



**TOWN OF WEDDINGTON  
REGULAR PLANNING BOARD MEETING  
MONDAY, APRIL 27, 2026 – 7:00 P.M.  
WEDDINGTON TOWN HALL  
1924 WEDDINGTON ROAD  
WEDDINGTON, NC 28104  
AGENDA**

1. Call to Order
2. Determination of Quorum
3. Conflict of Interest Statement: *In accordance with the state government ethics act, it is the duty of every Board member to avoid conflicts of interest. Does any Board member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*
4. Approval of Minutes
  - A. March 23, 2026 Regular Planning Board Meeting
5. Public Comments: *Individuals are allowed 3 minutes to speak and must only comment on current agenda items. A maximum of 30 minutes is allocated to the Public Comment Period. The time limit may be extended at the discretion of the Chairman.*
6. Old Business
7. New Business
  - A. Discussion and Possible Recommendation of an application by Signature Properties of the Carolinas LLC. requesting Conditional Zoning Approval for the development of a 37-lot Conventional subdivision located at the intersection of Providence Road and Rea Road.
  - B. Discussion and Possible Recommendation of Text Amendment 2026-3 Appendix 2B. re: Town Engineer review of (zoning) Schematic Plans
  - C. Discussion and Possible Recommendation of Text Amendment 2026-4 Section D-917D (A) Agricultural Uses (chicken coops)
8. Update from Town Planner and Report from the April Town Council Meeting
9. Board member Comments
10. Adjournment



**TOWN OF WEDDINGTON  
REGULAR PLANNING BOARD MEETING  
MONDAY, MARCH 23, 2026 – 7:00 P.M.  
WEDDINGTON TOWN HALL  
MINUTES  
PAGE 1 OF 5**

**1. Call to Order**

Chairman Chris Faulk called the Town of Weddington Regular Planning Board meeting to order at 7:02 PM on Monday, March 23, 2026.

**2. Oaths of Office**

- A. Rusty Setzer**-administered prior to the Planning Board meeting
- B. Taylor Grove**

Mayor Jim Bell administered the Advisory Board Oath of Office to Taylor Grove.

**3. Determination of Quorum**

Quorum was determined with all Board members present: Chris Faulk, Amanda Jarrell, Rusty Setzer, Bill Deter, Steve Fellmeth, Scott Buzzard, and Taylor Grove

Staff present: Town Planner Greg Gordos, Planning Asst/Permit Tech Jazlyn Mooock, Town Administrator/Clerk Karen Dewey

Visitors: Clayton Jones, Jim Bell

\* **4. Election of Chairman and Vice-Chairman**

- Motion:** Board member Deter made a motion to nominate Chris Faulk as Chairman of the Planning Board
- Second:** Board member Fellmeth
- Vote:** The motion passed with a unanimous vote.
- Motion:** Board member Deter made a motion to nominate Rusty Setzer as Vice-Chairman of the Planning Board
- Second:** Board member Fellmeth
- Vote:** The motion passed with a unanimous vote.

- 5. Conflict of Interest Statement:** *In accordance with the state government ethics act, it is the duty of every Board member to avoid conflicts of interest. Does any Board member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*

Chairman Faulk read the Conflict of Interest Statement. No Board members had a conflict of interest.

**6. Approval of Minutes**

**A. February 23, 2026 Regular Planning Board Meeting**

**Motion:** Board member Deter made a motion to approve the February 23, 2026 Regular Planning Board Meeting Minutes as presented

**Second:** Board member Buzzard

**Vote:** The motion passed with a unanimous vote.

- 7. Public Comments:** *Individuals are allowed 3 minutes to speak and must only comment on current agenda items. A maximum of 30 minutes is allocated to the Public Comment Period. The time limit may be extended at the discretion of the Chairman.*

No public comments.

**8. Old Business**

**A. Discussion of Workshop regarding UDO Section D-917E Additional Specific Requirements for Conventional Residential Development**

The board discussed scheduling a workshop to conduct a mock development submittal process. Chairman Faulk proposed conducting a hands-on workshop where board members could work through a mock development scenario to better understand the application process and requirements. The board agreed this would be beneficial for training purposes and ensure consistent understanding of the requirements. Ms. Moock explained that the town has two types of subdivision zones for the workshop: conventional (requiring one acre per house) and conservation subdivisions (allowing smaller lots with more conservation land).

The board decided to target May for the workshop timing to allow adequate preparation of materials. Staff will coordinate with board members to find suitable dates for either an afternoon or evening session.

The board members discussed moving forward with recommendations of the text amendments

**Motion:** Board member Buzzard made a motion to amend the agenda to add item 8D for discussion and consideration of text amendments to UDO section D-917.

**Second:** Board member Deter

**Vote:** The motion passed with a unanimous vote.

## **B. Discussion of Appendix 2B., Unified Development Ordinance (Proposed Site Improvements)**

Board member Deter reviewed several proposed text amendments that had been under consideration for months. The amendments included:

- Adding language requiring identification of septic systems "and improvement permits or public sewer lines if applicable".
- Grammar corrections changing "between" to "among" in certain sections.
- Replacing "buildable area" with "UDO compliance" in yield plan requirements.
- Updating tree save requirements to use "build envelope" instead of "buildable area"

Vice Chair Setzer raised concerns about the term "build envelope" potentially conflicting with construction industry terminology, where "building envelope" refers to the exterior walls of a structure. The board discussed whether this could create confusion in practical applications.

Chairman Faulk noted that while the language works well for single lots, it may not translate effectively to subdivisions due to grading and stormwater requirements. The board agreed that the item regarding build envelope definition needed further work.

**Motion:** Board member Buzzard made a motion to add "consideration" to item 8.B.

**Second:** Board member Fellmeth

**Vote:** The motion passed with a unanimous vote.

**Motion:** Board member Buzzard made a motion to forward with a favorable recommendation to council Appendix 2B text amendment with removal of item#5 regarding the building envelope.

**Second:** Board member Fellmeth

**Vote:** The motion passed with a unanimous vote.

## **C. Discussion on the use of artificial intelligence (AI) in the audit of the Town UDO (all sections).**

Board member Deter presented his research on using AI to review and improve the UDO. He had tested AI on sections 1, 3, 4, and 5, finding that it focused primarily on grammar, syntax, and sentence structure improvements. The AI reduced word count by approximately 29% while increasing clarity through better paragraph structure. Board member Deter demonstrated that AI could process sections quickly but required careful review to ensure no changes to meaning or intent occurred. He found minimal instances of AI "hallucination" or inappropriate changes.

Board member Buzzard questioned whether the UDO required such extensive revision and suggested getting Council direction before proceeding. He also raised concerns about potential legal issues if the town relied on AI-generated ordinances.

Chairman Faulk supported exploring AI as a tool for identifying inconsistencies and conflicts within the UDO rather than wholesale rewriting. The board agreed that any AI usage should have proper guardrails and legal review.

The board concluded that while AI showed promise for improving clarity and consistency, they should start with smaller applications to identify conflicts and inconsistencies before considering broader usage.

\* ***D. Discussion and Consideration of text amendments to the Town of Weddington UDO Section D917***

Board member Deter provided a detailed explanation of the proposed amendments to conventional and conservation subdivision requirements. The changes included:

- Conservation Subdivisions: Clarified that 50% of adjusted tract acreage must be retained as secondary conservation land, with primary conservation land (unbuildable areas like floodplains and steep slopes) counted separately.
- Priority Classifications: Established tier system for secondary conservation lands prioritizing forest lands, steep slopes, and view sheds as highest priority, with farmlands and meadows as medium priority.
- Primary Conservation Lands: Defined as areas with extreme limitations including stream valleys, swales, floodplains, and slopes greater than 25%.
- Conventional Subdivisions: Required 20% of gross acreage as common open space, with primary open space counting toward this requirement.

Vice Chair Setzer questioned the 25% slope restriction, arguing it could eliminate viable basement home lots. He noted that slopes between 25-35% can be excellent for basement construction and that 25% slopes are easily maintainable.

Mr. Gordos acknowledged Vice Chair Setzer's concerns but indicated that Council's preference is to maintain restrictive standards. He explained that the goal has been to make development more challenging in Weddington, and that changing the slope requirement might not receive council support.

Board member Grove suggested removing the phrase "because of their extreme limitations" from the primary conservation lands definition to reduce the implication that all such areas are unbuildable.

***Motion:*** Board member Deter made a motion forward to the council with a favorable recommendation the text changes in D-917B.E. with the

removal of the phrase "because of their extreme limitations" from the D-917B.E.3

**Second:** Board member Grove  
**Vote:** The motion passed with a unanimous vote.

## 9. New Business

## 10. Update from Town Planner and Report from the March Town Council Meeting

Ms. Moock reported that at the March Town Council meeting, council approved a conditional zoning application by Keystone Custom Homes for a 12-lot subdivision at Forest Lawn Drive. Council also discussed maintaining high development standards as more applications are anticipated. Staff is working on updating the permitting portal to be more user-friendly while ensuring applicants understand all requirements upfront. The new system will include an app for tracking application progress and will not allow submission until all required materials are provided.

## 11. Board member Comments

Board member Deter thanked residents for attending planning board meetings and acknowledged staff's dedication despite lean staffing levels. He expressed satisfaction with the progress made on several long-pending text amendments.

Board member Grove thanked the council for their vote of confidence expressed that she is looking forward to working with the board.

Board member Jarrell welcomed Taylor and thanked Jazlyn for the phenomenal graphics.

Board member Buzzard praised the board's discussion quality and staff's underappreciated efforts in serving the community.

Chairman Faulk echoed previous statements welcoming Taylor and congratulated Rusty on his election to Vice Chair.

## 12. Adjournment

**Motion:** Board member Deter made a motion to adjourn the March 23, 2026 Regular Planning Board meeting at 8:25 p.m.  
**Second:** Board member Buzzard  
**Vote:** The motion passed with a unanimous vote.



**TO:** Planning Board  
**FROM:** Gregory Gordos, AICP, CZO, Town Planner  
**DATE:** April 27, 2026  
**SUBJECT:** Application by Mel Graham requesting Conditional Zoning approval for a 37-lot Conventional subdivision located on Providence Road

### **APPLICATION INFORMATION:**

**SUBMITTAL DATE:** February 23, 2026  
**BUILDER/DEVELOPER:** Graham Enterprises, Signature Properties of the Carolinas LLC  
**ENGINEER/APPLICANT:** The Issacs Group  
**PROPERTY LOCATION:** Providence Road and Rea Road  
**PARCEL ID#:** 06150001  
**ACREAGE:** +/- 78 acres  
**EXISTING LAND USE:** Vacant, Woodland  
**EXISTING ZONING:** R-CD, Conservation District

### **PROPOSAL:**

The applicant, Mr. Mel Graham, is proposing the development of a new residential subdivision of thirty seven homes on 1-1.5 acre lots. It is located on the corner of Providence and Rea roads. This prominent site was previously proposed for an academic campus (2022) and a subdivision by Beechwood Homes (2024). Weddington Estates is located north of the subject property, while tracts immediately to the east, south, and west are undeveloped or underdeveloped (non-residential subdivisions). The Hudson family property provides the western boundary and a future HUDSON FARM LN extension is proposed. Highclere is located to the southwest on Rea Road however access roads will not align due to the unique hexagon shape of the 77.997 acres. An extension of Rea Road is underway for future road improvements. A TIA was not required; however NCDOT will require a south bound right turn lane from Hwy 16 into the main entrance. Revised plans now show emergency access-only on Rea Road between Lot 24 and 25.

The site design is characterized by a meandering Grandview Drive and 32% open space (20% required).

***Development Standards.***

The development proposal does not include changes to the Development Standards already set forth in the Unified Development Ordinance (UDO). As accepted by the applicant the development shall be governed by the Schematic Plan and all applicable requirements of the UDO.

**RELATION TO THE UNIFIED DEVELOPMENT ORDINANCE:**

***UDO Section D-607(C), Conditional Rezoning.***

As required by UDO Section D-607(C)(5), the applicant held their in-person Community Meeting on January 5<sup>h</sup> at the Weddington Methodist and a presentation to the Town Council on March 9, 2026. An initial submittal was submitted via the online permit portal in February while the final Schematic Plan was revised based on Town Engineer feedback and sent for completeness on April 7<sup>th</sup> (earlier this month).

The Town Council is tentatively scheduled to hold a public hearing regarding this application on Monday, May 11, 2026, at 7:00 pm. The Conditional Zoning process allows the developer and the town to ask for conditions which could include special exceptions to rules or additional improvements. The town and the developer must agree on a condition for it to become a part of an approval.

***UDO Section D-703(D), Permitted Uses (by zoning district).***

Pursuant to Table 1, Permitted Uses, as contained within UDO Section D-703(D), Traditional Residential Development (> 6 Lots) is specifically listed as a permissible use within the R-CD, subject to Conditional Zoning approval.

***UDO Section D-703(E), Lot and Building Standards Table.***

Pursuant to Table 2, Lot and Building Standards, as contained within UDO Section D-703(E), all development within the R-CD is required to meet certain standards. The following table identifies those standards, as well as how the subject development proposal complies:

Lot and Building Standards		Standard	Proposed
Minimum Lot Size		40,000 sq. ft.	43,576 – 63,651 sq. ft.
Minimum Lot Width		120'	120' (min)
Minimum Setbacks	Front	50'	50'
	Side	15'	15'
	Rear	40'	40'
Maximum Height		35'	35'
Maximum Floor Area Ratio		N/A	N/A

***UDO Section D-917A, Specific Requirements for All Residential Development.***

UDO Section D-917A, establishes numerous rules for how residential development is intended to occur within the Town. These rules include, but are not limited to, the location of house sites, easements, the requirement of lots to abut public roads, street design and layout, cul-de-sacs, open space, buffering, and

tree requirements. While not all these rules are appropriate to be included at this stage of the development process, there are many that must be considered.

*UDO Section D-917A(A) Side lot lines shall be substantially at right angles or radial to street lines, and double frontage lots are to be avoided wherever possible.*

The lots proposed with the subdivision are consistent with this provision.

*UDO Section D-917A(D) Lots partially subject to flooding. No proposed residential building lot that is partially subject to flooding as defined herein shall be approved unless there is established on the lot plan a contour line representing an elevation no lower than two feet above the base flood line as defined in Appendix 7. Floodplain Regulations.*

Wetlands previously located on private Lot 20 have been moved to common open space. Stream buffers (unbuildable land) remains on many lots including 100' of a perennial stream buffer on Lot 2 and Lot 4.

*UDO Section D-917A (F)(1) All subdivision lots shall abut public roads.*

All lots within the subdivision are located along prop. Grandview Drive which is a private, gated road but built to public NCDOT standards.

*UDO Section D-917A(J)(1) Cul-de-sacs shall not exceed 500 feet. Measurement shall be from the point where the centerline of the dead-end street intersects with the center of a through street to the center of the turnaround of the cul-de-sac.*

Hudson Farm Lane provides an intersection at a 90 degree angle and connects to future developable land. This intersection creates the starting point when measuring the cul-de-sac linear length of Grandview Dr.

*UDO Section D-917A(J)(2) When cul-de-sacs end in the vicinity of an adjacent undeveloped property capable of being developed in the future, a right-of-way or easement shall be shown on the final plan to enable the street to be extended when the adjoining property is developed.*

Hudson Farm Lane is proposed but there is not yet an established easement connection allowing access to the property. The road shall be extended for future development or a future phase.

*UDO Section D-917A(K)(2) The proposed street layout shall be coordinated with the street system of the surrounding area. Where possible, existing principal streets shall be extended. Street connections shall be designed so as to minimize the number of new cul-de-sacs and to facilitate easy access to and from homes in different part of the tract (and on adjoining parcels).*

Street connections are limited due to one primary gated ingress-egress. Traffic volumes on Providence Road and Rea Road discourage curb-cuts.

*UDO Section D-917(K)(5) Two points of ingress and egress onto an adjoining public road from subdivision containing more than 15 lots is required.*

One main point of ingress/egress is provided on Providence Road. After several revisions a second, 20' emergency access route is shown in CABC (Course Aggregate Base Course). Findings of compliance are questioned.

*UDO Section D-917(K)(6) Developable lots shall be accessed from interior streets, rather than from roads bordering the tract.*

All lots are accessed off a single, internal private street.

*Section D-917A(O)(1)(b) Where the side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required.*

The development includes a 100' roadside buffer both east and south on the two major thoroughfares . However, Sheet 1.2 TREE SAVE AREA ANALYSIS shows portions of this buffer within the LOD (Limits of Disturbance) to accommodate storm drainage on both sides. Staff recommends shifting these drainage easements to Lot 26-Lot 29 as well as Lot 31-Lot 37. Findings of compliance cannot be made re: the 100' buffer.

*UDO Section D-917(P) Any major subdivision shall be required to provide that a minimum of twenty percent of the gross area of the subdivision, exclusive of any required minimum buffers along thoroughfares, consists of common open space.*

This site design provides an additional 12.5% open space on top of the 20% required (32.55% total), including SCM's and streams. Compliance is met. In addition, a neighborhood green and sidewalks are provided on both sides of Grandview Drive, exceeding requirements and providing excess greenspace and amenities typically reserved for Conservation subdivisions.

#### ***UDO Section D-917D, Supplemental Requirements for Certain Uses.***

UDO Section D-917D, establishes supplements requirements for certain uses; however, no uses other than conventional residential apply to this case. As such, this Section is not applicable.

#### ***UDO Section D-918, General Requirements.***

The various provisions set forth in UDO Section D-918, including, but not limited to visibility at intersections, lighting, screening, and landscaping, fences and walls, signs, and off-street parking and loading, as applicable, shall be reviewed for compliance with the submittal of plans for a Construction Permit. Entrance and community park space designs are provided as Sheets L1.1 – Sheet L1.3.1.

## **RELATION TO THE CODE OF ORDINANCES:**

### ***Appendix C, Traffic Impact Analysis.***

Pursuant to Sec. II (A) (1), a Traffic Impact Analysis (TIA) is required for any CZ which is expected to create 50 or more peak hour vehicle trips or 500 or more daily vehicle trips. The proposal was reviewed by The Issacs Group and LaBella Associates using the Trip Generation, 12th Edition, Institute of Transportation Engineers guide and was found to not require a TIA for Single Family Detached Housing. Providence Road's latest iteration was design to accommodate development on this large tract, but NCDOT still recommends a new southbound right turn lane into the main entrance.

## **LAND USE PLAN CONSISTENCY:**

In 2024 the Weddington Town Council adopted the new Comprehensive Land Use Plan, which established new goals and policies. Since then, numerous text amendments have been made to better match the plan. These goals determining appropriateness for any zoning change remain: several are referenced below.

### ***Land Use Goals:***

*Goal 1: New development and redevelopment activities shall be consistent with the Future Land Use Map and categories.*

*Policy: LU 1.1: The following Future Land Use categories, along with their intended uses, densities, and intensities, are hereby established (floor area ratio (FAR) only applies to non-residential uses): Agriculture: This category is intended to accommodate very low-density residential development to retain rural character and agricultural activity. Maximum density: 1 dwelling unit per 1.5 acres.*

The subject property is identified as *Agriculture* (in green) in the 2024 Future Land Use Map (Map 4). This is the least dense density allowance. At 0.49 dwelling units per acre, this meets the intended low density residential development standards having only 1 dwelling unit per every two acres.

*Policy: LU 1.4: Ensure that land uses abutting residential development are compatible with the scale, intensity and overall character of existing and planned neighborhoods.*

Lots are smaller in size, 40,000 sq. ft or greater, to those zoned R-40 Weddington Estates, but much larger than those in Highclere. Density far exceeds the “Weddington Standard” of one acre lots with 0.5 units/ac, a variety of lot sizes up to 63K and a large thoroughfare buffer.

### ***Transportation Goals:***

*Goal 1: Encourage the development of well-designed streets that are safe, connected, and welcoming for all users.*

*Policy: T 1.1: Major thoroughfares and key entryways shall be given the highest priority for beautification efforts and corridor design.*

Providence Road (NC-16) is a significant north-south thoroughfare in Weddington connecting Charlotte to Waxhaw. The 100’ thoroughfare buffer requirement must be upheld without exception and a full landscape plan is recommended. The Rea Road portion of the site consists of less visually appealing, thin evergreen trees and could be supplemented, perhaps as a condition/response to the SDE encroachment, with canopy trees per Section D-917A.(Q).

*Policy: T 1.3: Encourage roads be designed and constructed to provide a high level of safety and comfort for all users (pedestrians, bicyclists and motorists), in a manner consistent with the character of the neighborhood through which the road travels.*

Sidewalks are provided on both sides of the road, connect to a neighborhood gathering place/park, and indicates new sidewalk on the Rea Road thoroughfare as well.

### ***Housing Goals:***

*Goal 2: Maintain the Town’s strong single-family residential character.*

*Policy: H 1.1: Retain the residential character of the community by ensuring that new residential development consists of single-family homes with a maximum density of one (1) dwelling unit per 40,000 sq feet.*

Positive findings of compliance can be made.

**Conservation Goals:**

*Goal 1: Ensure that all new development takes place in a manner that conserves open space and scenic views.*

*Policy: C 1.1: Preserve open space and scenic views through zoning regulations that require open space preservation in both conventional and conservation subdivisions, as well as commercial developments. and minimize the visual impact of development from surrounding properties and roadways.*

Nearly one-third of the 77.9 acres will be preserved as open space, including sensitive lands such as wetland, intermittent streams, a perennial stream, and areas with significant existing tree coverage. A large berm will screen traffic at the Providence and Rea Road intersection.

*Goal: Limit development activities on environmentally sensitive land.*

*Policy: C 3.3: Limit development in designated 100-year floodplains, wetlands and along natural waterways to reduce the risk of significant damage and injury to life and property, as well as preserving the natural areas and habitats.*

The initial Limits of Disturbance is shown on the plan sheet and only encompasses clearing for the road R/W, utility easements, and stormwater measures. Mass-clearing shall not be permitted and the plans when adhered to will not clear private lots until a builder is selected and a Zoning Permit has been obtained.

**Infrastructure Goals:**

*Goal 1: Ensure that all existing and future developments in Weddington are served by adequate water, wastewater, drainage and emergency services.*

*Policy: I 1.1: Require water, wastewater, and drainage system improvements to be constructed concurrent with new development and that they provide adequate capacity to meet demands from existing and new users.*

No septic concerns, as the site shall be serviced by Union County Water and public sewer service. The sewer easement is located on the northwest corner of the site as shown.

Based upon the above, staff provides the following Land Use Plan Consistency Statement for consideration:

While the development proposal can be found to be generally consistent with the adopted Land Use Plan, there are Goals and Policies for which compliance cannot be determined at the present time based upon the level of plans required to be submitted for this phase of development. In addition, while there may also be Goals and Policies for which there may be reason for concern, positive findings can nonetheless be made in support of this development proposal.

The site plan as submitted meets all requirements for cul-de-sac length, lot size, , open space requirements, maximum density, and road standards. Compliance with the two required points of ingress/egress only applies to emergency vehicles and not residents. The thoroughfare buffer is not 100' wide when accounting for tree removal and encroachment of stormwater drainage easements and grading required.

## **RECOMMENDATION:**

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It is the recommendation of staff that the request for Conditional Zoning to allow for the development of a 37-Lot Conventional Subdivision located on the corner of Providence Road and Rea Road, known as Grandview (previously known as Belleview), be recommended for **approval with conditions**.

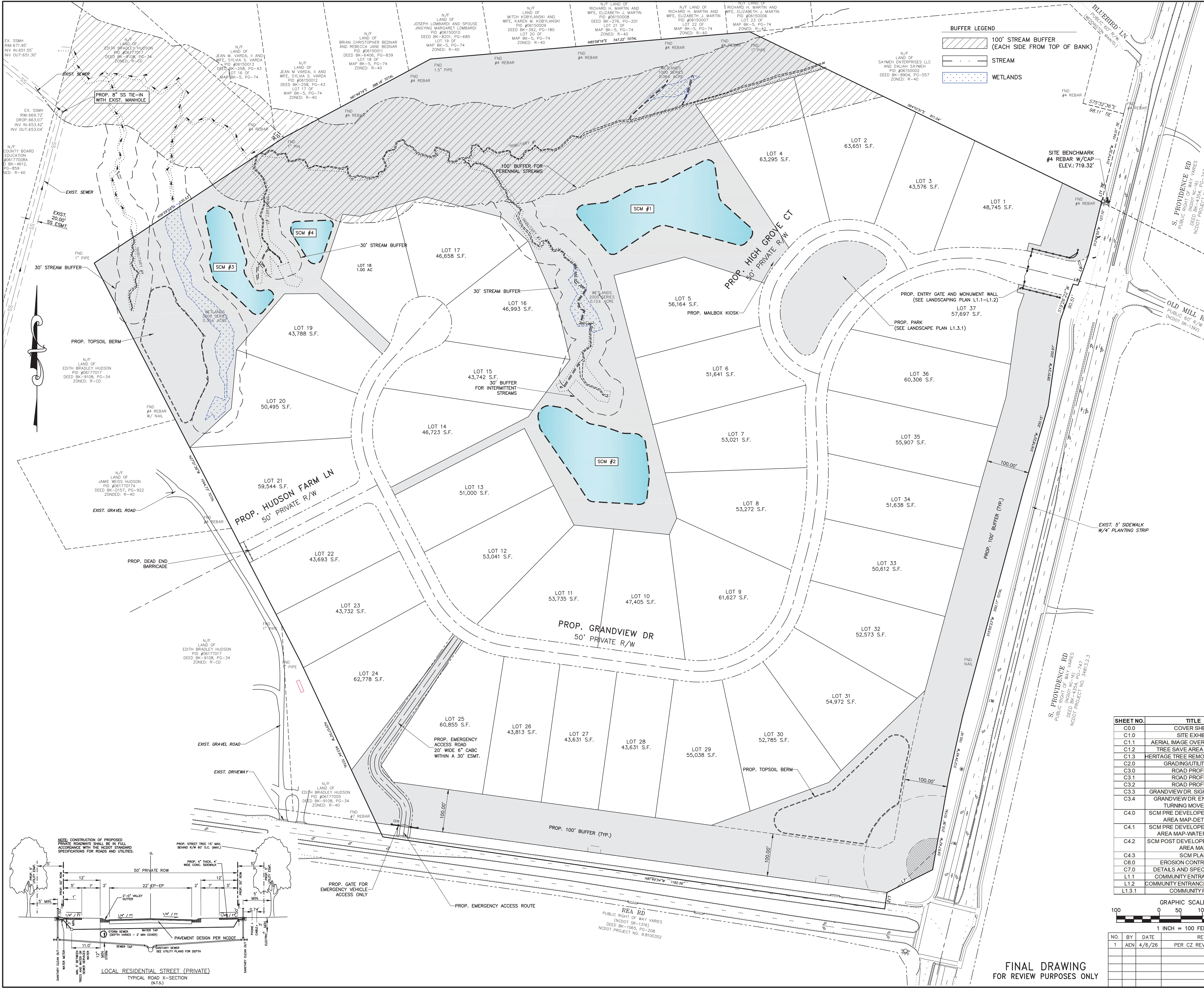
- A Landscape Plan or 3D rendering as viewed from Rea Road be submitted and approved prior to Construction Document approval of the Town, with preference for an exhibit to be provided to the Weddington Town Council prior to the Public Hearing.

-SDE's shown encroaching into the COS 100' BUFFER PER UDO shall not be permitted and plans shall be revised to show full compliance with Section D-917A.(O.)(1.)(b.) due to the location on the most prominent, undeveloped intersection within the Town limits of Weddington.

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### **ATTACHMENTS:**

Application  
Schematic Plan  
Community Meeting Report  
Heritage Tree Report  
Union County Water letter  
North Carolina Department of Natural and Cultural Resources letter  
Union County Public Schools email  
The Issacs Group response letter to Town Engineer  
TIA correspondence  
Appendix 2B. checklist per applicant



**DEVELOPMENT DATA**

ZONING: R-CD "CONVENTIONAL"  
 TOWNSHIP: TOWN OF WEDDINGTON  
 COUNTY: UNION  
 FIRE DISTRICT: WESLEY CHAPEL  
 TAX PARCEL: 06150001  
 TOTAL PROJECT AREA: 76.99 ACRES  
 PROJECTED REA RD R/W DEDICATION: 0.82 ACRES  
 AREA TO DEVELOP: 76.17 ACRES  
 MIN. LOT WIDTH: 120 FT.  
 SETBACK:  
 REAR YARD: 40'  
 SIDE YARD: 15'  
 MIN. LOT AREA REQ'D: 40,000 S.F.  
 MIN. LOT AREA PROVIDED: 43,560 S.F.  
 NUMBER OF LOTS SHOWN: 37 LOTS (CONSTRUCTED IN ONE PHASE)  
 DENSITY: 10% = 7.70 ACRES  
 C.O.S. REQUIRED: 25.05 AC. = 32.55%  
 UTILITIES: PUBLIC WATER AND SEWER  
 WATERSHED: SIX MILE CREEK

**CONTACT INFORMATION**

OWNER/DEVELOPER: SIGNATURE PROPERTIES OF THE CAROLINAS, LLC  
 CONTACT: MEL GRAHAM (mel@graminterprises.com)  
 ADDRESS: PO BOX 78926  
 CHARLOTTE, NC 28271  
 704.996.2071

ENGINEER/SURVEYOR: THE ISAACS GROUP, P.C.  
 CONTACT: BRENT COWAN (bcowan@isaacsgroup.com)  
 ADDRESS: 8720 RED OAK BLVD, STE. 420  
 CHARLOTTE, NC 28217  
 PHONE: 704.227.9402

UTILITY DEPARTMENT: UNION COUNTY WATER  
 500 N. MAIN ST, STE 400  
 MONROE, NC 28112  
 704-296-4210  
 WATER@UNIONCOUNTYNC.COM

TOWNSHIP: TOWN OF WEDDINGTON  
 1924 WEDDINGTON RD  
 WEDDINGTON, NC 28104  
 704-846-2709  
 TOWN PLANNER: GREG GORDOS  
 GORDOS@TOWNOFWEDDINGTON.COM  
 PHONE: 704-846-2709 EXT. 5

**PROJECT FLOW CALCS.**

**SEWER FLOW:**  
 BASED ON REDUCTION RATE OF 190 GPD/HOUSE  
 ESTIMATED SEWER FLOW = 37 SINGLE FAMILY HOMES @ 190 GPD/HOME = 7,030 GPD  
 TO BE TREATED AT SIX MILE WWTP

**WATER FLOW:**  
 3/4" DOMESTIC METERS = 37 (SINGLE FAMILY HOMES)  
 3/4" IRRIGATION METER = 1 PER LOT = 37  
 1" IRRIGATION METER PROVIDED FOR ENTRANCE, COS/MAIL KIOSK, AND CUL-DE-SAC = 3 TOTAL  
 (DOMESTIC) ESTIMATED WATER FLOW = 400 GPD/CONNECTION (PER 18C)(37 CONNECTIONS) = 14,800 GPD  
 (IRRIGATION: LOTS) ESTIMATED WATER FLOW = 200 GPD/METER (37 METERS) = 7,400 GPD  
 (IRRIGATION: ENTRANCE) ESTIMATED WATER FLOW = 0.5 IN 3 DAYS PER WEEK FOR 6 MONTHS  
 COS TO BE IRRIGATED = 1.00 ACRES  
 = 0.5 IN/12 \* 3 DAYS \* 26 WEEKS \* 43,560 S.F. \* 7.48 GAL/C.F./365 DAYS = 2,901 GPD  
 (IRRIGATION: COS/MAIL KIOSK) ESTIMATED WATER FLOW = 0.5 IN 3 DAYS PER WEEK FOR 6 MONTHS  
 COS TO BE IRRIGATED = 1.00 ACRES  
 = 0.5 IN/12 \* 3 DAYS \* 26 WEEKS \* 43,560 S.F. \* 7.48 GAL/C.F./365 DAYS = 2,901 GPD  
 (IRRIGATION: CUL-DE-SAC) ESTIMATED WATER FLOW = 0.5 IN 3 DAYS PER WEEK FOR 6 MONTHS  
 COS TO BE IRRIGATED = 0.25 ACRES  
 = 0.5 IN/12 \* 3 DAYS \* 26 WEEKS \* 10,890 S.F. \* 7.48 GAL/C.F./365 DAYS = 725 GPD  
 TOTAL ESTIMATED WATER DEMAND = 14,800 GPD + 7,400 GPD + 2,901 GPD + 2,901 GPD + 725 GPD = 28,727 GPD

**TIA AND TRIP GENERATION SUMMARY:**  
 LAND USE [ITE CODE] 37-SINGLE-FAMILY (DETACHED) HOUSING [210]:

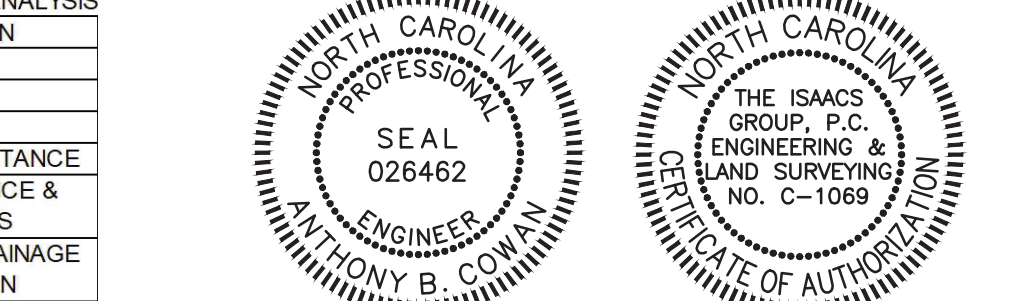
- DAILY - 336
- AM PEAK - 7 ENTER + 19 EXIT = 26 TOTAL TRIPS
- PM PEAK - 21 ENTER + 13 EXIT = 34 TOTAL TRIPS

SINCE DAILY TRIP COUNT IS LESS THAN 500 AND PEAK HOURLY TRIP COUNT IS LESS THAN 50, A TRAFFIC IMPACT ANALYSIS IS NOT WARRANTED PER APPENDIX C.

**SURVEY:**  
 BOUNDARY SHOWN BASED ON SURVEY COMPLETED BY THE ISAACS GROUP

**LOCAL RESIDENTIAL STREET (PRIVATE) TYPICAL ROAD X-SECTION (N.T.S.)**

SHEET NO.	TITLE
C0.0	COVER SHEET
C1.0	SITE EXHIBIT
C1.1	AERIAL IMAGE OVERLAY EXHIBIT
C1.2	TREE SAVE AREA ANALYSIS
C1.3	HERITAGE TREE REMOVAL ANALYSIS
C2.0	GRADING/UTILITY PLAN
C3.0	ROAD PROFILES
C3.1	ROAD PROFILES
C3.2	ROAD PROFILES
C3.3	GRANDVIEW DR. SIGHT DISTANCE
C3.4	GRANDVIEW DR. ENTRANCE & TURNING MOVEMENTS
C4.0	SCM PRE DEVELOPED DRAINAGE AREA MAP-DETENTION
C4.1	SCM PRE DEVELOPED DRAINAGE AREA MAP-WATER QUALITY
C4.2	SCM POST DEVELOPED DRAINAGE AREA MAP
C4.3	SCM PLAN
C6.0	EROSION CONTROL PLAN
C7.0	DETAILS AND SPECIFICATIONS
L1.1	COMMUNITY ENTRANCE PLAN
L1.2	COMMUNITY ENTRANCE ELEVATIONS
L1.3	COMMUNITY PARK



Digitally signed by Anthony B. Cowan, P.E.  
 Date: 2026.04.07 13:35:14-04'00'

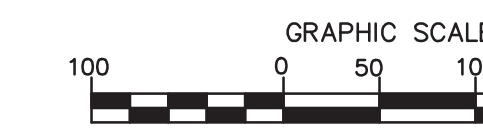
**Project: GRANDVIEW SUBDIVISION**  
 TOWN OF WEDDINGTON, NORTH CAROLINA

**COVER SHEET**

File #25137-5-SPDW Date: 2/23/26 Project Egn: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 100'

8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

**C0.0**



NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

FINAL DRAWING FOR REVIEW PURPOSES ONLY

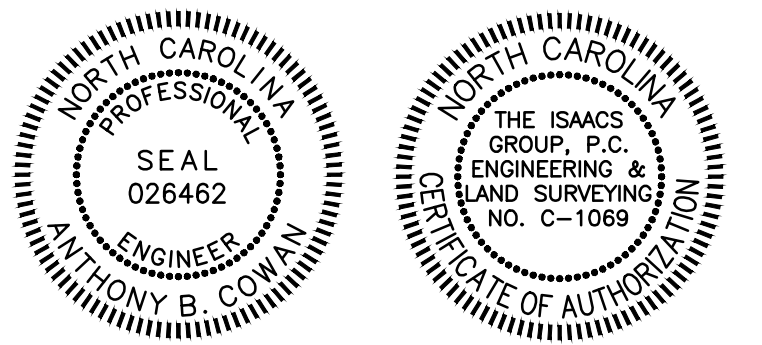




- BUFFER LEGEND**
- 100' WATERSHED BUFFER (EACH SIDE FROM STREAM TOB)
  - STREAM
  - WETLANDS
- LEGEND**
- LIMITS OF DISTURBANCE
  - PROPOSED SILT FENCE (STD. C7.5)
  - PROPOSED ORANGE TREE PROTECTION

**TREE SAVE AND LANDSCAPE NOTES:**

- PER UDO 9.17.A.Q.2.D, EACH LOT THAT IS ONE ACRE OR MORE IN AREA SHALL HAVE A MINIMUM OF SIX CANOPY TREES. AT LEAST TWO TREES SHALL BE LOCATED WITHIN THE FRONT YARD AND BACK YARD OF EACH LOT. REQUIRED STREET TREES MAY BE COUNTED TOWARDS THE FULFILLMENT OF THIS REQUIREMENT. EXISTING CANOPY TREES, OUTSIDE REQUIRED ZONING SETBACKS THAT ARE 8-INCHES DBH OR LARGER DIAMETER, MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT IF THEY ARE PROPERLY PRESERVED DURING CONSTRUCTION BY INSTALLING TREE FENCE AROUND THE CRZ. ALL CANOPY SHADE TREES PLANTED WITHIN THE LOT MUST BE SPACED TO ACCOMMODATE MATURE GROWTH. NEW TREE PLANTING FOR EACH SINGLE-FAMILY LOT SHALL BE DONE ON A LOT-BY-LOT BASIS, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR EACH LOT.
- REFERENCE TREE SURVEY DATED FEBRUARY 17, 2026 PREPARED BY BIOLOGIST LISA GAFFNEY WITH WETLAND AND ENVIRONMENTAL PLANNING GROUP THAT IDENTIFIES HERITAGE TREES THROUGHOUT THE DEVELOPMENT.



**FINAL DRAWING**  
FOR REVIEW PURPOSES ONLY

GRAPHIC SCALE  
0 50 100 200  
1 INCH = 100 FEET

NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: **GRANDVIEW SUBDIVISION**  
TOWN OF WEDDINGTON, NORTH CAROLINA

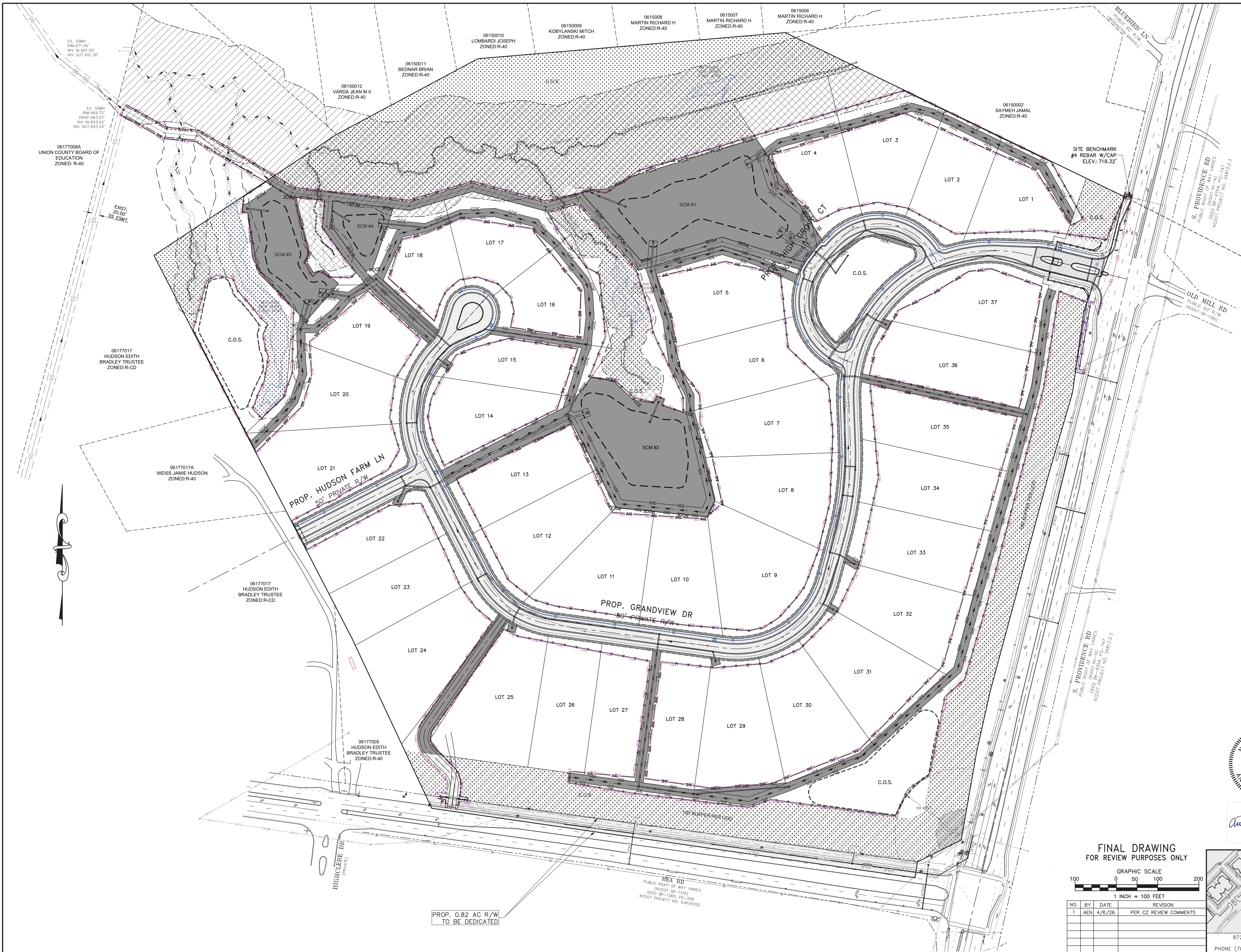
Title: **AERIAL IMAGE OVERLAY EXHIBIT**

File #25137-5-15DWG Date: 2/23/26 Project Egr: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 100'

**THE ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C1.1**



**NON-BUILDABLE AREAS LEGEND:**

- REQUIRED ZONING SETBACKS = 6.50 ACRES
- PROP. STREET R/W = 5.81 ACRES
- PROP. UTILITY AND DRAINAGE ESMTS. = 10.70 ACRES
- EXIST. PONDS, STREAMS AND THEIR BUFFERS = 8.76 ACRES

NON-BUILDABLE AREA TOTAL = 31.77 ACRES

**TREE SAVE CALCULATIONS:**

TOTAL SITE AREA = 76.99 ACRES

BUILDABLE AREA CALCULATION:  
76.99 AC. - 31.77 AC. = 45.22 AC.

