



**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, NOVEMBER 10, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104
AGENDA**

1. Call to Order
2. Determination of Quorum
3. Pledge of Allegiance
4. Additions, Deletions and/or Adoption of the Agenda
5. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Council member to avoid conflicts of interest. Does any Council member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*
6. Mayor/Councilmember Reports
7. Public Comments
8. Public Safety Report
9. Consent Agenda
 - A. Approval of October 13, 2025 Regular Town Council Meeting Minutes
 - B. Approval of letters of support for federal zip code legislation
10. Old Business
 - A. Discussion and Consideration of Release of Enclave at Baxley Bond.
11. New Business
 - A. CZ 2025-04 Keystone Custom Homes Subdivision at 3009 Forest Lawn Drive
 - i. Public Hearing
 - ii. Discussion and Possible Consideration
 - B. O-2025-07 Text Amendment to D917A.G. Private Roads and Gatehouses and Section D918.I. Screening and Landscaping-Berm Language
 - i. Public Hearing
 - ii. Discussion and Possible Consideration
12. Code Enforcement Report

13. Update from Finance Officer and Tax Collector

14. Updates from Town Planner and Town Administrator

15. Transportation Report

16. Council Comments

17. Closed Session 143.318.11 (5)-*to establish, or to instruct the public body's staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or the amount of compensation and other material terms of an employment contract or proposed employment contract*

18. Adjournment

Weddington

10/2025

| UCR Code | Description | Date of Report | Incident ID | |
|------------|--|----------------|-------------|---|
| 13B | | | | |
| 13B | SIMPLE ASSAULT | 10/7/25 | 202508215 | |
| 13B | ASSAULT AND BATTERY | 10/14/25 | 202508421 | |
| 13B | CHILD ABUSE - MISD | 10/22/25 | 202508692 | |
| 13B | SIMPLE AFFRAY | 10/28/25 | 202508890 | |
| | | | Total: | 4 |
| 13C | | | | |
| 13C | COMMUNICATING THREATS OF MASS VIOLENCE | 10/3/25 | 202508067 | |
| 13C | COMMUNICATING THREATS | 10/12/25 | 202508360 | |
| 13C | COMMUNICATING THREATS | 10/21/25 | 202508655 | |
| 13C | COMMUNICATING THREATS | 10/22/25 | 202508700 | |
| | | | Total: | 4 |
| 220 | | | | |
| 220 | BURGLARY-1ST DEGREE | 10/18/25 | 202508567 | |
| 220 | BREAKING OR ENTERING (M) | 10/20/25 | 202508614 | |
| 220 | BREAKING/ENTERING-FELONY | 10/24/25 | 202508740 | |
| 220 | BREAKING/ENTERING-FELONY | 10/24/25 | 202508741 | |
| | | | Total: | 4 |
| 23F | | | | |
| 23F | BEL / THEFT FROM MOTOR VEHICLE | 10/24/25 | 202508769 | |
| | | | Total: | 1 |
| 23H | | | | |
| 23H | LARCENY-MISDEMEANOR | 10/2/25 | 202508028 | |
| 23H | LARCENY-MISDEMEANOR | 10/8/25 | 202508226 | |
| | | | Total: | 2 |
| 26A | | | | |
| 26A | OBTAINING PROPERTY BY FALSE PRETENSES | 10/8/25 | 202508238 | |
| 26A | OBTAINING PROPERTY BY FALSE PRETENSES | 10/17/25 | 202508534 | |
| 26A | IDENTITY THEFT | 10/22/25 | 202508691 | |
| 26A | OBTAINING PROPERTY BY FALSE PRETENSES | 10/31/25 | 202508992 | |
| | | | Total: | 4 |
| 290 | | | | |
| 290 | INJURY TO PERSONAL PROPERTY | 10/13/25 | 202508395 | |
| 290 | INJURY TO REAL PROPERTY | 10/23/25 | 202508708 | |
| 290 | INJURY TO REAL PROPERTY | 10/29/25 | 202508921 | |
| | | | Total: | 3 |
| 35A | | | | |
| 35A | POSSESS MARIJUANA UP TO 1/2 OZ | 10/1/25 | 202507983 | |
| 35A | PWISD OF MARIJUANA | 10/8/25 | 202508234 | |
| 35A | POSSESS COCAINE FEL | 10/11/25 | 202508350 | |
| 35A | SIMPLE POSSESS SCH IV C/S | 10/17/25 | 202508532 | |
| 35A | POSSESS SCH VI CS | 10/24/25 | 202508756 | |

