seam roofs or architectural profile asphalt shingles.
 - Residential dwellings will have a base, middle and top (roof) to replicate traditional regional building proportions.
 - Residential dwellings will be provided with adequate parking through garages and designated off-road and on-road parking.
 - Solar PV collectors may be utilized over roofing system and shall be mounted to match slope of supporting roof.

3. Agribusiness and Agritourism Areas.

a. Architectural Materials.

- The nonresidential buildings and structures constructed in the Agribusiness and Agritourism Areas may use a variety of building materials. Except as expressly permitted herein, vinyl shall not be used as a building material.
- The building materials used for such nonresidential buildings will be a combination of the following: (a) brick, stone or textured concrete bases; (b) brick veneer siding; (c) stone cladding siding; clapboard siding (wood and/or cementitious materials); (d) board and batten siding (wood and/or cementitious materials); (e) wood, cementitious and/or cellular PVC trim materials; and (f) metal and vinyl soffits and eaves undersides.
- Exterior windows and glazing shall (a) be clear, low-E insulating glass units; (b) consist of aluminum painted or vinyl clad wood windows with traditional frames;

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accessory uses associated therewith, including, but not limited to, an inn, farm-to-table restaurant(s), village market(s), demonstration kitchen(s), Artisan Shops, bakery, visitor and educational center(s). In no event shall the aggregate amount of agribusiness and agritourism uses in the Agrihood exceed a floor area ratio of 79,000 square feet.

- Natural Areas.** The Natural Areas of the Agrihood may be devoted to any uses permitted by right in the required open spaces in the R-CD Zoning District. Trails shall be provided within the Natural Areas.

III. Transportation

- Access.** Vehicular access is currently provided via three (3) N.C. Department of Transportation (“NCDOT”) permitted agricultural entrances off of Providence Road that will remain except as contemplated on the Rezoning Plan, but the placements and configurations of the vehicular access points and any portions of the private street network as generally shown on the Rezoning Plan, if provided, are subject to modifications associated with design development and construction plans and designs, and to any adjustments required by NCDOT for approval in accordance with customary guidelines/regulations.
- Transportation Improvements.** It is understood that the below transportation improvements will be necessary as mitigation at such time as full build-out of the Agrihood is complete. It is understood that the construction of such transportation improvements may be provided in phases as certain components of the Agrihood are completed that warrant corresponding improvements. Therefore, when land development approvals are sought for any portion of the Agrihood, the Petitioner, Weddington Zoning Administrator, and director of NCDOT shall coordinate and determine which transportation requirements shall be provided with each such phase.

The Petitioners plan to provide or cause to be provided on its own or in cooperation with other parties who may implement portions of the improvements, the improvements set forth below to benefit the overall traffic patterns throughout the area in accordance with the following implementation provisions:
 - [To be inserted based on TIA]
- Alternative Improvements.** Changes to the above referenced Transportation Improvements can be approved through the administrative amendment process upon the determination and mutual agreement of Petitioner, Planning Director, and as applicable, NCDOT, provided, however, the proposed alternate transportation improvements provide (in the aggregate) comparable transportation network benefits to the improvements identified in this Petition.

IV. Design Guidelines

- Statement of Intent.** It is intended to develop an agri-centric community where the residents of and visitors to the Agrihood have convenient and easy access to interconnected clustering of agricultural, agritourism, agribusiness, and residential uses in a manner that

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- and (c) utilize vertical/minimum two times taller than wide window units to enhance vertical scale on front/street facing elevations.
 - The roofs of the nonresidential buildings and structures shall consist of (a) prefinished seam metal roofs; (b) prefinished metal gutters and down spouts; and (c) traditional roof appurtenances such as cupolas, lightning rods, wind vanes, diagonal braces/brackets, exposed roofing structural members.
- b. Architectural Features - Inn.** The inn shall include the following design features:
- A two (2)-story structure with a maximum building height of 35’.
 - Massing shall be broken into two major structures: (a) one two-story structure will contain the public spaces such as dining areas, conference/meeting rooms, kitchen/storage areas, along with management offices and outdoor dining and (b) the other major two (2)-story structure will contain the private rooms and a small fitness center. These two major structures shall be oriented orthogonal to each other and will be joined by a third one (1)-story connector that will also serve as the main entrance.
 - Board and batten façades shall be fenestrated with tall vertical windows and entry doors with transoms to accentuate verticality of the elevations.
 - Front porches will be included to remind of the open hospitality of the region and capped with a low-profile standing seam metal roof.
 - The structures will have traditional proportions of a base, middle and top (roof).
 - Solar PV collectors may be utilized over roofing systems and shall slope to match angle of support roof.

c. Architectural Features – Market Barns. The market barns and other nonresidential buildings and structures shall include the following design features:

- Building height shall not exceed 18’-0”.
- Any second level areas and rooms will occur within and under the roofed area with dormers and gable end windows to introduce natural lighting.
- Shed-type porches will extend the length of the public facing side.
- Porch roofs shall be supported with large (8” x 8”) square posts that modulate the length of the public facing side.
- Façades shall be fenestrated with full height (10’-0”) store-front windows to allow visibility of the interior, to introduce natural lighting, and to animate the public facing façade.