TREE CANOPY CALCULATION:  
45.22 AC. / 76.99 AC. X 100% = 58.73%

SINCE OVER 40% TREE CANOPY IN BUILDABLE AREA  
MIN. 30% OF BUILDABLE CONTIGUOUS TREE SAVE REQ'D:  
45.22 AC. X 30% = 13.57 AC. (MIN.)

CONTIGUOUS TREE SAVE AREA:  
= 14.60 ACRES

**BUFFER LEGEND**

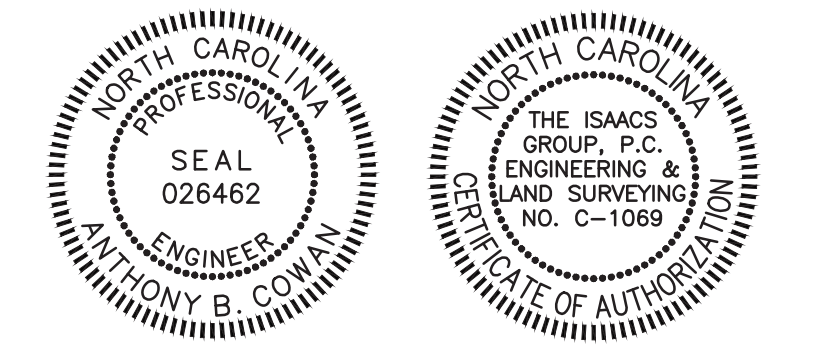
- 100' WATERSHED BUFFER (EACH SIDE FROM STREAM TOB)
- STREAM
- WETLANDS

**LEGEND**

- LOD - LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE (STD. C7.5)
- TPF - PROPOSED ORANGE TREE PROTECTION

**TREE SAVE AND LANDSCAPE NOTES:**

- PER UDO 9.17.A.0.2.D, EACH LOT THAT IS ONE ACRE OR MORE IN AREA SHALL HAVE A MINIMUM OF SIX CANOPY TREES. AT LEAST TWO TREES SHALL BE LOCATED WITHIN THE FRONT YARD AND BACK YARD OF EACH LOT. REQUIRED STREET TREES MAY BE COUNTED TOWARDS THE FULFILLMENT OF THIS REQUIREMENT. EXISTING CANOPY TREES, OUTSIDE REQUIRED ZONING SETBACKS THAT ARE 8-INCHES DBH OR LARGER DIAMETER, MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT IF THEY ARE PROPERLY PRESERVED DURING CONSTRUCTION BY INSTALLING TREE FENCE AROUND THE CRZ. ALL CANOPY SHADE TREES PLANTED WITHIN THE LOT MUST BE SPACED TO ACCOMMODATE MATURE GROWTH. NEW TREE PLANTING FOR EACH SINGLE-FAMILY LOT SHALL BE DONE ON A LOT-BY-LOT BASIS, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR EACH LOT.
- REFERENCE TREE SURVEY DATED FEBRUARY 17, 2026 PREPARED BY BIOLOGIST LISA GAFFNEY WITH WETLAND AND ENVIRONMENTAL PLANNING GROUP THAT IDENTIFIES HERITAGE TREES THROUGHOUT THE DEVELOPMENT.



Digitally signed by Anthony B. Cowan, P.E.  
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13:36:09-04'00'

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GRAPHIC SCALE  
0 50 100 200  
1 INCH = 100 FEET

NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: GRANDVIEW SUBDIVISION  
TOWN OF WEDDINGTON, NORTH CAROLINA

Title: TREE SAVE AREA ANALYSIS

File #25137-5-15DWG Date: 2/23/26 Project Egr: ABC  
Design By: ABC  
Drawn By: AEN  
Scale: 1" = 100'

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C1.2**

PROP. 0.82 AC R/W TO BE DEDICATED

MEA RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1316)  
DEED BK-1085, PG-208  
NGDOT PROJECT NO. 9-010352

S. PROVIDENCE RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1061)  
DEED BK-747, PG-747  
NGDOT PROJECT NO. 34813.3

S. PROVIDENCE RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1061)  
DEED BK-747, PG-747  
NGDOT PROJECT NO. 34813.3

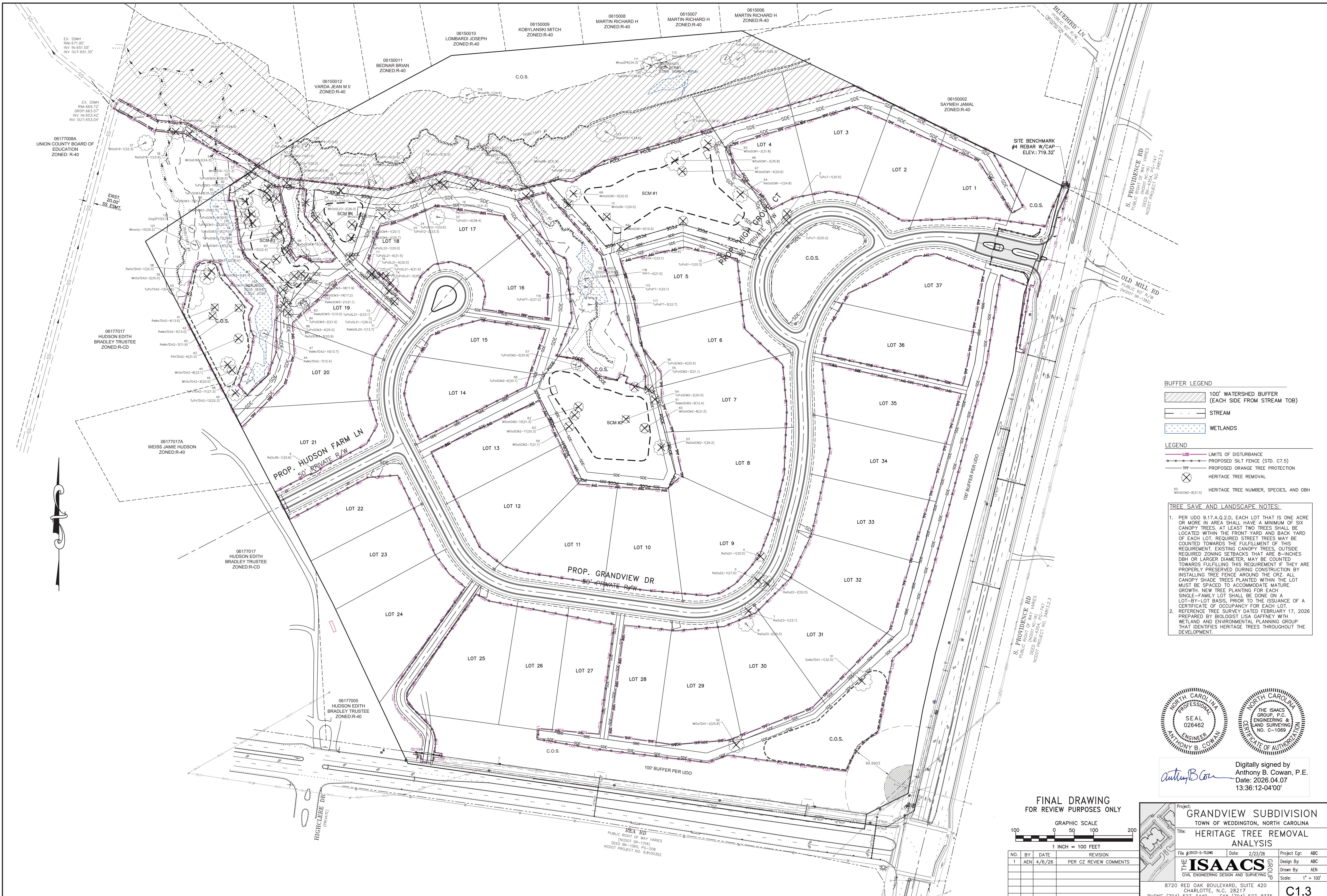
OLD MILL RD  
(INDOT SR-1392)

S. PROVIDENCE RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1061)  
DEED BK-747, PG-747  
NGDOT PROJECT NO. 34813.3

S. PROVIDENCE RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1061)  
DEED BK-747, PG-747  
NGDOT PROJECT NO. 34813.3

MEADE RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1316)  
DEED BK-1085, PG-208  
NGDOT PROJECT NO. 9-010352

MEADE RD  
PUBLIC RIGHT OF WAY VARIES  
(INDOT SR-1316)  
DEED BK-1085, PG-208  
NGDOT PROJECT NO. 9-010352



**BUFFER LEGEND**

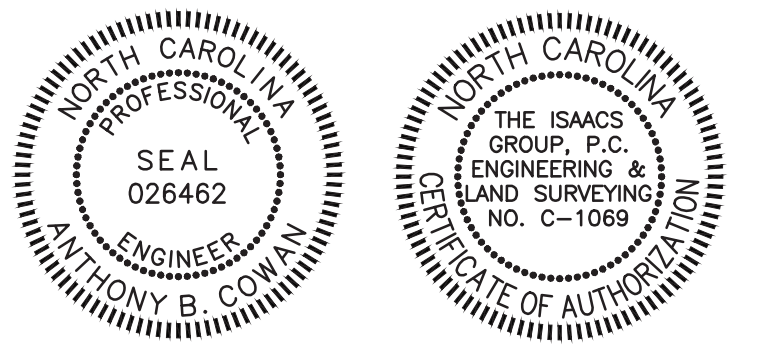
- 100' WATERSHED BUFFER (EACH SIDE FROM STREAM TOB)
- STREAM
- WETLANDS

**LEGEND**

- LOD - LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE (STD. C7.5)
- PROPOSED ORANGE TREE PROTECTION
- HERITAGE TREE REMOVAL
- HERITAGE TREE NUMBER, SPECIES, AND DBH

**TREE SAVE AND LANDSCAPE NOTES:**

- PER UDO 9.17.A.Q.2.D, EACH LOT THAT IS ONE ACRE OR MORE IN AREA SHALL HAVE A MINIMUM OF SIX CANOPY TREES. AT LEAST TWO TREES SHALL BE LOCATED WITHIN THE FRONT YARD AND BACK YARD OF EACH LOT. REQUIRED STREET TREES MAY BE COUNTED TOWARDS THE FULFILLMENT OF THIS REQUIREMENT. EXISTING CANOPY TREES, OUTSIDE REQUIRED ZONING SETBACKS THAT ARE 8-INCHES DBH OR LARGER DIAMETER, MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT IF THEY ARE PROPERLY PRESERVED DURING CONSTRUCTION BY INSTALLING TREE FENCE AROUND THE CRZ. ALL CANOPY SHADE TREES PLANTED WITHIN THE LOT MUST BE SPACED TO ACCOMMODATE MATURE GROWTH. NEW TREE PLANTING FOR EACH SINGLE-FAMILY LOT SHALL BE DONE ON A LOT-BY-LOT BASIS, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR EACH LOT.
- REFERENCE TREE SURVEY DATED FEBRUARY 17, 2026 PREPARED BY BIOLOGIST LISA GAFFNEY WITH WETLAND AND ENVIRONMENTAL PLANNING GROUP THAT IDENTIFIES HERITAGE TREES THROUGHOUT THE DEVELOPMENT.



Digitally signed by Anthony B. Cowan, P.E.  
Date: 2026.04.07  
13:36:12-04'00'

**FINAL DRAWING FOR REVIEW PURPOSES ONLY**

GRAPHIC SCALE  
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1 INCH = 100 FEET

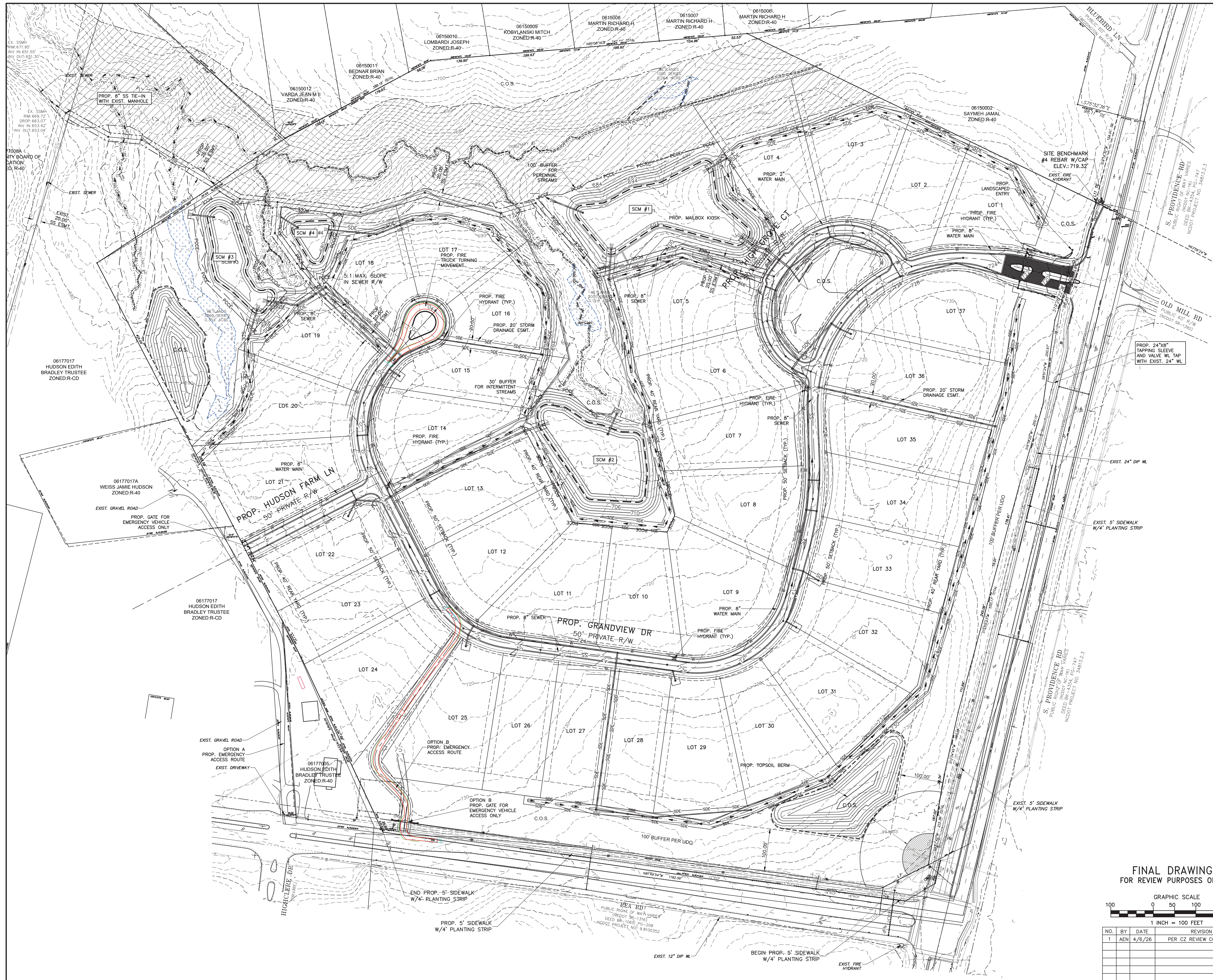
NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

**Project:** GRANDVIEW SUBDIVISION  
**Title:** TOWN OF WEDDINGTON, NORTH CAROLINA HERITAGE TREE REMOVAL ANALYSIS

File #25137-5-15DWG Date: 2/23/26 Project Egr: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 100'

8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

**C1.3**



### UTILITY LEGEND

- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND FIBER OPTIC
- EXISTING GAS LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER METER
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER LATERAL
- PROPOSED FORCE MAIN PIPE
- PROPOSED STREET TREES
- PROPOSED STORM DRAIN PIPE
- PROPOSED STORM DRAIN STRUCTURE
- PROPOSED FIRE HYDRANT

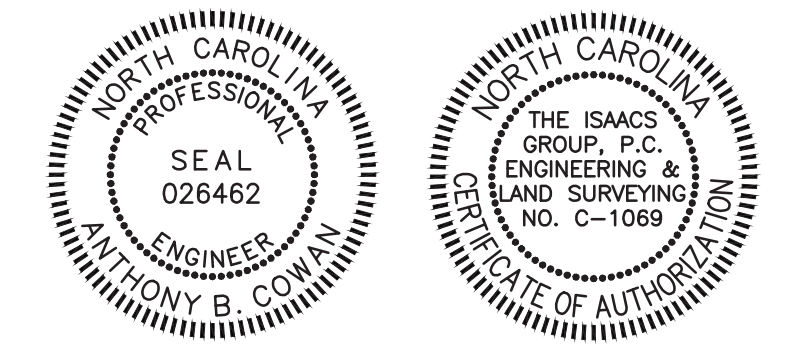
### GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING CATCH BASIN
- EXISTING GAS LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED CATCH BASIN
- PROPOSED GRASS SWALE SLOPED AT 2.0% (MIN.) (SEE SWALE TYPE DETAILS SHT. C7.0)
- RCP
- PROPOSED NATURE TRAIL
- SDE
- PCE
- STREET LIGHT

### BUFFER LEGEND

- 100' STREAM BUFFER (EACH SIDE FROM TOP OF BANK)
- STREAM
- WETLANDS

- ### STORM DRAINAGE MATERIAL SPECIFICATIONS:
- STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. POLYPROPYLENE PIPE (ADS HP STORM OR APPROVED EQUAL) MAY BE USED IN LIEU OF RCP WITH CITY INSPECTOR AND/OR ENGINEER'S APPROVAL.
  - BEDDING AND BACKFILL FOR STORM DRAIN PIPE SHALL BE IN STRICT ACCORDANCE WITH NCDOT AND MANUFACTURER'S STANDARDS AND SPECIFICATIONS.
  - STORM DRAIN STRUCTURES SHALL BE IN ACCORDANCE WITH NCDOT AND TOWN OF WEDDINGTON STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - ALL STORM DRAIN PIPES SHALL HAVE 2.0' MINIMUM COVER BELOW SUBGRADE.
  - THE CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR PURCHASING MATERIALS.
  - FOR ALL PIPES IN PRIVATELY MAINTAINED ROADWAYS, NCDOT SPECIFICATIONS AND STD. 300.01 REQUIRE 2.0 FEET MIN. FILL HEIGHT (MEASURED FROM TOP OF PIPE TO THE BOTTOM OF PAVEMENT STRUCTURE) FOR CLASS III RCP. LESS THAN 2.0 FEET OF FILL HEIGHT IN PAVED AREAS SHALL REQUIRE CLASS IV RCP. MINIMUM FILL HEIGHT FOR CLASS IV RCP IS 1.0 FOOT.



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13:36:15-04'00'

**FINAL DRAWING**  
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GRAPHIC SCALE  
0 50 100 200  
1 INCH = 100 FEET

NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: **GRANDVIEW SUBDIVISION**  
TOWN OF WEDDINGTON, NORTH CAROLINA

Title: **GRADING/UTILITY PLAN**

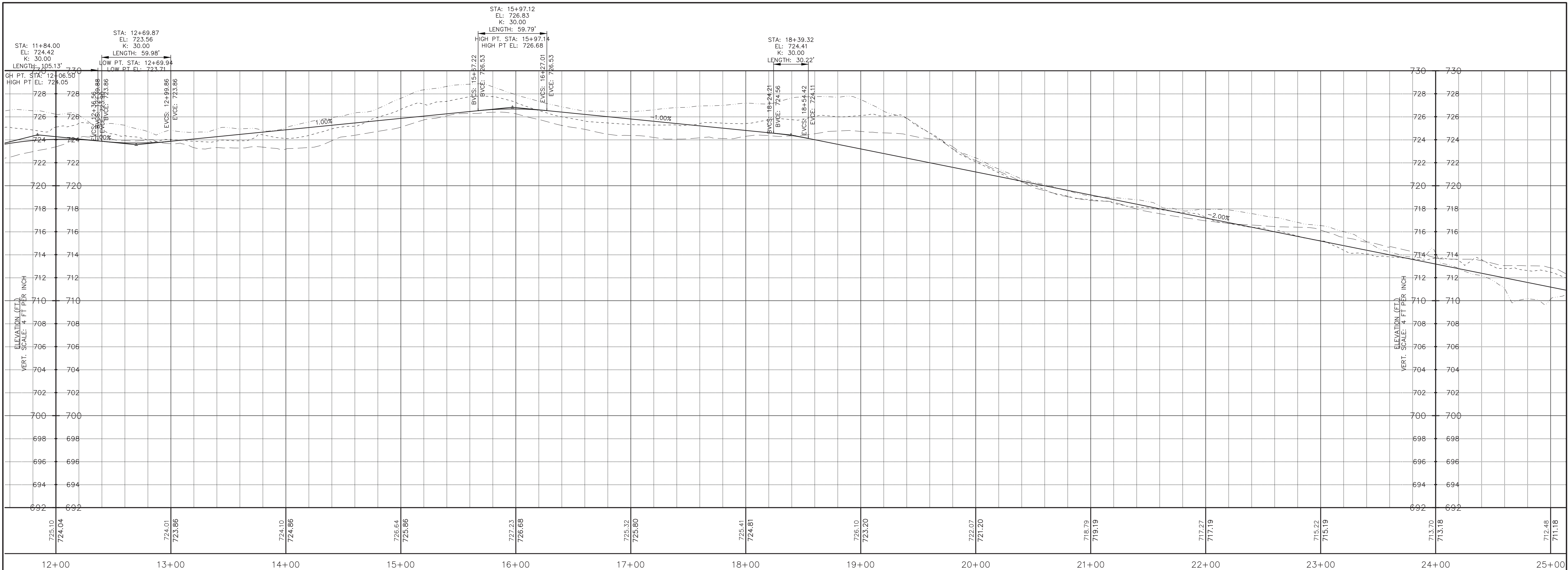
File #25137-5-UDWG Date: 2/23/26 Project Egn: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 100'

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
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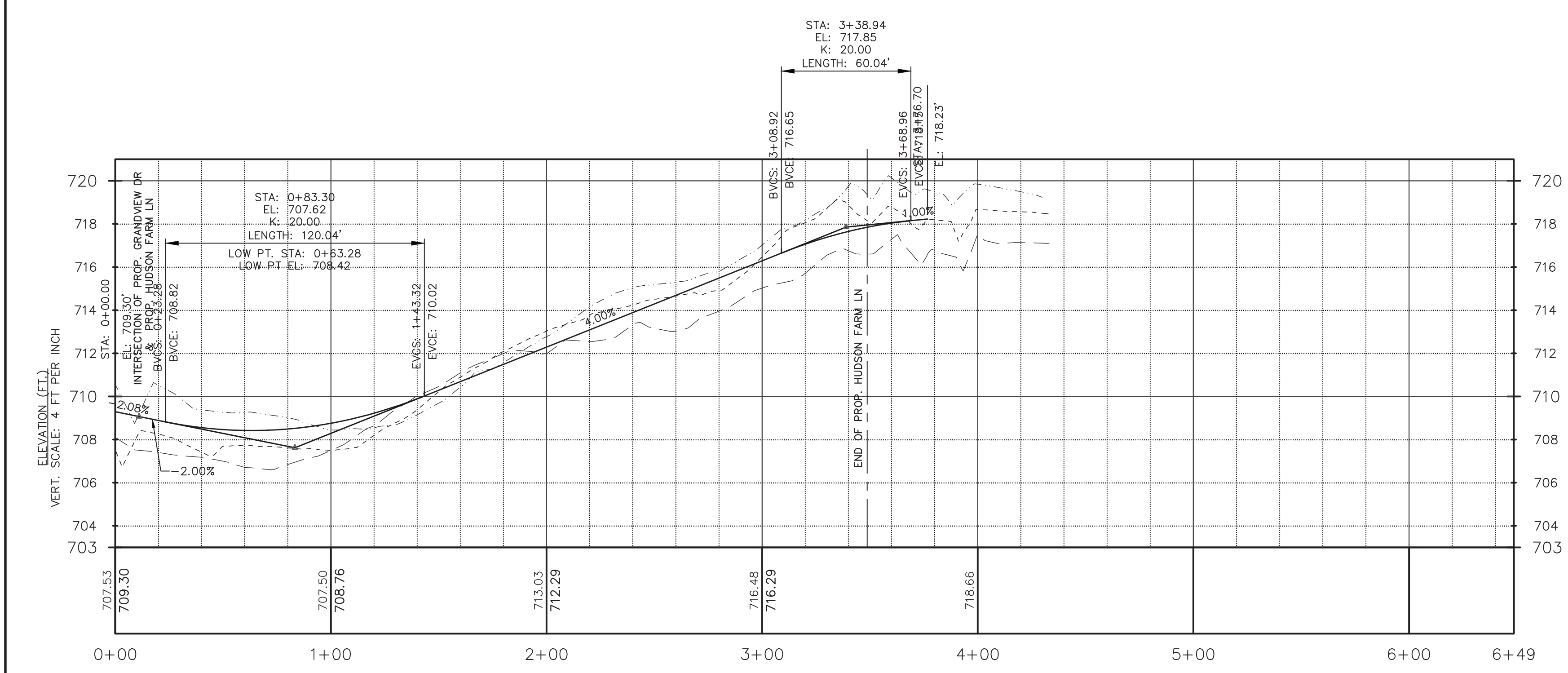
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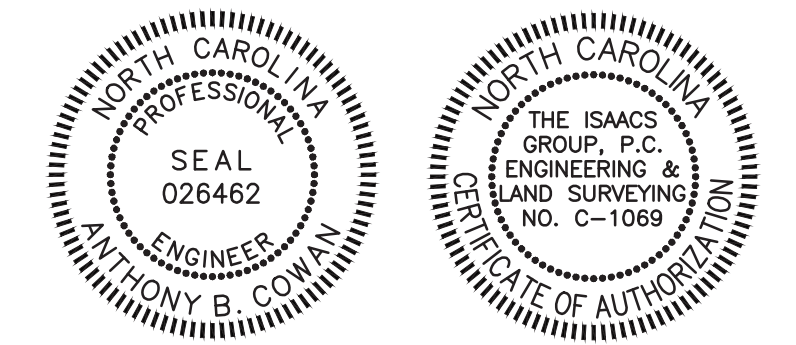
GRANDVIEW DR PROFILE GRANDVIEW DR PROFILE

HORIZ. SCALE: 1" = 40'  
 ----- EXISTING GROUND AT C/L  
 - - - - - PROPOSED PROFILE AT C/L  
 ..... EXISTING GROUND 35' LEFT OF C/L  
 ..... EXISTING GROUND 35' RIGHT OF C/L



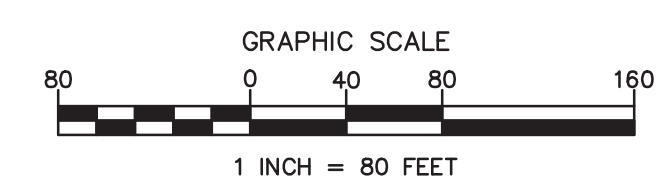
HUDSON FARM LN PROFILE

HORIZ. SCALE: 1" = 40'  
 ----- EXISTING GROUND AT C/L  
 - - - - - PROPOSED PROFILE AT C/L  
 ..... EXISTING GROUND 35' LEFT OF C/L  
 ..... EXISTING GROUND 35' RIGHT OF C/L



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 Date: 2026.04.07 13:36:21-04'00'

FINAL DRAWING FOR REVIEW PURPOSES ONLY

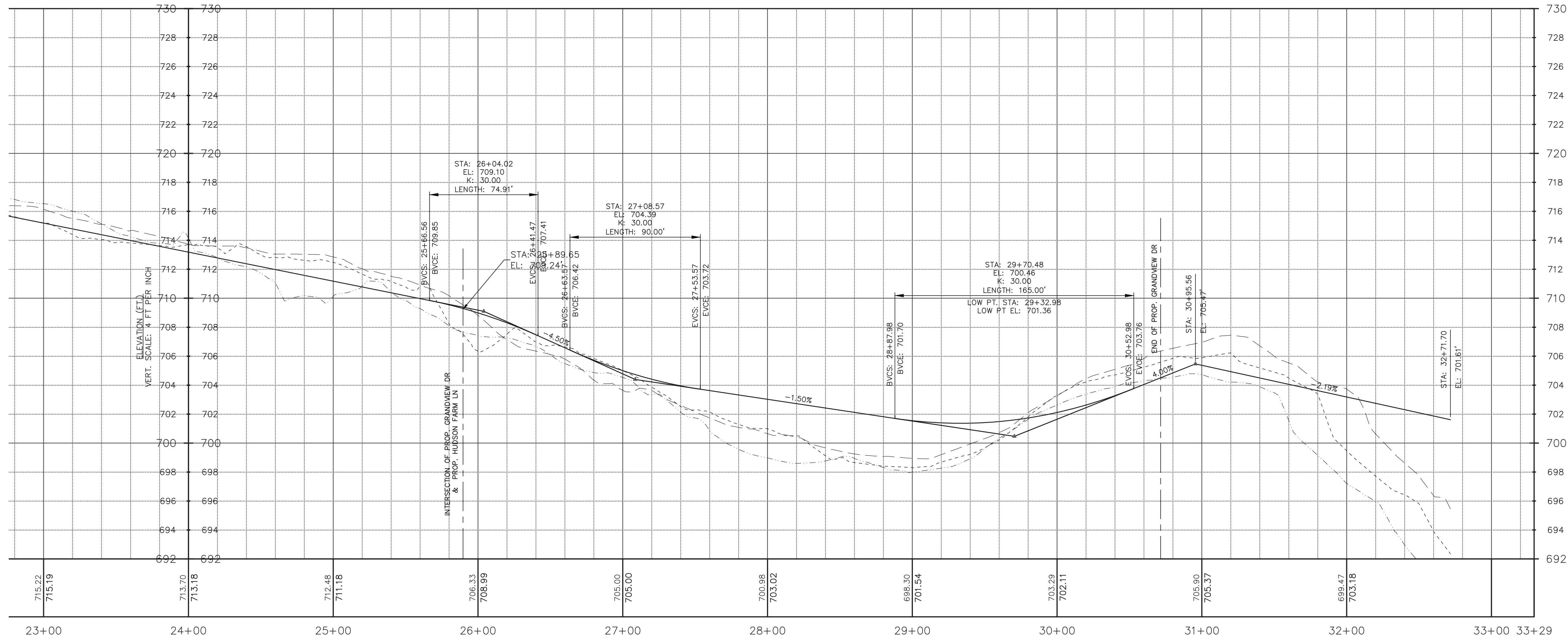


NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: GRANDVIEW SUBDIVISION  
 TOWN OF WEDDINGTON, NORTH CAROLINA  
 Title: ROAD PROFILE  
 (PROP. GRANDVIEW DR 12+00-24+00)  
 (PROP. HUDSON FARM LN 0+00-3+49)  
 File #25137-5-RD-ING Date: 2/23/26 Project Egr: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 40'

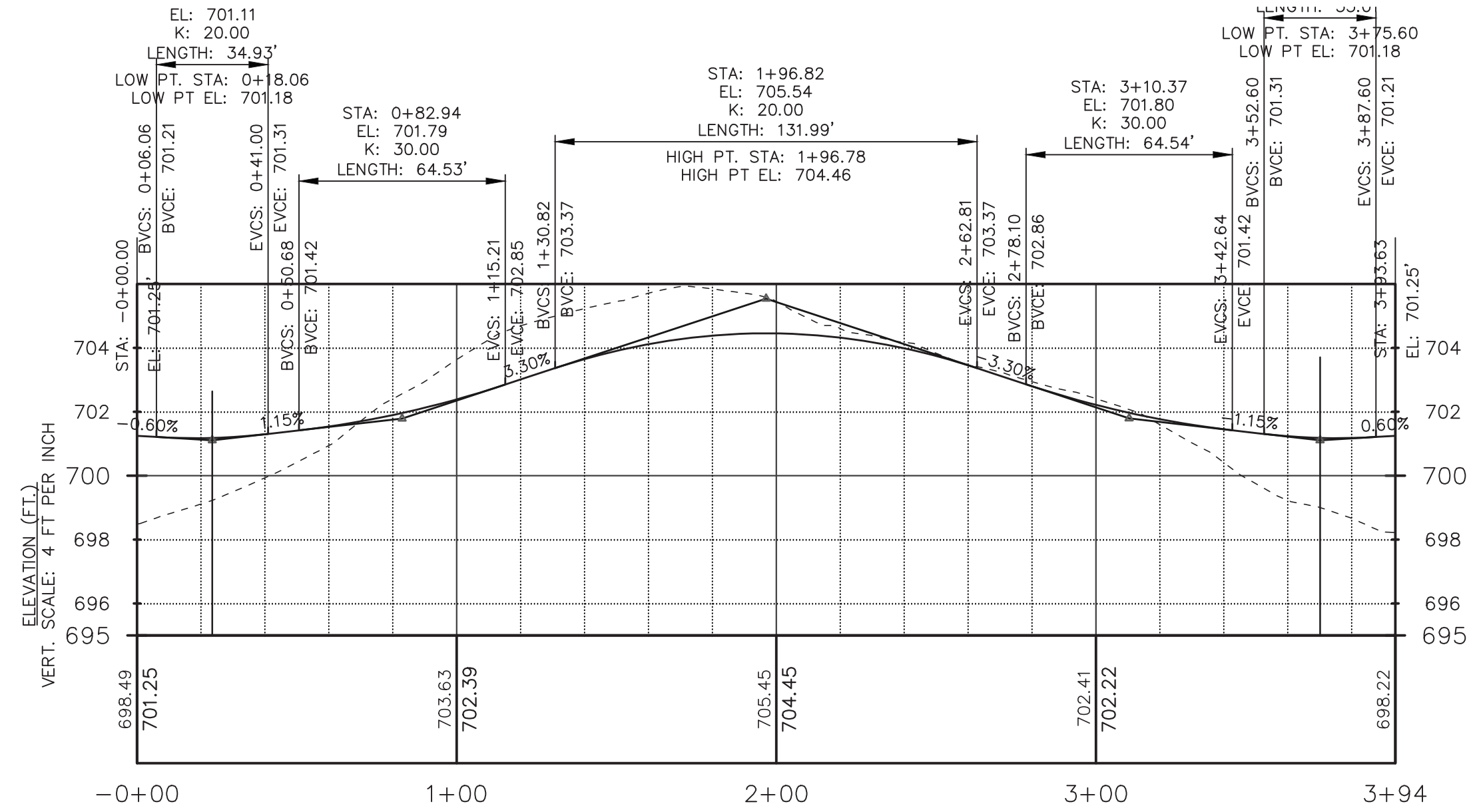
8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

**C3.1**



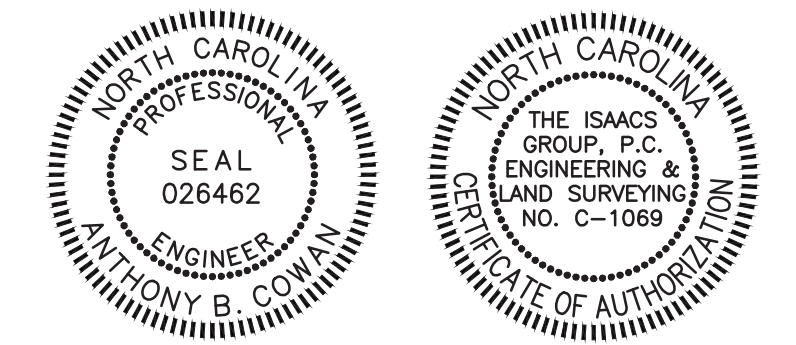
**GRANDVIEW DR PROFILE**

HORIZ. SCALE: 1" = 40'  
 EXISTING GROUND AT C/L -----  
 PROPOSED PROFILE AT C/L -----  
 EXISTING GROUND 35' LEFT OF CL -----  
 EXISTING GROUND 35' RIGHT OF CL -----



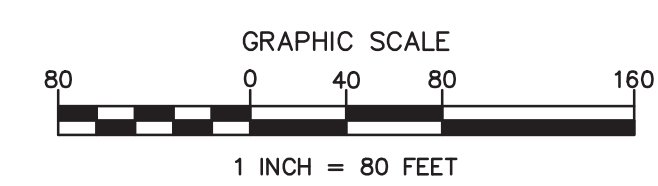
**GRANDVIEW DR CUL DE SAC PROFILE**

HORIZ. SCALE: 1" = 40'  
 EXISTING GROUND AT C/L -----  
 PROPOSED PROFILE AT C/L -----  
 EXISTING GROUND 35' LEFT OF CL -----  
 EXISTING GROUND 35' RIGHT OF CL -----



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 Date: 2026.04.07 13:36:24-04'00'

**FINAL DRAWING**  
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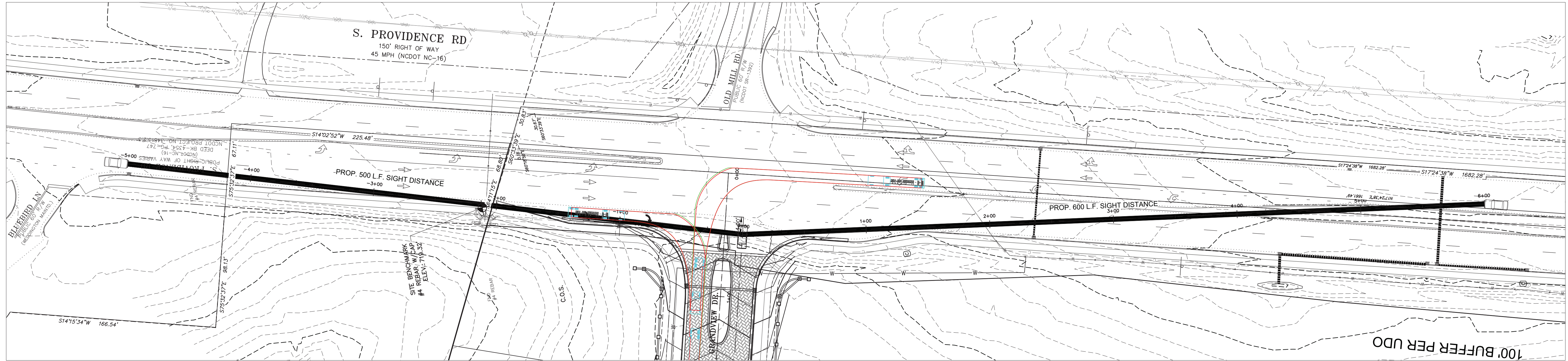


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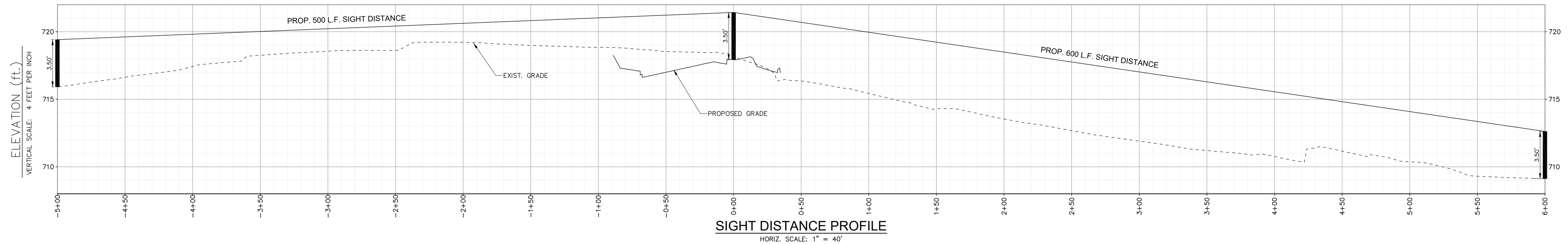
Project: **GRANDVIEW SUBDIVISION**  
 TOWN OF WEDDINGTON, NORTH CAROLINA  
 Title: **ROAD PROFILE**  
 (PROP. GRANDVIEW DR 24+00-30+72)  
 (PROP. GRANDVIEW DR CUL DE SAC CURB)  
 File #25137-5-RD.DWG Date: 2/23/26 Project Egr: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 40'

**ISAACS GROUP**  
 CIVIL ENGINEERING DESIGN AND SURVEYING  
 8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

**C3.2**



PROVIDENCE ROAD SIGHT DISTANCE  
SCALE: 1" = 40'



SIGHT DISTANCE PROFILE  
HORIZ. SCALE: 1" = 40'



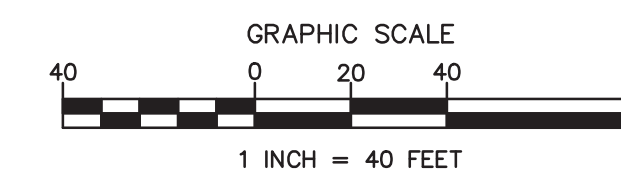
Know what's below.  
Call before you dig.

THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.

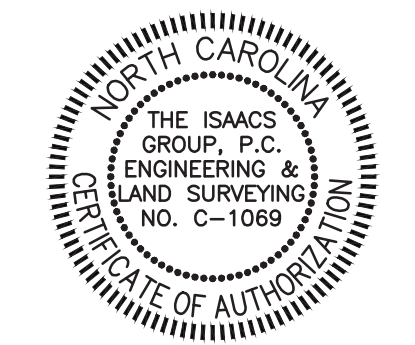
**SIGHT DISTANCE NOTE:**

OWNER IS RESPONSIBLE TO REMOVE EXISTING TREES/OBSTRUCTIONS LOCATED WITHIN SIGHT LINE. PERMISSION FROM ADJACENT PROPERTY OWNER IS REQUIRED PRIOR TO TREE/OBSTRUCTIONS REMOVAL FROM ADJACENT PROPERTY. IF TREES ARE ONLY TRIMMED AND NOT FULLY REMOVED AN EASEMENT WILL BE REQUIRED IN ORDER TO MAINTAIN CLEAR SIGHT DISTANCE.