Weddington

10/2025

| UCR Code | Description | Date of Report | Incident ID | |
|------------|--------------------------------|----------------|-------------|---|
| 35A | POSSESS MARIJUANA UP TO 1/2 OZ | 10/25/25 | 202508793 | |
| 35A | POSSESS MARIJUANA UP TO 1/2 OZ | 10/30/25 | 202508971 | |
| | | | Total: | 7 |
| 35B | | | | |
| 35B | POSSESS MARIJ PARAPHERNALIA | 10/1/25 | 202507983 | |
| 35B | POSSESS MARIJ PARAPHERNALIA | 10/17/25 | 202508532 | |
| 35B | POSSESS MARIJ PARAPHERNALIA | 10/25/25 | 202508793 | |
| | | | Total: | 3 |
| 90D | | | | |
| 90D | DRIVING WHILE IMPAIRED | 10/25/25 | 202508793 | |
| 90D | DRIVING WHILE IMPAIRED | 10/25/25 | 202508796 | |
| | | | Total: | 2 |
| 90G | | | | |
| 90G | CONSUME ALCOHOL < 19 | 10/25/25 | 202508795 | |
| | | | Total: | 1 |
| 90Z | | | | |
| 90Z | RESIST, DELAY, OBSTRUCT | 10/11/25 | 202508350 | |
| | | | Total: | 1 |
| 999 | | | | |
| 999 | NO LIABILITY INSURANCE | 10/1/25 | 202507983 | |
| 999 | EXPIRED REGISTRATION CARD/TAG | 10/1/25 | 202507983 | |
| 999 | ACCIDENT POSSIBLE INJURY | 10/1/25 | 202508010 | |
| 999 | DWLR IMPAIRED REV | 10/2/25 | 202508033 | |
| 999 | ANIMAL CALL BITE | 10/2/25 | 202508044 | |
| 999 | FOUND PROPERTY | 10/7/25 | 202508210 | |
| 999 | CALL FOR SERVICE | 10/8/25 | 202508229 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/10/25 | 202508322 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/11/25 | 202508347 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/12/25 | 202508366 | |
| 999 | ANIMAL CALL | 10/14/25 | 202508409 | |
| 999 | CALL FOR SERVICE | 10/14/25 | 202508424 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/16/25 | 202508468 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/16/25 | 202508469 | |
| 999 | LOST PROPERTY | 10/16/25 | 202508484 | |
| 999 | DWLR NON IMPAIRED REV | 10/17/25 | 202508532 | |
| 999 | ANIMAL CALL | 10/18/25 | 202508555 | |
| 999 | ACCIDENT POSSIBLE INJURY | 10/18/25 | 202508563 | |
| 999 | SERVE WARRANT | 10/21/25 | 202508669 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/21/25 | 202508672 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/22/25 | 202508688 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/23/25 | 202508709 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/24/25 | 202508743 | |
| 999 | SPEEDING | 10/25/25 | 202508796 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/26/25 | 202508811 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/27/25 | 202508847 | |
| 999 | WELL BEING CHECK | 10/27/25 | 202508853 | |
| 999 | ACCIDENT NO VISIBLE INJURY | 10/30/25 | 202508956 | |