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creates a unified development with generally coordinated streetscape elements, landscaping, open spaces and quality building materials and with respect and sensitivity to the agricultural and the rural character of the land and adjacent farm operations and agricultural heritage.

- Main Entrance.** The main entrance to the Agrihood shall be treated with a range of edge treatments that seek to establish a sense of entry from Providence Road.
- Nonresidential Buildings.** The building facades within the Agribusiness and Agritourism Areas that are visible at ground level to site visitors, residents and adjacent neighbors shall incorporate design details, with building articulation and quality materials.
- Pedestrian Connectivity.** The Site Plan will seek to emphasize pedestrian connections to create a strong link between the Use Areas of the Agrihood.
- Streetscape.** Streetscape treatments will define each area within the Agrihood through the use of traditional stone farm roads, paving, lighting, landscaping, and (when provided) site furnishing throughout the Agrihood. Specialty pavers, stained or patterned concrete/paving or other similar means may be used to call attention to amenity areas, gathering spaces, and parks as a method of way-finding.
- Screening/Buffers.** All structures and facilities for trash, storage, loading, and outdoor equipment will be screened through walls, opaque fencing and/or evergreen shrubs. All such service areas must be screened so as not to be visible from network-required streets and pedestrian circulation areas. Solid walls, if utilized, shall be faced with brick or other decorative finish with the decorative side adjacent to the public right-of-way. Fences, if utilized, shall be opaque and either painted or stained with the decorative side to the public right-of-way. Dumpster(s)/compactor and recycling locations shall be set aside even if property owner elects to use a private hauler for individual rollout cart service, the location of which to be reserved on site plan during the permitting phase of development. All renewable energy facilities shall be set back at least 100 feet from all external boundaries of the Agrihood. All mechanical equipment shall be screened from public view.
- Providence Road View Corridor.** No new structures or parking shall be permitted within fifty (50) feet of the Providence Road right-of-way.
- Lighting.** Outdoor lighting shall comply with Section 58.17 of the Ordinance and applicable Town lighting regulations.
- Signage.** Outdoor signage shall comply with Article V of the Ordinance.
- Parking.** Off-street parking shall comply with Section 58-175 of the Ordinance; provided, required parking may be on nonasphalt material.

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- The façades shall be board and batten siding, traditional window and door detailing, exposed roof framing members with painted metal standing seam roofing.
- Solar PV collectors may be utilized over roofing and shall be mounted to match slope of supporting roofing.

VI. Open Space

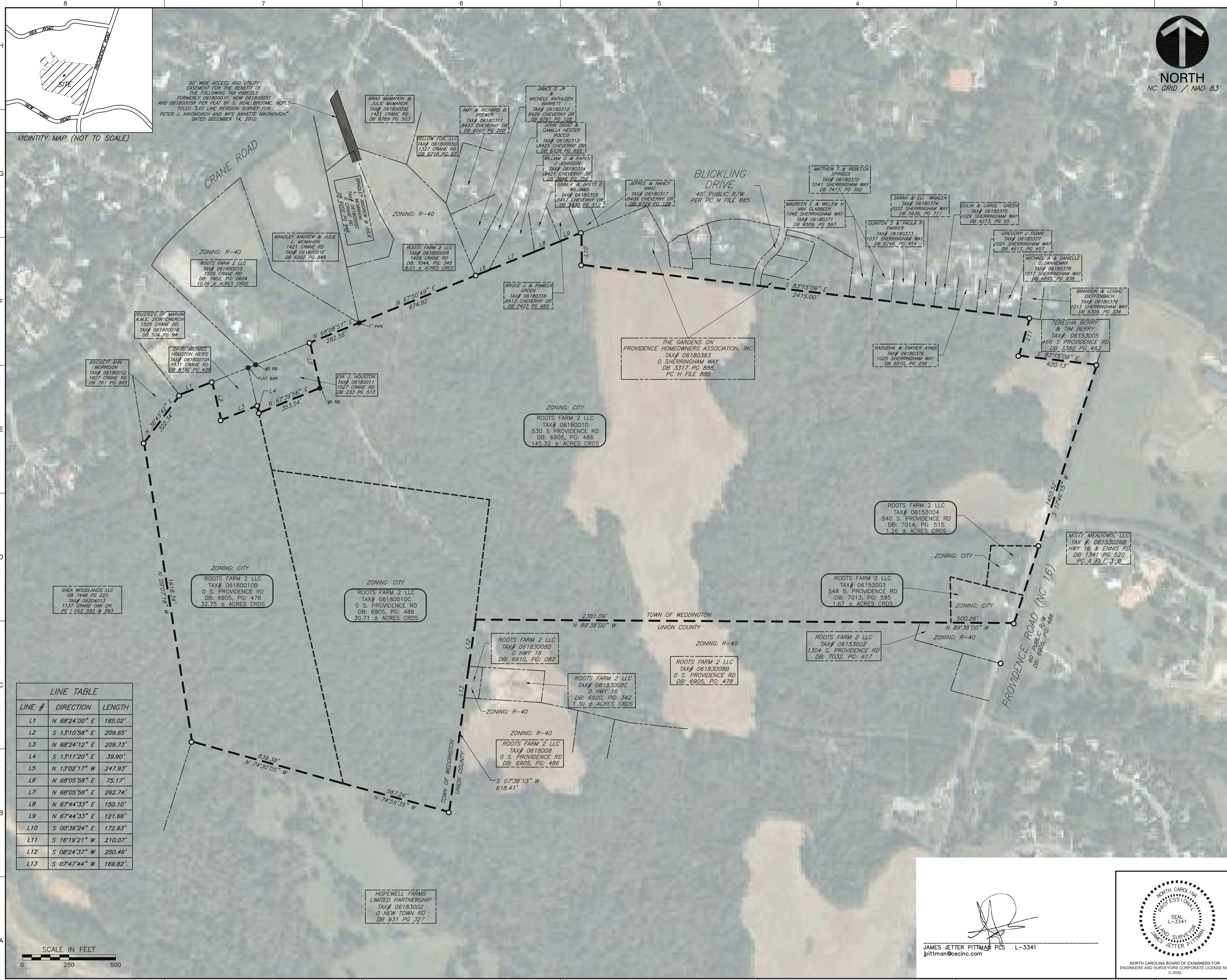
- Open Space Requirement.** The Agrihood shall satisfy or exceed the Open Space requirements under R-CD for an agrihood.
- Management Plan.** The required open space shall be subject to a deed restriction, conservation easement, or other recorded instrument held by Petitioner. The maintenance agreement shall obligate Petitioner to implement the maintenance plan in accordance with Section 46-43(b)(6) of the Ordinance.