FINAL DRAWING  
FOR REVIEW PURPOSES ONLY



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13:36:27-04'00'

Project: GRANDVIEW SUBDIVISION  
TOWN OF WEDDINGTON, NORTH CAROLINA

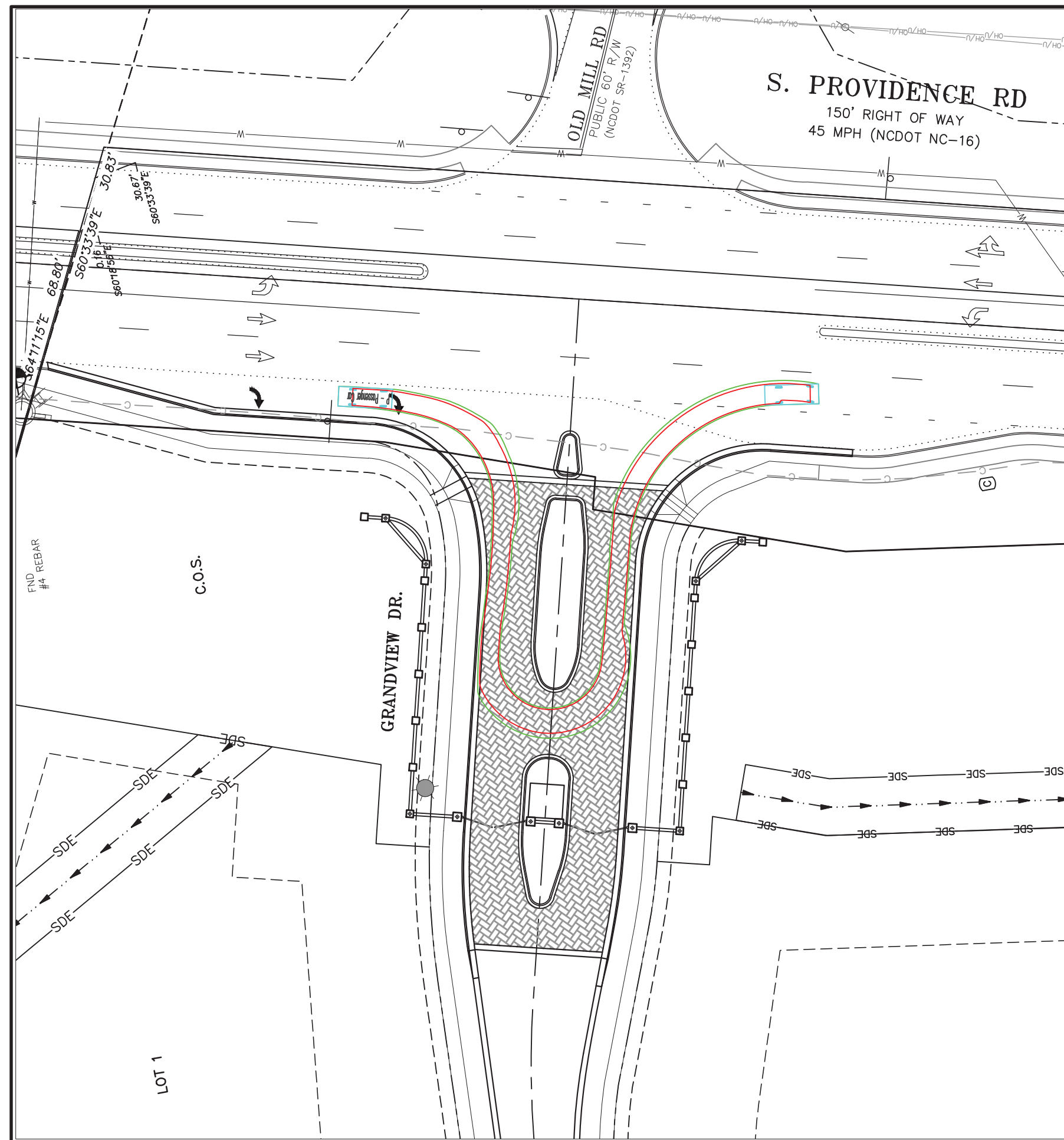
Title: GRANDVIEW DR. SIGHT DISTANCE

File #25137-S-RD-000 Date: 2/23/26 Project Egr: ABC

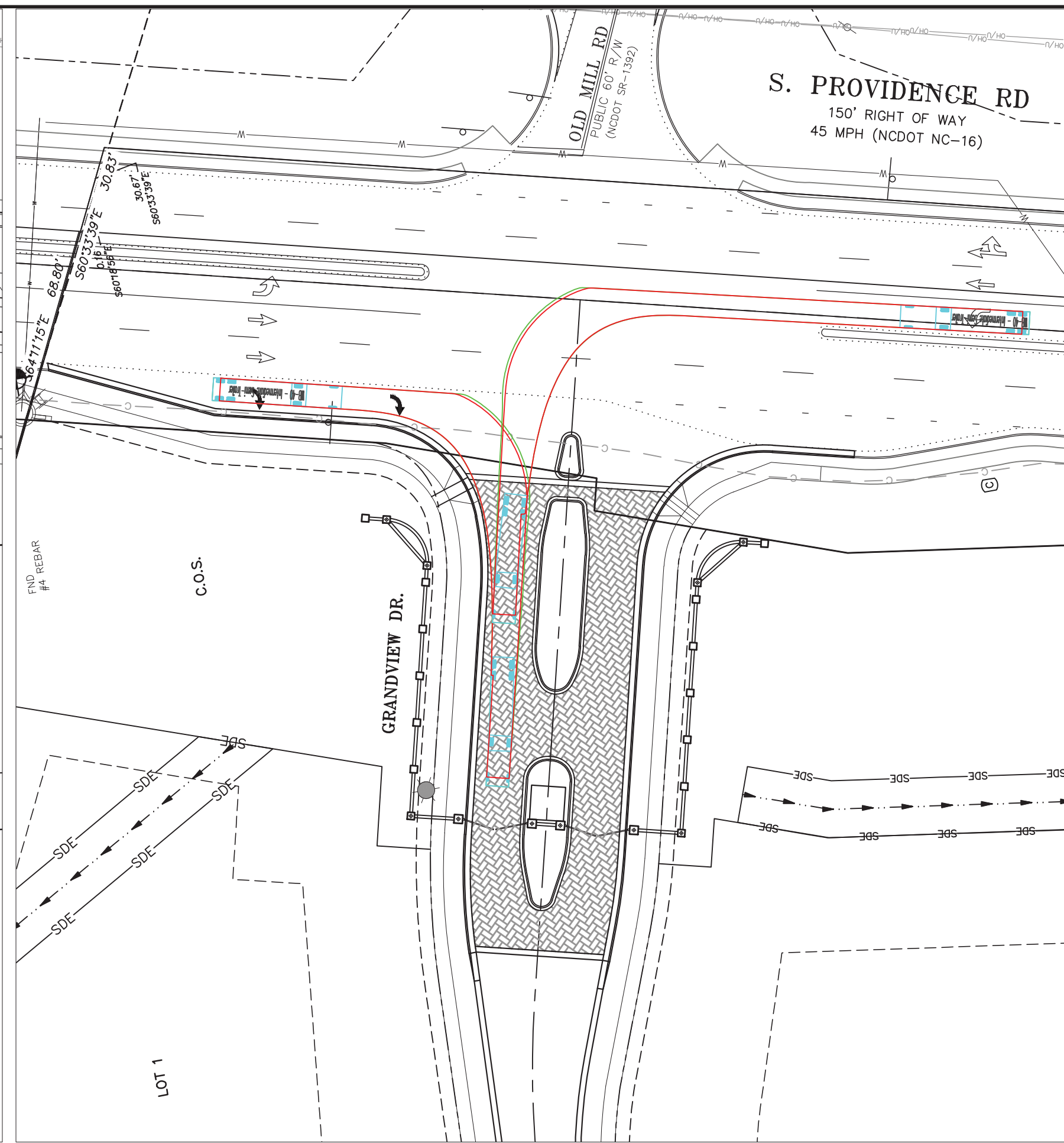
**ISAACS GROUP, P.C.**  
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8720 RED OAK BOULEVARD, SUITE 420  
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Design By: ABC  
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Scale: 1" = 40'

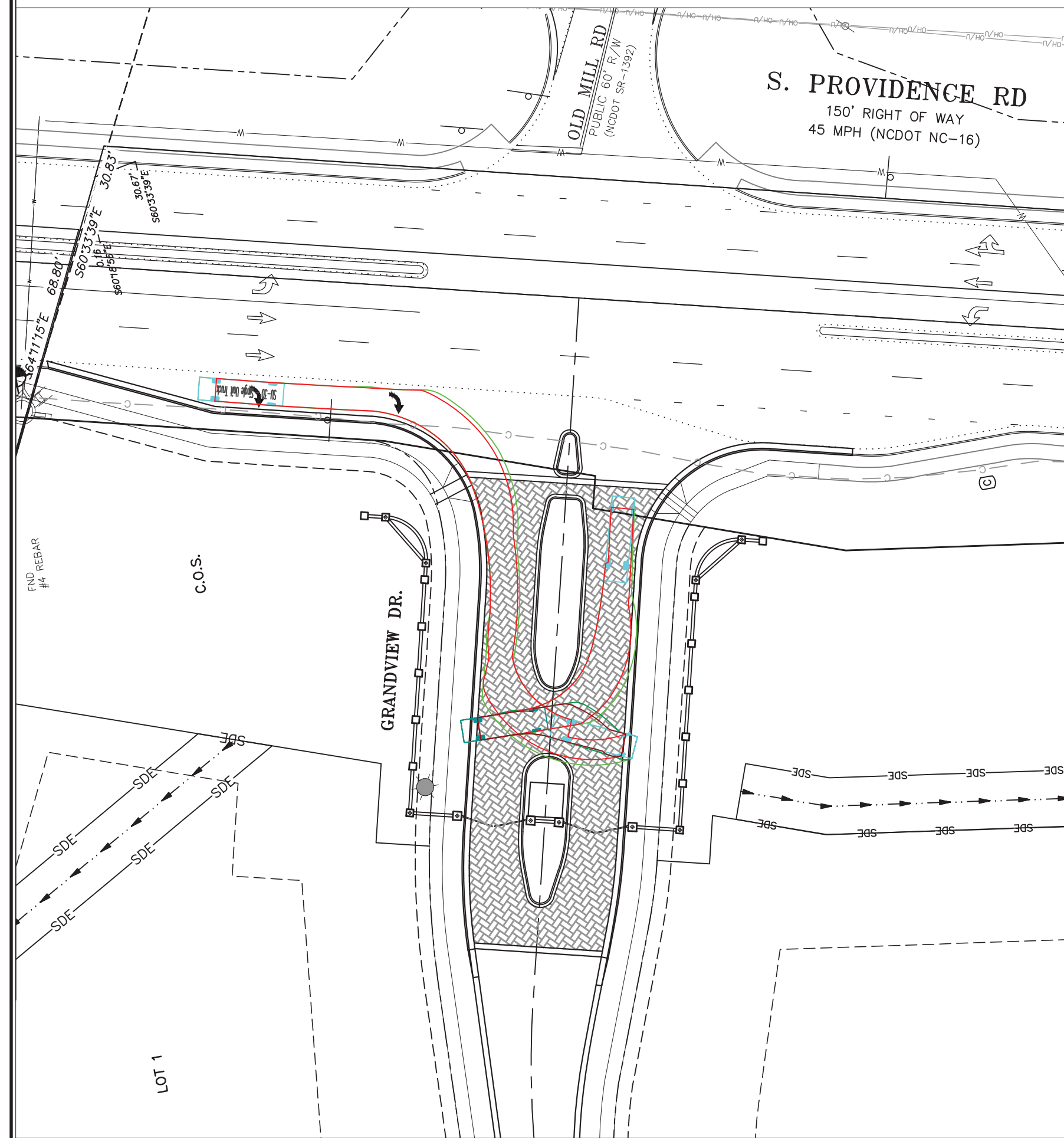
**C3.3**



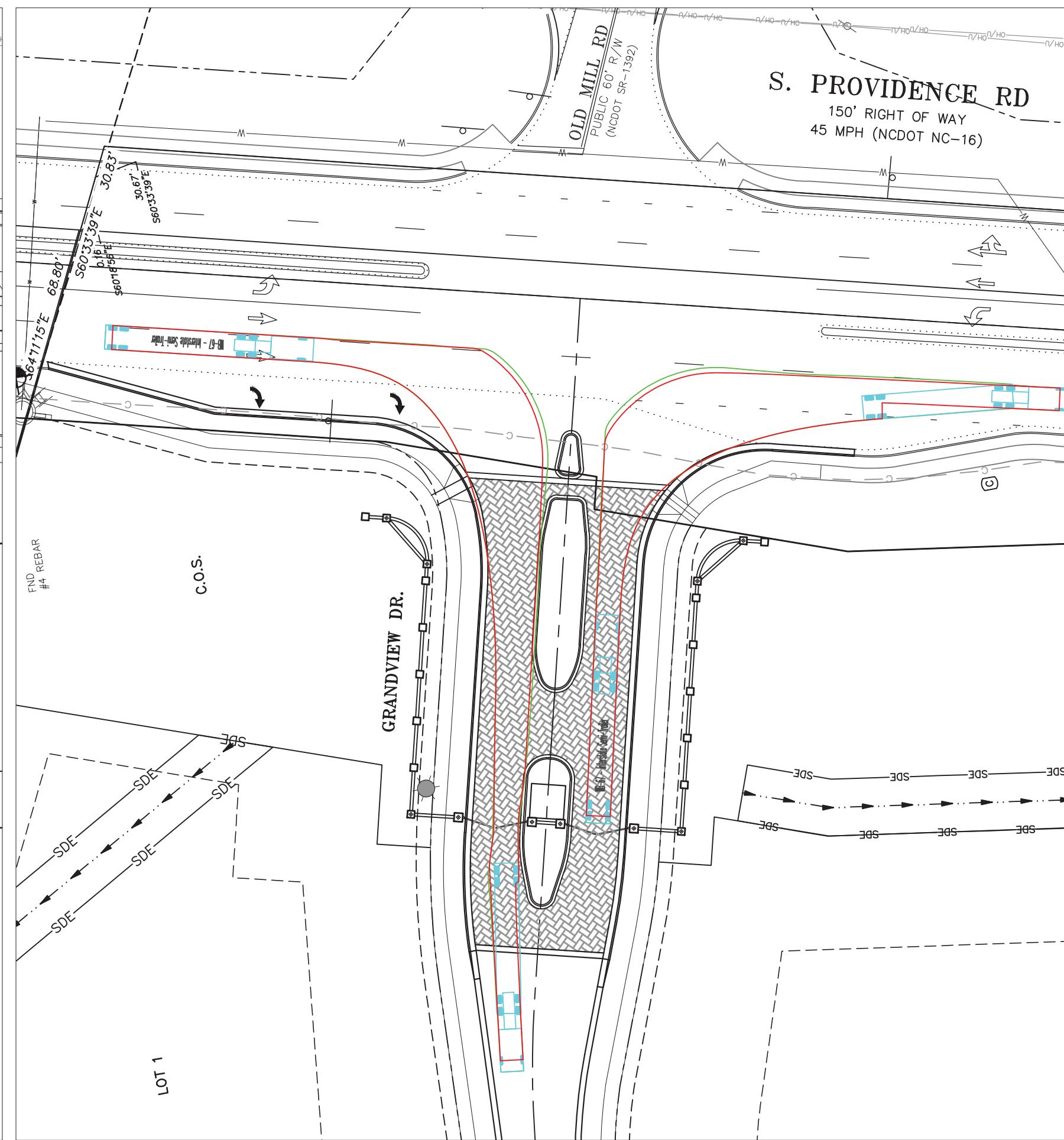
PASSENGER CAR TURNING MOVEMENT



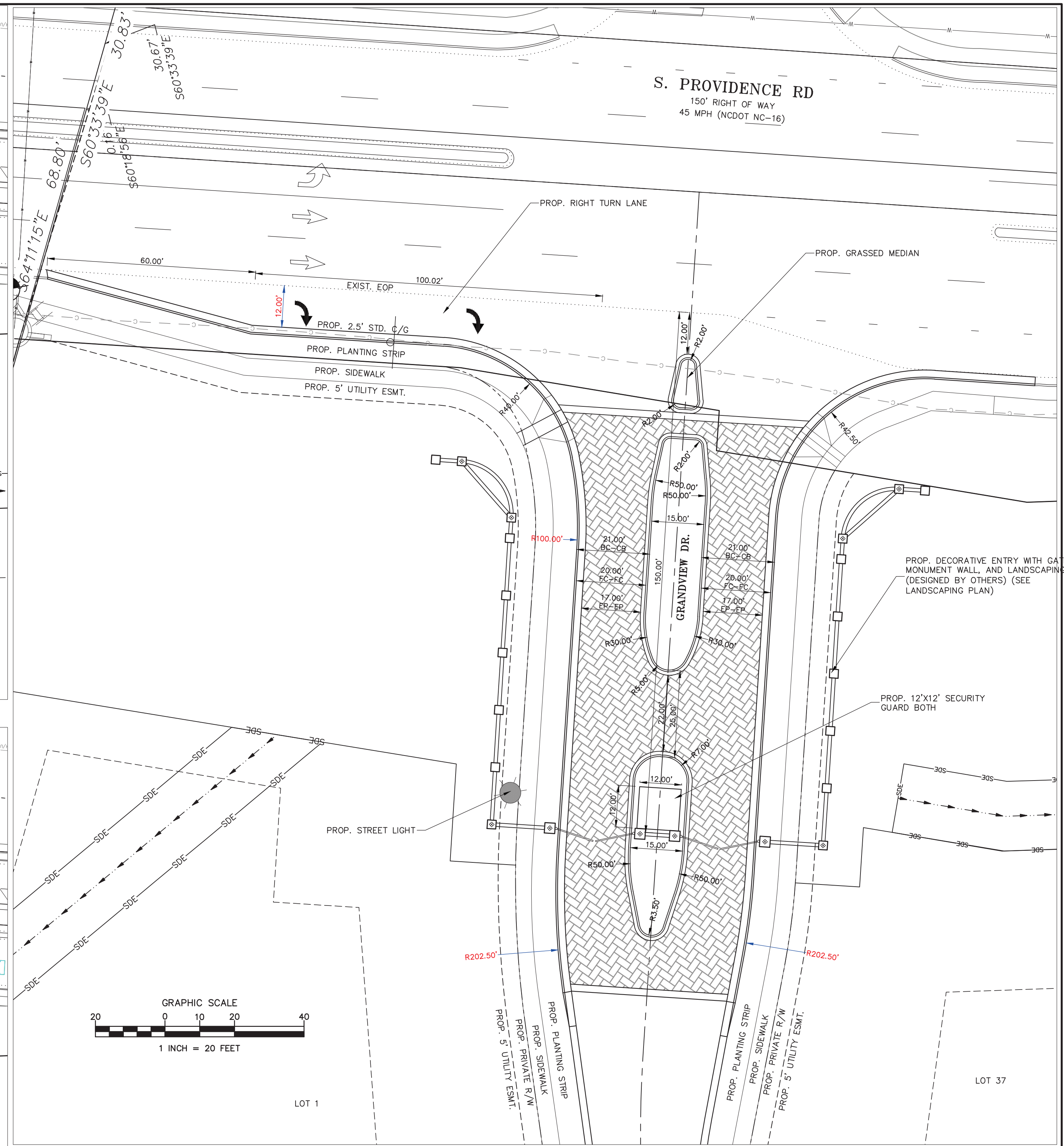
WB-40 TRUCK TURNING MOVEMENT



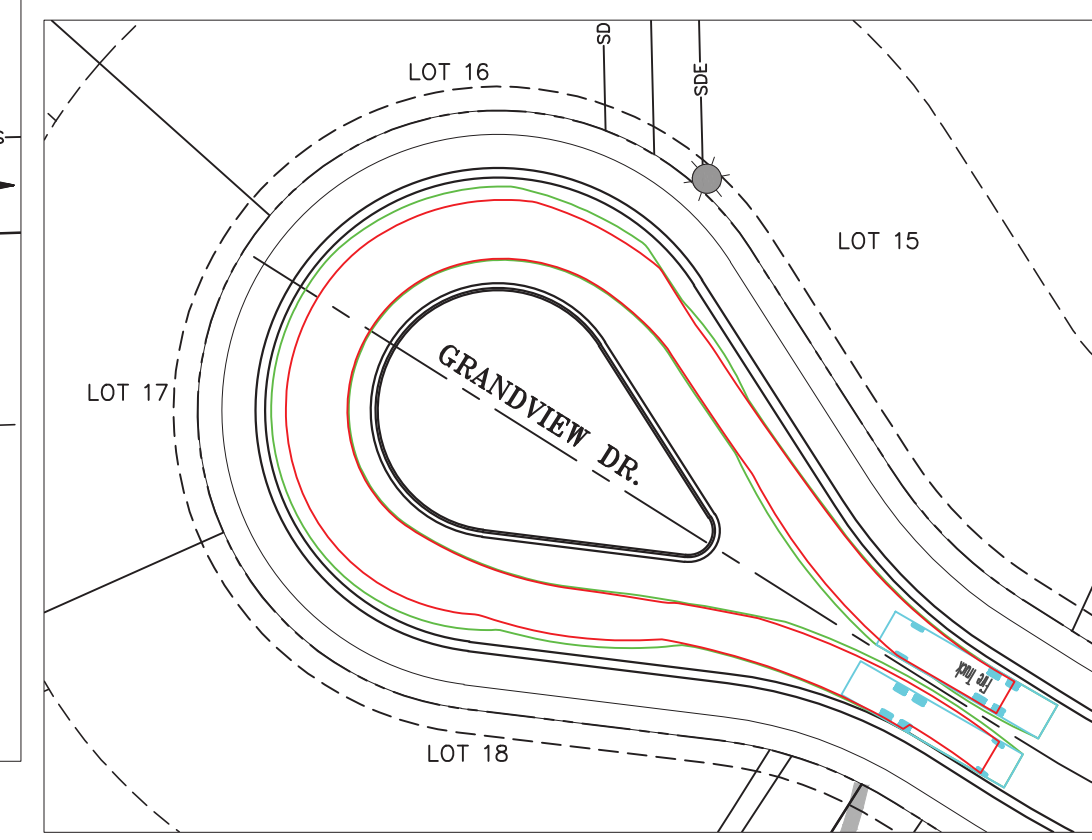
SU-30 TRUCK TURNING MOVEMENT



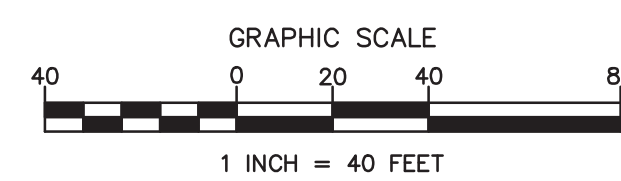
WB-67 TRUCK TURNING MOVEMENT



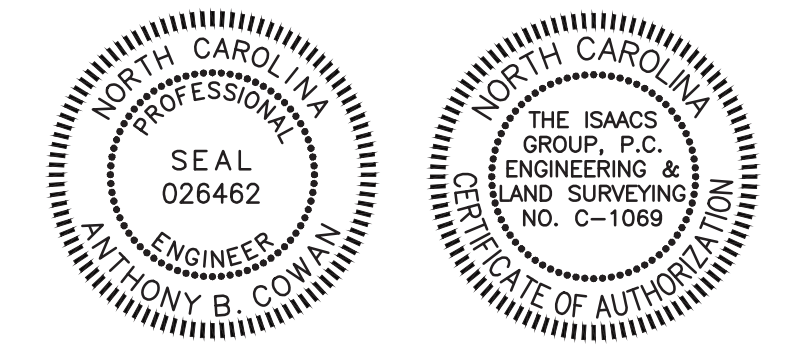
GRANDVIEW DR. ENTRANCE PLAN



FIRE TRUCK TURNING MOVEMENT



THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY. WHEN PERFORMING SITE EXCAVATION, PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATION AND EXISTENCE OF EXISTING UTILITIES.



Digitally signed by Anthony B. Cowan, P.E.  
Date: 2026.04.07 13:36:30-04'00'

FINAL DRAWING FOR REVIEW PURPOSES ONLY

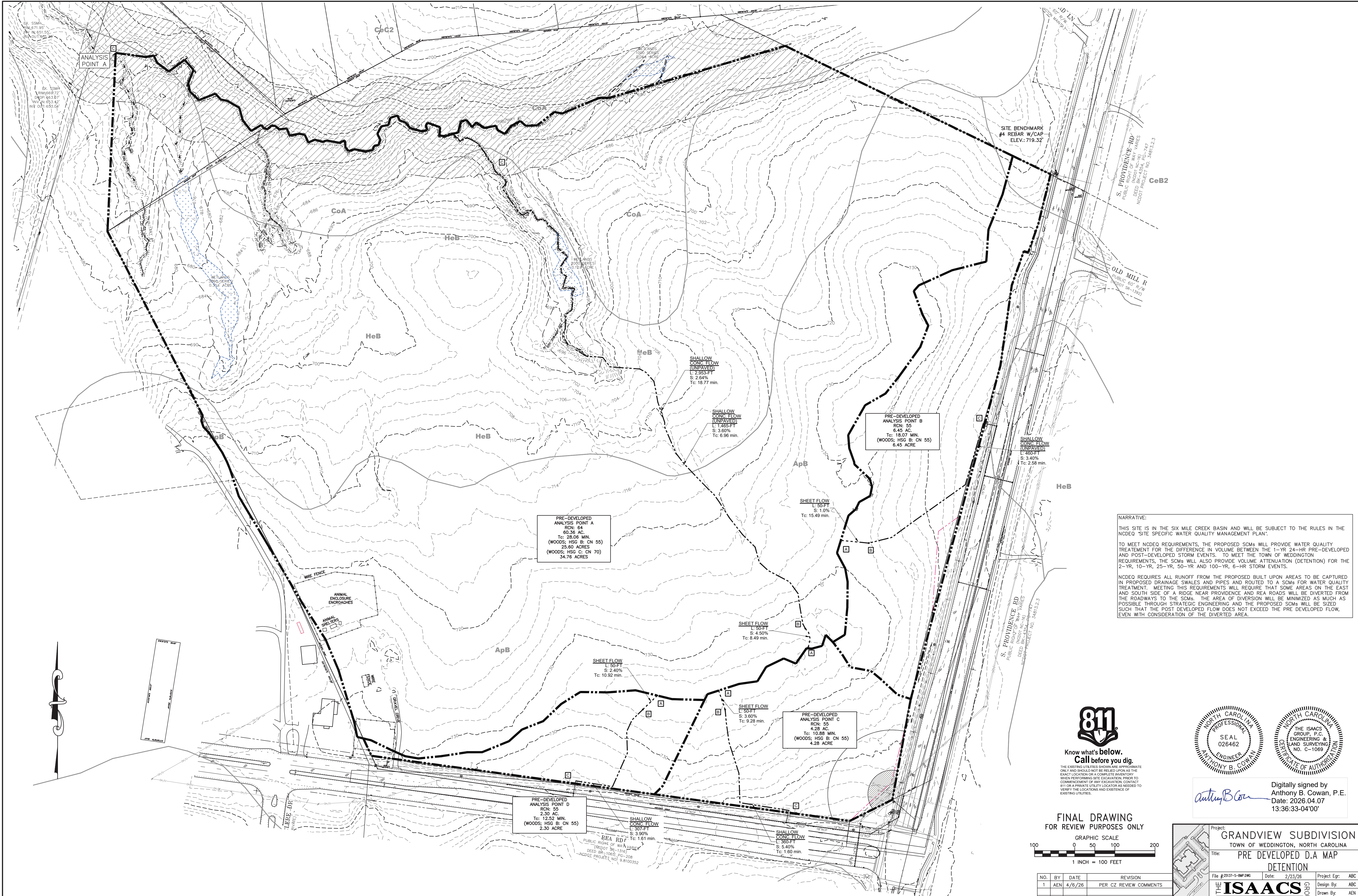
NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: GRANDVIEW SUBDIVISION  
TOWN OF WEDDINGTON, NORTH CAROLINA  
Title: GRANDVIEW DR. ENTRANCE PLAN & TURNING MOVEMENTS

File #25137-5-RD.DWG Date: 2/23/26 Project Egr: ABC  
Design By: ABC  
Drawn By: AEN  
Scale: 1" = 40'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C3.4**



**NARRATIVE:**

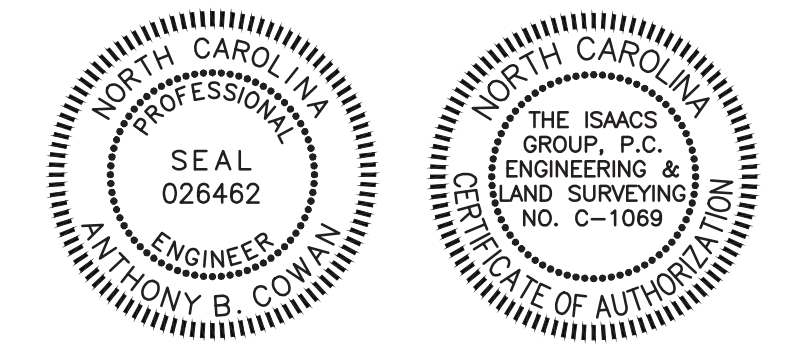
THIS SITE IS IN THE SIX MILE CREEK BASIN AND WILL BE SUBJECT TO THE RULES IN THE NCDEQ "SITE SPECIFIC WATER QUALITY MANAGEMENT PLAN".

TO MEET NCDEQ REQUIREMENTS, THE PROPOSED SCMs WILL PROVIDE WATER QUALITY TREATMENT FOR THE DIFFERENCE IN VOLUME BETWEEN THE 1-YR 24-HR PRE-DEVELOPED AND POST-DEVELOPED STORM EVENTS. TO MEET THE TOWN OF WEDDINGTON REQUIREMENTS, THE SCMs WILL ALSO PROVIDE VOLUME ATTENUATION (DETENTION) FOR THE 2-YR, 10-YR, 25-YR, 50-YR AND 100-YR, 6-HR STORM EVENTS.

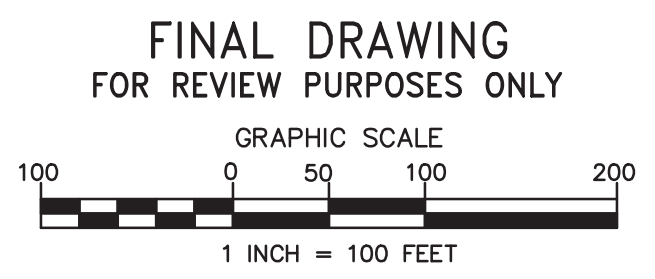
NCDEQ REQUIRES ALL RUNOFF FROM THE PROPOSED BUILT UPON AREAS TO BE CAPTURED IN PROPOSED DRAINAGE SWALES AND PIPES AND ROUTED TO A SCMs FOR WATER QUALITY TREATMENT. MEETING THIS REQUIREMENT WILL REQUIRE THAT SOME AREAS ON THE EAST AND SOUTH SIDE OF A RIDGE NEAR PROVIDENCE AND REA ROADS WILL BE DIVERTED FROM THE ROADWAYS TO THE SCMs. THE AREA OF DIVERSION WILL BE MINIMIZED AS MUCH AS POSSIBLE THROUGH STRATEGIC ENGINEERING AND THE PROPOSED SCMs WILL BE SIZED SUCH THAT THE POST DEVELOPED FLOW DOES NOT EXCEED THE PRE DEVELOPED FLOW, EVEN WITH CONSIDERATION OF THE DIVERTED AREA.



THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY. WHEN PERFORMING SITE EXCAVATION, PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.



Digitally signed by Anthony B. Cowan, P.E.  
Date: 2026.04.07  
13:36:33-04'00'



NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: **GRANDVIEW SUBDIVISION**  
TOWN OF WEDDINGTON, NORTH CAROLINA  
Title: **PRE DEVELOPED D.A MAP**  
DETENTION

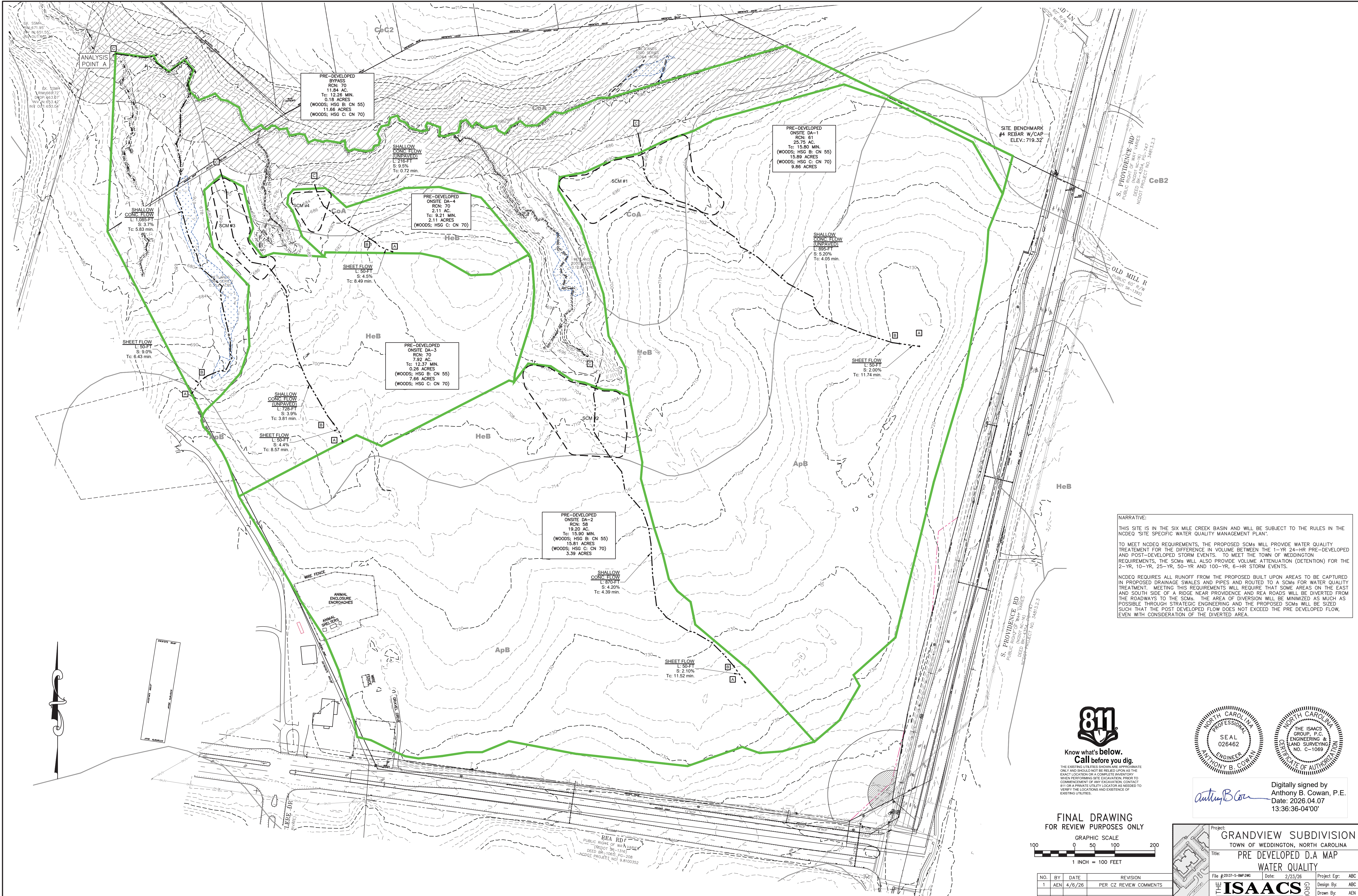
File #25137-5-BMP-DWG Date: 2/23/26 Project Egr: ABC  
Design By: ABC  
Drawn By: AEN  
Scale: 1" = 100'

**ISAACS GROUP, P.C.**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C4.0**

**PRE-DEVELOPED D.A. MAP**  
SCALE: 1" = 100'



**NARRATIVE:**

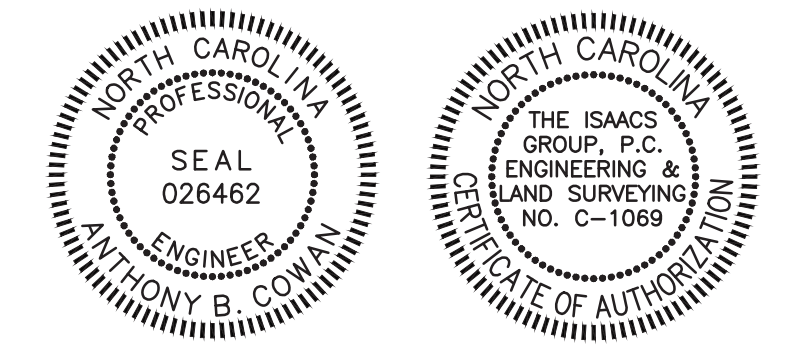
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TO MEET NCDEQ REQUIREMENTS, THE PROPOSED SCMs WILL PROVIDE WATER QUALITY TREATMENT FOR THE DIFFERENCE IN VOLUME BETWEEN THE 1-HR 24-HR PRE-DEVELOPED AND POST-DEVELOPED STORM EVENTS. TO MEET THE TOWN OF WEDDINGTON REQUIREMENTS, THE SCMs WILL ALSO PROVIDE VOLUME ATTENUATION (DEFENTION) FOR THE 2-YR, 10-YR, 25-YR, 50-YR AND 100-YR, 6-HR STORM EVENTS.

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Digitally signed by Anthony B. Cowan, P.E.  
Date: 2026.04.07  
13:36:36-04'00'

**FINAL DRAWING FOR REVIEW PURPOSES ONLY**

GRAPHIC SCALE  
100 0 50 100 200  
1 INCH = 100 FEET

NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: GRANDVIEW SUBDIVISION  
TOWN OF WEDDINGTON, NORTH CAROLINA  
Title: PRE DEVELOPED D.A MAP  
WATER QUALITY

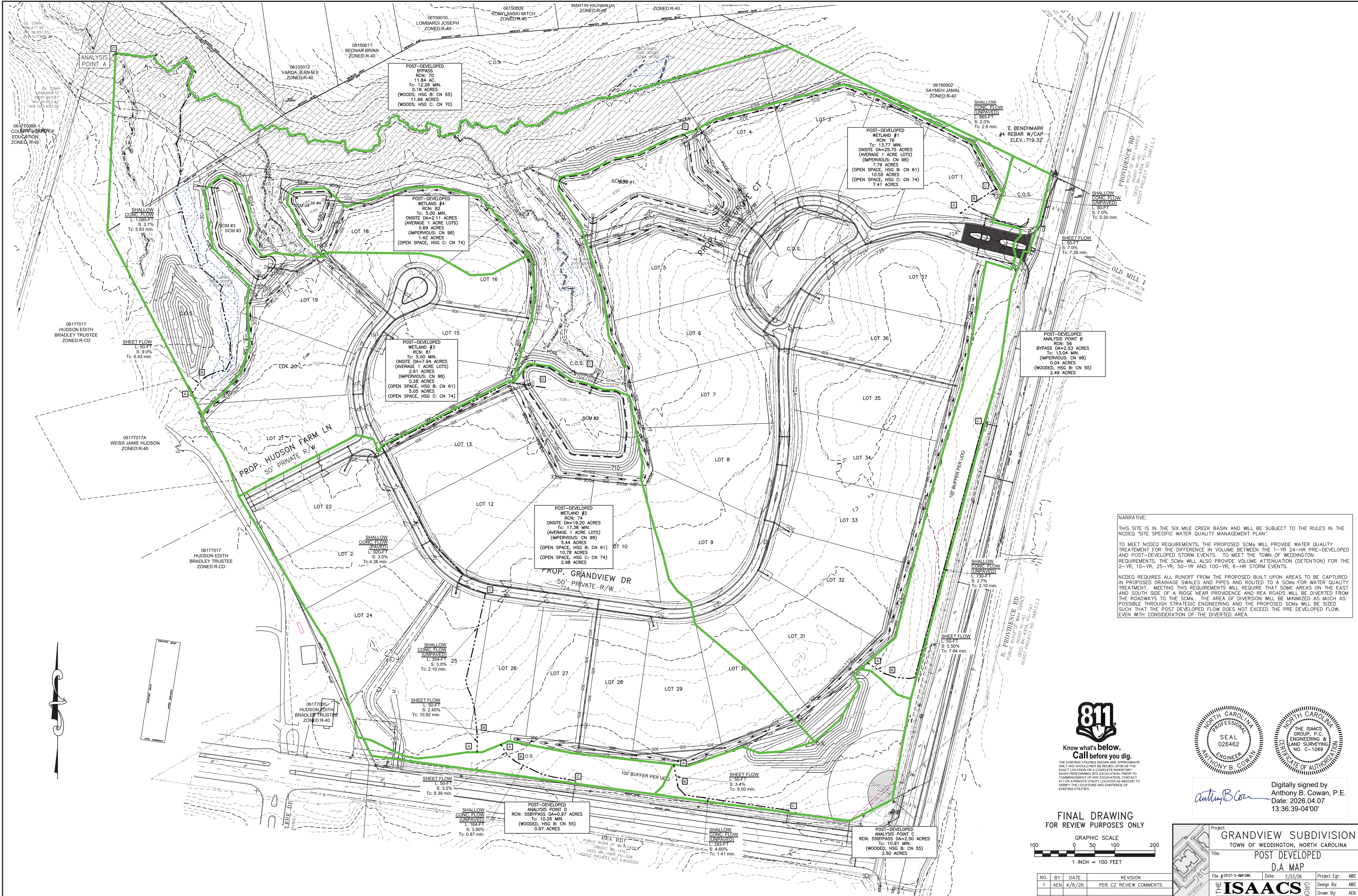
File #25137-S-BMP-DWG Date: 2/23/26 Project Egr: ABC  
Design By: ABC  
Drawn By: AEN  
Scale: 1" = 100'

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C4.1**

PRE-DEVELOPED D.A. MAP  
SCALE: 1" = 100'

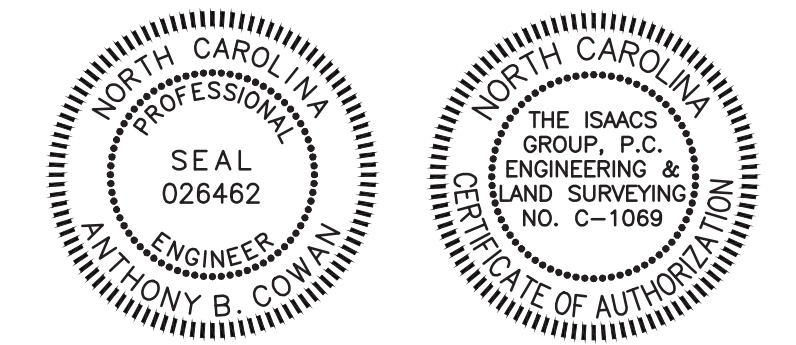


POST-DEVELOPED D.A. MAP  
SCALE: 1" = 100'