Weddington

10/2025

| UCR Code | Description | Date of Report | Incident ID | |
|----------|-----------------------------|----------------|-------------|----|
| 999 | MISSING PERSON | 10/31/25 | 202509008 | |
| | | | Total: | 29 |
| 9999 | | | | |
| 9999 | MENTAL HEALTH INVESTIGATION | 10/3/25 | 202508100 | |
| 9999 | MENTAL HEALTH INVESTIGATION | 10/5/25 | 202508142 | |
| 9999 | MENTAL HEALTH INVESTIGATION | 10/6/25 | 202508156 | |
| 9999 | MENTAL HEALTH INVESTIGATION | 10/23/25 | 202508724 | |
| | | | Total: | 4 |

Monthly Crime Total

69



**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, OCTOBER 13, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
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1. Call to Order

Mayor Bell called the meeting to order at 7:00 p.m.

2. Determination of Quorum

Quorum was determined with all councilmembers present: Mayor Jim Bell, Mayor Pro Tem Tom Smith, Council members Jeff Perryman, Brannon Howie, and Darcey Ladner

Staff: Town Administrator/Clerk Karen Dewey, Town Planner Greg Gordos, Finance Officer Leslie Gaylord, Deputy Clerk/Admin Assistant Debbie Coram, Permit Tech/Planning Assistant Jazlyn Mooock, Town Attorney Karen Wolter, Deputy Grant Wrenn

Visitors: Anne Marie Cruz, Andy Anderson, Craig Horn, Ellen McLaughlin, Liz Holtey, Fred LeFranc, Bob Griswold, Mark Shepherd, Virginia Shepherd, Winsley Peter, Bill Deter, Anand Kulkarni, Bob Donnelly, Sonali Patel, Andrea Donnelly, Clayton Jones, Cathy Killough Brown, Christopher Neve, Robert Price, Tracy Stone, Reuben Radik, Venketesh Macherla, Santhosh Dasavathan, Dileep Kolli, Rostik Radik, Vijay Paka, Bill Cathey, Eric Anderson

3. Pledge of Allegiance

Council led the Pledge of Allegiance.

4. Additions, Deletions and/or Adoption of the Agenda

Mayor Bell requested to pull item 10.B. Approve Release of Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley from the Consent Agenda and add it as New Business item C for discussion.

Motion: Mayor Pro Tem Smith made a motion to adopt the agenda as amended
Vote: The motion passed with a unanimous vote.

5. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Council member to avoid conflicts of interest. Does any Council member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*

Mayor Bell read the Conflict of Interest Statement. No Councilmember had a conflict of interest.

6. Mayor/Councilmember Reports

Councilmember Perryman reported on the September Western Union Municipal Alliance meeting held in Stallings. He noted that there was not a quorum present, with only representatives from Stallings, Wesley Chapel, and himself in attendance. Though no formal meeting was held, they had informal discussions. He announced that the next meeting is scheduled for October 23rd at 4:00 PM at Waxhaw Town Hall.

Mayor Pro Tem Smith thanked the Council for taking up the resolution on World Polio Day. He serves as the Rotary District 7680 Polio Plus Fund Chair covering 14 counties in the area. He noted that polio is no longer endemic in the US since 1979 and currently exists in only two countries - Afghanistan and Pakistan - with 35 cases year-to-date, a significant reduction from 350,000 cases of paralytic polio annually when the eradication effort began 40 years ago. He invited anyone interested to join Rotary, which meets Thursday mornings at 7:30 AM at the Weddington Swim and Racquet Club. Mayor Pro Tem Smith also reported on his meeting with county DOT maintenance personnel regarding road conditions. He explained that due to state budget constraints, DOT had only \$600,000 total for maintenance of secondary streets in the entire county last year. Preservation treatments cost \$120,000 per mile while full asphalt resurfacing costs

\$240,000 per mile. He noted that DOT is prioritizing the worst condition roads for maintenance. The upcoming state budget, once passed, will determine what roads can be resurfaced in the coming year.