VII. Amendments & Binding Effect of the Rezoning Documents

- Amendments.** Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then owner or owners of the applicable portions or parcels of the Site affected by such amendment in accordance with the provisions of the Development Standards and Section 58-271 of the Ordinance.
- Binding Effect.** If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided herein, be binding upon and inure to the benefit of the Petitioner(s) and subsequent owners of portions or parcels of the Site, as applicable, and their respective successors in interest and assigns.

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SUBMITTAL & REVISION RECORD		
NO.	DATE	DESCRIPTION
1	11/11/20	REVISED PER CLIENT/ ATTORNEY COMMENTS

- HORIZONTAL DATUM IS NAD 83 (2011) NORTH CAROLINA STATE PLANE ZONE, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING BASED ON CONTROL POINT 1.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- BOUNDARY SURVEY DEPICTED IS FROM ESP ASSOCIATES PA. PDF AND CADD DATED 11/9/2018.

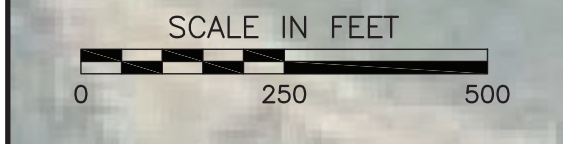
LEGEND	
	PROPERTY BOUNDARY (NOT SURVEYED)
	ADJOINING PROPERTY LINE
	INTERIOR PROPERTY LINE (NOT SURVEYED)
	FOUND PROPERTY CORNER
	CALCULATED PROPERTY CORNER

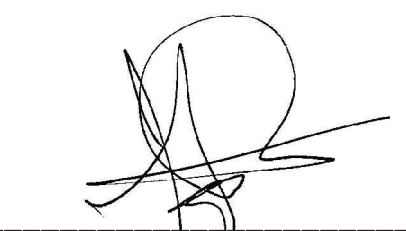

Civil & Environmental Consultants, Inc.
 3701 Arco Corporate Drive - Suite 400 - Charlotte, NC 28273
 Ph: 980.237.0373 - Fax: 980.237.0372
 www.cecinc.com

REZONING MAP
 Situate In
WEDDINGTON
 UNION COUNTY, NORTH CAROLINA
 Made For
ROOTS FARM LLC

DATE: NOVEMBER 10, 2020	SCALE: 1"=250'	DRAWING NO.:
DRAWN BY: GAT	CHECKED BY: GEJ	SV01
PROJECT NO: 301-833	APPROVED BY: JJP	SHEET 1 OF 1

LINE #	DIRECTION	LENGTH
L1	N 68°24'00" E	185.02'
L2	S 13°10'58" E	209.65'
L3	N 68°24'12" E	209.73'
L4	S 13°11'20" E	39.90'
L5	N 13°02'17" W	247.93'
L6	N 68°05'58" E	75.17'
L7	N 68°05'58" E	262.74'
L8	N 67°44'33" E	150.10'
L9	N 67°44'33" E	121.86'
L10	S 00°36'24" E	172.93'
L11	S 16°19'21" W	210.07'
L12	S 08°24'37" W	250.46'
L13	S 07°47'44" W	169.82'




 JAMES JETTER PITMAN PLS L-3341
 jjpitman@cecinc.com