**NARRATIVE:**  
THIS SITE IS IN THE SIX MILE CREEK BASIN AND WILL BE SUBJECT TO THE RULES IN THE NCDEQ "SITE SPECIFIC WATER QUALITY MANAGEMENT PLAN".  
TO MEET NCDEQ REQUIREMENTS, THE PROPOSED SCMS WILL PROVIDE WATER QUALITY TREATMENT FOR THE DIFFERENCE IN VOLUME BETWEEN THE 1-YR 24-HR PRE-DEVELOPED AND POST-DEVELOPED STORM EVENTS. TO MEET THE TOWN OF WEDDINGTON REQUIREMENTS, THE SCMS WILL ALSO PROVIDE VOLUME ATTENUATION (DEFENTION) FOR THE 2-YR, 10-YR, 25-YR, 50-YR AND 100-YR AND 100-YR, 6-HR STORM EVENTS.  
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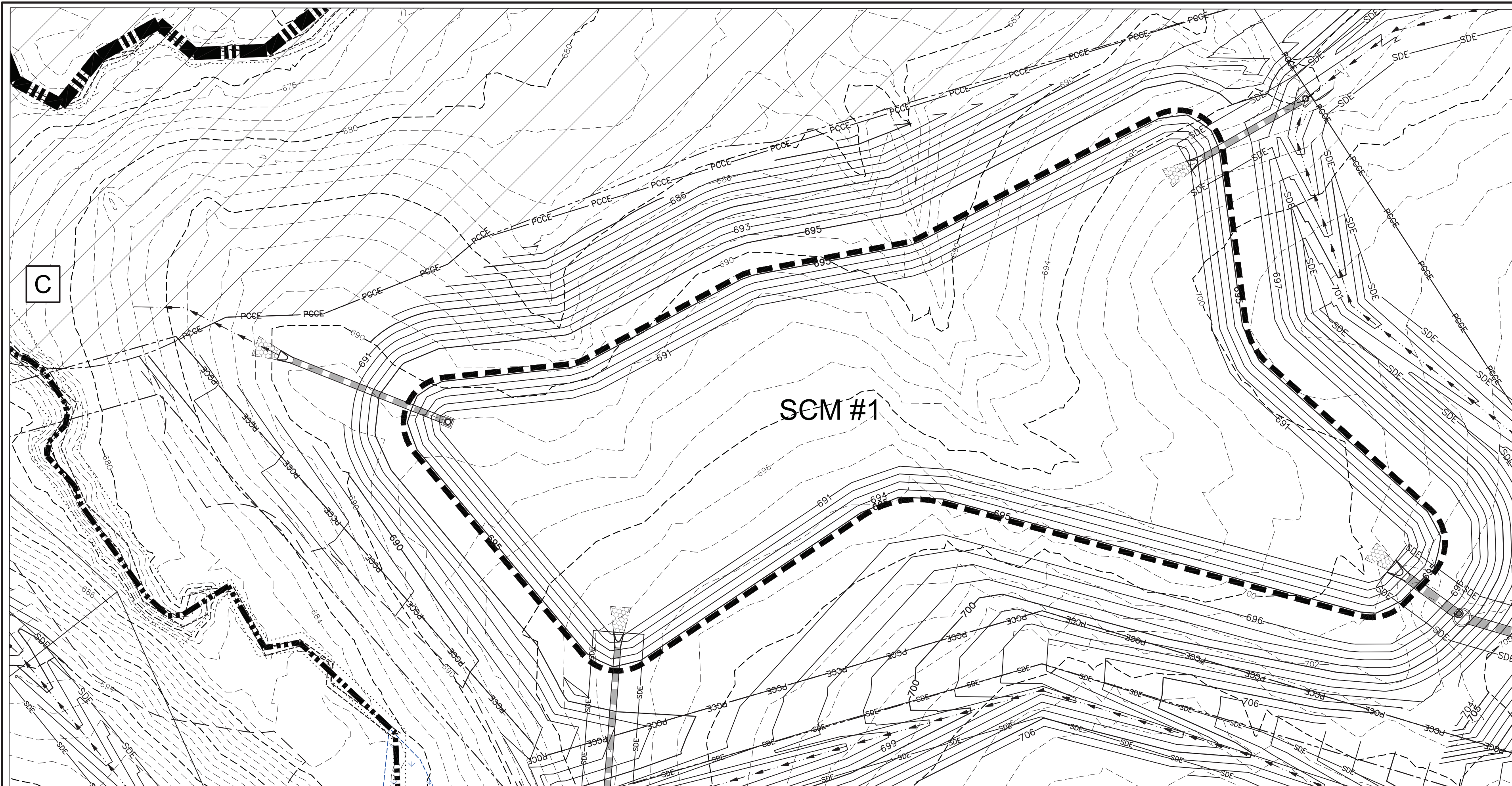
**FINAL DRAWING FOR REVIEW PURPOSES ONLY**  
GRAPHIC SCALE  
1" = 100 FEET



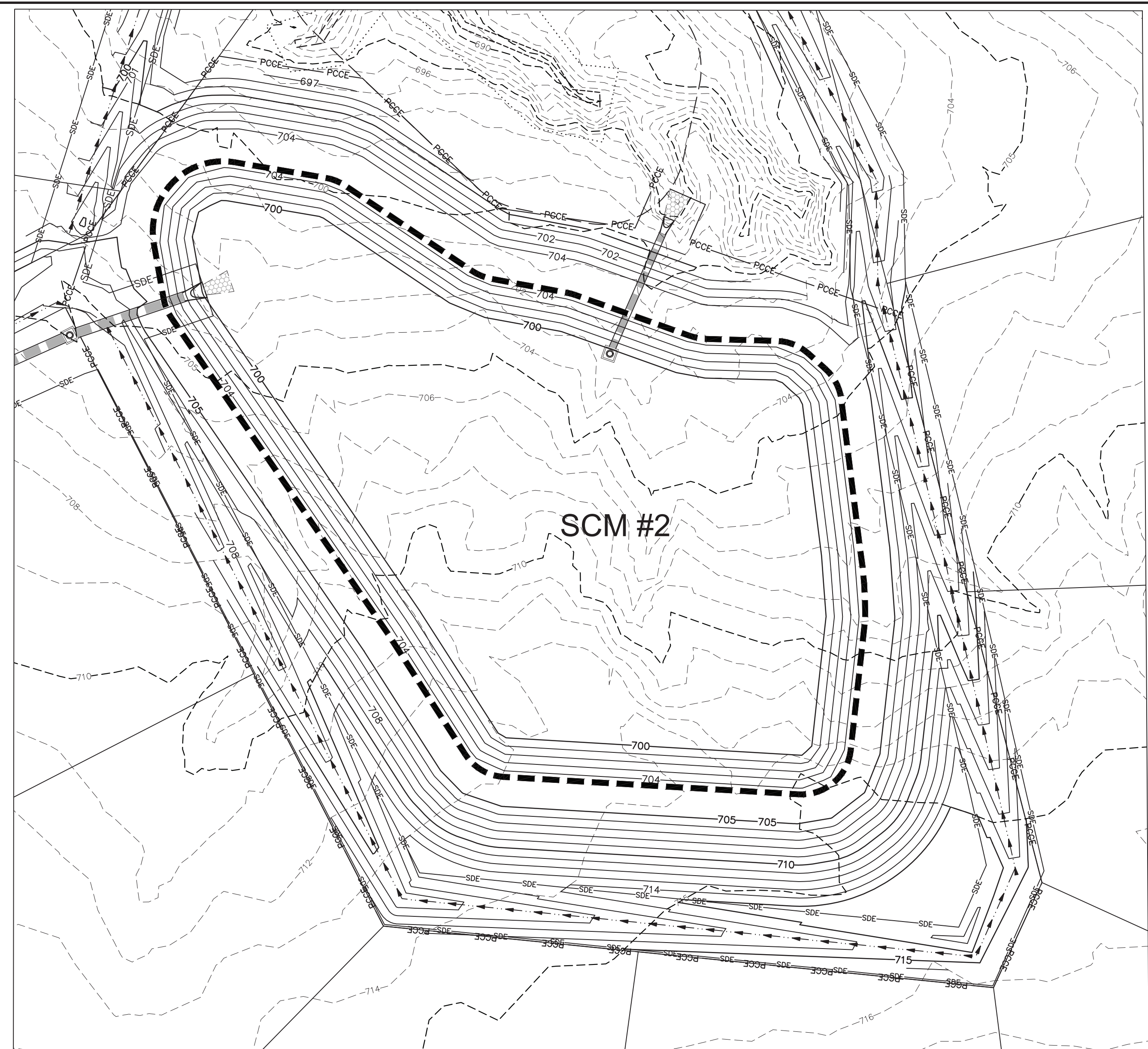
Digitally signed by Anthony B. Cowan, P.E.  
Date: 2026.04.07 13:36:39-04'00'

NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

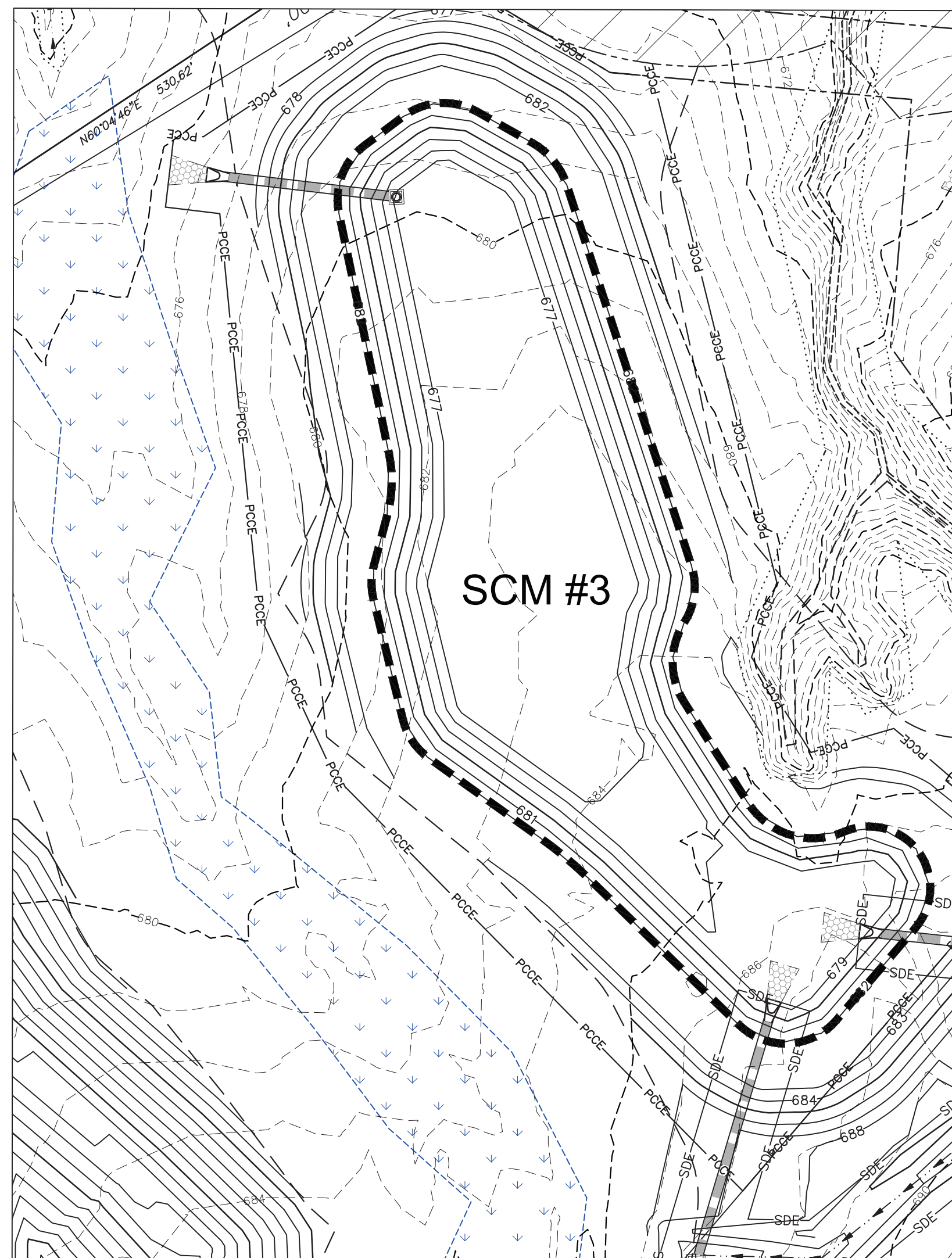
Project: **GRANDVIEW SUBDIVISION**  
TOWN OF WEDDINGTON, NORTH CAROLINA  
Title: **POST DEVELOPED D.A. MAP**  
File #25137-5-BMP.DWG Date: 2/23/26 Project Egn: ABC  
LW: **ISAACS GROUP, P.C.** Design By: ABC  
Civil Engineering Design and Surveying Drawn By: AEN  
Scale: 1" = 100'  
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335 **C4.2**



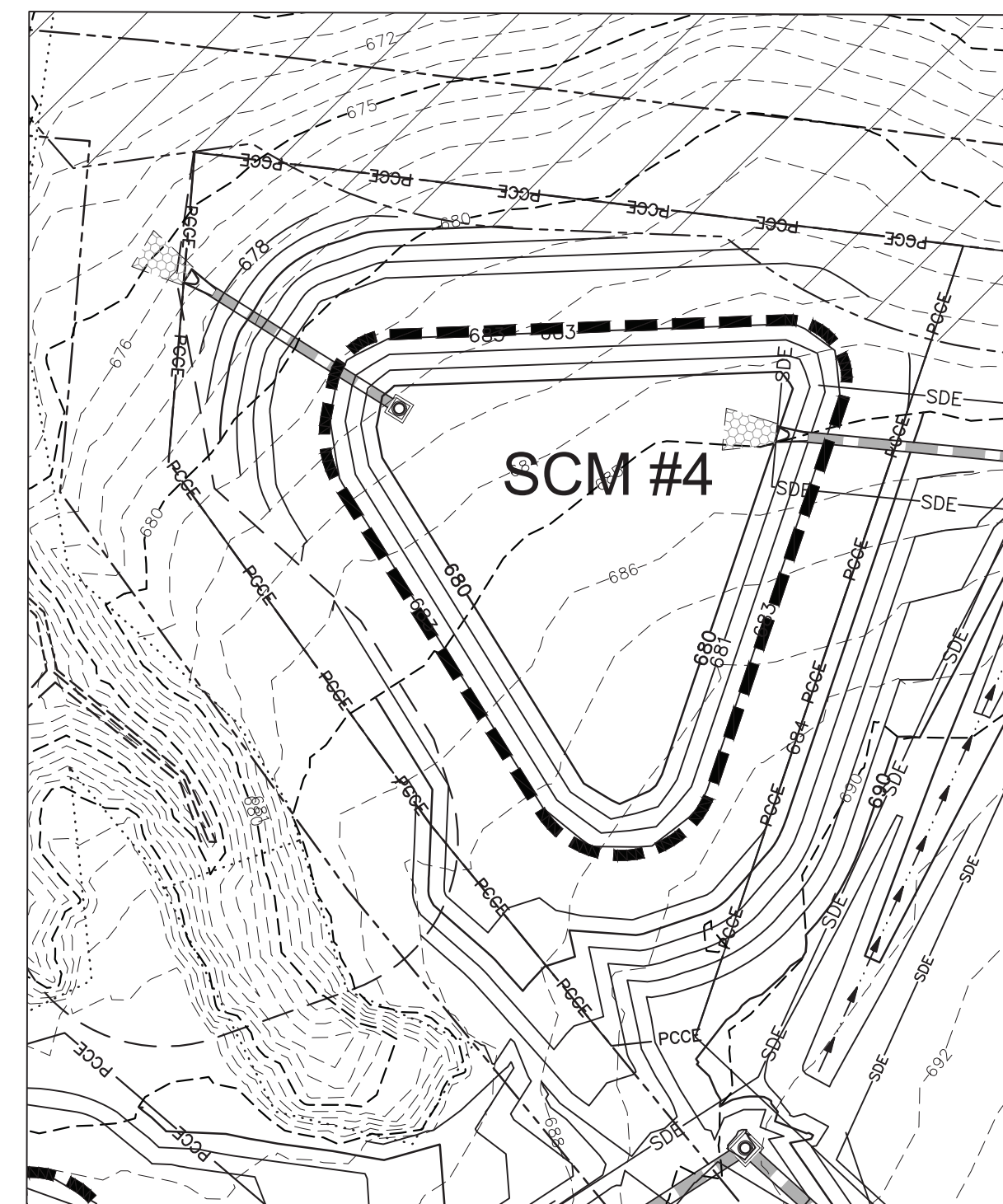
WETLAND SCM #1 ENLARGED PLAN  
SCALE: 1"=30'



WETLAND SCM #2 ENLARGED PLAN  
SCALE: 1"=30'



WETLAND SCM #3 ENLARGED PLAN  
SCALE: 1"=30'



WETLAND SCM #4 ENLARGED PLAN  
SCALE: 1"=30'

SITE ALLOWABLE BUA SUMMARY CHART	
SCM#1 TREATMENT AREA	1,062,949 SF
PROPOSED	
ROAD, CURB & PARKING	60,924 SF
R/W DW'S 140 SF/LOT X 17	2,380 SF
SIDEWALK	28,572 SF
IMP. ALLOTTED 15,000 SF/LOT X 16.5 LOTS	247,500 SF
<b>TOTAL MAX SCM #1 BUA</b>	<b>31.93% 339,376 SF</b>

NOTE THAT A BUA AS-BUILT SURVEY SHALL BE PROVIDED PRIOR TO ISSUANCE OF A C.O.  
\*BUA LOCATED BENEATH ROOF NOT INCLUDED IN CALCULATION

SITE ALLOWABLE BUA SUMMARY CHART	
SCM#2 TOTAL DRAINAGE AREA	894,722 SF
PROPOSED	
ROAD, CURB & PARKING	34,747 SF
R/W DW'S 140 SF/LOT X 12	1,680 SF
SIDEWALK	12,865 SF
IMP. ALLOTTED 15,000 SF/LOT X 12.5 LOTS	187,500 SF
<b>TOTAL MAX SCM #2 BUA</b>	<b>20.96% 236,792 SF</b>

NOTE THAT A BUA AS-BUILT SURVEY SHALL BE PROVIDED PRIOR TO ISSUANCE OF A C.O.  
\*BUA LOCATED BENEATH ROOF NOT INCLUDED IN CALCULATION

SITE ALLOWABLE BUA SUMMARY CHART	
SCM#3 TOTAL DRAINAGE AREA	347,210 SF
PROPOSED	
ROAD, CURB & PARKING	17,052 SF
R/W DW'S 140 SF/LOT X 8	1,120 SF
SIDEWALK	5,581 SF
IMP. ALLOTTED 15,000 SF/LOT X 6 LOTS	90,000 SF
<b>TOTAL MAX SCM #3 BUA</b>	<b>32.76% 113,753 SF</b>

NOTE THAT A BUA AS-BUILT SURVEY SHALL BE PROVIDED PRIOR TO ISSUANCE OF A C.O.  
\*BUA LOCATED BENEATH ROOF NOT INCLUDED IN CALCULATION

SITE ALLOWABLE BUA SUMMARY CHART	
SCM#4 TOTAL DRAINAGE AREA	91,912 SF
PROPOSED	
ROAD, CURB & PARKING	0 SF
R/W DW'S 140 SF/LOT X 8	0 SF
SIDEWALK	0 SF
IMP. ALLOTTED 15,000 SF/LOT X 2.0 LOTS	30,000 SF
<b>TOTAL MAX SCM #4 BUA</b>	<b>32.64% 30,000 SF</b>

NOTE THAT A BUA AS-BUILT SURVEY SHALL BE PROVIDED PRIOR TO ISSUANCE OF A C.O.  
\*BUA LOCATED BENEATH ROOF NOT INCLUDED IN CALCULATION

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TO MEET NCEQ REQUIREMENTS, THE PROPOSED SCMs WILL PROVIDE WATER QUALITY TREATMENT FOR THE DIFFERENCE IN VOLUME BETWEEN THE 1-HR 24-HR PRE-DEVELOPED AND POST-DEVELOPED STORM EVENTS. TO MEET THE TOWN OF WEDDINGTON REQUIREMENTS, THE SCMs WILL ALSO PROVIDE VOLUME ATTENUATION (DETENTION) FOR THE 2-YR, 10-YR, 25-YR, 50-YR AND 100-YR, 6-HR STORM EVENTS.

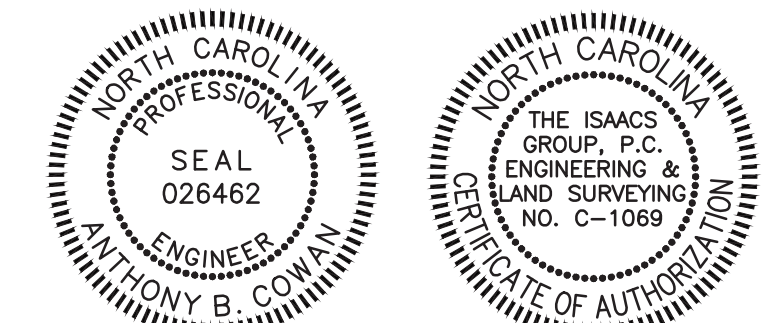
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**GRADING & DRAINAGE LEGEND**

- EXIST. TREE LINE
- ELEV. --- EXISTING CONTOUR
- ELEV. - - - PROPOSED CONTOUR
- PROPOSED STORM DRAIN PIPE
- MH PROP. MANHOLE (NCDOT STD. 840.52)
- CB PROP. CATCH BASIN (NCDOT STD. 840.02)
- PROP. GRASSED SWALE @ 1.5% MIN. SLOPE
- PCC PROP. POST CONSTRUCTION CONTROL EASEMENT

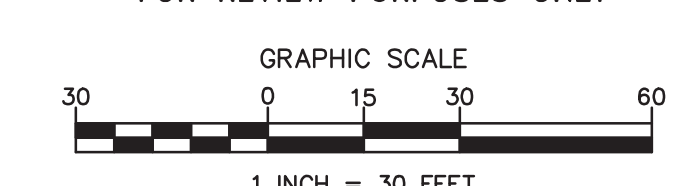


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Date: 2026.04.07  
13:36:41-04'00'

FINAL DRAWING FOR REVIEW PURPOSES ONLY



NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

Project: GRANDVIEW SUBDIVISION  
TOWN OF WEDDINGTON, NORTH CAROLINA

Title: SCM PLAN

File #25137-5-BMP-DWG Date: 2/23/26 Project Egn: ABC  
 Design By: ABC  
 Drawn By: AEN  
 Scale: 1" = 30'

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C4.3**



**LEGEND**

- ELEV --- EXISTING CONTOUR
- ELEV --- PROPOSED CONTOUR
- ELEV --- TEMPORARY EROSION CONTROL CONTOUR
- OHP --- EXIST. OVERHEAD POWER
- --- EXISTING TREE/SHRUB CANOPY
- --- EXISTING CREEK
- --- LIMITS OF DISTURBANCE
- --- PROPOSED SILT FENCE (STD. C7.5)
- --- PROPOSED SILT FENCE (STD. C7.5)
- --- W/ORANGE TREE PROTECTION ATTACHED
- --- PROPOSED HIGH HAZARD SILT FENCE (STD. C7.5)
- --- W/ORANGE TREE PROTECTION ATTACHED
- --- PROPOSED ORANGE TREE PROTECTION
- --- PROP. INLET PROTECTION USE HARDWARE CLOTH AND GRAVEL
- --- INLET PROTECTION IN PHASE 1 (SEE SHT. C7.6) AND SILT SAC
- --- INLET PROTECTION (SEE SHT. C7.6) IN CATCH BASINS AFTER ROAD CONSTRUCTION IN PHASE 2

**TOTAL DISTURBED AREA**  
=±25.93 ACRES

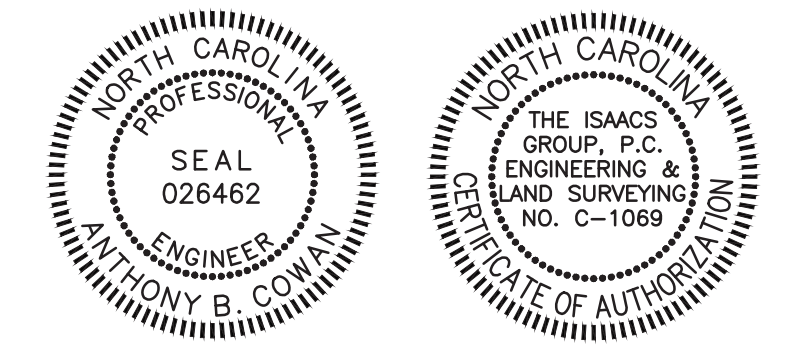
**NEW STABILIZATION TIMEFRAMES**  
(Effective Aug. 3, 2011)

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes**	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days **	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days **	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days **	None, except for perimeters and HQW Zones.

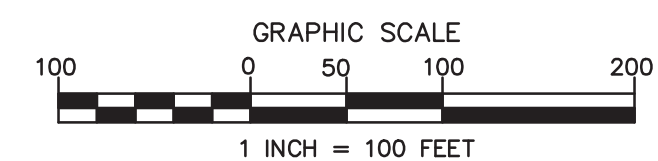
\* HWQ ZONE: WATERSHED CLASSIFICATIONS WS-1, WSII, ORW, or SA

**BUFFER LEGEND**

- 100' WATERSHED BUFFER (EACH SIDE FROM STREAM TOB)
- STREAM
- WETLANDS



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Date: 2026.04.07 13:36:44-04'00'



NO.	BY	DATE	REVISION
1	AEN	4/6/26	PER CZ REVIEW COMMENTS

**Project:** GRANDVIEW SUBDIVISION  
TOWN OF WEDDINGTON, NORTH CAROLINA  
**Title:** EROSION CONTROL OVERALL

File #25137-5-EGWG Date: 2/23/26 Project Egr: ABC  
Design By: ABC  
Drawn By: AEN  
Scale: 1" = 100'

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C6.0**

**811**  
Know what's below.  
Call before you dig.

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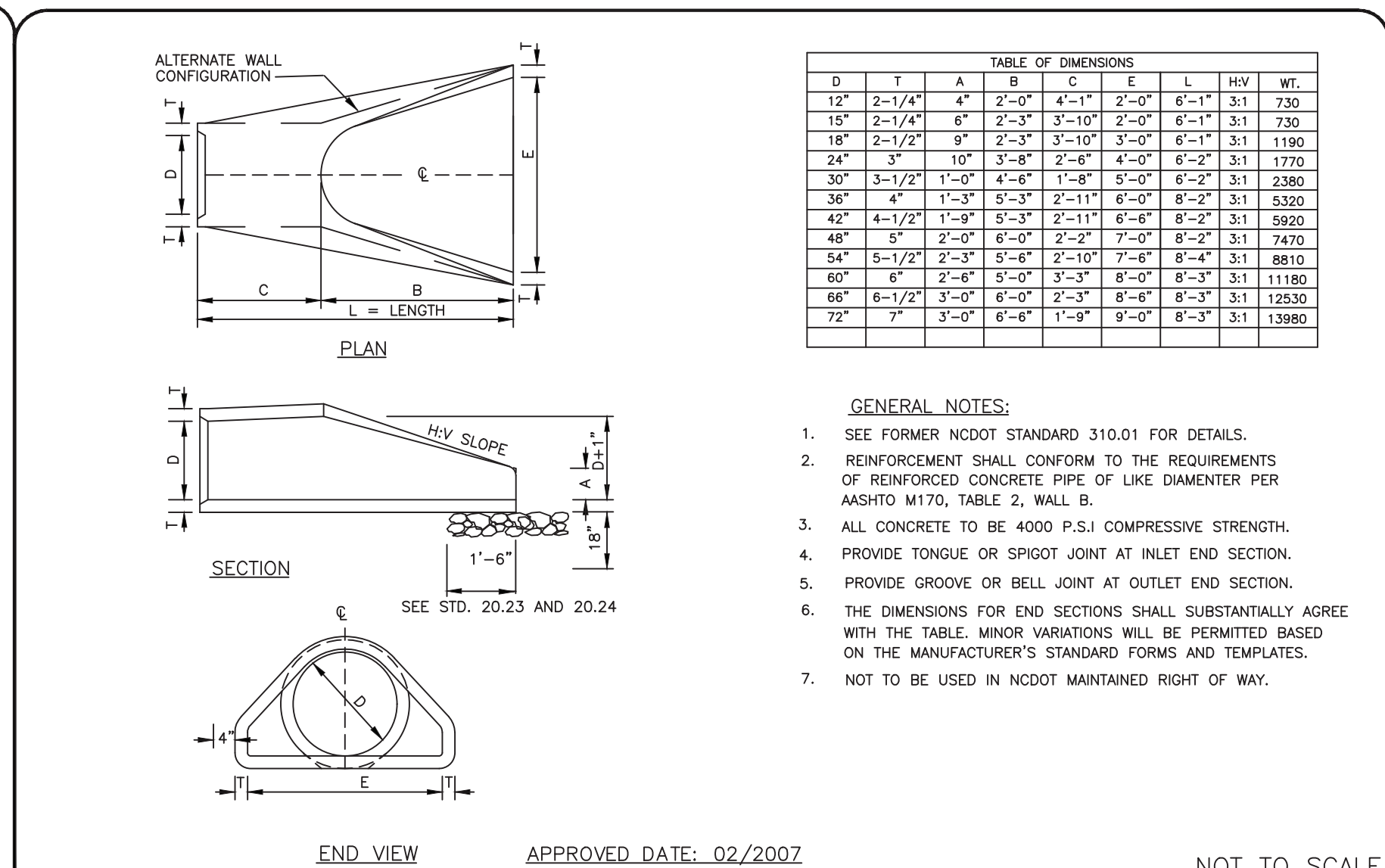
DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
300.01	METHOD OF PIPE INSTALLATION - METHOD A	
310.02	PARALLEL PIPE END SECTION- PRECAST CONCRETE FOR 15" TO 24" PIPE	REQUIRED IN RIGHT OF WAY WITHIN THE ETJ
310.03	CROSS PIPE END SECTION- PRECAST CONCRETE FOR 18" TO 30" PIPE	REQUIRED IN RIGHT OF WAY WITHIN THE ETJ
310.10	DRIVEWAY PIPE CONSTRUCTION USING NO SPECIAL END SECTIONS	ONLY AT LOCATIONS APPROVED BY THE COUNTY ENGINEER
815.03	PIPE UNDERDRAIN AND BLIND DRAIN	
816.03	GEOCOMPOSITE SHOULDER DRAIN	
838.01	CONCRETE ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS	NOTE 1
838.02	CONCRETE ENDWALL AND SLUICE GATE 15" THRU 36" PIPE-90° SKEW	NOTE 1
838.04	CONCRETE ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS	NOTE 1
838.05	CONCRETE "L" ENDWALL FOR SINGLE PIPE CULVERTS 15" THRU 48" PIPE	NOTE 1
838.06	CONCRETE "L" ENDWALL FOR SINGLE PIPE CULVERTS 17"x13" THRU 71"x47"	NOTE 1
838.07	CONCRETE ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS	NOTE 1
838.08	CONCRETE "L" ENDWALL FOR SINGLE PIPE CULVERTS 40"x31"	NOTE 1
838.10	CONCRETE ENDWALL FOR OUTFALL 4", 6" OR 8" PIPE	NOTE 1
838.11	BRICK ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS	
838.14	BRICK ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS 17"x13"	
838.15	BRICK "L" ENDWALL FOR SINGLE PIPE CULVERTS 15" THRU 48" PIPE	
838.16	BRICK "L" ENDWALL FOR SINGLE PIPE CULVERTS 17"x13" THRU 71"x47"	
838.17	BRICK ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS 40"x31"	
838.18	BRICK ENDWALL FOR SINGLE PIPE CULVERTS 40"x31" THRU 66"x51" PIPE ARCH	
838.20	BRICK ENDWALL FOR OUTFALL 4", 6" OR 8" PIPE	
838.21	REINFORCED CONCRETE ENDWALL FOR SINGLE 54" PIPE 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.22	REINFORCED CONCRETE ENDWALL FOR DOUBLE & TRIPLE 54" PIPES 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.27	REINFORCED CONCRETE ENDWALL FOR SINGLE 60" PIPE 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.28	REINFORCED CONCRETE ENDWALL FOR DOUBLE & TRIPLE 60" PIPES 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.33	REINFORCED CONCRETE ENDWALL FOR SINGLE 66" PIPE 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.34	REINFORCED CONCRETE ENDWALL FOR DOUBLE & TRIPLE 66" PIPES 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.39	REINFORCED CONCRETE ENDWALL FOR SINGLE 72" PIPE 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.40	REINFORCED CONCRETE ENDWALL FOR DOUBLE & TRIPLE 72" PIPES 90° SKEW	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD

NOTE 1: FOR ALL STRUCTURES - NCDOT REQUIRES CLASS B CONCRETE (2500PSI). THE COUNTY REQUIRES 3600 PSI CONCRETE STRENGTH @ 28 DAYS. 3600 PSI CONCRETE SHALL BE USED IN ALL PROJECTS.



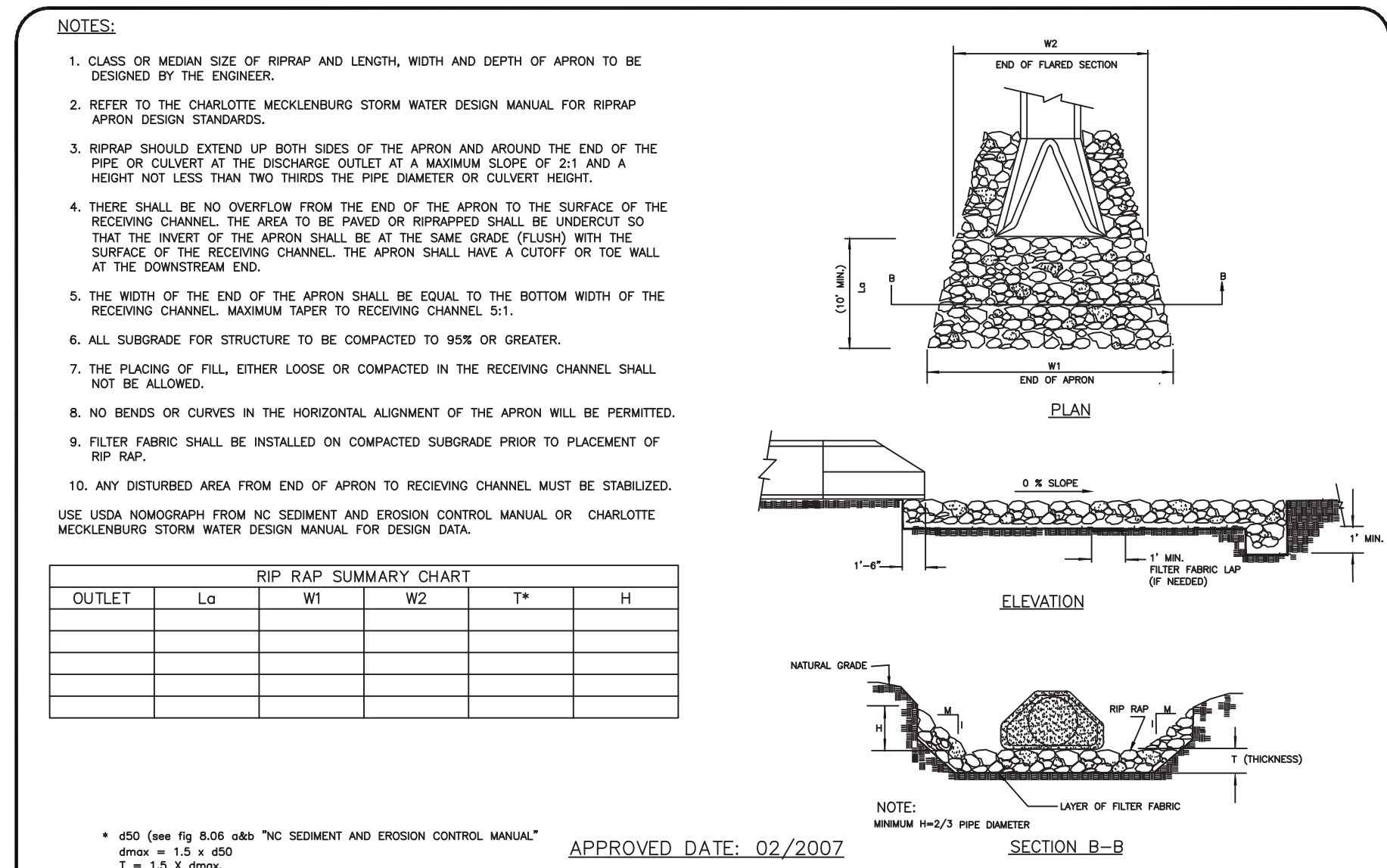
NCDOT STANDARDS APPROVED FOR USE IN MECKLENBURG COUNTY AND TOWNS, INCLUDING ETJ

STANDARD 20.00A



FLARED END SECTION 12" THRU 72" PIPE

STANDARD 20.23A



RIP RAP APRON AT PIPE OUTFALLS OTHER THAN AT SWIM

STANDARD 20.23

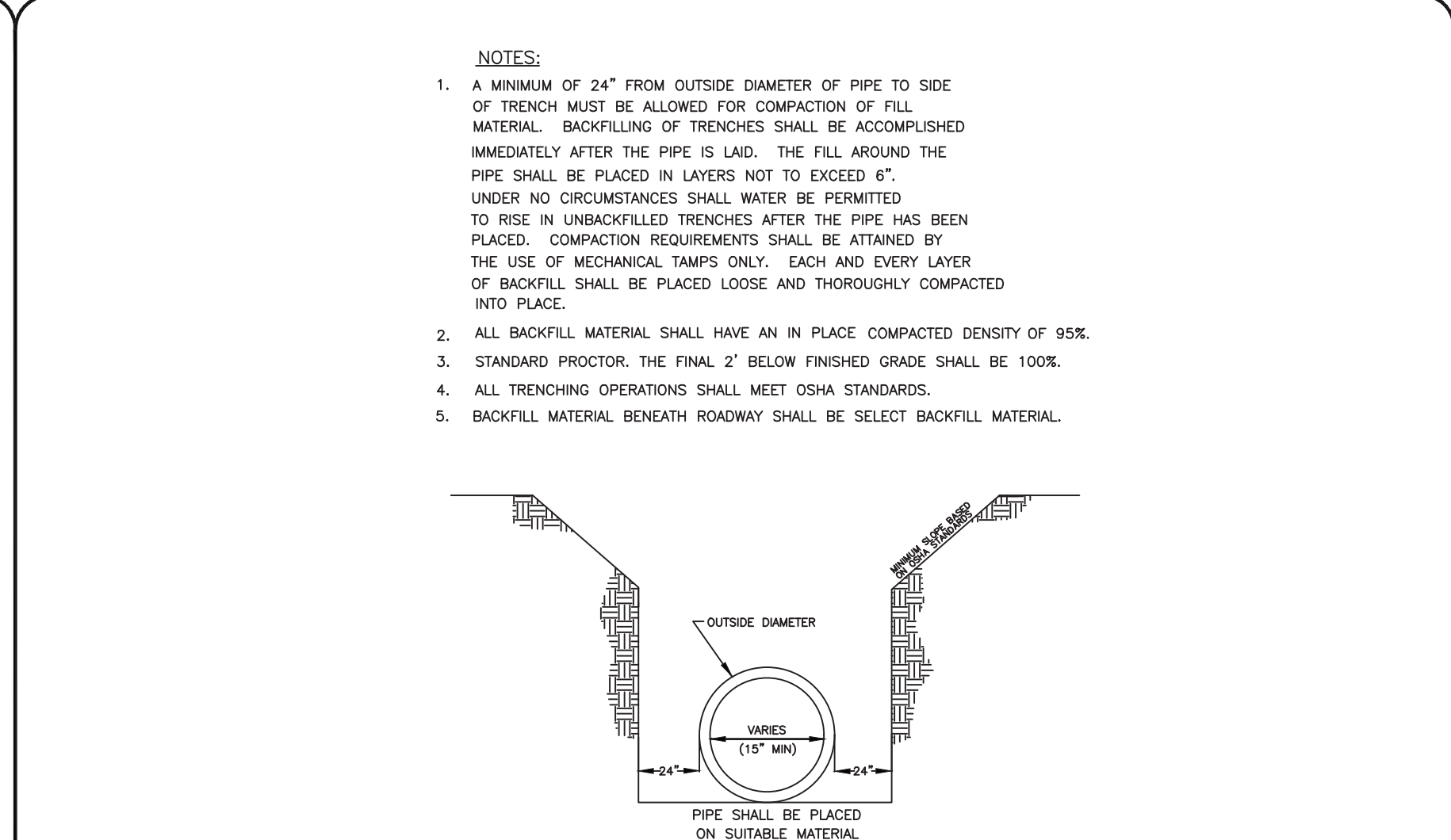
DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
838.45	NOTES FOR REINFORCED CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE MCLOS 20.17 FOR SPLASH PAD
838.51	REINFORCED BRICK ENDWALL FOR SINGLE 54" PIPE 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.52	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 54" PIPES 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.57	REINFORCED BRICK ENDWALL FOR SINGLE 60" PIPE 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.58	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 60" PIPES 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.63	REINFORCED BRICK ENDWALL FOR SINGLE 66" PIPE 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.64	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 66" PIPES 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.69	REINFORCED BRICK ENDWALL FOR SINGLE 72" PIPE 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.70	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 72" PIPES 90° SKEW	SEE MCLOS 20.17 FOR SPLASH PAD
838.78	NOTES FOR REINFORCED BRICK ENDWALL STANDARD DRAWINGS 838.51 THRU 838.70	SEE MCLOS 20.17 FOR SPLASH PAD
838.80	PRECAST CONCRETE ENDWALLS FOR SINGLE 12" THRU 72" PIPE 90° SKEW	
840.00	CONCRETE BASE PAD FOR DRAINAGE STRUCTURES	
840.01	BRICK CATCH BASIN 12" THRU 54" PIPE	
840.02	CONCRETE CATCH BASIN 12" THRU 54" PIPE	
840.03	FRAME, GRATES AND HOOD FOR USE ON STANDARD BASIN 12" THRU 54" PIPE	TYPE F AND G GRATES ARE OPTIONAL WITHIN THE TOWN LIMITS
840.04	CONCRETE OPEN THROAT CATCH BASIN 12" THRU 48" PIPE	NOTE 1 - OPENINGS PERMITTED IN 4 SIDES OUTSIDE OF STREET R/W MANHOLE RING AND COVER REQUIRED IN TOP SLAB SEE STD. 840.54
840.05	BRICK OPEN THROAT CATCH BASIN 12" THRU 48" PIPE	OPENINGS PERMITTED IN 4 SIDES OUTSIDE OF STREET R/W MANHOLE RING AND COVER REQUIRED IN TOP SLAB SEE STD. 840.54
840.14	CONCRETE DROP INLET 12" THRU 30" PIPE	NOTE 1
840.15	BRICK DROP INLET 12" THRU 30" PIPE	NOTE 1
840.16	DROP INLET FRAME AND GRATES FOR USE WITH STANDARD DWGS. 840.14 & 840.15	NOTE 1
840.17	CONCRETE GRATED DROP INLET TYPE "A" 12" THRU 72" PIPE	NOTE 1
840.18	CONCRETE GRATED DROP INLET TYPE "D" 12" THRU 36" PIPE	NOTE 1
840.19	CONCRETE GRATED DROP INLET TYPE "D" 12" THRU 36" PIPE	NOTE 1
840.20	FRAMES AND WIDE SLOT FLAT GRATES	NOT FOR USE IN PEDESTRIAN AREAS
840.22	FRAMES AND WIDE SLOT SAG GRATES	NOT FOR USE IN PEDESTRIAN AREAS
840.24	FRAMES AND NARROW SLOT SAG GRATES	
840.25	ANCHORAGE FOR FRAMES BRICK OR CONCRETE	
840.26	BRICK GRATED DROP INLET TYPE "A" 12" THRU 72" PIPE	
840.27	BRICK GRATED DROP INLET TYPE "D" 12" THRU 36" PIPE	
840.28	BRICK GRATED DROP INLET TYPE "D" 12" THRU 36" PIPE	
840.29	FRAMES AND NARROW SLOT FLAT GRATES	
840.30	DRIVEWAY DROP INLET	

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NCDOT STANDARDS APPROVED FOR USE IN MECKLENBURG COUNTY AND TOWNS, INCLUDING ETJ