7. Public Comments

Mayor Bell read the public comment rules, emphasizing that comments must be directed to the council, not the audience, and warning that anyone turning to address the audience would receive one warning before being stopped. He stated that anyone talking during the meeting would receive one warning before being escorted from the property.

Anne Marie Cruz 13624 Providence Road: Ms. Cruz addressed the conservation easement on the Hunter Farm. She used ChatGPT to explain the legal documents in simple terms, confirming that the conservation easement is a "forever promise" that runs with the land in perpetuity. The easement prohibits commercial or industrial use, subdividing for neighborhoods or shopping centers, and new roads or parking lots except for farming or education. The land must remain as open farm and nature space forever, regardless of ownership. She explained that the only way to end the easement would be through "impossibility of purpose," requiring agreement from a judge, the Catawba Lands Conservancy, and the NC Attorney General that keeping the land as open farm space is no longer possible. Cruz asked council members and residents to share this accurate information and correct any misunderstandings.

Phillip Anderson 13624 Providence Road: Mr. Anderson continued the discussion about the conservation easement, expressing frustration at hearing the same false claims for 30-40 years. He clarified that the three-year tax lookback applies to tax law when someone stops farming, not to the conservation easement. He emphasized that the conservation easement cannot be undone - it's a legal property agreement on file at the Union County Register of Deeds that binds any future property owner forever. Only agricultural, educational, and conservation uses are allowed, with the possibility of building one additional house on one acre by mutual agreement with the Catawba Land Conservancy.

Fred LeFranc 2109 White Magnolia Lane: Mr. LeFranc thanked Mayor Bell for helping get speed bumps installed at their community entrance and Officer Wren for attending their security meeting. He opposed the release of Toll Brothers' bond due to pending issues in their community. He outlined five main concerns: cracks in the retention pond berms requiring engineering review; poor condition of the park area with dead grass and safety hazards for children; irrigation valves not connected to electricity causing \$7,500 water bills; dead trees in conservation areas posing safety risks; and roads with standing water issues despite DOT turnover. He also noted their HOA was forced upon them with only \$8,000 in reserves despite collecting \$52,500 in deposits from residents.

Eric Anderson 13624 Providence Road: Mr. Anderson expressed concern about the town's pattern of misreading legal contracts, referencing a previous lawsuit that cost the town nearly a million dollars. He warned that denying development proposals that follow town rules will result in lawsuits and urged the council to change the rules if they don't want development rather than denying compliant proposals.

Winsley Peter 3109 Weeping Willow Dr: Mr. Peter described their luxury neighborhood of \$1.2-1.7 million homes, now nearly two years old. He called the common areas an embarrassment compared to other Weddington neighborhoods, with the park full of potholes making it unusable for children who must play in the streets instead. He requested the council hold the bond until issues are addressed. He commented on the standing water issues in their cul-de-sac, noting there are no storm drains while another cul-de-sac has three. The water creates marshy, muddy conditions after every sprinkler use or rainfall, creating safety hazards for children playing hockey.

Sonali Patel, who paid a premium for a pond-facing lot, described ongoing issues with the pond area despite multiple visits from workers. She expressed concerns about pond safety with her young children, drainage issues, and the poor condition of common areas with ant piles and no grass, making it unsafe for children to play.

Cathy Brown 5012 Longview: Ms. Brown criticized the three-day deadline for submitting veterans' names for recognition, calling it insulting to those who gave years or decades of service. She contrasted it with Indian Trail's veteran memorial that has no deadline for a 100\$ fee and commented Weddington's approach was an embarrassment.

Reuben Radik, 2103 Green Cyprus Lane: Mr. Radik asked the council to help by holding the bond release to bring Toll Brothers to the negotiating table. He noted Toll Brothers received conservation easements

allowing 0.3-acre lots instead of one-acre lots but now they are trying to walk away from responsibilities, forcing the HOA to handle everything.