STANDARD 20.00B



TRENCH DETAIL FOR STORM DRAIN

STANDARD 20.25

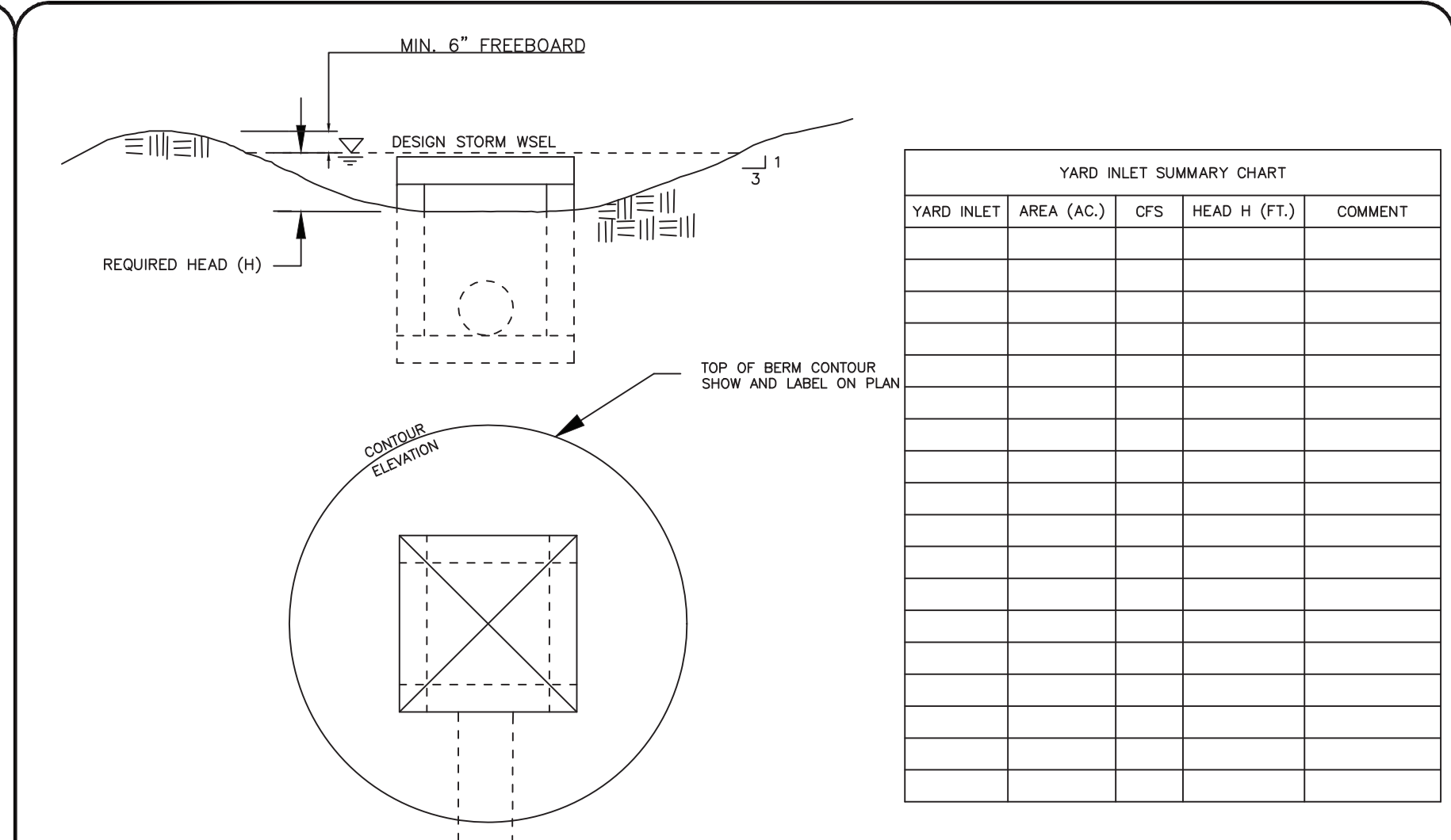
DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
840.31	CONCRETE JUNCTION BOX (WITH OPTIONAL MANHOLE) 12" THRU 66" PIPE	NOTE 1 OPTIONAL MANHOLE IS REQUIRED
840.32	BRICK JUNCTION BOX 12" THRU 66" PIPE	OPTIONAL MANHOLE IS REQUIRED
840.34	TRAFFIC BEARING JUNCTION BOX FOR USE WITH PIPES 42" AND UNDER	NOTE 1 OPTIONAL MANHOLE IS REQUIRED
840.35	TRAFFIC BEARING DROP INLET FOR CAST IRON DOUBLE FRAME AND GRATES	NOTE 1 OPTIONAL MANHOLE IS REQUIRED
840.36	TRAFFIC BEARING DROP INLET FOR STEEL (840.37) DOUBLE FRAME AND GRATES	NOT FOR USE IN PEDESTRIAN AREAS
840.37	STEEL GRATE AND FRAME	NOT FOR USE IN PEDESTRIAN AREAS
840.41	SPRING BOX CONCRETE OR BRICK	NOTE 1
840.45	PRECAST DRAINAGE STRUCTURE (SOLID AND WAFFLE WALL)	WAFFLE WALL IS NOT PERMITTED. OPENINGS SHALL BE PRECAST
840.46	TRAFFIC BEARING PRECAST DRAINAGE STRUCTURE	
840.51	BRICK MANHOLE 12" THRU 36" PIPE	
840.52	PRECAST MANHOLE 4', 5' AND 6' DIAMETER 12" THRU 42" PIPE	
840.53	PRECAST MANHOLE WITH MASONRY BASE 12" THRU 42" PIPE	
840.54	MANHOLE FRAME AND COVER	
840.66	DRAINAGE STRUCTURE STEPS	
840.71	CONCRETE AND BRICK PIPE PLUG	
840.72	PIPE COLLAR	
850.01	CONCRETE PAVED DITCHES	
852.04	METHOD FOR PLACEMENT OF DROP INLETS IN GRASSED MEDIAN (USING 1'-6" CURB AND GUTTER)	
852.05	MEDIAN CURB FOR CATCH BASIN (FOR USE WITH 1'-6" CURB AND GUTTER)	
852.06	METHOD OF PLACEMENT OF DROP INLETS IN CONCRETE ISLANDS	
876.01	RIP RAP IN CHANNELS	
876.03	DRAINAGE DITCHES WITH CLASS "A" RIP RAP	
876.04	DRAINAGE DITCHES WITH CLASS "B" RIP RAP	

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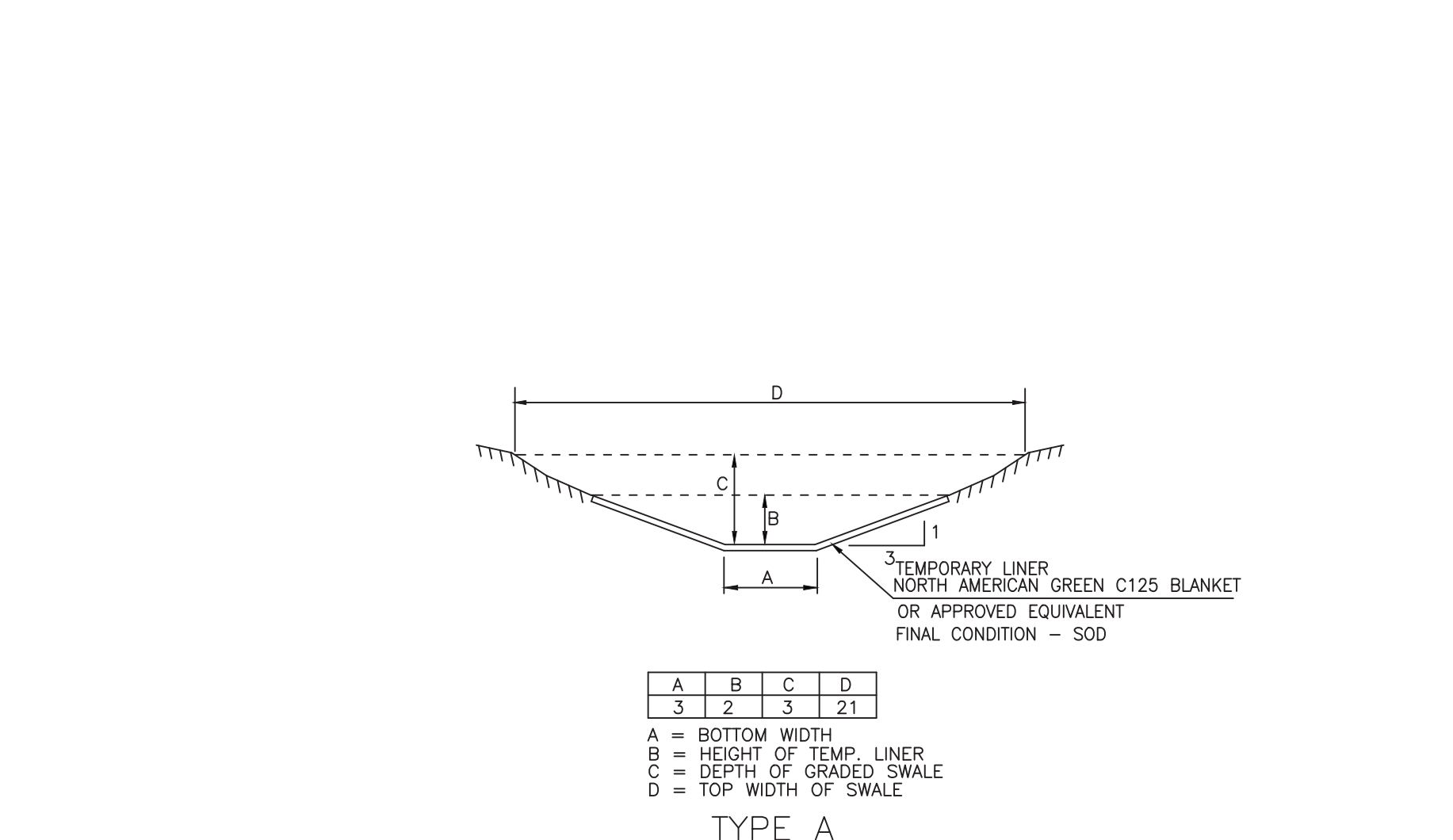
NCDOT STANDARDS APPROVED FOR USE IN MECKLENBURG COUNTY AND TOWNS, INCLUDING ETJ

STANDARD 20.00C



GRADING AT DROP INLET

STANDARD 20.35



GRASS SWALE

811 Know what's below. Call before you dig.

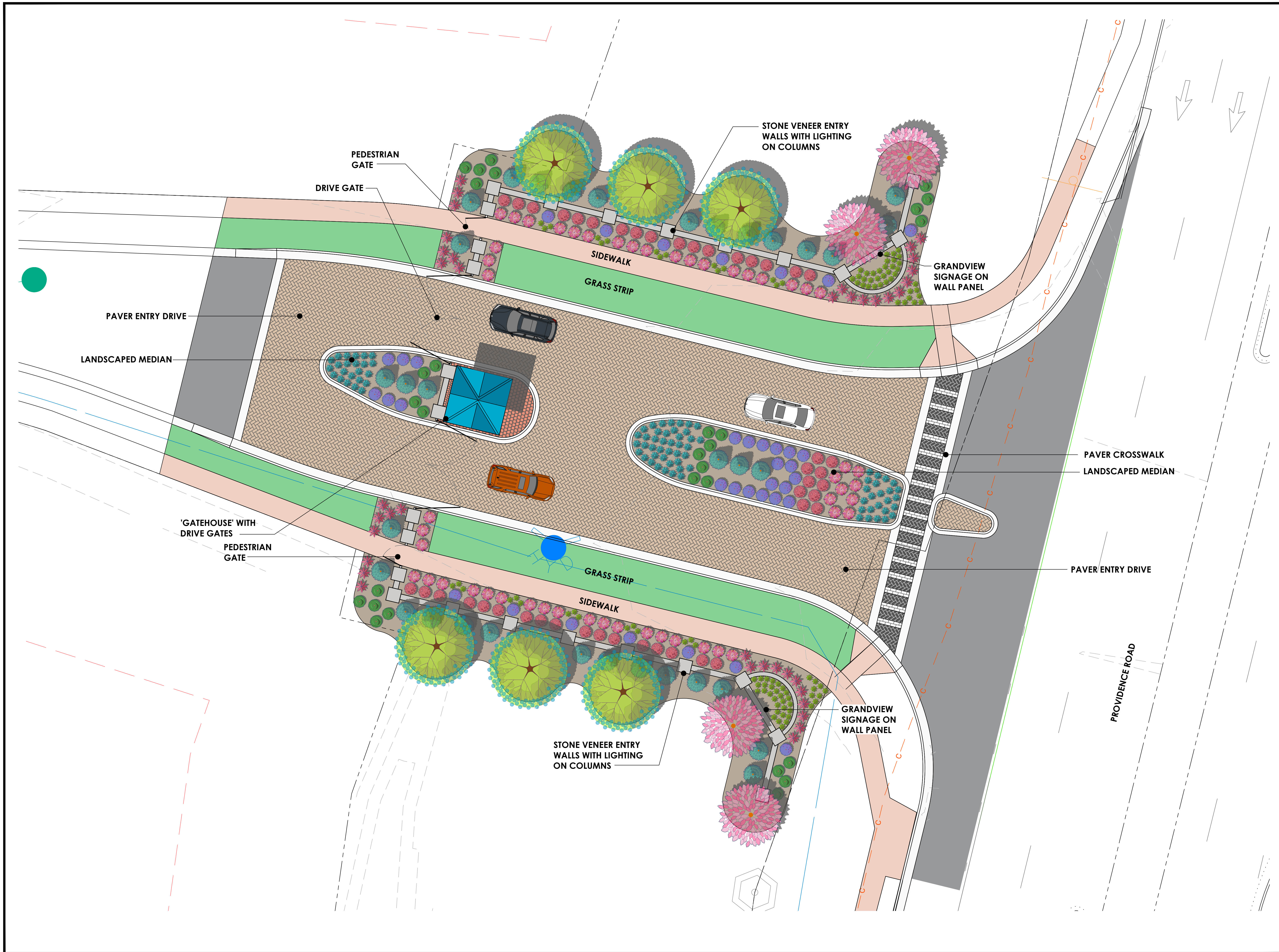
THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY. WHEN PERFORMING SITE EXCAVATION, PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.

Digitally signed by Anthony B. Cowan, P.E. Date: 2026.02.23 11:48:25-05'00'

THE ISAAC'S GROUP, P.C. ENGINEERING & LAND SURVEYING NO. C-1069

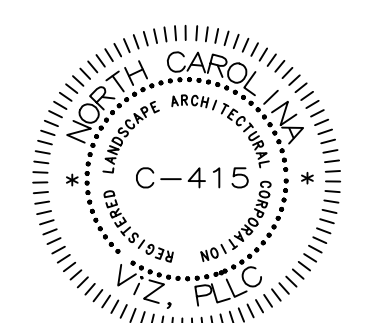
FINAL DRAWING FOR REVIEW PURPOSES ONLY

NO.	BY	DATE	REVISION



**GRANDVIEW**  
 WEDDINGTON, NC

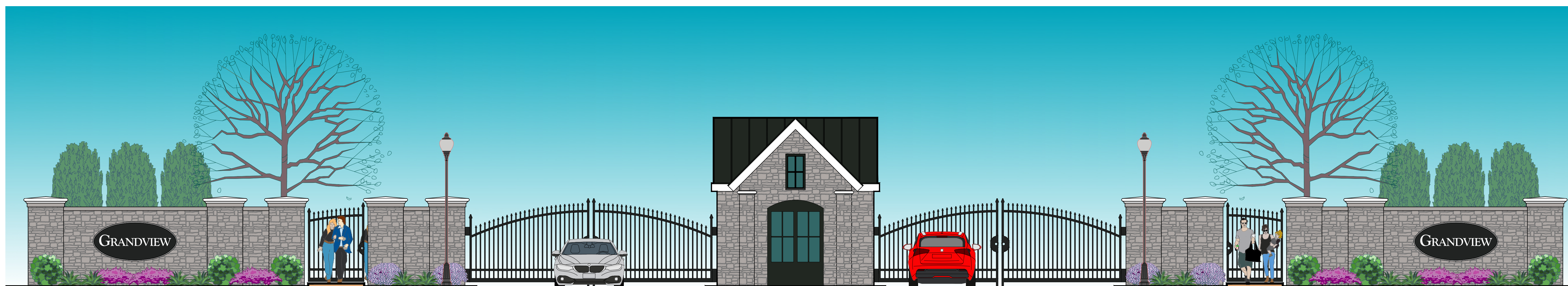
REV. #	DATE	DESCRIPTION



DATE: 2/1/2026  
 SCALE: AS SHOWN  
 JOB NUMBER: 26-4.1  
 DESIGNED BY: GRF  
 DRAWN BY: GRF

COMMUNITY  
 ENTRANCE PLAN

C:\VIZ\Projects\Grandview - Weddington (Mel Graham)\Grandview Entrance 1.dwg



ENTRY SIGNAGE  
AT STREET

WALKWAY  
AND GATE

EXIT DRIVE WITH  
DOUBLE GATES

'GATEHOUSE'  
(UNMANNED)

ENTRY DRIVE WITH  
DOUBLE GATES

WALKWAY  
AND GATE

ENTRY SIGNAGE  
AT STREET

**OVERALL ENTRANCE ELEVATION**



16'

8'

7'-5"

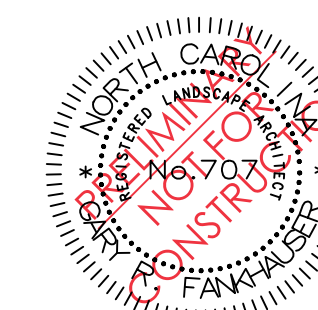
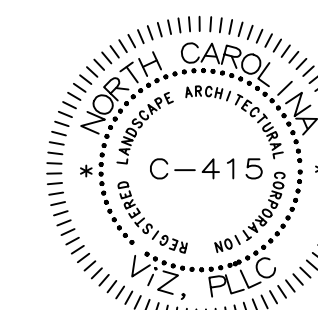
5'

7'-6"

12'-10"

**ENLARGED ENTRANCE ELEVATION**

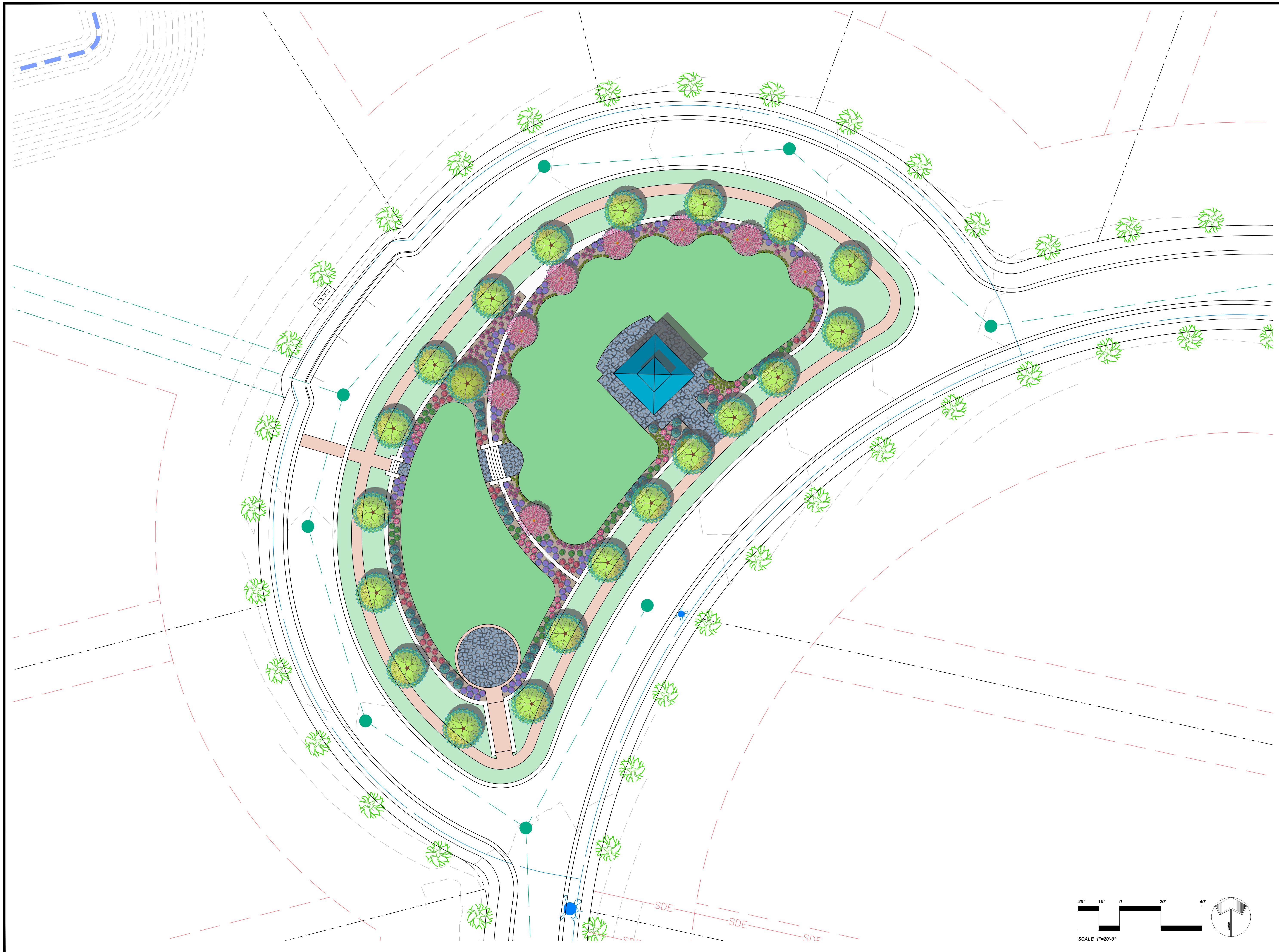
REV. #	DATE	DESCRIPTION
1		



DATE: 2/1/2026  
 SCALE: AS SHOWN  
 JOB NUMBER: 26-4.1  
 DESIGNED BY: GRF  
 DRAWN BY: GRF

COMMUNITY  
 ENTRANCE  
 ELEVATIONS

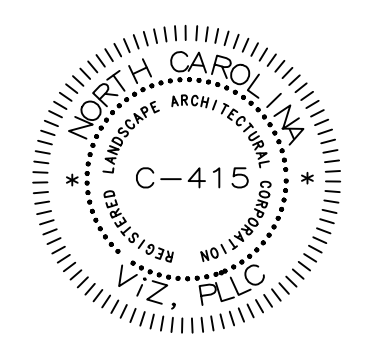
**L1.2**



**VIZ**  
 VIZ, PLLC  
 Urban Design • Land Planning • Landscape Architecture  
 PO Box 704  
 Cornelius, NC 28031  
 (704) 997-6144  
 gary@viz.design  
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**GRANDVIEW**  
 WEDDINGTON, NC

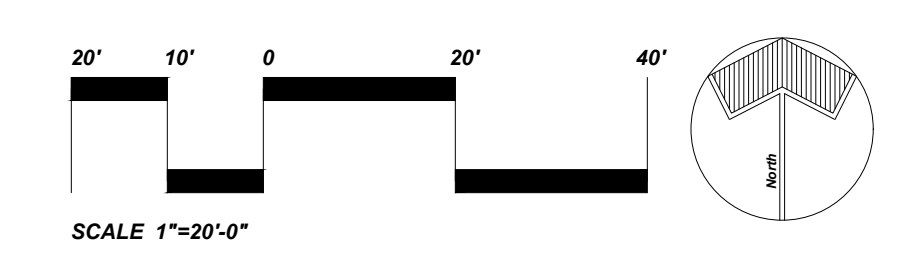
REV. #	DATE	DESCRIPTION
1		



DATE: 2/1/2026  
 SCALE: AS SHOWN  
 JOB NUMBER: 26-4.1  
 DESIGNED BY: GRF  
 DRAWN BY: GRF

COMMUNITY  
 PARK OPTION 2

**L1.3.1**



**APPENDIX 2A.**













- No Application – precursor to conservation residential development site walk and design/charette and precursor to formal application with site plan submittal.
- No Fee
- Existing Resource/Site Analysis Plan
- Conditions beyond the tract boundaries may be described on a more general basis from existing published data available from governmental agencies, and from aerial photographs and need not be as specific as those that are required for the development site. Unless otherwise requested by the subdivision administrator to facilitate readability, such plans shall be prepared at a scale of one-inch equals 100 feet or one-inch equals 200 feet, whichever would fit best on a single standard size sheet (24 inches by 36 inches). The following information shall be included in this plan:
  - An aerial photograph enlarged to the same scale as the ER/SA Map, with the site boundaries clearly marked.
  - Topography, the contour lines of which shall generally be at two-foot intervals, determined by photogrammetry. Slopes shall be clearly indicated when they are between ten and 15 percent, between 15 and 25 percent, or when exceeding 25 percent. Topography shall be prepared by a professional land surveyor or professional engineer from an actual field survey of the site or from stereoscopic aerial photography and shall be coordinated with official USGS benchmarks. Such contour lines shall also be superimposed on the aerial photo, in a contrasting color to facilitate legibility.
  - The location and delineation of ponds, lakes, streams, ditches, natural drainage swales, wetlands, and floodplains. Additional areas of wetlands on the proposed development tract shall also be indicated, as evident from testing, visual inspection, or from the presence of wetland vegetation.
  - Vegetative cover conditions on the property according to general cover type including cultivated land, permanent grass land, meadow, pasture, hedgerow, forestland and wetland, location of trees with a caliper in excess of 15 inches, the actual canopy line of existing trees and forestlands. Vegetative types shall be described by plant community, relative age and condition.
  - Soil series, types and phases, as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service in the published soil survey for the county, and accompanying data published for each soil relating to its suitability for construction (and, in unsewered areas, for septic suitability).
  - Ridge lines showing boundaries of catchment areas for stormwater runoff.
  - A viewshed analysis showing the location and extent of views into the property from public roads and from public parks, and from the boundaries of lakes, ponds, and streams on the site.
  - Geologic formations on the proposed development parcel, such as rock formations and outcroppings, and fault lines, based on available published information or more detailed data obtained by the applicant.
  - All existing manmade features including, but not limited to, streets, driveways, farm roads, forest roads, buildings, foundations, walls, wells, drainage fields, dumps, utilities, fire hydrants, and sanitary sewers.
  - Locations of all historic sites on the tract.
  - Locations of trails that have been in public use (pedestrian, equestrian, bicycle, etc.).
  - All easements and other encumbrances of property which are or have been filed of record with the county register of deeds.
  - Total acreage of the tract, and the location and acreage of primary conservation lands.

**APPENDIX 2B.**

Information to be contained in or depicted on a site plan (schematic plan) preliminary and final plats.

An "X" indicates that the information is required.

Information	Schematic Plan	Final Plat	Reference Number
Title block containing the subdivision name	✓ X	X	B1
Location (including township, county and state)	✓ X	X	B2
Developer Name and contact information	✓ X	X	B3
Civil engineer and contact information	✓ X	X	B4
Consulting engineers and contact information (if applicable)	✓ X	X	B5
Table of Contents	X	X	B6
Vicinity Map with North arrow showing the relationship between the proposed subdivision and surrounding area	✓ X	X	B7
The registration numbers and seals of the professional engineers and land surveyors	✓ X	X	B8
Existing Conditions	Schematic Plan	Final Plat	Reference Number
Acreage of the total tract(s) to be subdivided	✓ X		B9
The name and location of any property/building within the proposed subdivision or within any contiguous property listed on the U.S. Department of Interior's National Register of Historic Places or is designated as a local historic property by the County or town <b>SEE HISTORICAL PRESERVATION LETTER DATED 02/16/2026</b>	✓ X	X	B10
Vicinity map with North arrow showing the relationship between the proposed subdivision and surrounding area.	✓ X	X	B11
Exact boundary lines of the tract to be subdivided, fully dimensioned by lengths and bearings with adjacent parcel numbers and owner names	✓ X	X	B12
Street and lots of adjoining properties within 300' and names of the owners of the adjoining property	✓	X	B13

Marshes, ponds, streams and stream beds, wetlands, steep slopes, and other natural features effecting the site.	 X	X	B14
Existing Structures, watercourses, railroads, bridges, culverts, and storm drains both on the land to be subdivided and adjacent parcels		X	B15
Existing topography with vertical datum NAVD88 with 1' or 2' contours	 X	X	B16
Existing tree locations per the UDO Tree Preservation Requirements	 X		B17
Location of all easements and utilities	 X		B18
<b>DEED WITH DESCRIPTION PROVIDED, ALONG WITH SURVEY</b> Parcel description from Union County GIS	 X		B19
Zoning classification of the tract to be subdivided and on adjoining properties.	 X		B20
<b>Proposed Site Improvements</b>	<b>Schematic Plan</b>	<b>Final Plat</b>	<b>Reference Number</b>
<b>COVER SHEET IS 120 SCALE. ALL OTHERS ARE 100' OR LESS</b> Plans to be scale of not greater than 100' per inch and consistent between sheets. Listed in words and figures	 X	X	B21
<b>TIA NOT REQUIRED B/C LESS THAN 500 DAILY TRIPS AND 50 PEAK HOURLY TRIPS</b> A traffic impact assessment per Appendix C and as required by the Traffic Impact and Analysis Manual.	X <b>N/A</b>		B22
Entrances: Schematic plans shall include a detailed entrance design for all proposed access points. This design must illustrate the alignment and dimensions of the entrance road, pavement width, median layout (if applicable), and integration with existing public rights-of-way. Additionally, the plan shall identify monument sign locations, any landscape islands, lighting, and hardscape features associated with the entrance. All entrance designs should reflect the character of the proposed development and be consistent with applicable NCDOT and Town of Weddington access requirements and ordinance standards.	 X		B23
Location and dimensions of required buffers and minimum building setback lines (berms, natural buffers, etc.)	 X	X	B24
Percentage of open space required and provided	 X		B25
Proposed landscape plan for buffers and entrances	 X		B26

Identification and delineation** of proposed septic system, including locations of drain fields, repair areas, and associated infrastructure, with improvement permits or public sewer lines, if applicable.	X N/A		B27
Proposed topography with vertical datum NAVD88 with the topo map showing contours of 1' or 2' elevation contours	✓ X	X	B28
Location of all retention ponds	✓ X		B29
Location of all swales and ditches	✓ X		B30
Preliminary storm water lines and structure (if applicable)	✓ X		B31
Preliminary calculations of proposed impervious surface and runoff volume to see proportionally sized BMP ponds.	✓ X		B32
Designation of site-specific Flood Protection Elevation (FPE) in compliance with FEMA and local codes.	N/A X	X	B33
Exact location of the flood hazard, floodway, and floodway fringe areas from the town's FEMA maps	✓ X	X	B34
Preliminary drainage, stormwater management plan and wetland protection plan	✓ X	X	B35
Preliminary proposed details of stormwater structures, flumes, etc.	✓ X		B36
Preliminary locations of all utility and other easements.	✓ X	X	B37
Compliance with setbacks from streams	✓ X	X	B38
A preliminary erosion control plan with proposed limits of disturbance.	✓ X		B39
The future ownership (dedication of reservation for public use to government body, HOA, or tenants remaining in subdivider's ownership) of recreational and open space lands		X	B40
Proposed lot lines, lot sizes, consecutive numbered lots with building pad locations showing the smallest lot and average lot size.	✓ X		B41

\*\*Delineation refers to precise marking or documentation of boundaries, work zones, and responsibilities within a construction site. It ensures clarity between project stakeholders.

The exact locations and descriptions of all monuments, markers, and control points		X	B43
A copy of notification submitted to the Facilities Director of UC Public Schools and the Chairman of the Board of Education, stating the number of lots requested in the plat application	✓ X	X	B44
Wetlands report provided. If wetlands impact permit is required, it will be provided during construction drawing phase. A copy of permits from the Army Corps of Engineers	N/A X		B45
A yield plan demonstrating 40,000 sq ft minimum lot size with buildable area compliance.	X N/A		B46
A preliminary lighting plan for street lights, amenity lights, and parking lot lights (if applicable)	✓ X		B47
<b>Roads</b>	<b>Schematic Plan</b>	<b>Final Plat</b>	<b>Reference Number</b>
Proposed roads with horizontal and vertical alignment	✓ X	X	B48
A preliminary proposed street layout with pavement and right-of- way widths and proposed grades	✓ X	X	B49
Existing and platted roads on adjoining properties and in the proposed subdivision	✓ X	X	B50
<b>Amenity Areas (if applicable)</b>	<b>Schematic Plan</b>	<b>Final Plat</b>	<b>Reference Number</b>
Club house location	N/A X	X	B51
Club house parking	N/A X	X	B52
Pools and/or sport courts and fields	N/A X	X	B53
Walking trails and paths requiring improvement (grading, stone, fencing, etc.)	✓ X	X	B54

\*\*Delineation refers to precise marking or documentation of boundaries, work zones, and responsibilities within a construction site. It ensures clarity between project stakeholders.

Heritage Trees	Schematic Plan	Final Plat	Reference Number
Indicate Heritage trees proposed for removal and provide preservation/mitigation plans per the Weddington Tree Ordinance.	✓ X		B55
Indicate perimeter protect area required during construction	✓ X		B56
A tree survey in accordance with the Town of Weddington Tree Ordinance indicating Heritage trees and the limits of proposed tree protection <b>SURVEY BY WEPG</b>	✓ X		B57

(O-2025-06)

TOWN OF WEDDINGTON  
*Conditional Zoning Application*

This application is required for all conditional zoning applications. Completed applications along with all associated submittal requirements, must be submitted via the Town's Self-Service Permitting Portal.

No application shall be considered complete unless accompanied by the application fee in the amount of \$2,000 plus \$300/acre.

It is the responsibility of the applicant to submit complete and correct information. Incomplete or incorrect information may invalidate your application. The applicant, by filing this application, agrees to comply with all applicable requirements of the Unified Development Ordinance.

**APPLICANT INFORMATION**

Name: Signature Properties of the Carolinas, LLC (Mel Graham)  
Mailing Address: PO Box 78926, Charlotte, NC 28271  
Phone Number: 980-254-4094 Email: mel@grahamenterprises.org

**PROPERTY OWNER INFORMATION** *(if different from applicant)*

Name: Signature Properties of the Carolinas, LLC (Mel Graham)  
Mailing Address: PO Box 78926, Charlotte, NC 28271  
Phone Number: 980-254-4094 Email: mel@grahamenterprises.org

**SUBJECT PROPERTY INFORMATION**

Location: NW corner of Providence Road and Rea Road  
Parcel Number: 06150001  
Existing Zoning: RCD  
Use of Property: Existing - undeveloped / Proposed - SF Residential

## APPLICANT SUBMITTAL INFORMATION

### **Preapplication Meeting**

Any person contemplating a conditional rezoning is strongly encouraged to schedule a preapplication meeting with the Zoning Administrator. A preapplication meeting is required for conservation residential developments.

### **Existing Resource/Site Analysis Plan & Yield Plan (Conservation Residential Development Only).**

The following information shall be submitted for all proposed conservation residential developments as prescribed in section D-607 C. of the Unified Development Ordinance.

- Existing resources and site analysis plan which shall be prepared to provide the developer and the Town with a comprehensive analysis of existing conditions
- A yield plan showing all proposed lots, streets, rights-of-way, and other pertinent features that would be required for a schematic plan for major conventional subdivisions as identified in Appendix 2.

### **On Site Visit and Charette Process (Conservation Residential Development Only).**

The Applicant shall schedule time to walk the property with the Administrator, Planning Board members, and adjacent property owners. Immediately following the site visit the applicant shall sit down with the Administrator and on-site visit attendees to review the findings and begin the four-step process below.

- Designation of Conservation Lands. All potential conservation areas, both primary and secondary, shall be identified using the existing features/site analysis map. Guidance on conservation designations shall be based upon discussions at the on-site meeting plus the design standards and specific conservation standards in section D-901(c)(20).
- House Site Location. Generally, house sites should be located no closer than 100 feet from primary conservation areas. Such sites may be situated 50 feet from secondary conservation areas to permit the enjoyment of scenic views without negatively impacting primary conservation areas.
- Street Alignment and Trail Networks. Align proposed streets to provide vehicular access to each house in the most reasonable and economical manner, and lay out a network of informal trails connecting neighborhood areas with open space features within the conservation lands. When lots and access streets are laid out, they shall be located in such a way that minimizes impacts on both primary and secondary conservation areas.
- Drawing in the Lot Lines around potential house sites. Each lot must contain a buildable area of sufficient size to accommodate a single-family detached dwelling and customary accessory uses, including, but not limited to, storage buildings and garages, patios and decks, lawns, and driveways. Individual wells and septic systems, where these are to be provided, may be located within the undivided conservation lands if sufficient space is not available on the lots.

### **Application, Including Site Plan**

All applications must include a site plan, drawn to scale, and supporting text that, as approved, will become a part of the Ordinance amendment. The site plan, drawn by an architect, landscape architect, or engineer licensed to practice in North Carolina, shall include any supporting information and text that specifies the actual use or uses intended for the property and any rules, regulations, and conditions in addition to all predetermined Ordinance requirements, will govern the development and use of the property. The applicant acknowledges that they will review the conditional zoning request prior to any zoning permits being issued by the Town for such project. The applicant shall, at a minimum, include as part of the application, each of the items listed below (including all submittal requirements listed in Appendix 2 of the UDO):

- A boundary survey showing the total acreage, present zoning classifications, date, and north arrow.
- The owner's names, addresses and the tax parcel numbers of all adjoining properties.
- All existing easements, reservations, and right-of-way on the property or properties in question.
- Proposed principal uses: a general summary of the uses that will take place, with reference made to the list of uses found in Section D-703 of the Unified Development Ordinance.
- Traffic impact analysis/study for the proposed service area, as determined by the Town Engineer, shall be required. In addition, traffic, parking and circulation plans, showing the proposed locations and arrangement of parking spaces and access points to adjacent streets including typical parking space dimensions and locations (for all shared parking facilities) along with typical street cross-sections.
- General information on the number, height, size, and location of structures.
- All proposed setbacks, buffers, screening, and landscaping required by these regulations or otherwise proposed by the petitioner.
- All existing and proposed points of access to public streets.
- Proposed phasing of the project.
- Proposed number, location, type, and size of all commercial signs.
- Exterior treatment of all principal structures.
- Delineation of all marginal lands, including areas within the regulatory floodplain, as shown on official Flood Hazard Boundary Maps for Union County.
- Existing and proposed topography at five-foot contour intervals or less.
- Scale and physical relationship of buildings relative to abutting properties.
- Public Involvement Meeting Labels.

### **Planning Board Review**

Before the Planning Board review, the applicant must provide a written report of at least one community meeting held by the applicant. Reasonable notice of the required community meeting shall be provided as stated in Section D-607.C.5 of the Unified Development Ordinance. The Zoning Administrator shall present any properly completed application to the Planning Board at its next regularly scheduled meeting occurring at least 15 days after the

application has been deemed complete and ready for submission to the Planning Board. The Planning Board, by majority vote, may shorten or waive the time provided for receipt for a completed application. The Planning Board shall have 30 days from the date that the application is presented to it to review the application and to act. If such period expires without action taken by the Planning Board, the application shall then be transferred to the Town Council without a Planning Board recommendation.

**Public Hearing Required**

Prior to deciding on rezoning a piece of property to a Conditional Zoning District, the Town Council shall have held a public hearing. Notice of such public hearing shall have been given as prescribed in Section D-602 of the Unified Development Ordinance.

**Action by Town Council**

Conditional Zoning District decisions are a legislative process and shall consider applicable adopted land use plans for the area and other adopted land use policy documents and/or ordinances. A statement analyzing the reasonableness of the proposed rezoning shall be prepared for each application and evaluated by the Town Council. Once the public hearing has been held, the Town Council shall act on the petition. The Town Council shall have the authority to:

- a. Approve the application as submitted.
- b. Deny approval of the application.
- c. Approve application with modifications that are agreed to by the applicant.
- d. Submit the application to the Planning Board for further study. The Planning Board shall have up to 31 days from the date of such submission to make a report to the Town Council. If no report is issued, the Town Council can take final action on the petition. The Town Council reserves the right to schedule and advertise a new public hearing based on the Planning Board's report.

**CERTIFICATION**

I HEREBY CERTIFY that all the information provided for this application and all attachments is true and correct to the best of my knowledge. I further certify that I am familiar with all applicable requirements of the Weddington Unified Development Ordinance concerning this proposal, and I acknowledge that any violation of such will be grounds for revoking any approvals or permits granted or issued by the Town of Weddington.

Melvin F. Graham  
Melvin F. Graham (Feb 17, 2026 14:21:22 EST)

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

Melvin F. Graham  
Melvin F. Graham (Feb 17, 2026 14:21:22 EST)

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date







# Grandview 2026conditional\_zoning\_application\_revised

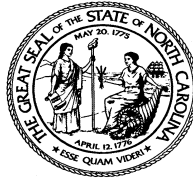
Final Audit Report

2026-02-17

Created:	2026-02-17
By:	Dana Scott (dana@grahamenterprises.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAALQyRGqwmcmOmmQngXe4G_GKRG1Nc9Nmc

## "Grandview 2026conditional\_zoning\_application\_revised" History

-  Document created by Dana Scott (dana@grahamenterprises.org)  
2026-02-17 - 7:18:04 PM GMT
-  Document emailed to mel@grahamenterprises.org for signature  
2026-02-17 - 7:19:52 PM GMT
-  Email viewed by mel@grahamenterprises.org  
2026-02-17 - 7:20:19 PM GMT
-  Signer mel@grahamenterprises.org entered name at signing as Melvin F. Graham  
2026-02-17 - 7:21:20 PM GMT
-  Document e-signed by Melvin F. Graham (mel@grahamenterprises.org)  
Signature Date: 2026-02-17 - 7:21:22 PM GMT - Time Source: server
-  Agreement completed.  
2026-02-17 - 7:21:22 PM GMT



**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Josh Stein  
Secretary Pamela B. Cashwell

Office of Archives and History  
Deputy Secretary Darin J. Waters, Ph.D.

February 16, 2026

Britt Helms  
Wetlands & Waters, Inc.  
328 East Broad Street, Suite D  
Statesville, NC 28677

[britthelms@wetlands-waters.com](mailto:britthelms@wetlands-waters.com)

Re: Construct Grandview Subdivision, 248 Rea Road, Waxhaw, Union County, ER 26-0368

Dear Ms. Helms:

Thank you for your letter of January 30, 2026, regarding the above-referenced undertaking. We have reviewed the submission and offer the following comments.

We have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we are not requiring any archaeological or architectural survey and have no comment on the project as proposed.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or [environmental.review@dncr.nc.gov](mailto:environmental.review@dncr.nc.gov). In all future communication concerning this project, please cite the above referenced tracking number.

Sincerely,

A handwritten signature in blue ink that reads "Renee Gledhill-Earley".

*for* Ramona Bartos, Deputy  
State Historic Preservation Officer

cc: Mel Graham, Signature Properties of the Carolinas, LLC

[mel@grahamenterprises.org](mailto:mel@grahamenterprises.org)



Union County Government  
500 N. Main Street  
Suite 47  
Monroe, NC 28112  
704-283-3816

February 10, 2026

Anthony Cowan  
The Isaacs Group  
8720 Red Oak Blvd  
Charlotte, NC 28217

<b>Project Number</b>	20253268
<b>Location</b>	Providence Road
<b>Stage</b>	Sketch Plan
<b>Parcel(s)</b>	06150001
<b>Status</b>	Not Approved

Dear: Anthony Cowan

We have completed our review of the above referenced Sketch Plan and offer the attached comments. Please make all necessary corrections and resubmit a revised Sketch Plan.

## Plan Review Comments

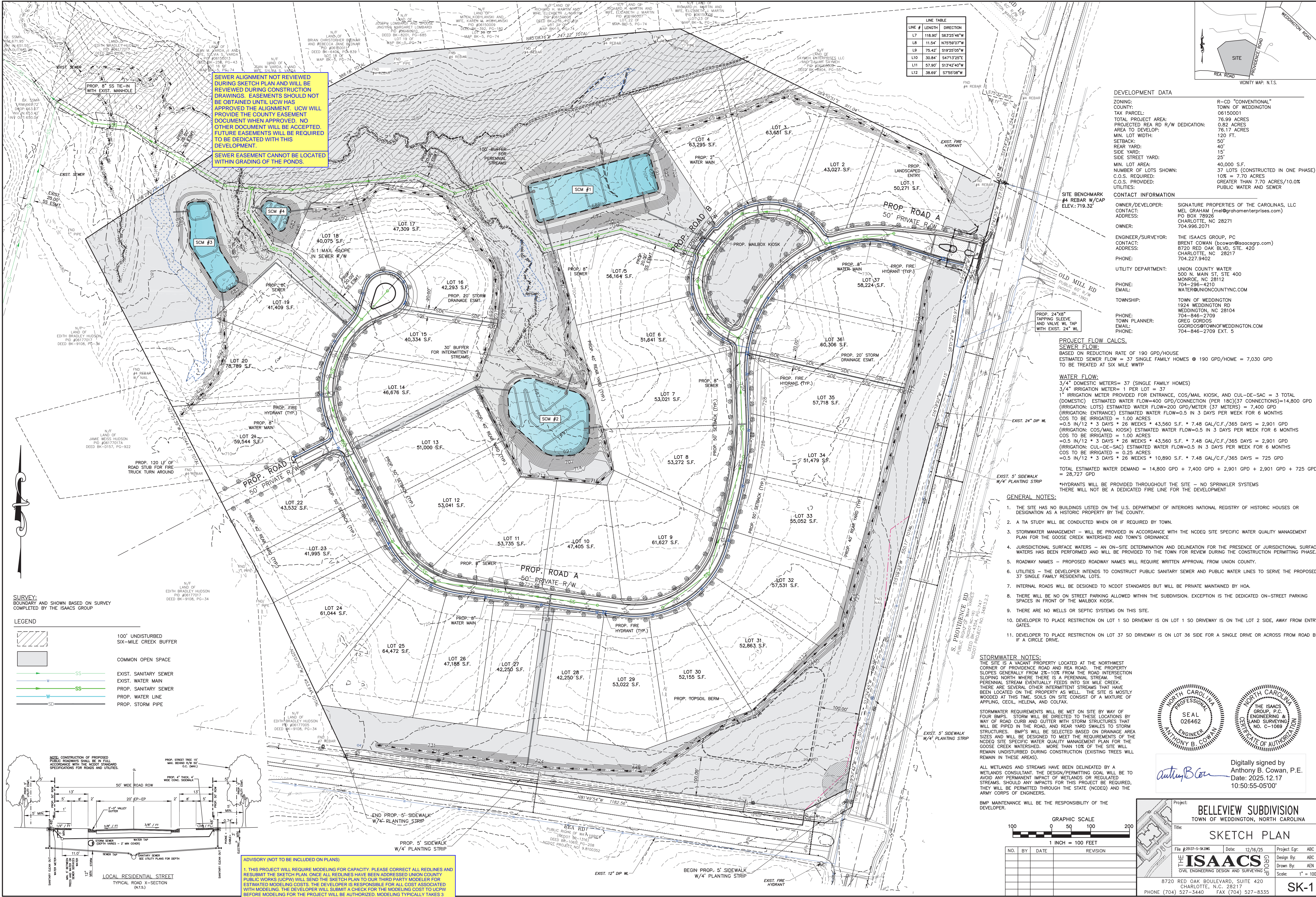
Public Works - Angela Parker -  
Angela.Parker@unioncountync.gov

Not Approved

**Review Comments:**

1. This project has been sent to Union County Water (UCW) third party modeler for a modeling quote. Once UCW receives the quote the developer and engineer will be contacted and will be provided modeling fees for the project. The associated modeling cost and fees are the developer's responsibility. UCW will not authorize the modeler to do the work until payment is received. Modeling typically takes 3 weeks after authorization is given by UCW. The Sketch Plan is not eligible for approval until the modeling report is received.

---



LINE #	LENGTH	DIRECTION
L7	118.90'	S63°25'46"W
L8	11.54'	N75°59'07"W
L9	75.42'	S19°25'05"W
L10	30.84'	S47°32'25"E
L11	57.90'	S13°42'40"W
L12	38.69'	S75°59'08"W

SEWER ALIGNMENT NOT REVIEWED DURING SKETCH PLAN AND WILL BE REVIEWED DURING CONSTRUCTION DRAWINGS. EASEMENTS SHOULD NOT BE OBTAINED UNTIL UCW HAS APPROVED THE ALIGNMENT. UCW WILL PROVIDE THE COUNTY EASEMENT DOCUMENT WHEN APPROVED. NO OTHER DOCUMENT WILL BE ACCEPTED. FUTURE EASEMENTS WILL BE REQUIRED TO BE DEDICATED WITH THIS DEVELOPMENT.

SEWER EASEMENT CANNOT BE LOCATED WITHIN GRADING OF THE PONDS.

**DEVELOPMENT DATA**

ZONING:	R-CD "CONVENTIONAL"
COUNTY:	TOWN OF WEDDINGTON
TAX PARCEL:	06150001
TOTAL PROJECT AREA:	76.99 ACRES
PROJECTED REA RD R/W DEDICATION:	0.82 ACRES
AREA TO DEVELOP:	76.17 ACRES
MIN. LOT WIDTH:	120 FT.
SETBACK:	50'
REAR YARD:	40'
SIDE YARD:	15'
SIDE STREET YARD:	25'
MIN. LOT AREA:	40,000 S.F.
NUMBER OF LOTS SHOWN:	37 LOTS (CONSTRUCTED IN ONE PHASE)
C.O.S. REQUIRED:	10% = 7.70 ACRES
C.O.S. PROVIDED:	GREATER THAN 7.70 ACRES/10.0% PUBLIC WATER AND SEWER

**CONTACT INFORMATION**

OWNER/DEVELOPER: SIGNATURE PROPERTIES OF THE CAROLINAS, LLC  
 CONTACT: MEL GRAHAM (mel@grahamenterprises.com)  
 ADDRESS: PO BOX 78926  
 CHARLOTTE, NC 28271  
 OWNER: 704.996.2071

ENGINEER/SURVEYOR: THE ISAACS GROUP, P.C.  
 CONTACT: BRENT COWAN (bcowan@isaacsgroup.com)  
 ADDRESS: 8720 RED OAK BLVD, STE. 420  
 CHARLOTTE, NC 28217  
 PHONE: 704.227.9402

UTILITY DEPARTMENT: UNION COUNTY WATER  
 500 N. MAIN ST. STE. 400  
 MONROE, NC 28112  
 704-296-4210  
 WATER@UNIONCOUNTYNC.COM

TOWNSHIP: TOWN OF WEDDINGTON  
 1924 WEDDINGTON RD  
 WEDDINGTON, NC 28104  
 704-846-2709  
 TOWN PLANNER: GREG GORDOS  
 GORDOS@TOWNOFWEDDINGTON.COM  
 704-846-2709 EXT. 5

**PROJECT FLOW CALCS.**

SEWER FLOW:  
 BASED ON REDUCTION RATE OF 190 GPD/HOUSE  
 ESTIMATED SEWER FLOW = 37 SINGLE FAMILY HOMES @ 190 GPD/HOUSE = 7,030 GPD  
 TO BE TREATED AT SIX MILE WWTP

**WATER FLOW:**

3/4" DOMESTIC METERS= 37 (SINGLE FAMILY HOMES)  
 3/4" IRRIGATION METER= 1 PER LOT = 37  
 1" IRRIGATION METER PROVIDED FOR ENTRANCE, COS/MAIL KIOSK, AND CUL-DE-SAC = 3 TOTAL (DOMESTIC) ESTIMATED WATER FLOW=400 GPD/CONNECTION (PER 18C)(37 CONNECTIONS)=14,800 GPD (IRRIGATION: LOTS) ESTIMATED WATER FLOW=200 GPD/METER (37 METERS) = 7,400 GPD (IRRIGATION: ENTRANCE) ESTIMATED WATER FLOW=0.5 IN 3 DAYS PER WEEK FOR 6 MONTHS COS TO BE IRRIGATED = 1.00 ACRES  
 =0.5 IN/12 \* 3 DAYS \* 26 WEEKS \* 43,560 S.F. \* 7.48 GAL/C.F./365 DAYS = 2,901 GPD (IRRIGATION: COS/MAIL KIOSK) ESTIMATED WATER FLOW=0.5 IN 3 DAYS PER WEEK FOR 6 MONTHS COS TO BE IRRIGATED = 1.00 ACRES  
 =0.5 IN/12 \* 3 DAYS \* 26 WEEKS \* 43,560 S.F. \* 7.48 GAL/C.F./365 DAYS = 2,901 GPD (IRRIGATION: CUL-DE-SAC) ESTIMATED WATER FLOW=0.5 IN 3 DAYS PER WEEK FOR 6 MONTHS COS TO BE IRRIGATED = 0.25 ACRES  
 =0.5 IN/12 \* 3 DAYS \* 26 WEEKS \* 10,890 S.F. \* 7.48 GAL/C.F./365 DAYS = 725 GPD  
 TOTAL ESTIMATED WATER DEMAND = 14,800 GPD + 7,400 GPD + 2,901 GPD + 2,901 GPD + 725 GPD = 28,727 GPD

\*HYDRANTS WILL BE PROVIDED THROUGHOUT THE SITE - NO SPRINKLER SYSTEMS THERE WILL NOT BE A DEDICATED FIRE LINE FOR THE DEVELOPMENT

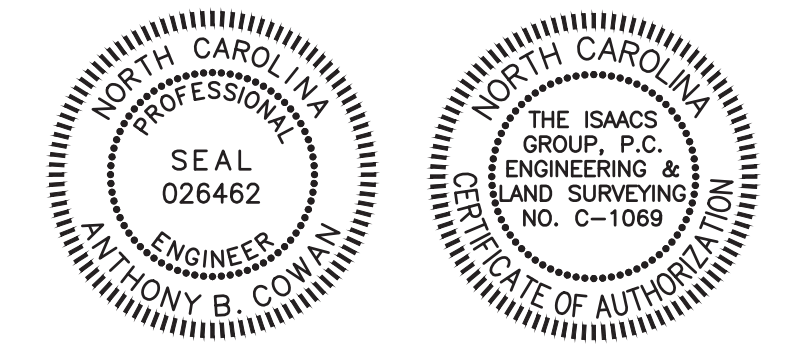
- GENERAL NOTES:**
- THE SITE HAS NO BUILDINGS LISTED ON THE U.S. DEPARTMENT OF INTERIORS NATIONAL REGISTRY OF HISTORIC HOUSES OR DESIGNATION AS A HISTORIC PROPERTY BY THE COUNTY.
  - A TIA STUDY WILL BE CONDUCTED WHEN OR IF REQUIRED BY TOWN.
  - STORMWATER MANAGEMENT - WILL BE PROVIDED IN ACCORDANCE WITH THE NCDEQ SITE SPECIFIC WATER QUALITY MANAGEMENT PLAN FOR THE GOOSE CREEK WATERSHED AND TOWN'S ORDINANCE
  - JURISDICTIONAL SURFACE WATERS - AN ON-SITE DETERMINATION AND DELINEATION FOR THE PRESENCE OF JURISDICTIONAL SURFACE WATERS HAS BEEN PERFORMED AND WILL BE PROVIDED TO THE TOWN FOR REVIEW DURING THE CONSTRUCTION PERMITTING PHASE.
  - ROADWAY NAMES - PROPOSED ROADWAY NAMES WILL REQUIRE WRITTEN APPROVAL FROM UNION COUNTY.
  - UTILITIES - THE DEVELOPER INTENDS TO CONSTRUCT PUBLIC SANITARY SEWER AND PUBLIC WATER LINES TO SERVE THE PROPOSED 37 SINGLE FAMILY RESIDENTIAL LOTS.
  - INTERNAL ROADS WILL BE DESIGNED TO NCDOT STANDARDS BUT WILL BE PRIVATE MAINTAINED BY HOA.
  - THERE WILL BE NO ON-STREET PARKING ALLOWED WITHIN THE SUBDIVISION. EXCEPTION IS THE DEDICATED ON-STREET PARKING SPACES IN FRONT OF THE MAILBOX KIOSK.
  - THERE ARE NO WELLS OR SEPTIC SYSTEMS ON THIS SITE.
  - DEVELOPER TO PLACE RESTRICTION ON LOT 1 SO DRIVEWAY IS ON LOT 1 SO DRIVEWAY IS ON THE LOT 2 SIDE, AWAY FROM ENTRY GATES.
  - DEVELOPER TO PLACE RESTRICTION ON LOT 37 SO DRIVEWAY IS ON LOT 36 SIDE FOR A SINGLE DRIVE OR ACROSS FROM ROAD B IF A CIRCLE DRIVE.

**STORMWATER NOTES:**

THE SITE IS A VACANT PROPERTY LOCATED AT THE NORTHWEST CORNER OF PROVIDENCE ROAD AND REA ROAD. THE PROPERTY SLOPES GENERALLY FROM 2%-10% FROM THE ROAD INTERSECTION SLOPING NORTH WHERE THERE IS A PERENNIAL STREAM. THE PERENNIAL STREAM EVENTUALLY FEEDS INTO SIX MILE CREEK. THERE ARE SEVERAL OTHER INTERMITTENT STREAMS THAT HAVE BEEN LOCATED ON THE PROPERTY AS WELL. THE SITE IS MOSTLY WOODED AT THIS TIME. SOILS ON SITE CONSIST OF A MIXTURE OF APPLING, CECIL, HELENA, AND COLFAX.

STORMWATER REQUIREMENTS WILL BE MET ON SITE BY WAY OF FOUR BMPs. STORM WILL BE DIRECTED TO THESE LOCATIONS BY WAY OF ROAD CURB AND GUTTER WITH STORM STRUCTURES THAT WILL BE PIPED IN THE ROAD, AND REAR YARD SMALES TO STORM STRUCTURES. BMPs WILL BE SELECTED BASED ON DRAINAGE AREA SIZES AND WILL BE DESIGNED TO MEET THE REQUIREMENTS OF THE NCDEQ SITE SPECIFIC WATER QUALITY MANAGEMENT PLAN FOR THE GOOSE CREEK WATERSHED. MORE THAN 10% OF THE SITE WILL REMAIN UNDISTURBED DURING CONSTRUCTION (EXISTING TREES WILL REMAIN IN THESE AREAS).

ALL WETLANDS AND STREAMS HAVE BEEN DELINEATED BY A WETLANDS CONSULTANT. THE DESIGN/PERMITTING GOAL WILL BE TO AVOID ANY PERMANENT IMPACT OF WETLANDS OR REGULATED STREAMS. SHOULD ANY IMPACTS FOR THIS PROJECT BE REQUIRED, THEY WILL BE PERMITTED THROUGH THE STATE (NCDEQ) AND THE ARMY CORPS OF ENGINEERS.

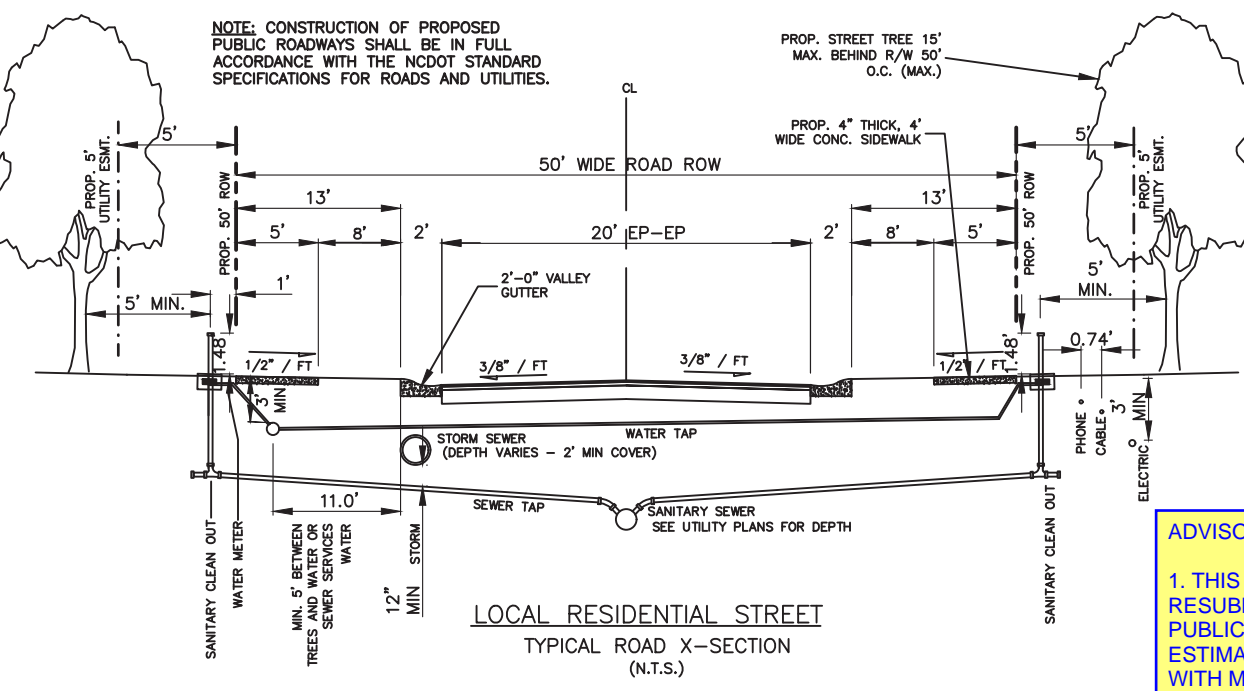


Digitally signed by Anthony B. Cowan, P.E.  
 Date: 2025.12.17  
 10:50:55-05'00'

**SURVEY:**  
 BOUNDARY AND SHOWN BASED ON SURVEY COMPLETED BY THE ISAACS GROUP

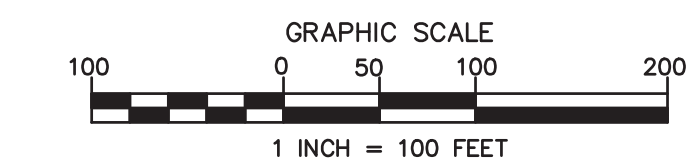
**LEGEND**

- 100' UNDISTURBED SIX-MILE CREEK BUFFER
- COMMON OPEN SPACE
- EXIST. SANITARY SEWER
- EXIST. WATER MAIN
- PROP. SANITARY SEWER
- PROP. WATER LINE
- PROP. STORM PIPE



**ADVISORY (NOT TO BE INCLUDED ON PLANS)**

1. THIS PROJECT WILL REQUIRE MODELING FOR CAPACITY. PLEASE CORRECT ALL REDLINES AND RESUBMIT THE SKETCH PLAN. ONCE ALL REDLINES HAVE BEEN ADDRESSED UNION COUNTY PUBLIC WORKS (UCPW) WILL SEND THE SKETCH PLAN TO OUR THIRD PARTY MODELER FOR ESTIMATED MODELING COSTS. THE DEVELOPER IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH MODELING. THE DEVELOPER WILL SUBMIT A CHECK FOR THE MODELING COST TO UCWP BEFORE MODELING FOR THE PROJECT WILL BE AUTHORIZED. MODELING TYPICALLY TAKES 3 WEEKS AFTER AUTHORIZATION.



NO.	BY	DATE	REVISION

Project: BELLEVIEW SUBDIVISION  
 TOWN OF WEDDINGTON, NORTH CAROLINA

Title: SKETCH PLAN

File #25137-S-RKDW Date: 12/16/25 Project Egr: ABC  
 LL ISAACS GROUP, P.C. Design By: ABC  
 Drawn By: AN Scale: 1" = 100'

8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

**SK-10**



## **Heritage Tree Inventory**

For: ***GRANDVIEW - WEDDINGTON***

Union County, North Carolina

**By: Lisa R. Gaffney, Kelsey Strasbaugh, and Brett Kasberger  
February 17, 2026**

**EXECUTIVE SUMMARY:**

The Grandview site is located in the Town of Weddington in the northwest quadrant of the intersection of Providence Road at Rea Road. Historical reference data including the 1968 USGS topography map, 1996 NRCS soil map, and aerial photography indicates that until a few decades ago, a large portion of this site was open and under cultivation. At present, the site is dominated by an overgrowth of volunteer pines and sweetgum trees, typical of abandoned farmland, with mixed hardwoods on the lower slopes and stream corridors.

This study evaluates the forest cover on the Grandview site to provide a Heritage Tree Inventory; documenting qualifying and quantifying data for desired classes of heritage trees on site as specified by the Town of Weddington UDO Section D-917A. Q-Tree Requirements.

For the inventory, the site was separated into two groups:

Group A: areas of the site that will be disturbed during the installation of infrastructure, including roads, utility corridors, spoil stockpiles, and storm water controls. An intensive evaluation of these areas produced a comprehensive location and identification of all heritage trees that exist in this group.

Group B: areas of the site that will be preserved in their existing state, including undisturbed buffers, setbacks and designated tree save and open space. A fixed radius plot (FRP) method was used to produce an evidence based estimate of the number of heritage trees per acre for this group.

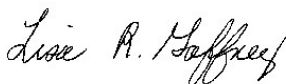
**Results:**

Group A: All Heritage Trees were marked in the field and recorded on a digital map. With adjustments made to avoid impacts to 12 trees out of the group, **a calculated total of 93 heritage trees were documented within the future disturbed areas.**

Group B: A fixed radius plot (FRP) study provided the number of Heritage Trees per acre (HTPA) value for the designated preserved areas of the site. HTPA = 13.28. The data results in **a calculated estimate of 676 heritage trees occurring within the future undisturbed areas.**

The data presented in this report is solely intended to aid site planning for the Grandview site.

Respectfully submitted,



---

Lisa R. Gaffney  
Biologist  
February 17, 2026

**GENERAL LANDSCAPE DESCRIPTION:**

Grandview is located directly west of Providence Road and north of Rea Road, in Weddington, Union County, North Carolina. The site was historically under cultivation as evidenced by images from the 1968 USGS Topographic Map, and 1996 NRCS Soil Survey Aerial Map. (Figures 1-3). At present, the site is dominated by an overgrowth of volunteer pines and sweetgum trees, typical of abandoned farmland, with mixed hardwoods on the lower slopes and stream corridors

**Figure 1: VICINITY MAP**

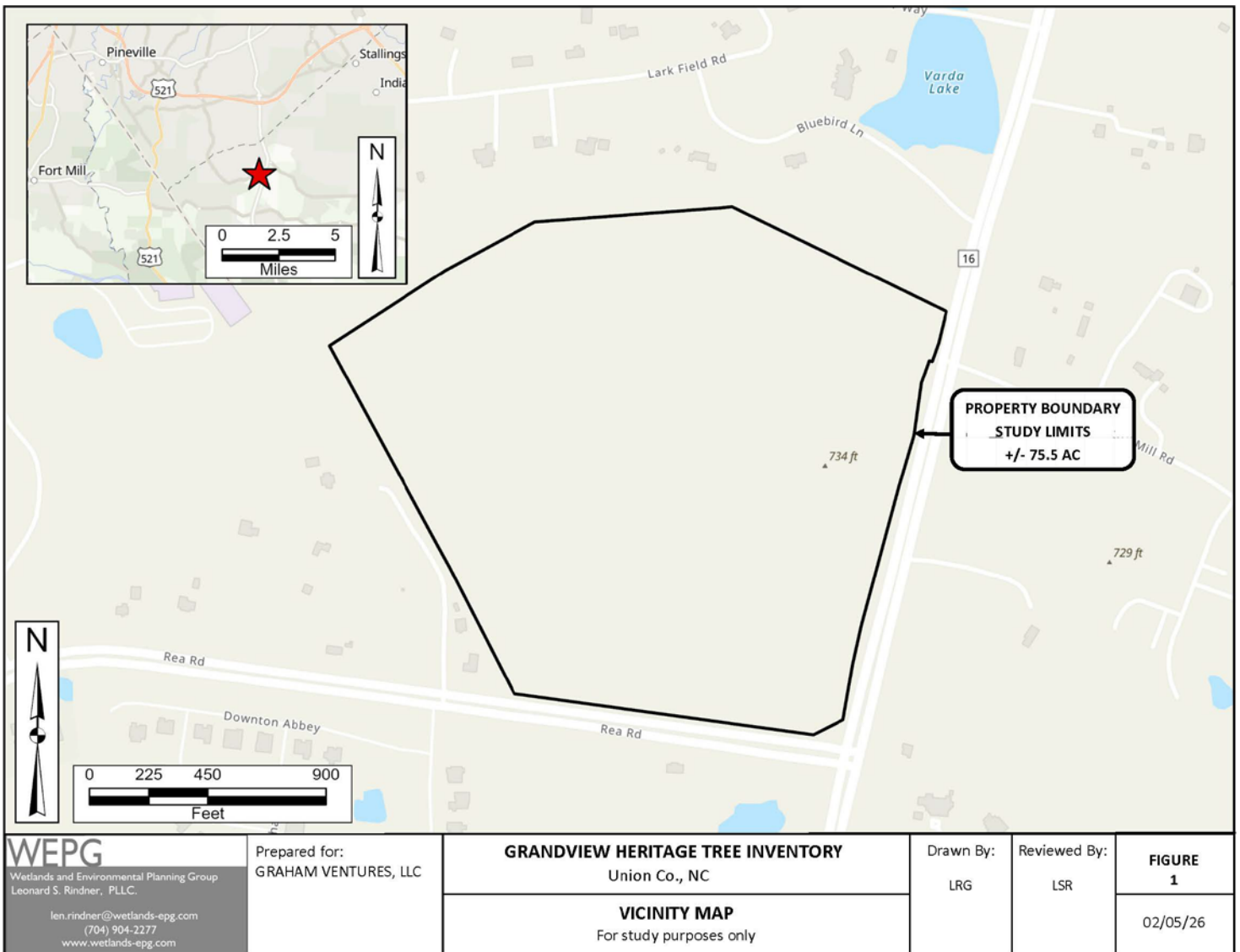


Figure 2: USGS MAP

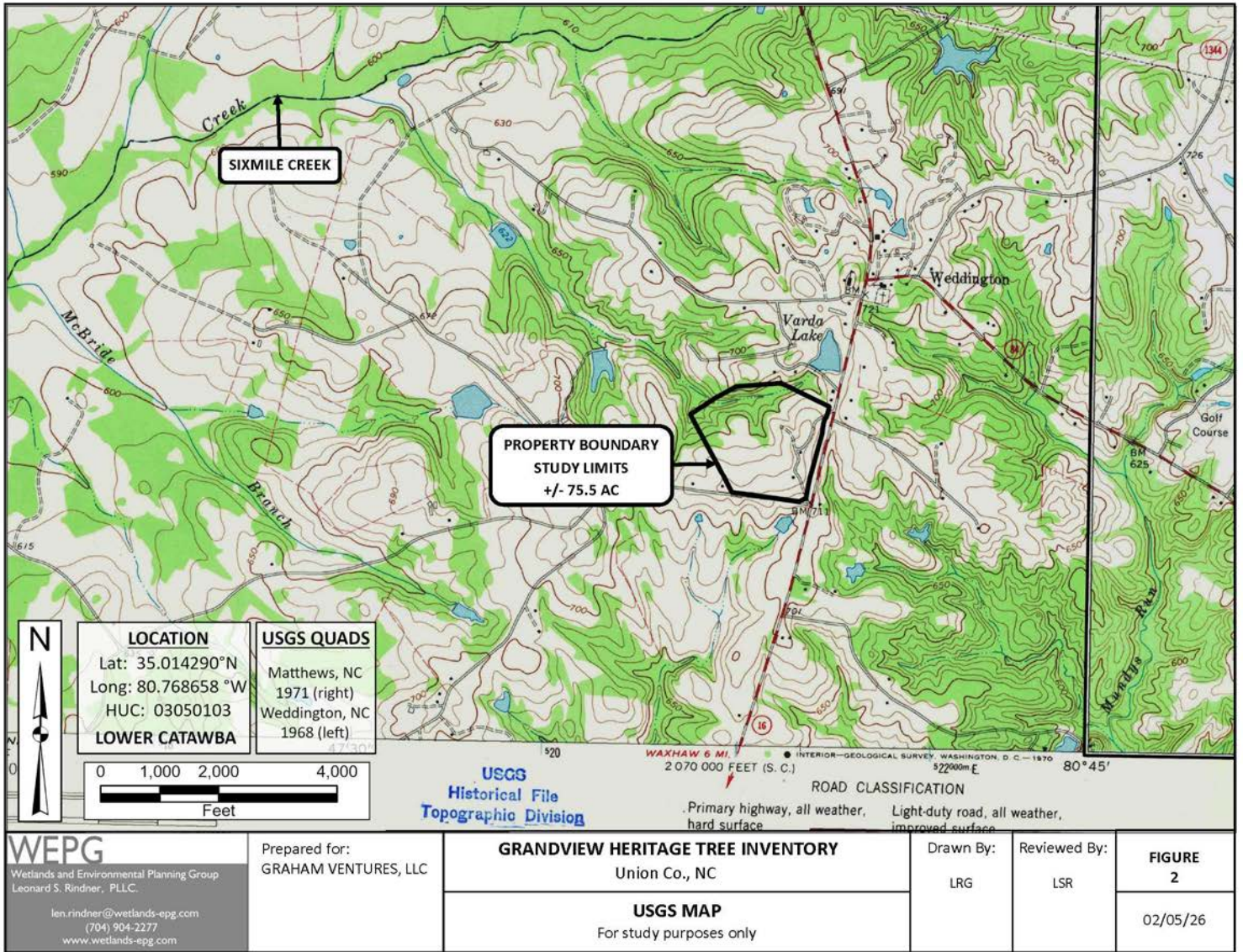
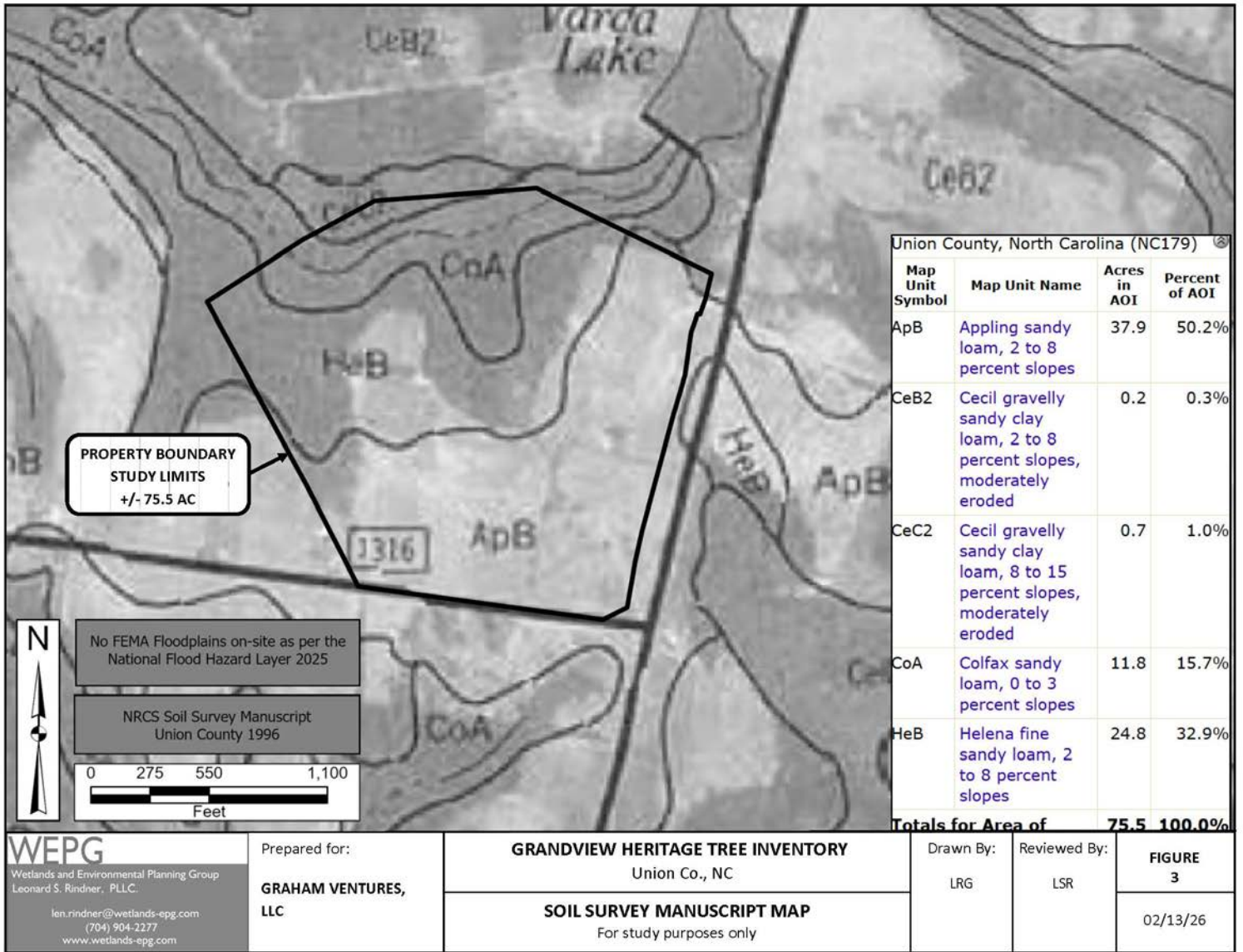


Figure 2: USGS MAP



**OBJECTIVE:**

The tree inventory documents qualifying and quantifying data for desired classes of Heritage Trees on site as specified by the Town of Weddington UDO Section D-917A. Q-Tree Requirements. WEPG conducted a tree inventory of the ~75 acre Grandview site during January and February 2026.

**METHODOLOGY:**

- **GROUP A: ROADS / UTILITIES / STORMWATER / SPOIL – (Calculated 26.07 acres)**. The roads, utility corridors, stormwater ponds, common open space and spoil sites were reviewed, and Heritage trees were identified, flagged, and measured for DBH within the following extents of disturbance:
  - Roads - 50' either side of the road center lines to consider trees that may occur on the edge of clearing and grading limits
  - Sewer lines - 25' either side of sewer center lines (50 ft behind Lots 17 & 18) to consider trees that may occur on the edge of clearing and grading limits
  - Stormwater Control Measures (4) - 25' outside the pond perimeters to consider trees that may occur on the edge of clearing and grading limits
  - Common Open Space - inside B loop road
  - Spoil sites (2) - 25' outside the spoil area perimeters to consider trees that fall on the edge of clearing and grading limits
  
- **GROUP B: PRESERVED AREAS / BUFFERS / OPEN SPACE – (Calculated 50.92 acres)**. The Fixed Radius Plot (FRP) method was used to inventory heritage trees in areas of the site that are to remain undisturbed including the buffers along the perimeter of the site near Providence Road and Rea Road, along the stream corridor, and in the northwest corner of the site. Additionally, plots in the zone immediately adjacent to the southeast side of the creek were sampled as noted on (Figure 4).
  - Heritage Trees are defined as deciduous noninvasive native tree species as follows:
    - Oaks (*Quercus*) and Tulip Trees (*Liriodendron*) 20 inches diameter at breast height (DBH) or larger
    - Hickory and Pecans (*Carya*) 18 inches DBH or larger

- Southern Magnolias (*Magnolia grandiflora*) and other magnolias (*Magnolia*) 10 inches DBH or larger
- Red Maples (*Acer rubrum*), Sugar Maples (*Acer saccharum*), and Elms (*Ulmus*) 10 inches DBH or larger
- Dogwoods (*Cornus florida*) 5 inches DBH or larger
- Standard 1/10<sup>th</sup> acre fixed circular plots were used to sample the trees. A count of heritage trees occurring in the fixed plots was used to determine the number of heritage trees per unit of area, in this case HERITAGE TREES PER ACRE (HTPA). \*only qualified heritage trees are included in the calculations.

Data collected for each plot:

- Coordinates
- Species Identification
- Number of trees ≥20" DBH for oak and poplar species
- Number of trees ≥18" DBH for hickory species
- Number of trees ≥10" DBH for elm, maple, and magnolia species
- Number of trees ≥5" DBH for dogwood species
- Use plot data to calculate # Heritage Trees per Acre (HTPA)

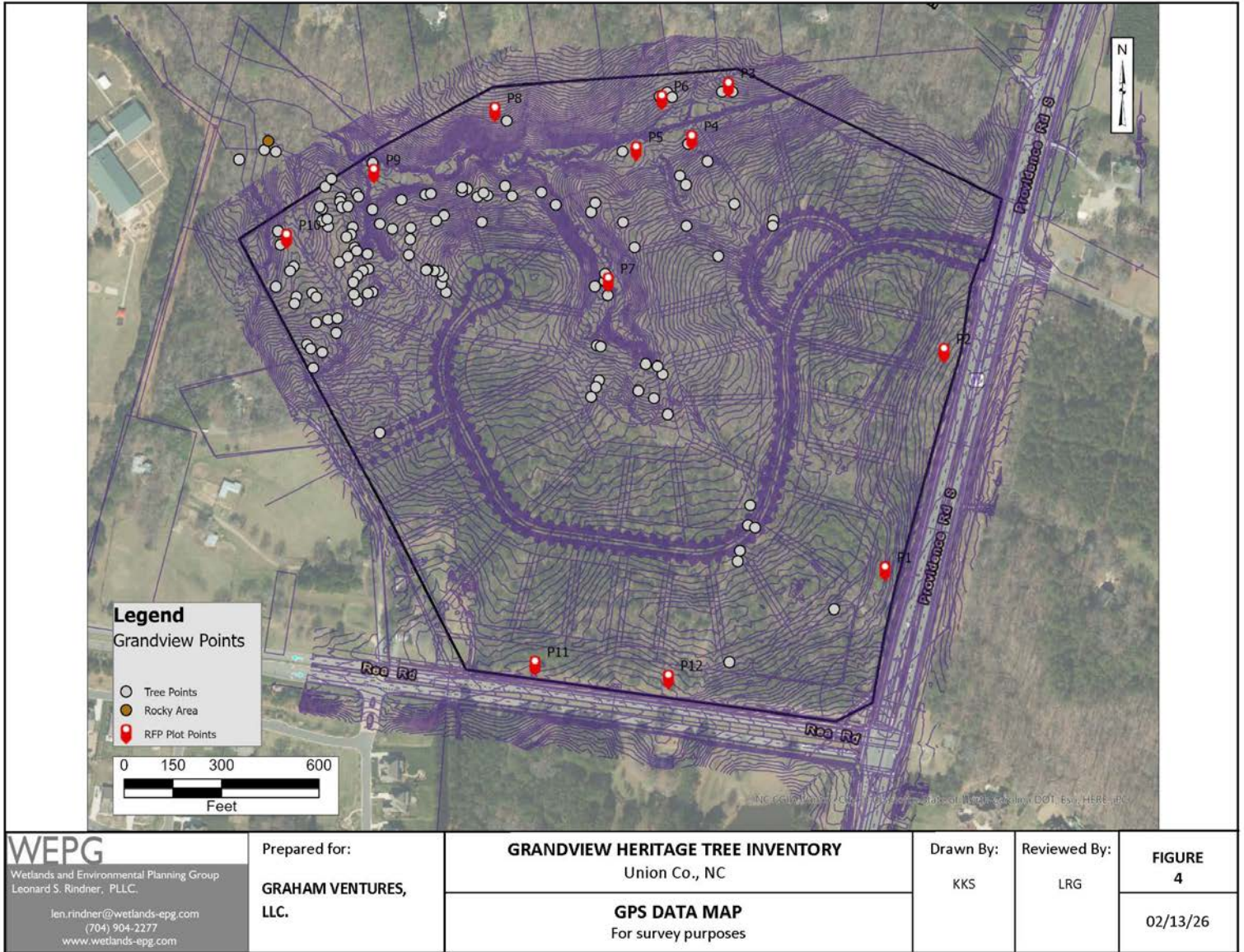
Determining HTPA from fixed plots:

1. Determine the expansion factor (the number of trees per acre a given plot tree represents) by taking the denominator of the plot size (1/10<sup>th</sup> acre) and dividing by the number of plots.
2. Add up the total number of heritage trees for all the plots in the stand
3. Multiply the total number of plot heritage trees by the expansion factor to determine total HTPA for the stand.

Factors and Formulas:

- Plot size = 1/10<sup>th</sup> acre plots (circular plots – radius 37.2 lf)
- Expansion factor = Plot size denominator / # Plots
- HTPA = # Heritage Trees x Expansion Factor

**Figure 4: HERITAGE TREE AND FIXED RADIUS PLOT LOCATION MAP**



**GROUP A (26.07 acres): SUMMARY OF FINDINGS FOR COMPREHENSIVE STUDY**

TREE SPECIES #	ROADS	SEWER	SPOIL	SCM	TOTALS
Willow Oak ( <i>Quercus phellos</i> )				6	6
Chestnut Oak ( <i>Q. prinus</i> )				1	1
Red Oak ( <i>Q. rubra</i> )	6	6	1	5	18
White Oak ( <i>Q. alba</i> )		7	4	6	17
Black Oak ( <i>Q. velutina</i> )		1			1
Tulip Poplar ( <i>Liriodendron tulipifera</i> )	2	22	3	20	47
Red Maple ( <i>Acer rubrum</i> )		1	5	6	12
Pignut Hickory ( <i>Carya glabra</i> )			1		1
American Elm ( <i>Ulmus americana</i> )					0
Dogwood ( <i>Cornus florida</i> )		1			1
Magnolia ( <i>Magnolia grandiflora</i> )			1		1
12 individuals to be preserved in Group A					-12
<b>TOTAL # Heritage Trees in Group A</b>					<b>93</b>

**GROUP A – 93 Heritage Trees**

**GROUP B (50.92 acres): SUMMARY OF FINDINGS FOR FIXED RADIUS PLOTS**

PLOT #	DOMINANT TYPE	# HERITAGE TREES PER PLOT
1	Pine	0
2	Pine	0
3	Hardwood	2
4	Hardwood	1
5	Hardwood	1
6	Hardwood	4
7	Hardwood	3
8	Hardwood	2
9	Hardwood	1
10	Hardwood	2
11	Pine	0
12	Pine	0
<b>TOTAL # Heritage Trees in FRP</b>		<b>16</b>

Expansion factor = Plot size denominator / Plots  
 $10 / 12 = 0.83$

HTPA = # Heritage Trees x Expansion Factor

Heritage Trees Per Acre: HTPA= 16 x 0.83 = **13.28**

50.92 ACRES x 13.28 HTPA = 676 Heritage Trees

**GROUP B - 676 Heritage Trees**

**PLOT DATA (all photos facing west from plot center):**

**Plot 1: Dominated by pines**

**# Heritage Trees = 0**



**Plot 2:** Dominated by pines.

**# Heritage Trees = 0**



**Plot 3:** Dominated by hardwoods.

**# Heritage Trees = 2**



**Plot 4:** Dominated by hardwoods.

**# Heritage Trees = 1**



**Plot 5:** Dominated by hardwoods.

**# Heritage Trees = 1**



**Plot 6:** Dominated by hardwoods.

**# Heritage Trees = 4**



**Plot 7:** Dominated by hardwoods.

**# Heritage Trees = 3**



**Plot 8:** Dominated by hardwoods.

**# Heritage Trees = 2**



**Plot 9:** Dominated by hardwoods.

**# Heritage Trees = 1**



**Plot 10:** Dominated by hardwoods.

**# Heritage Trees = 2**



**Plot 11:** Dominated by pines.

**# Heritage Trees = 0**



**Plot 12:** Dominated by pines.

**# Heritage Trees = 0**



Project: Grandview Subdivision

Date: 04/07/2026

**Response to Comments on Conditional Zoning Plans – 1st review**

Sheet	Comment	Response
C0.0	Is this jurisdictional?	<i>This channel is not jurisdictional. We received from the ACOE on 03/31/2026 a Preliminary Jurisdictional Determination approval and this channel is not identified as regulated. We will remove these lines from the plans to avoid confusion.</i>
C0.0	include sheet showing park plans in common open space	<i>We have included sheet L1.3.1-Community Park with the resubmitted CZ plans.</i>
C1.0	per TOW UDO D-917A K: (Re: emergency access)	<i>We are working on an agreement with the Hudsons to obtain their approval to allow an emergency access to the Proposed Hudson Farm Lane via the existing driveway on the adjacent Hudson properties. This is noted as Option 1 on our plans. Should this option not work out, the revised plans also show an Option 2 which provides a 20' wide gravel emergency access road via an existing curb cut on Rea Road that is located near the western boundary line.</i>
C1.0	Make sure this topsoil berm follows existing drainage patterns.	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings.</i>
C1.0	SS easement is in 100' stream buffer	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings. Note that we have correspondence with Mike Lawyer at NCDEQ where this buffer impact will be allowed.</i>
C1.0	easements overlap	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings.</i>
C2.0	provide turning movements for emergency vehicles	<i>Turning movements have been provided on the revised Conditional Zoning plans.</i>
C2.0	Show turning movements for fire truck. Island looks too big.	<i>Fire truck turning movements have been provided on site plan sheet C1.0. There has been no change to the cul-de-sac geometry.</i>
C3.0	Very flat slope. Is this the existing cross slope at Providence Road?	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings.</i>
C4.0	It seems like these ridge lines are based off the post-development DAs, which is not accurate for pre-development here	<i>This was discussed with LaBella on 04/02/26 and concluded that two predeveloped drainage area maps would be required. Sheet C4.0 is the map previously submitted and is the NCDEQ Water Quality Pre-Developed drainage area map, which shows pre-developed sub areas to each BMP so that the water</i>

**THE ISAACS GROUP**  
 CIVIL ENGINEERING DESIGN AND LAND SURVEYING  
 8720 RED OAK BOULEVARD, STE. 420  
 CHARLOTTE, N.C. 28217  
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		<i>quality volume can be calculated. The new map added with this resubmittal is C4.1 and is called "Predeveloped Drainage Area Map - Detention". This map shows one large pre-dev area to the creek on the northern side of property, and three smaller pre-dev areas that drain towards NC Hwy 16.</i>
C4.0	TC path goes U/S and crosses DA boundary	<i>Time of Concentration lines have been cleaned up on both C4.0A and C4.0B</i>
C4.0	Another POA for this DA is needed further downstream if you want to compare pre and post of the area collected by SCM #1	<i>Sheet C4.0A-Detention Predeveloped Drainage Area Map has been added which provides multiple points of analysis for the detention model.</i>
C4.0	looks like TC path would end here	<i>Time of Concentration lines have been cleaned up on both C4.0A and C4.0B</i>
C4.0	TC path is not realistic here	<i>Time of Concentration lines have been cleaned up on both C4.0A and C4.0B</i>
C4.0	Another POA for this DA is needed further downstream if you want to compare pre and post of the area collected by SCM #1	<i>Sheet C4.0A-Detention Predeveloped Drainage Area Map has been added which provides multiple points of analysis for the detention model.</i>
C4.1	Significant flow diversions are proposed. Flow diversions should be minimized as much as possible and justification provided.	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings. Per meeting with LaBella on 04/02/2026, we have added a narrative to the revised CZ plans that addresses this.</i>
C4.1	make sure ditches are within DA	<i>Drainage area lines have been cleaned up on the resubmitted CZ plans.</i>
C4.1	is this necessary? DI won't capture much runoff from sheet flow	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings. The park plan includes a tiered lawn area where we believe two inlets will be required to intercept water b/t flowing over a wall or out into the street. These inlets look odd on the CZ plan but they are place holders for the final grading design to be completed during Construction drawings.</i>
C4.1	bypasses SCM	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings.</i>
C4.2	The proposed wetlands will also need to meet the detention requirements for the 1 through 100-year storm per the Weddington UDO.	<i>Acknowledged. The Narrative lists this as a requirement.</i>
C6.0	show early phasing EC with construction entrance, sediment basin locations, silt fence outlets, etc	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings.</i>
C6.0	site will need clean water bypasses for isolated undisturbed areas	<i>Acknowledged. This will be worked out after CZ approval and during Construction Drawings.</i>

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Comment: In email correspondence, Town Planner Greg Gordos had inquired about the need for a TIA.

Response: On Sheet C0.0 of the CZ plans, right above the seals is a trip generation summary by Design Resource Group that concludes that a TIA is not warranted b/c we were less than 500 daily trips and 50 peak hour trips. Also included in this report is a letter from LaBella which likewise concludes that a TIA is not warranted for this project.



**Grandview**

**3/11/2026**

Land Use [ITE Code]			Daily	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Single-Family (Detached) Housing [210]	37	DUs	336	7	19	26	21	13	34

References: Trip Generation, 12th Edition, Institute of Transportation Engineers, Washington, DC. 2025.

\*Trip generation was calculated using the rate rather than the equation, as the relatively small number of dwelling units resulted in unreasonable values when the equation was applied.

1111 Hawthorne Lane  
Charlotte, NC 28205

 704.343.0608  
 [www.drgrp.com](http://www.drgrp.com)

**From:** Wilson, Robert <RWilson@LaBellaPC.com>  
**Sent:** Monday, April 6, 2026 1:30 PM  
**To:** Brent Cowan  
**Subject:** FW: [Ext] FW: Grandview - Planning Board?

Brent,

Here is the email regarding the need for a TIA at Grandview. The project as currently proposed is below the TIA threshold. Please let me know if you have any questions or concerns.

**Bob Wilson**

LaBella Associates | Sr. Civil Engineer/Civil Office Leader

+1 (704) 941-2139 direct

---

**From:** Wilson, Robert <RWilson@LaBellaPC.com>  
**Sent:** Tuesday, March 24, 2026 11:32 AM  
**To:** Gregory Gordos <ggordos@townofweddington.com>  
**Cc:** Mabaso, Tumi <tmabaso@LaBellaPC.com>  
**Subject:** FW: [Ext] FW: Grandview - Planning Board?

Greg,

Good morning. Our traffic engineer has reviewed the information submitted for the Grandview project and done his own analysis. Based on our findings, a TIA is not required for the Grandview project. Our understanding is that the previous development plan for this site had 60 homes vs. the currently proposed 37 units. The Developer should also consider the proposed improvements along S. Providence Road near Old Mill Road and its potential impact of the proposed southbound right-turn lane (see highlighted text below).

Please let me know if you have any questions or concerns.

---

**From:** Hipp, Starke <shipp@LaBellaPC.com>  
**Sent:** Monday, March 23, 2026 10:49 PM  
**To:** Mabaso, Tumi <tmabaso@labellapc.com>; Wilson, Robert <RWilson@LaBellaPC.com>  
**Subject:** Re: [Ext] FW: Grandview - Planning Board?

Good evening Tumi/Bob,

I've reviewed the materials.

For starters, I recall us looking at a scoping document prepared by Kimley-Horn last May for this site. (B:\GLOBAL\Projects\Weddington, NC Town of\2242731 - On Call Eng Services 2024-25\02\_Correspondence\Outgoing\Rea Road Property\TIA Scoping & Review)

As for the Trip Gen table provided by the applicant and whether a TIA is necessary according to the UDO. The short answer is no, I don't believe a TIA is necessary according to the UDO. The long answer is that I believe the applicant should have provided additional support/background with its Trip Gen table.

Starting with the Daily Trips, the ITE data returns results based on Average Rates and a Fitted Curve Equation. The Daily Trips noted by the applicant are the Average Rate result. The Fitted Curve Equation result is 564. However, the Fitted Curve Equation has a y-intercept of 265.45 trips that, in my opinion, unrealistically skews the results for such a small development. The other approach, which is what I believe should be done in this situation, is to select clustered data points. Taking the average of the clustered data points results in 468, which is still below the 500 daily trip threshold of the UDO.

Similarly, the Peak Hour trips noted by the applicant are the Average Rate results. In my opinion, the Fitted Curve Equation results should be used as that is the guidance from ITE and the y-intercept does not unrealistically skew the results. The Fitted Curve Equation results, which are below the 50 peak hour trip threshold of the UDO, are provided below:

AM - Entering: 8 | Exiting: 22 | Total: 30

PM - Entering: 24 | Exiting: 15 | Total: 39

Finally, I looked through the email exchanges below. I should note that the design and construction of the southbound right-turn lane along S. Providence Road should take into consideration the proposed improvements along S. Providence Road south of Old Mill Road associated with U-5769 -

<https://www.ncdot.gov/news/public-meetings/Pages/U-5769-2019-03-14.aspx>

Thanks,

**Starke Hipp, PE**

LaBella Associates | Senior Traffic Engineer

+1 (914) 269-5604 direct

+1 (910) 616-5608 mobile

---

**From:** Mabaso, Tumi <[tmabaso@labellapc.com](mailto:tmabaso@labellapc.com)>

**Sent:** Wednesday, March 18, 2026 3:39 PM

**To:** Hipp, Starke <[shipp@LaBellaPC.com](mailto:shipp@LaBellaPC.com)>

**Subject:** FW: [Ext] FW: Grandview - Planning Board?

Hi Starke,

I work with Bob Wilson in the Charlotte office. We received a trip generation table for a proposed 37-lot subdivision in Weddington, NC. Do you mind taking a look whenever you have time? The project # is 2242731 phase 001, and the file path for the conditional zoning sketch plan is below for reference:

B:\GLOBAL\Projects\Weddington, NC Town of\2242731 - On Call Eng Services 2024-25\02\_Correspondence\Outgoing\Grandview\CZ Review\Grandview CZ Plan\_2026-02-23.pdf

Best,

**Tumi Mabaso**

LaBella Associates | Civil Engineer

+1 (980) 207-7931 direct

---

**From:** Gregory Gordos <[ggordos@townofweddington.com](mailto:ggordos@townofweddington.com)>

**Sent:** Tuesday, March 17, 2026 6:34 PM

**To:** Mabaso, Tumi <[tmabaso@labellapc.com](mailto:tmabaso@labellapc.com)>; Wilson, Robert <[rwilson@labellapc.com](mailto:rwilson@labellapc.com)>

**Subject:** [Ext] FW: Grandview - Planning Board?

Does this TIA justification fly for you? Please send to your traffic count specialists to verify.



**Greg Gordos**

Town Planner

**Phone:** 704-846-2709

**Cell:** 980-210-1822

[ggordos@townofweddington.com](mailto:ggordos@townofweddington.com)

1924 Weddington Road

Weddington, NC 28104

[www.townofweddington.com](http://www.townofweddington.com)

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---

**From:** Brent Cowan <[bcowan@isaacsgrp.com](mailto:bcowan@isaacsgrp.com)>

**Sent:** Wednesday, March 11, 2026 5:42 PM

**To:** Gregory Gordos <[ggordos@townofweddington.com](mailto:ggordos@townofweddington.com)>

**Cc:** Mel Graham <[mel@grahamenterprises.org](mailto:mel@grahamenterprises.org)>; Keith Cooper <[keith.cooper1@icloud.com](mailto:keith.cooper1@icloud.com)>; Dana Scott <[dana@grahamenterprises.org](mailto:dana@grahamenterprises.org)>; Lisa Gaffney <[lisa.gaffney@wetlands-epg.com](mailto:lisa.gaffney@wetlands-epg.com)>; Jeremy Schumacher <[jschumacher@arcadiahomesinc.com](mailto:jschumacher@arcadiahomesinc.com)>

**Subject:** RE: Grandview - Planning Board?

Good evening Greg,

Please see comments/responses below in **red**.

Thanks,

Anthony Brent Cowan, P.E., **LEED<sup>®</sup> AP**

The Isaacs Group, P.C.

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Web: [www.isaacsgroup.com](http://www.isaacsgroup.com)

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**From:** Gregory Gordos <[ggordos@townofweddington.com](mailto:ggordos@townofweddington.com)>

**Sent:** Tuesday, March 10, 2026 1:49 PM

**To:** Brent Cowan <[bcowan@isaacsgroup.com](mailto:bcowan@isaacsgroup.com)>

**Cc:** Mel Graham <[mel@grahamenterprises.org](mailto:mel@grahamenterprises.org)>; Keith Cooper <[keith.cooper1@icloud.com](mailto:keith.cooper1@icloud.com)>; Dana Scott <[dana@grahamenterprises.org](mailto:dana@grahamenterprises.org)>; Lisa Gaffney <[lisa.gaffney@wetlands-epg.com](mailto:lisa.gaffney@wetlands-epg.com)>; Jeremy Schumacher <[jschumacher@arcadiahomesinc.com](mailto:jschumacher@arcadiahomesinc.com)>

**Subject:** Re: Grandview - Planning Board?

Yup, the draft with the third column is current.

A few traffic comments/questions.

- TIA? Required for 50 peak hour trips. Y'all put N/A. Providence is already equipped for this site but please confirm or provide a scoping study. **[Brent Cowan]** On Sheet C0.0 of the CZ plans, right above the seals is a trip generation summary that concluded that a TIA was not warranted b/c we were less than 500 daily trips and 50 peak hour trips. We took this from another development that had the same number of lots. In light of your comment, to officially memorialize this, I requested a trip gen study from Design Resource Group, and this trip gen shows that we are less than the warrants for a TIA. Please let me know if anything additional is needed to conclude this item.
- Second form of ingress/egress? Required for 15 or more units. **[Brent Cowan]** Mel is working with the Hudsons to obtain an easement to allow emergency access along their existing driveway from Rea Road to the proposed stub road of Hudson Farm Lane. We will provide evidence of this agreement prior to the Planning Board meeting.
- Access easement obtained with the neighbor? **[Brent Cowan]** See response above.
- any turn lane modifications on Providence? **[Brent Cowan]** We have submitted our CZ plans to Amelia Helms and Bob Weltner with the NCDOT. Bob has informed us that a southbound right turn into the project will be required on Hwy 16. I assume that this will be addressed in the construction drawing phase, but if you need us to amend the plans to show this RTL before our PB meeting, please let me know.

Per the UDO: now that the public outreach steps are complete I can begin staff review. The Mayor asked me to have LaBella look at plans prior to Planning Board now, so they'll take a look as well.

If other comments are found upon review I can let you know.

There must be fifteen business days between determination of completeness and the Planning Board date. That eliminates March. **[Brent Cowan]** Are we considered complete as of now? If not, can you please tell us what the milestones that will allow us to be considered complete?

---

**From:** Brent Cowan <[bcowan@isaacsgrp.com](mailto:bcowan@isaacsgrp.com)>  
**Sent:** Tuesday, March 10, 2026 1:29 PM  
**To:** Gregory Gordos <[ggordos@townofweddington.com](mailto:ggordos@townofweddington.com)>  
**Cc:** Mel Graham <[mel@grahamenterprises.org](mailto:mel@grahamenterprises.org)>; Keith Cooper <[keith.cooper1@icloud.com](mailto:keith.cooper1@icloud.com)>;  
Dana Scott <[dana@grahamenterprises.org](mailto:dana@grahamenterprises.org)>; Lisa Gaffney <[lisa.gaffney@wetlands-epg.com](mailto:lisa.gaffney@wetlands-epg.com)>;  
Jeremy Schumacher <[jschumacher@arcadiahomesinc.com](mailto:jschumacher@arcadiahomesinc.com)>  
**Subject:** Grandview - Planning Board?

Good afternoon Greg,

With last night's council presentation behind us, can you please advise on the following questions:

- Will be on the Monday March 23<sup>rd</sup> planning board agenda?
- One of the board members noted to make sure that we had the current Appendix 2B checklist. Attached is the one we were using. Can you please confirm this is the current/correct one?
- Is there anything else you need from me or owner/developer to keep this project moving forward?
- Will we expect any sort of comments from you or LaBella on the CZ plans submitted?

Thanks,

Anthony Brent Cowan, P.E., **LEED<sup>®</sup> A P**  
The Isaacs Group, P.C.  
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Charlotte, NC 28217  
P: [704-227-9402](tel:704-227-9402) F: [704-227-9403](tel:704-227-9403)  
Web: [www.isaacsgrp.com](http://www.isaacsgrp.com)

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## NOTICE OF COMMUNITY MEETING

In accordance with the Town of Weddington Unified Development Ordinance (UDO) Section D-607(C)(5), notice is hereby given that a Community Meeting will be held at Weddington Methodist Church, 13901 Providence Road from 4:00 to 6:00 on Monday January 5, 2026. The applicant is Signature Properties of the Carolinas LLC and the project will be located on approximately 78 acres located at the northwest corner of Rea Road and Providence Road (parcel number 06150001). This parcel is currently zoned R-CD Weddington, NC.

Any questions please email: Mel Graham at [projectinfo356@gmail.com](mailto:projectinfo356@gmail.com)



**Bellevue Subdivision**

Public Involvement Meeting to review proposed conditional rezoning plan

Date / Time: Monday 01/05/2026 4:00 p.m. to 6:00 p.m.

Location: Weddington Methodist Church, 13901 Providence Road

**Attendance Log**

Name	Address	Phone and/or email
Anthony Brent Cowan	8720 Red Oak Blvd. Ste. 420 Charlotte, NC 28217	704.227.9402 bcowan@isaacsgrp.com
Verne Varden	201 Lark Field Dr. Weddington, NC	704-846-2164
Edith Hudson	250 REAR R8 Wardlaw 28173	704 846 2164
CHRIS FRULK	1162 Willow Oaks Trl Matthews, NC 28104	cfrulk.surveyor@gmail.com
Stee Kellmeth	1000 James Madison Dr	smkellmeth@outmail.com
Eileen Kellmeth	1000 James Madison Dr	
JAN DRAHZAL	950 Eagle Rd Weddington	919 750 3667
Bryon & Marianne Beck	595 Landsbury Dr 28173	BECKTHEBUILDER @AOL.COM

WJ

Name	Address	Phone and/or email
Danny Liebl	502 Cottonfield Circle	704-996-4777 fixmycloset@yahoo.com
Patricia Hines Russell Setzer	425 Vintage Creek Dr	704 578 5064 Patricia.hines@gmail.com
LIZ HOLTEY	5017 WOODVIEW LANE WEDDINGTON, NC 28104	919.531.4433
Karen Dewey	1924 Waddington	kdewey@ townofweddington.com
Clayton Jones	5149 PANHANDLE Cir	704-980-239-2639
Bill Doter	461 HAVENCHASE Dr	doterbille@gmail.com 515-326-5584
CHRISTOPHER NEVE	110 CHASESTONE CT. WAXHAW, NC 28173	919-672-2539 christopherneve@gmail.com
Tracy Gore	1480 Longleaf Ct Matthews 28104	704 577 9580 t15nj@msn.com
David Pitre	6116 GREYSTONE Weddington NC	704-650-4500
Diane Pitre	6116 Grey stone Weddington	401 pitre@ gmail.com
Sherry Carvey	5036 Oxfordshire Rd	Sherry.carvey1@gmail.com

Name	Address	Phone and/or email
Virginia Shepherd	247 Providence Rd	fishlightjaded@gmail.com
Charlton Pyletz	PO Box 854 Mooresville, NC 28111	charltonpyletz@yahoo.com
Laura Livingston	5013 Oxfordshire Rd Weddington 28173	1m158@hotmail.com
BOB GRISWOLD	6725 TREE HILL W, NC RD.	704-821-6029
MARK PETERSEN	5116 SADDLE HOLLOW TR MATTHEWS 28104	704 458-4445
Nendy Shaw	6733 Weddington Rd	
Chad Emerine	Eagle Rd	704-989-6879
MATT HOGFELDT	2266 Shagbark Ln. MATTHEWS, 28104	mhogfe80@yahoo.com
Brenda + Ron Williams	3004 Thomas Payne alley Weddington	(860) 303-9957 pentway@aol.com
Jamie Weiss	268 Rea Rd	704 622 8226
Cathy H. Williams	318 Rea Rd	704-201-5245

Name	Address	Phone and/or email
Carr Killough BROWN	5018 Longview Ct. MATTHEWS NC 28104	704-577-6451 ckbrown2219@ gmail.com
JIM BELL		704-287-5420
BOB WETTEROFF	1204 HAOLBY PARK 2N 28104	704-641-9309

### **Providence Road and Rea Road Subdivision – Public Involvement Meeting**

A Public Involvement Meeting to review a sketch plan for a 37 lot single family residential subdivision on parcel 06150001 on the north west corner of the intersection of Rea Road and Providence Road was held at the Weddington Methodist Church, 13901 Providence Road, on Monday 01/05/2026 from 4:00 to 6:00. Presenter of project to public was owner/developer Mel Graham.

The following is a summary of questions and comments raised by attendees.

- We were asked if there would be restrictions on house area. Mel stated yes but it had not been finalized yet. He also stated there will be architectural control.
- We were asked about who would build in the project. Mel said he has been talking with a premier custom home builder but was not ready to say who it would be.
- We were asked if we would be widening Providence Road. We answered that we do not have plans to widen Providence Road, and that our site plan has been submitted to the NCDOT.
- We were asked about the width of the sewer easement. We advised likely 30 feet wide.
- Clayton Jones (Town Council) suggested that we add another entrance for emergency access. He said it could be one of those gated gravel accesses for emergency vehicles only.
- Rusty Setzer (Planning Board) said that he would like to see another access to Rea Road. We expressed NCDOT concern about another road too close to intersection with Providence Road.
- Nancy Anderson and Bill Deter (Planning Board) also brought up the emergency access. We told them fire code does not require a second access unless you have 50 lots or more. We discussed approaching the Hudsons who boarder the west side of the property to get an access easement for emergency access that would allow emergency vehicles to access stub road C via the existing driveway on the Hudson property.
- Bill Deter said that lot 20 may require revision b/c section 917.E does not allow water features to be on lots. This change will be made.
- Mrs. Hudson asked if we had reviewed the sewer alignment b/c there are large boulders along the creek. We will study that area that she mentioned.
- A few questions were asked about stormwater. We explained that the 4 ponds shown on the plans will treat the project's stormwater and that they will be designed to meet state and town requirements.
- I had many compliments on the plan. I did not have any negative comments or anyone tell me that they didn't like the plan.
- A few people expressed dislike of the name Belleview. Mel said that we would change the name, and he has changed it to Grandview. The new name has been approved by the County.



Mel Graham  
Signature Properties of the Carolinas, LLC  
P.O. Box 78926  
Charlotte, NC 28271

December 12, 2025

RE: Threatened and Endangered Species Biological Evaluation  
Providence-Rea Road  
Waxhaw, Union County, NC  
PINs: 06150001, partial 06177017

Mr. Graham,

Wetlands & Waters, Inc. (W&W) has completed a desktop and field evaluation for federally protected species identified in the US Fish and Wildlife official IPaC species list dated November 13, 2025 for the above referenced project (Attachment B; Project Code: 2026-0015373). The desktop evaluation was conducted for protected species known or suspected to be present in the review area included in the species list and included a query of the North Carolina Natural Heritage Program database on October 14, 2025 to identify known species and critical habitat occurrences within or in close proximity to the review area (Attachment A).

Work associated with a Nationwide Permit verification request cannot commence until the U.S. Army Corps of Engineers (the lead federal permitting agency) has made an effect determination (i.e. No Effect; May Affect, Not Likely to Adversely Affect (MANLAA); and May Affect, Likely to Adversely Affect) as to the potential for impacts to Federally Threatened, Endangered, and proposed Threatened/Endangered species and their Critical Habitat. This report may be used by the U.S. Army Corps of Engineers or other Lead Federal Agency to determine if additional coordination will be necessary to satisfy requirements of the Endangered Species Act.

For the purpose of this report, the review area is west of State Highway 16 (Providence Road). The review area also sits approximately at the intersection of State Highway 16 (Providence Road) and Rea Road in Waxhaw, Union County, NC. The review area is indicated on the attached Figure 1.

The surrounding land use is primarily residential, institutional, and vacant land proximate to the site. The review area is located approximately 3.05 miles south of Interstate Highway 485.

The project area is characterized primarily by second growth forest, a riparian system that connects to Sixmile Creek, a roadside right-of-way along State Highway 16 (Providence Road), and a roadside/powerline right-of-way along Rea Road. The site is underlain by Appling sandy loam, Helena fine sandy loam, Colfax sandy loam, and Cecil gravelly sandy clay loam soil series. Historic aerials indicate prior agricultural use of the land as early as 1956. Agricultural operations within the area appear to have continued until 2007. Portions of the site have also been utilized for single family residences during the same period; these residences no longer remain standing. Typical species composition found within potentially suitable habitat is listed below:

Suitable Habitat Comprehensive Species List	
*-Invasive species	
<b>Trees</b>	
Loblolly pine	<i>Pinus taeda</i>
Eastern Red cedar	<i>Juniperus virginiana</i>
Southern red oak	<i>Quercus falcata</i>
White oak	<i>Quercus alba</i>
Willow oak	<i>Quercus phellos</i>
Common persimmon	<i>Diospyros virginiana</i>
Sweetgum	<i>Liquidambar styraciflua</i>
American dogwood	<i>Cornus florida</i>
<b>Sapling/Shrub</b>	
Loblolly pine	<i>Pinus taeda</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Eastern Red cedar	<i>Juniperus virginiana</i>
American dogwood	<i>Cornus florida</i>
Groundseltree*	<i>Baccharis halimifolia</i>
Chinese privet*	<i>Ligustrum sinense</i>
Allegheny blackberry	<i>Rubus allegheniensis</i>
Common persimmon	<i>Diospyros virginiana</i>
Southern red oak	<i>Quercus falcata</i>
Willow oak	<i>Quercus phellos</i>
White oak	<i>Quercus alba</i>
Winged sumac	<i>Rhus copallinum</i>
<b>Herb</b>	
Golden bamboo*	<i>Phyllostachys aurea</i>
Dog fennel	<i>Eupatorium capillifolium</i>
Late boneset	<i>Eupatorium serotinum</i>
Switch grass	<i>Panicum virgatum</i>
Bearded beggarticks	<i>Bidens aristosa</i>
<b>Woody Vine</b>	
Common greenbrier	<i>Smilax rotundifolia</i>
Poison ivy	<i>Toxicodendron radicans</i>

## **Species Profiles and Analysis**

### **Carolina Heelsplitter (*Lasmigona decorata*)**

**Endangered**

The Carolina Heelsplitter is a freshwater mussel species with final designated critical habitat. The primary constituent elements of critical habitat for this species include: permanent, flowing, cool, clean water; geomorphically stable stream and river channels and banks; pool, riffle, and run sequences within the channel; stable substrates with no more than low amounts of fine sediment; moderate stream gradient; periodic natural flooding; and fish hosts, with adequate living, foraging, and spawning areas for them (B. Hamstead, personal communication, September 14, 2020). Based on historic and recent records for the species, the surviving occurrences exist as small fragments, restricted primarily to short reaches of tributary streams (U.S. Fish & Wildlife Service, Southeast Region, Asheville Ecological Services Field Office, 2012). The current range for the species in North Carolina includes South Fork Fishing, Bull Run, Beaverdam, Sixmile, Cane, Waxhaw, and Gills creeks in the Catawba River Basin, and Flat Creek and Lynch River in the Pee Dee River Basin (U.S. Fish & Wildlife Service, 2019).

The review area is located outside of designated critical habitat for this species. Only streams and rivers flowing to the Goose Creek and Duck Creek in the Yadkin River Basin, and Six Mile Creek in the Catawba River Basin would have the potential to support the Carolina Heelsplitter. There is a perennial tributary on site that does have an off-site confluence with Sixmile Creek; however the tributary is deeply incised and the stream bed material is dominated by silts and clays and therefore there is no potentially suitable habitat for the Carolina Heelsplitter. It is our assessment that if the project will be completed while avoiding and minimizing impacts to tributaries, maintaining protected riparian buffers, and implementing stringent erosion control and stormwater measures in areas proximate to the tributaries on-site, we would propose a biological conclusion of “May Affect, Not Likely to Adversely Affect”.

The NC NHP report indicates that there are no documented occurrences of this species within a one-mile radius of the review area.

The USFWS IPaC report indicates that the project area does not overlap the critical habitat for this species.

### **Schweinitz’s Sunflower (*Helianthus schweinitzii*)**

**Endangered**

Habitat for Schweinitz’s Sunflower includes clearings and edges of upland woods, thickets, and pastures. The species is found along roadsides, powerline clearings, old pastures, and woodland openings. Schweinitz’s Sunflower requires disturbance (blowdowns, storm, or fire) to create open areas for full sunlight, but may also grow in open stands of trees with minimal shade. Soils may be either shallow, sandy with high gravel content, or a clayey hardpan. The sunflower may prefer soils derived from basic material (Krings, Goyette, Suiter, & Samuels, 2021).

There is potentially suitable habitat for this species along woodland edges, the roadside ROW along State Highway 16 (Providence Road), and the roadside/powerline ROW along Rea Road. W&W conducted a pedestrian field survey 09-23-2025 and 10-09-2025 and did not identify any individuals of *Helianthus schweinitzii* within the review area. W&W did not identify any other species of *Helianthus* within the review area.

The NC NHP report indicates that there are documented occurrences of this species within a one-mile radius of the review area from 2013.

**Conclusions**

<b>Species</b>	<b>Presence in Action Area</b>	<b>Information Used</b>	<b>Recommended Determination</b>
Carolina Heelsplitter ( <i>Lasmigona decorata</i> )	Potentially Suitable Habitat Present	Field Evaluation 09-23-2025	May affect, not likely to adversely affect
Schweinitz's Sunflower ( <i>Helianthus schweinitzii</i> )	Potentially Suitable Habitat Present	Field Evaluation 09-23-2025 & 10-09-2025, no individuals observed	May affect, not likely to adversely affect

Should you require more information regarding the results of our evaluation, please do not hesitate to contact us.

Sincerely,

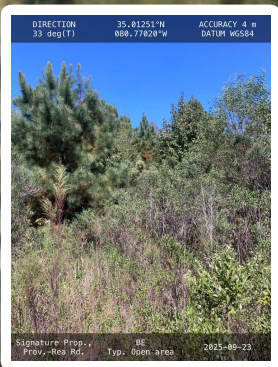
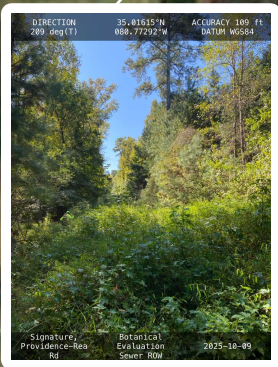
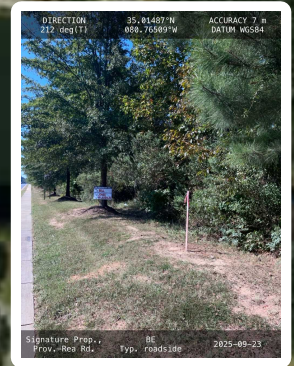
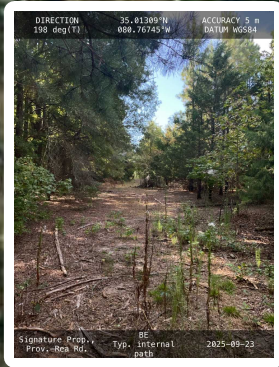
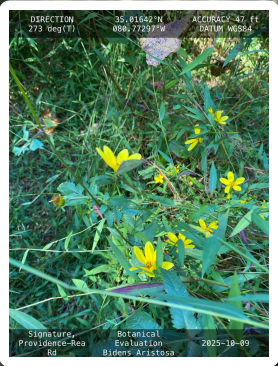


Perry Isner  
Senior Project Manager  
C: 704-773-4239



Tamy Bandy  
Senior Project Manager  
C: 828-302-3437

- Enclosures:    Figure 1.        Threatened and Endangered Species Survey Habitat Map  
                  Figure 2.        Threatened and Endangered Species Survey Photo Location Map  
                  Attachment A.    North Carolina Natural Heritage Program Report  
                  Attachment B.    U.S. Fish and Wildlife Service IPaC Official Species List  
                  Attachment C.    Field Photos

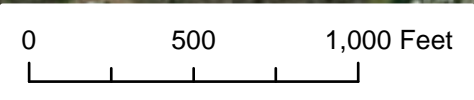


### Legend

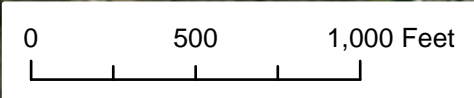
Potentially Suitable Habitats

Habitat Types



- Internal Pathways
- Powerline ROW
- Roadsides
- Sewer ROW
- Woodland Edges
- Review Area





Project Name:		Providence-Rea Road	
Owner / Developer:		Signature Properties of the Carolinas, LLC	
City / County:		Waxhaw/Union	
Tax PIN(s):		06150001, partial 06177017	Acreage: 81.24
Coordinates:		Lat: 35.0143540°N	Long: -80.7696000°W



### Legend

-  Approximate Photo Locations
-  Review Area

	Project Name: Providence-Rea Road		
	Owner / Developer: Signature Properties of the Carolinas, LLC		
Threatened and Endangered Species Survey Photo Map	City / County: Waxhaw/Union		Date: 11-17-2025
	Tax PIN(s): 06150001, partial 06177017	Acreage: 81.24	
	Coordinates: Lat: 35.0143540°N Long: -80.7696000°W		

# Attachment A

## North Carolina Natural Heritage Trust Program Report



Josh Stein, Governor

Pamela B. Cashwell  
Secretary

Misty Franklin  
Deputy Director for Natural Heritage

NCNHDE-32332

October 14, 2025

Drew Lucas  
Wetlands & Waters, Inc.  
328 East Broad Street  
Statesville, NC 28677  
RE: Providence-Rea Road

Dear Drew Lucas:

The North Carolina Natural Heritage Program (NCNHP) appreciates the opportunity to provide information about natural heritage resources for the project referenced above.

Based on the project area mapped with your request, a query of the NCNHP database indicates that there are no records for rare species, important natural communities, natural areas, and/or conservation/managed areas within the proposed project boundary. Please note that although there may be no documentation of natural heritage elements within the project boundary, it does not imply or confirm their absence; the area may not have been surveyed. The results of this query should not be substituted for field surveys where suitable habitat exists. In the event that rare species are found within the project area, please contact the NCNHP so that we may update our records.

The attached 'Potential Occurrences' table summarizes rare species and natural communities that have been documented within a one-mile radius of the property boundary. The proximity of these records suggests that these natural heritage elements may potentially be present in the project area if suitable habitat exists. Tables of natural areas and conservation/managed areas within a one-mile radius of the project area, if any, are also included in this report.

If a Federally-listed species is found within the project area or is indicated within a one-mile radius of the project area, the NCNHP recommends contacting the US Fish and Wildlife Service (USFWS) for guidance. Contact information for USFWS offices in North Carolina is found here:

[https://www.fws.gov/our-facilities?type=%5B%22Conservation%20Office%22%5D&state\\_name=%5B%22North%20Carolina%22%5D](https://www.fws.gov/our-facilities?type=%5B%22Conservation%20Office%22%5D&state_name=%5B%22North%20Carolina%22%5D)

Please note that natural heritage element data are maintained for the purposes of conservation planning, project review, and scientific research, and are not intended for use as the primary criteria for regulatory decisions. Information provided by the NCNHP database may not be published without prior written notification to the NCNHP, and the NCNHP must be credited as an information source in these publications. Maps of NCNHP data may not be redistributed without permission.

Also note that if a Dedicated Nature Preserve (DNP), Registered Natural Heritage Area (RHA), or a NC Land and Water Fund (NCLWF) Project or Conservation Agreement are documented near the project area, NCNHP or NCLWF staff may provide additional correspondence.

If you have questions regarding the information provided in this letter or need additional assistance, please contact the NCNHP at [natural.heritage@dncr.nc.gov](mailto:natural.heritage@dncr.nc.gov).

Sincerely,  
NC Natural Heritage Program

Natural Heritage Element Occurrences, Natural Areas, and Managed Areas Within a One-mile Radius of the Project Area  
 Providence-Rea Road  
 October 14, 2025  
 NCNHDE-32332

Element Occurrences Documented Within a One-mile Radius of the Project Area

Taxonomic Group	EO ID	Scientific Name	Common Name	Last Observation Date	Element Occurrence Rank	Accuracy	Federal Status	State Status	Global Rank	State Rank
Vascular Plant	13345	Helianthus schweinitzii	Schweinitz's Sunflower	2013-10-16	C	2-High	Endangered	Endangered	G2	S3
Vascular Plant	15141	Rhus michauxii	Michaux's Sumac	1794-07-21	H	5-Very Low	Endangered	Endangered	G2G3	S2

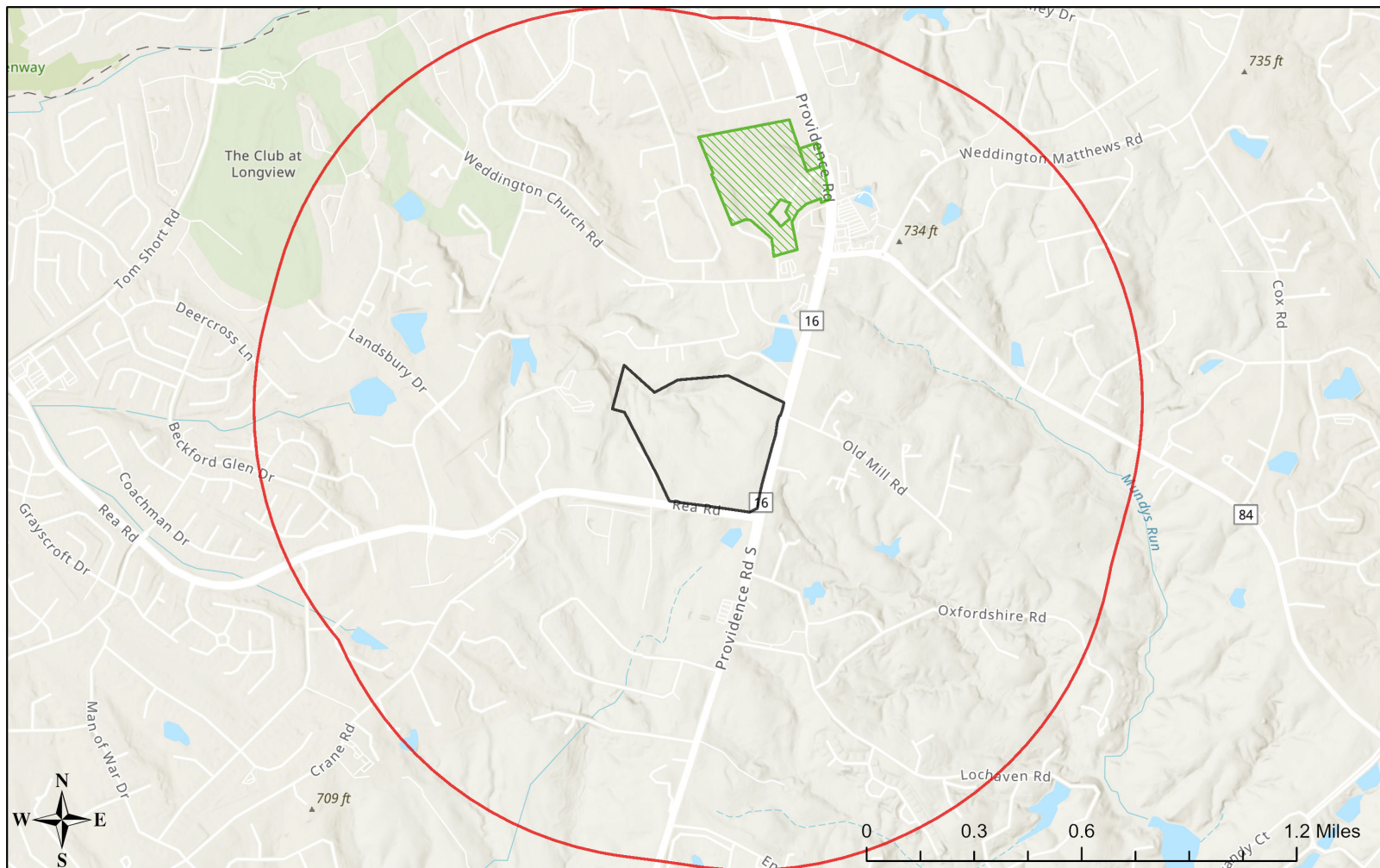
No Natural Areas are Documented Within a One-mile Radius of the Project Area

Managed Areas Documented Within a One-mile Radius of the Project Area




Managed Area Name	Owner	Owner Type
Catawba Lands Conservancy - Weddington Tract	Catawba Lands Conservancy	Private
Catawba Lands Conservancy Easement	Catawba Lands Conservancy	Private

Definitions and an explanation of status designations and codes can be found at <https://ncnhde.natureserve.org/help>. Data query generated on October 14, 2025; source: NCNHP, Summer (July) 2025. Please resubmit your information request if more than one year elapses before project initiation as new information is continually added to the NCNHP database.

# NCNHDE-32332: Providence-Rea Road



October 14, 2025

-  Managed Area (MAREA)
-  Buffered Project Boundary
-  Project Boundary

mecknc, State of North Carolina DOT, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, NASA, NGA, USGS, FEMA

# Attachment B

## U.S. Fish and Wildlife Service IPaC Official Species List



## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Asheville Ecological Services Field Office  
160 Zillicoa Street, Suite B  
Asheville, NC 28801-1082  
Phone: (828) 258-3939 Fax: (828) 258-5330

In Reply Refer To:  
Project Code: 2026-0015373  
Project Name: Providence-Rea Road

11/13/2025 16:48:03 UTC

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

### To Whom It May Concern:

The enclosed species list identifies threatened, endangered, and proposed species, as well as proposed and designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The enclosed species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

Please note that new species information can change your official species list. Under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. The Service recommends you visit the ECOS-IPaC website regularly during project planning and implementation to ensure your species list is accurate or obtain an updated species list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A biological assessment (BA) or biological evaluation (BE) should be completed for your project. A BA is required for major construction activities (or other undertakings having similar physical impacts) considered to be Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c))(NEPA). For projects other than major construction activities, the Service suggests that a BE be prepared to determine effects of the action and whether those effects may affect listed species and/or designated critical habitat. Effects of the action are all consequences to listed species or critical habitat that are caused by the proposed action, including the consequences of other activities that are caused by the proposed action. A consequence is caused by the proposed action if it is reasonably certain to occur and would not occur "but for" the proposed action.

Recommended contents of a BA/BE are described at 50 CFR 402.12. More information and resources about project review and preparing a BA/BE can be found at the following web link: <https://www.fws.gov/office/asheville-ecological-services/asheville-field-office-online-review-process-overview>.

If a Federal agency determines listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. The Service is not required to concur with "no effect" determinations from Federal action agencies. If consultation is required, the Service recommends that candidate species, proposed species, proposed critical habitat, and at-risk species be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or licensed applicants, can be found in the "Endangered Species Consultation Handbook" at the following web link: <https://www.fws.gov/media/endangered-species-consultation-handbook>.

Conservation measures (CMs) are actions included in the project description that the action agency or the applicant commits to implementing to avoid or minimize impacts to federally threatened or endangered species from their actions. CMs are a part of the proposed action and their implementation is required under the terms of a section 7 consultation. Ultimately, the lead federal action agency (project funder, permitter, or implementer) commits to CMs, however, implementation may be passed to the applicant via permit conditions. CMs demonstrate the action agency's commitment to imperiled species conservation and have the potential to expedite project review under the Act by eliminating or decreasing adverse impacts that would otherwise result from project implementation. Potential CMs can be found at the following web link: [https://www.fws.gov/sites/default/files/documents/2025-03/2025-02-sample-conservation-measures-asheville\\_field\\_office.pdf](https://www.fws.gov/sites/default/files/documents/2025-03/2025-02-sample-conservation-measures-asheville_field_office.pdf)

**Migratory Birds:** In addition to responsibilities to protect threatened and endangered species under the Act, there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). More information about MBTA and BGEPA can be found at the following web link: <https://www.fws.gov/program/migratory-birds>.

We appreciate your consideration of Federally listed species. The Service encourages Federal agencies to include conservation of threatened and endangered species in their project planning to further the purposes of the Act. Please contact our staff at 828-258-3939, if you have any questions. In future correspondence concerning this project, please reference the Project Code which can be found in the header of this letter.

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Bald & Golden Eagles
- Migratory Birds
- Wetlands

## **OFFICIAL SPECIES LIST**

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

**Asheville Ecological Services Field Office**

160 Zillicoa Street, Suite B

Asheville, NC 28801-1082

(828) 258-3939

## PROJECT SUMMARY

Project Code: 2026-0015373  
Project Name: Providence-Rea Road  
Project Type: Residential Construction  
Project Description: Due diligence for potential buyer  
Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@35.01432175,-80.76853515787374,14z>



Counties: Union County, North Carolina

## ENDANGERED SPECIES ACT SPECIES

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

- 
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

## CLAMS

NAME	STATUS
Carolina Heelsplitter <i>Lasmigona decorata</i> There is <b>final</b> critical habitat for this species. Your location does not overlap the critical habitat. Species profile: <a href="https://ecos.fws.gov/ecp/species/3534">https://ecos.fws.gov/ecp/species/3534</a>	Endangered

## INSECTS

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> There is <b>proposed</b> critical habitat for this species. Your location does not overlap the critical habitat. Species profile: <a href="https://ecos.fws.gov/ecp/species/9743">https://ecos.fws.gov/ecp/species/9743</a>	Proposed Threatened

## FLOWERING PLANTS

NAME	STATUS
Schweinitz's Sunflower <i>Helianthus schweinitzii</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/3849">https://ecos.fws.gov/ecp/species/3849</a>	Endangered

## CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

## USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

## BALD & GOLDEN EAGLES

Bald and Golden Eagles are protected under the Bald and Golden Eagle Protection Act <sup>2</sup> and the Migratory Bird Treaty Act (MBTA) <sup>1</sup>. Any person or organization who plans or conducts activities that may result in impacts to Bald or Golden Eagles, or their habitats, should follow appropriate regulations and consider implementing appropriate avoidance and minimization measures, as described in the various links on this page.

1. The [Bald and Golden Eagle Protection Act](#) of 1940.
2. The [Migratory Birds Treaty Act](#) of 1918.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

There are Bald Eagles and/or Golden Eagles in your [project](#) area.

### Measures for Proactively Minimizing Eagle Impacts

For information on how to best avoid and minimize disturbance to nesting bald eagles, please review the [National Bald Eagle Management Guidelines](#). You may employ the timing and activity-specific distance recommendations in this document when designing your project/activity to avoid and minimize eagle impacts. For bald eagle information specific to Alaska, please refer to [Bald Eagle Nesting and Sensitivity to Human Activity](#).

The FWS does not currently have guidelines for avoiding and minimizing disturbance to nesting Golden Eagles. For site-specific recommendations regarding nesting Golden Eagles, please consult with the appropriate Regional [Migratory Bird Office](#) or [Ecological Services Field Office](#).

If disturbance or take of eagles cannot be avoided, an [incidental take permit](#) may be available to authorize any take that results from, but is not the purpose of, an otherwise lawful activity. For assistance making this determination for Bald Eagles, visit the [Do I Need A Permit Tool](#). For assistance making this determination for golden eagles, please consult with the appropriate Regional [Migratory Bird Office](#) or [Ecological Services Field Office](#).

### Ensure Your Eagle List is Accurate and Complete

If your project area is in a poorly surveyed area in IPaC, your list may not be complete and you may need to rely on other resources to determine what species may be present (e.g. your local FWS field office, state surveys, your own surveys). Please review the [Supplemental Information on Migratory Birds and Eagles](#), to help you properly interpret the report for your specified location, including determining if there is sufficient data to ensure your list is accurate.

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to bald or golden eagles on your list, see the "Probability of Presence Summary" below to see when these bald or golden eagles are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
Bald Eagle <i>Haliaeetus leucocephalus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. <a href="https://ecos.fws.gov/ecp/species/1626">https://ecos.fws.gov/ecp/species/1626</a>	Breeds Sep 1 to Jul 31

## PROBABILITY OF PRESENCE SUMMARY

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project



1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, see the "Probability of Presence Summary" below to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
<b>Bald Eagle <i>Haliaeetus leucocephalus</i></b> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. <a href="https://ecos.fws.gov/ecp/species/1626">https://ecos.fws.gov/ecp/species/1626</a>	Breeds Sep 1 to Jul 31
<b>Chimney Swift <i>Chaetura pelagica</i></b> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. <a href="https://ecos.fws.gov/ecp/species/9406">https://ecos.fws.gov/ecp/species/9406</a>	Breeds Mar 15 to Aug 25
<b>Grasshopper Sparrow <i>Ammodramus savannarum perpallidus</i></b> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA <a href="https://ecos.fws.gov/ecp/species/8329">https://ecos.fws.gov/ecp/species/8329</a>	Breeds Jun 1 to Aug 20
<b>Kentucky Warbler <i>Geothlypis formosa</i></b> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. <a href="https://ecos.fws.gov/ecp/species/9443">https://ecos.fws.gov/ecp/species/9443</a>	Breeds Apr 20 to Aug 20
<b>Prairie Warbler <i>Setophaga discolor</i></b> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. <a href="https://ecos.fws.gov/ecp/species/9513">https://ecos.fws.gov/ecp/species/9513</a>	Breeds May 1 to Jul 31
<b>Prothonotary Warbler <i>Protonotaria citrea</i></b> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. <a href="https://ecos.fws.gov/ecp/species/9439">https://ecos.fws.gov/ecp/species/9439</a>	Breeds Apr 1 to Jul 31
<b>Red-headed Woodpecker <i>Melanerpes erythrocephalus</i></b> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. <a href="https://ecos.fws.gov/ecp/species/9398">https://ecos.fws.gov/ecp/species/9398</a>	Breeds May 10 to Sep 10
<b>Rusty Blackbird <i>Euphagus carolinus</i></b> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA <a href="https://ecos.fws.gov/ecp/species/9478">https://ecos.fws.gov/ecp/species/9478</a>	Breeds elsewhere

NAME	BREEDING SEASON
Wood Thrush <i>Hylocichla mustelina</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. <a href="https://ecos.fws.gov/ecp/species/9431">https://ecos.fws.gov/ecp/species/9431</a>	Breeds May 10 to Aug 31

## PROBABILITY OF PRESENCE SUMMARY

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read "[Supplemental Information on Migratory Birds and Eagles](#)", specifically the FAQ section titled "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

### Probability of Presence (■)

Green bars; the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during that week of the year.

### Breeding Season (■)

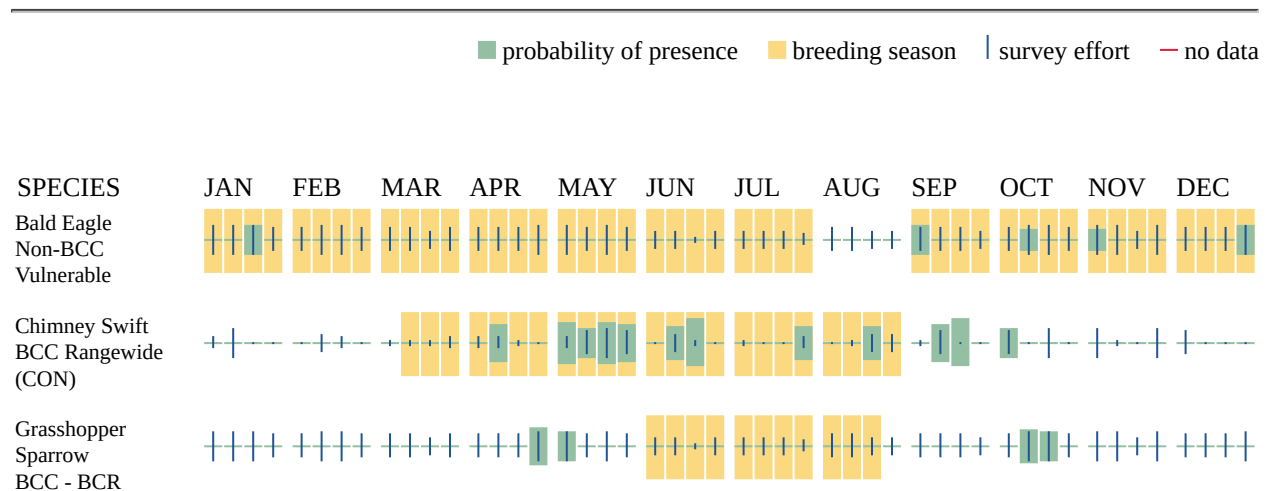
Yellow bars; liberal estimate of the timeframe inside which the bird breeds across its entire range.

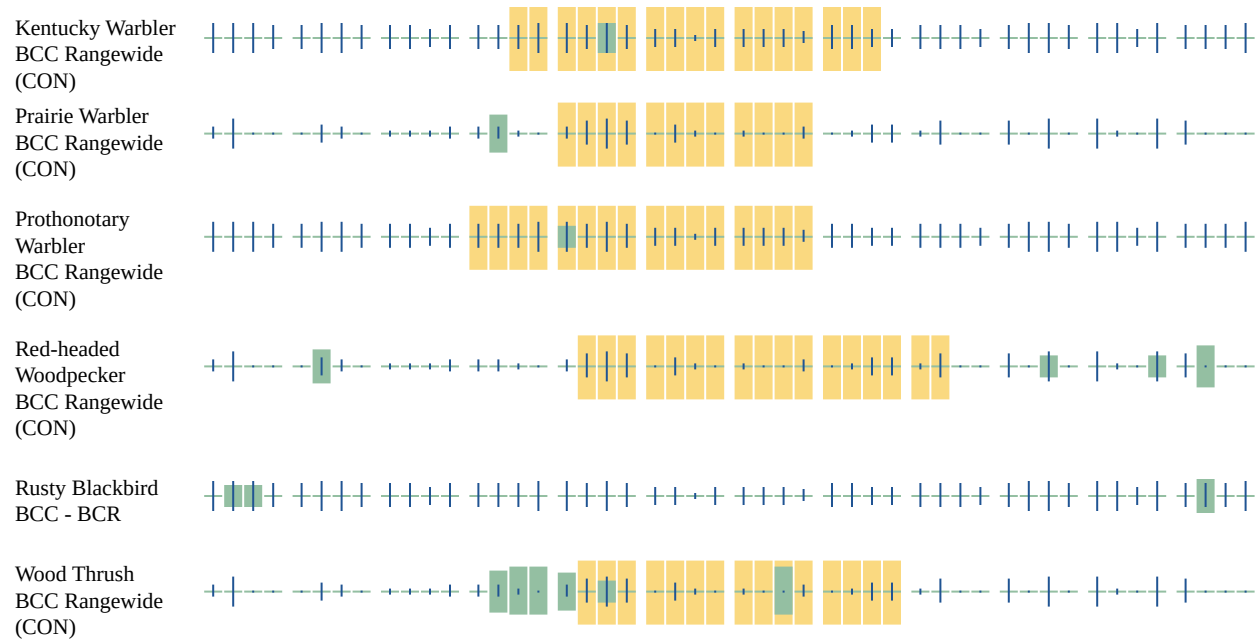
### Survey Effort (|)

Vertical black lines; the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps.

### No Data (—)

A week is marked as having no data if there were no survey events for that week.





Additional information can be found using the following links:

- Eagle Management <https://www.fws.gov/program/eagle-management>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide avoidance and minimization measures for birds
- Supplemental Information for Migratory Birds and Eagles in IPaC <https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action>

## WETLANDS

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

### RIVERINE

- R4SBC

## **IPAC USER CONTACT INFORMATION**

Agency: Private Entity  
Name: Britton Helms  
Address: 328 East Broad Street  
City: Statesville  
State: NC  
Zip: 28677  
Email: [britthelms@wetlands-waters.com](mailto:britthelms@wetlands-waters.com)  
Phone: 7042078876

# Attachment C

## Field Photographs

DIRECTION 35.01162°N ACCURACY 13 m  
100 deg(T) 080.76643°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 35.01163°N ACCURACY 8 m  
122 deg(T) 080.76618°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 35.01167°N ACCURACY 7 m  
33 deg(T) 080.76614°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 35.01161°N ACCURACY 5 m  
284 deg(T) 080.76678°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION  
284 deg(T)

35.01167°N  
080.76712°W

ACCURACY 5 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
279 deg(T)

35.01170°N  
080.76756°W

ACCURACY 5 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
350 deg(T)

35.01181°N  
080.76781°W

ACCURACY 4 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

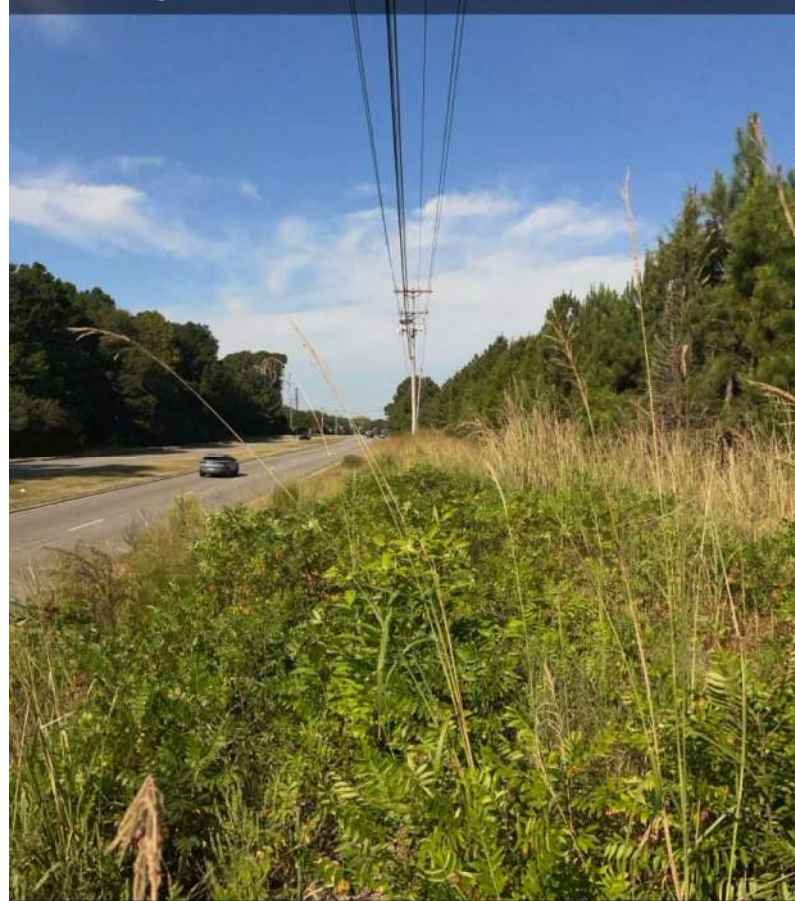
BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
277 deg(T)

35.01175°N  
080.76790°W

ACCURACY 4 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
276 deg(T)

35.01177°N  
080.76810°W

ACCURACY 8 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
273 deg(T)

35.01182°N  
080.76849°W

ACCURACY 5 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
289 deg(T)

35.01180°N  
080.76882°W

ACCURACY 4 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION  
279 deg(T)

35.01188°N  
080.76927°W

ACCURACY 3 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Power ROW /  
roadside

2025-09-23

DIRECTION 327 deg(T) 35.01192°N ACCURACY 3 m  
080.76949°W DATUM WGS84



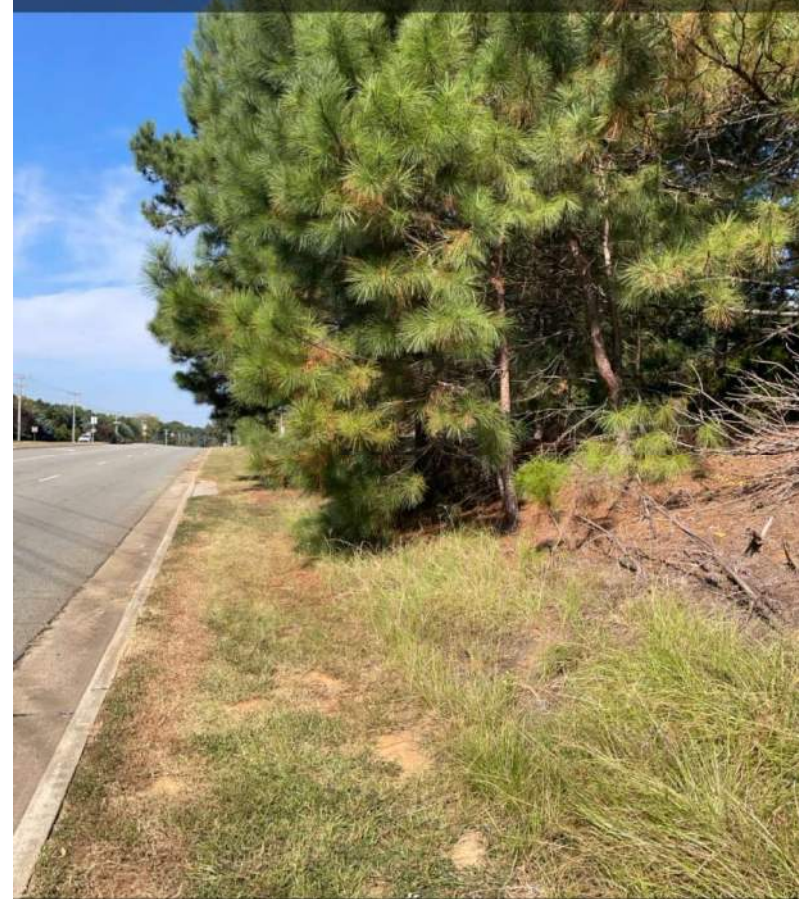
Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 278 deg(T) 35.01192°N ACCURACY 12 m  
080.76967°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 291 deg(T) 35.01184°N ACCURACY 10 m  
080.76990°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 12 deg(T) 35.01191°N ACCURACY 9 m  
080.77017°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Power ROW / 2025-09-23  
roadside

DIRECTION 35.01536°N ACCURACY 7 m  
348 deg(T) 080.76487°W DATUM WGS84



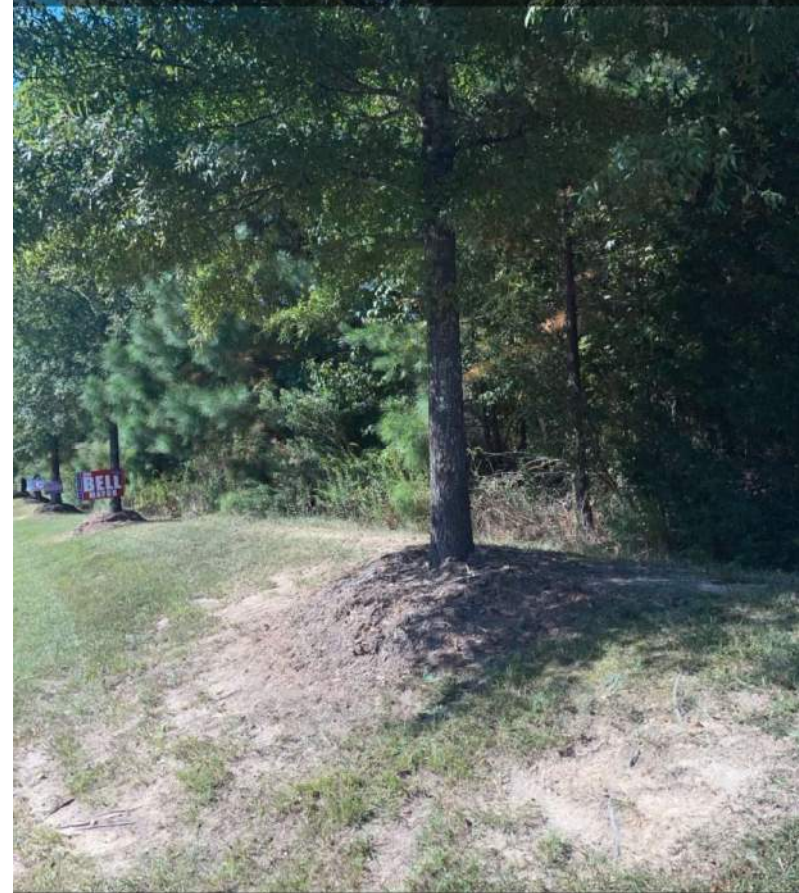
Signature Prop., BE  
Prov.-Rea Rd. Typ. roadside 2025-09-23

DIRECTION 35.01527°N ACCURACY 12 m  
206 deg(T) 080.76490°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. roadside 2025-09-23

DIRECTION 35.01512°N ACCURACY 7 m  
217 deg(T) 080.76494°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. roadside 2025-09-23

DIRECTION 35.01487°N ACCURACY 7 m  
212 deg(T) 080.76509°W DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. roadside 2025-09-23

DIRECTION 215 deg(T) 35.01448°N 080.76518°W ACCURACY 7 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 211 deg(T) 35.01433°N 080.76523°W ACCURACY 7 m DATUM WGS84



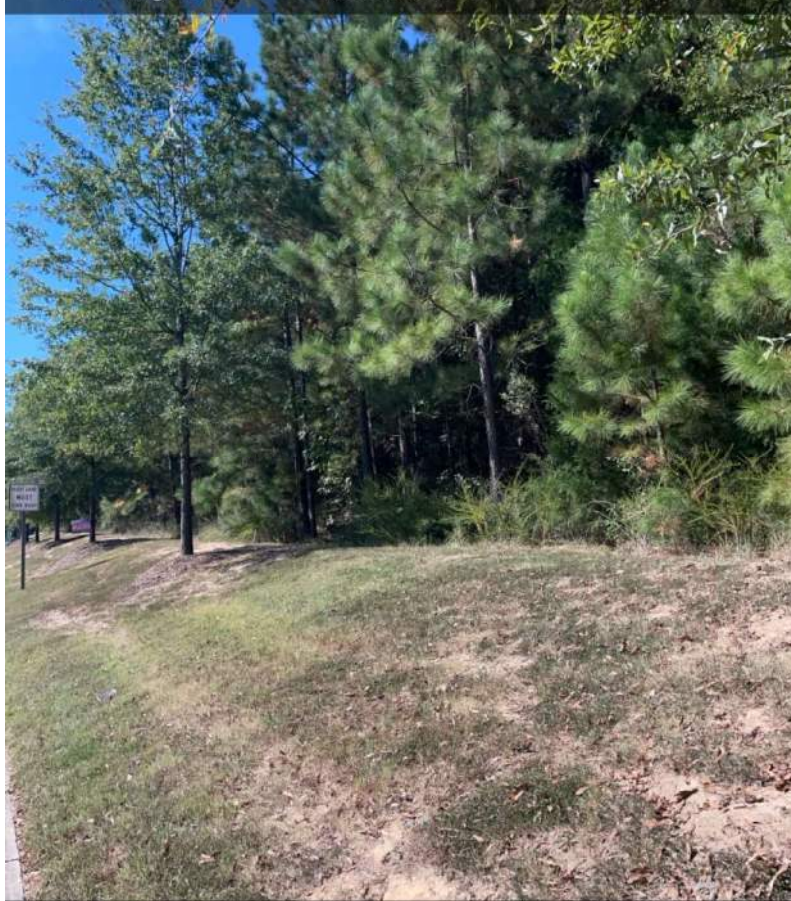
Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 211 deg(T) 35.01408°N 080.76530°W ACCURACY 6 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 216 deg(T) 35.01364°N 080.76542°W ACCURACY 7 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 210 deg(T) 35.01322°N 080.76554°W ACCURACY 7 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 212 deg(T) 35.01281°N 080.76564°W ACCURACY 7 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 212 deg(T) 35.01217°N 080.76584°W ACCURACY 8 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION 277 deg(T) 35.01189°N 080.76597°W ACCURACY 7 m DATUM WGS84



Signature Prop., BE 2025-09-23  
Prov.-Rea Rd. Typ. roadside

DIRECTION  
7 deg(T)

35.01189°N  
080.76597°W

ACCURACY 7 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. roadside

2025-09-23

DIRECTION  
252 deg(T)

35.01180°N  
080.76606°W

ACCURACY 6 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

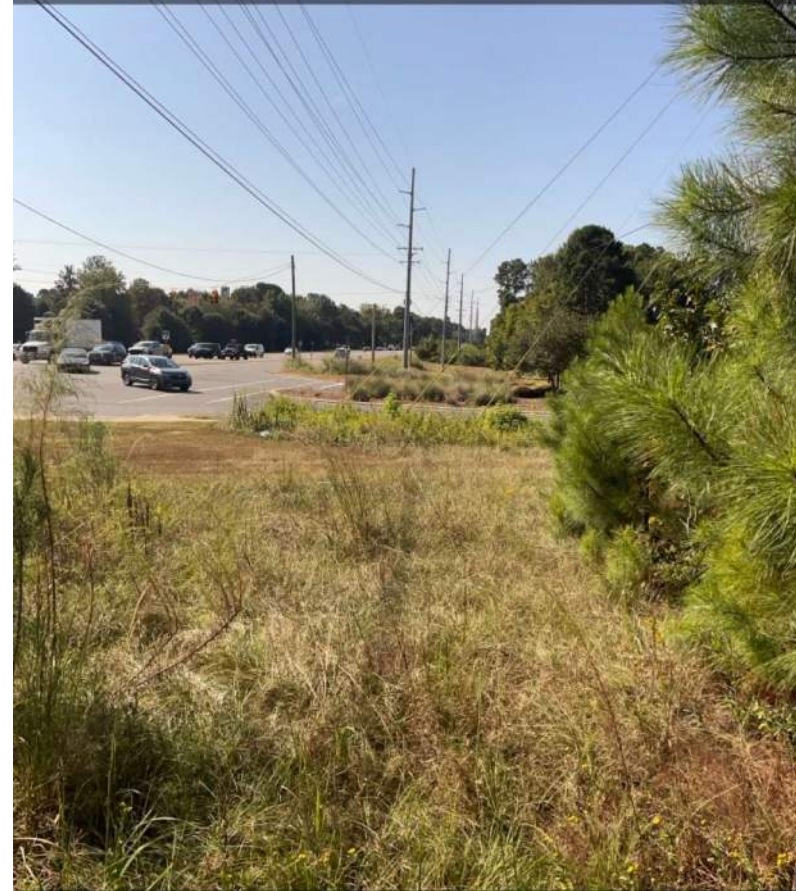
BE  
Typ. roadside

2025-09-23

DIRECTION  
187 deg(T)

35.01179°N  
080.76615°W

ACCURACY 7 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. roadside

2025-09-23

DIRECTION  
58 deg(T)

35.01179°N  
080.76613°W

ACCURACY 7 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. roadside

2025-09-23

DIRECTION 198 deg(T) 35.01309°N 080.76745°W ACCURACY 5 m DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. internal path 2025-09-23

DIRECTION 350 deg(T) 35.01354°N 080.76743°W ACCURACY 5 m DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. internal path 2025-09-23

DIRECTION 12 deg(T) 35.01310°N 080.76746°W ACCURACY 5 m DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. internal path 2025-09-23

DIRECTION 227 deg(T) 35.01270°N 080.77011°W ACCURACY 4 m DATUM WGS84



Signature Prop., BE  
Prov.-Rea Rd. Typ. Invasives 2025-09-23

DIRECTION  
33 deg(T)

35.01251°N  
080.77020°W

ACCURACY 4 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Open area

2025-09-23

DIRECTION  
154 deg(T)

35.01241°N  
080.77019°W

ACCURACY 5 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Open area

2025-09-23

DIRECTION  
173 deg(T)

35.01218°N  
080.77017°W

ACCURACY 4 m  
DATUM WGS84



Signature Prop.,  
Prov.-Rea Rd.

BE  
Typ. Open area

2025-09-23

DIRECTION  
192 deg(T)

35.01656°N  
080.77300°W

ACCURACY 66 ft  
DATUM WGS84



Signature,  
Providence-Rea  
Rd

Botanical  
Evaluation  
Sewer ROW

2025-10-09

DIRECTION 280 deg(T) 35.01655°N 080.77297°W ACCURACY 43 ft DATUM WGS84



Signature, Providence-Rea Rd Botanical Evaluation Sewer ROW 2025-10-09

DIRECTION 320 deg(T) 35.01651°N 080.77289°W ACCURACY 69 ft DATUM WGS84



Signature, Providence-Rea Rd Botanical Evaluation Bidens aristosa 2025-10-09

DIRECTION 205 deg(T) 35.01652°N 080.77285°W ACCURACY 47 ft DATUM WGS84



Signature, Providence-Rea Rd Botanical Evaluation Sewer ROW 2025-10-09

DIRECTION 273 deg(T) 35.01642°N 080.77297°W ACCURACY 47 ft DATUM WGS84



Signature, Providence-Rea Rd Botanical Evaluation Bidens Aristosa 2025-10-09

DIRECTION  
209 deg(T)

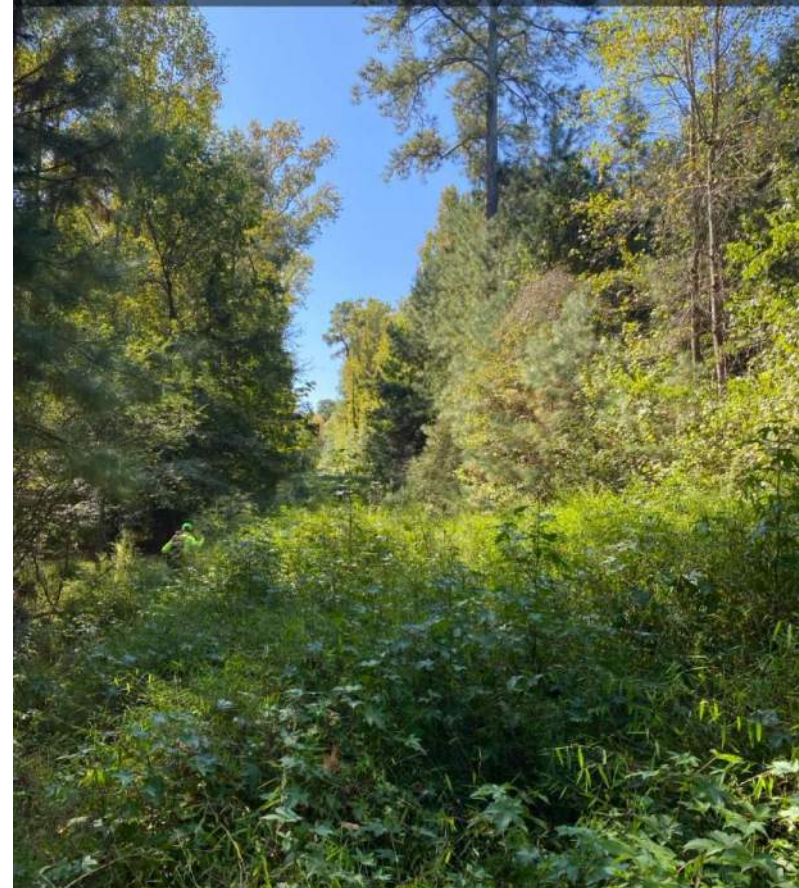
35.01615°N  
080.77292°W

ACCURACY 109 ft  
DATUM WGS84

DIRECTION  
353 deg(T)

35.01601°N  
080.77386°W

ACCURACY 100 ft  
DATUM WGS84



Signature,  
Providence-Rea  
Rd

Botanical  
Evaluation  
Sewer ROW

2025-10-09

Signature,  
Providence-Rea  
Rd

Botanical  
Evaluation  
Sewer ROW

2025-10-09

DIRECTION  
215 deg(T)

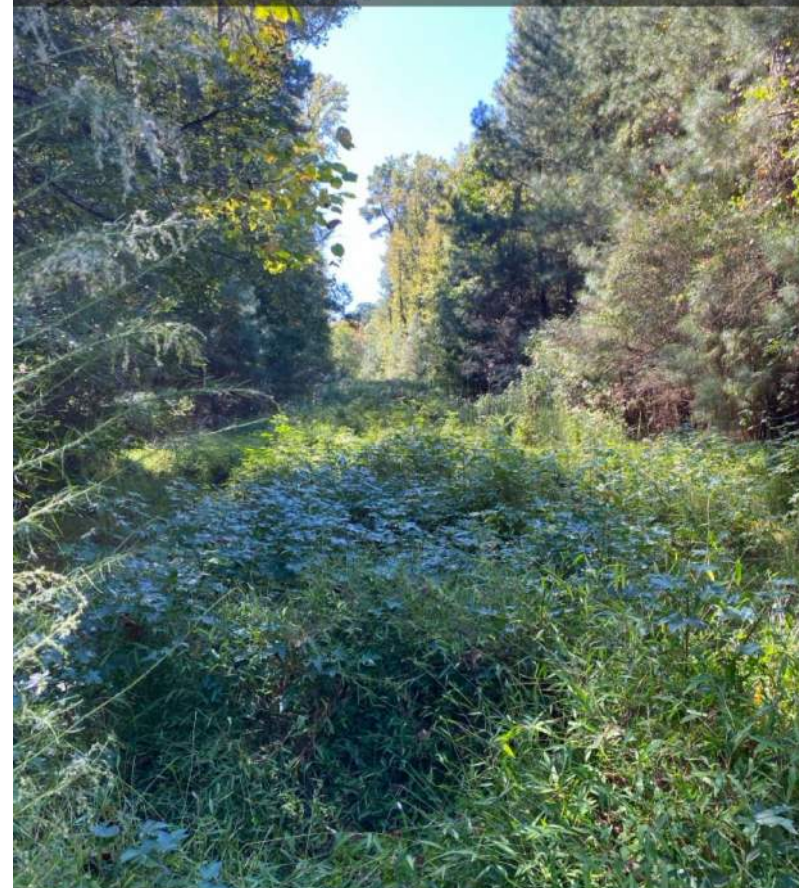
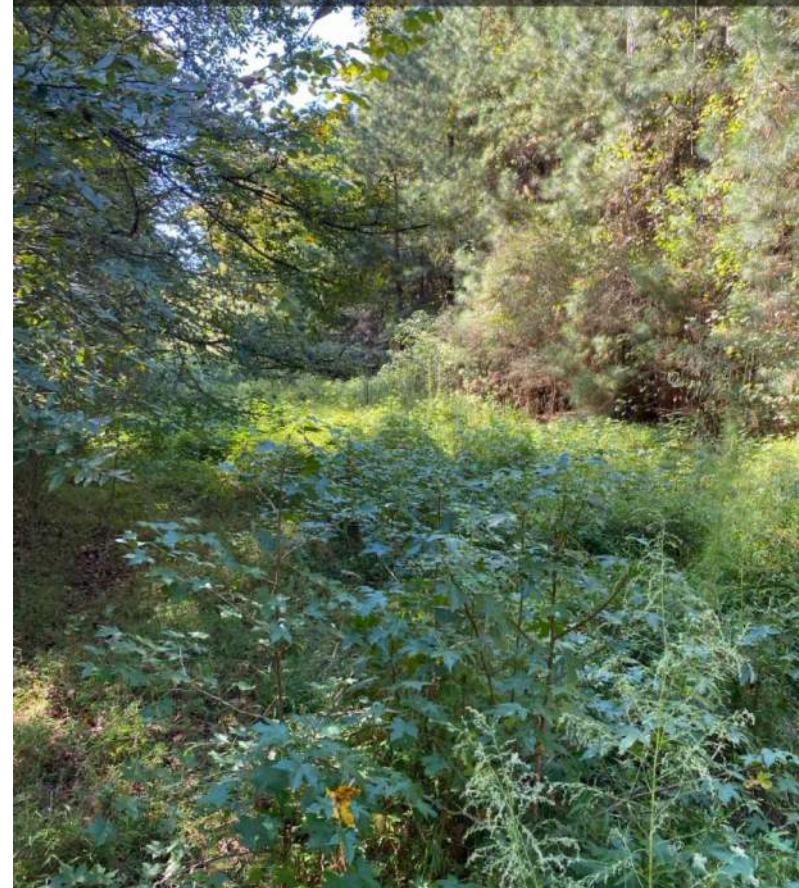
35.01596°N  
080.77347°W

ACCURACY 98 ft  
DATUM WGS84

DIRECTION  
203 deg(T)

35.01603°N  
080.77361°W

ACCURACY 111 ft  
DATUM WGS84



Signature,  
Providence-Rea  
Rd

Botanical  
Evaluation  
Sewer ROW

2025-10-09

Signature,  
Providence-Rea  
Rd

Botanical  
Evaluation  
Sewer ROW

2025-10-09

**From:** Jimmy Bention <Jimmy.Bention@ucps.k12.nc.us>  
**Sent:** Monday, February 23, 2026 11:24 AM  
**To:** Keith Cooper; Danny McManus Jr  
**Cc:** Mel Graham; Brent Cowan; Dana Scott  
**Subject:** Re: Grandview, Weddington, NC

Received!

Facilities, anything else I need to know?

Chairman

Rev. Jimmy H. Bention, Sr.  
Union County (NC) Board of Education  
Member At Large  
[704-572-0872](tel:704-572-0872)  
[jimmy.bentionsr@ucps.k12.nc.us](mailto:jimmy.bentionsr@ucps.k12.nc.us)

---

**From:** Keith Cooper <[keith.cooper1@icloud.com](mailto:keith.cooper1@icloud.com)>  
**Sent:** Monday, February 23, 2026 10:11 AM  
**To:** Danny McManus Jr <[Danny.McManusJr@ucps.k12.nc.us](mailto:Danny.McManusJr@ucps.k12.nc.us)>; Jimmy Bention <[Jimmy.Bention@ucps.k12.nc.us](mailto:Jimmy.Bention@ucps.k12.nc.us)>  
**Cc:** Mel Graham <[mel@grahamenterprises.org](mailto:mel@grahamenterprises.org)>; Brent Cowan <[bcowan@isaacsgrp.com](mailto:bcowan@isaacsgrp.com)>; Dana Scott <[dana@grahamenterprises.org](mailto:dana@grahamenterprises.org)>  
**Subject:** Grandview, Weddington, NC

**WARNING: This email originated outside of our organization.**

**DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.**

Gentlemen - Mel Graham is proposing a 37 lot single-family subdivision in Weddington. During the project review the Town requires the developer notify the Chairman of the Union County Board of Education and the Facilities Director of the proposed development.

Unless you require a more formal document, this email will serve as notice.

Project Name: Grandview

PIN: [06150001](#)

Location: Northwest Quadrant of the Providence Road (NC 16) and Rea Road intersection in Weddington

Owner/Developer: Signature Properties of the Carolinas LLC  
Mel Graham  
PO Box 78926  
Charlotte, NC 27271

Phone: [704-996-2071](tel:704-996-2071)

The site plan is attached for reference.

If you need additional information from us please do not hesitate to call or email me.

Thank you,

Keith  
S. Keith Cooper  
[704-618-6200](tel:704-618-6200)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



---

## MEMORANDUM

**TO:** Planning Board  
**FROM:** Gregory Gordos, Town Planner  
**DATE:** April 27, 2026  
**SUBJECT:** Discussion and Consideration of Text Amendments O-2026-03 Appendix 2B. #B58; O-2026-04 Section D917D A. Agricultural Uses; and O-2026-04 D917A Q(2)(a) Tree Save and Tree Replenish Requirements

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### BACKGROUND:

At the April 2026 meeting of Town Council, the following agenda items were discussed:

12. New Business

D. Discussion of New Text Amendments

- i. Section D-917D (A) Agricultural Uses (chicken coops)
- ii. Architectural Standards
- iii. Engineer review of projects prior to Planning Board

After discussion, the Council directed staff to adopt text amendments based on their recorded statements. Proposed Ordinance 2026-04 is a continuation of Planning Board discussions in February and March regarding buildable area, building envelope, or other terms to describe areas exempt from tree save.

---

---

### PROPOSAL:

Staff recommends three separate text amendments based on the direction of the Town Council and Board.

One requiring review of all applications by the Town Engineer over the Town Planner, one reducing the setback distances for chicken coops from 150 feet, and one to redefine “buildable envelope” re: trees.

---

---

### OUTLINE OF TEXT AMENDMENT:

The following sections of the UDO are proposed to be amended:

Appendix 2B.

Engineering	Schematic Plan	Final Plat	Reference Number
A written recommendation by the Town Engineer confirming they have reviewed the application and, on a preliminary basis, that the plans meet the intent of the UDO regarding stormwater flow and SCM facilities.	X		B58

\*\*\*\*\*

Section D-917D.

*A: Agricultural Uses*

*1. Structures housing ~~poultry~~ or livestock and waste removed from any structure shall be located no closer than 150 feet from any property line except that structures housing horses **or poultry (“chicken coops”)** shall be located no closer than 60 feet from any property line. Corrals for bovine and equine animals are exempt from these setbacks.*

\*\*\*\*\*

Section D-917A.

*Q: Tree Requirements.*

*2. Tree Save and Tree Replenish Requirements.*

*In order to maintain or replenish the Town tree canopy in any new major residential development the following shall apply:*

*a. The tree removal is not permitted within areas that have naturally occurring trees located outside the ~~buildable area~~ **buildable envelope** of a lot or development. For the purpose of these provisions “~~buildable area~~ **envelope**” means all areas located outside of:*

- i. Required zoning district setbacks;*
- ii. Existing and proposed street rights-of-way and easements;*
- iii. Utility and drainage easements*
- iv. Existing ponds, lakes, streams and their buffers*

*v. **Septic drain fields***

\*\*\*\*\*

Staff offers the modification above for the Town Council’s consideration and approval, as recommended by the Planning Board. Staff had recommended no text amendment to the Board. For ease of reference, new text is referenced in **red/underlined** font, while deletions are referenced in ~~strikethrough~~ font.

## **LAND USE PLAN CONSISTENCY:**

State Statutes requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. Accordingly, staff provides the following Land Use Plan Consistency Statement for consideration:

The proposed amendments to the Unified Development Ordinance are found to be generally consistent with the adopted Land Use Plan (Plan). However, while these amendments do not further any specific Goal or Policy of the Plan, they also do not act contrary to any specific Goal or Policy of the Plan, nor would they prevent the administration and implementation of the Plan, or preclude the fulfilment of the community vision as set forth in the Plan. Additionally, the proposed amendments are found to be reasonable in that they continue to improve upon the organization of existing ordinances and provide additional clarity for staff, appointed and elected officials, and residents.

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## **RECOMMENDATION:**

Staff recommends approval of the proposed text amendments to Appendix 2B., Section D-917D. A. Agricultural Uses, and Section D-917A. Q. Tree Requirements.

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## **Attachments:**

- Ordinance 2026-03
- Ordinance 2026-04
- Ordinance 2026-05