Venkat Macherla, 2002 Green Cypress Lane: Mr. Macherla reiterated safety and infrastructure concerns including retention pond cracks needing professional inspection, the eyesore park with water logging, hazardous dead trees, and lack of maintenance instructions. He noted their HOA is out of funds despite paying over \$25,000 in annual water bill

8. Presentation of Proclamation for World Polio Day

Mayor Bell read Proclamation P-2025-05 proclaiming October 24, 2025, as World Polio Day. The proclamation recognized Rotary's global network of 1.2 million members and their role in launching PolioPlus in 1985 and establishing the Global Polio Eradication Initiative in 1988. It noted that polio cases have dropped 99.9% since 1988, with Rotary contributions adding to more than \$2.9 billion and protecting over 3 billion children in 122 countries. The proclamation encouraged all citizens to recognize these efforts and join the fight for a polio-free world.

Mayor Pro Tem Smith explained that the global polio eradication initiative vaccinates approximately 450 million children annually at a cost of \$1 billion per year. He described polio as a waterborne disease transmitted through unsanitary water, particularly problematic in Third World countries with poor water and sewer systems. Two of three polio types have been eradicated worldwide, with only Type 1 remaining in Afghanistan and Pakistan. The effort involves 50,000 paid workers and hundreds of thousands of volunteers.

Craig Horn, President of the Rotary Club of Weddington-Waxhaw, thanked the council for the proclamation. He recalled the iron lung and its terrible impact on children who could not breathe on their own. He emphasized that Rotary is very close to eradicating polio worldwide and stressed the critical importance of not stopping now. Mayor Bell presented the proclamation to Mr. Horn.

9. Public Safety Report

Deputy Wrenn presented the September public safety statistics: 63 9-1-1 hang-ups, 29 wrecks including serious personal injury, 24 alarms, 10 animal services calls, 4 armed subject reports, 5 assaults, 2 home burglaries, 1 vehicle burglary, 52 business checks, 17 careless/reckless driving calls, 7 disturbances including domestics, 562 preventive patrols, 13 residential checks for vacationing residents, and 57 traffic stops, totaling 1,400 calls for service.

Deputy Wrenn reminded residents about October safety concerns with churches holding fall events and trunk-or-treats. He urged extra caution as darkness comes earlier, and children will be out. Many HOAs have encouraged the neighbors to set up at the end of driveways rather than having children walk up to houses, avoiding setting off doorbell cameras and creating a safer environment. He noted officers will patrol with cruise lights on.

Deputy Wrenn thanked residents for their calls, both positive and negative, emphasizing the importance of reporting suspicious activity. He shared an example of someone wearing a mask at a retail store who was arrested with hundreds of dollars in stolen merchandise, receiving an additional charge under North Carolina statute for wearing a mask during commission of a crime.

10. Consent Agenda

A. Approve September 8, 2025 Regular Town Council Meeting Minutes

**** ~~B. Approve Release of Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley.~~**

Motion: Councilmember Perryman made a motion to approve the Consent Agenda as amended.

Vote: The motion passed with a unanimous vote.

11. Old Business

No Old Business was discussed.

12. New Business

A. Discussion of Website Upgrade to include AI capability and meet ADA requirements.

Ms. Dewey explained that the town website must be ADA compliant by April 2027 according to federal requirements. She has begun obtaining quotes for upgrading the website, noting the current bare-bones site will require more significant investment.

Mayor Pro Tem Smith explained his interest in incorporating AI capabilities to make the website more user-friendly, allowing citizens to find information instantly rather than searching through multiple pages or calling staff. He believes AI features could be incorporated alongside ADA compliance upgrades, though they are separate components.

Mayor Bell shared his conversation with a computer science professor about concerns regarding AI and government computers. The professor advised considering return on investment, avoiding expensive solutions, looking for bots that could drive up costs, and limiting AI access to prevent distribution of residential records. Mayor Bell emphasized the need to ensure the town is protected and doesn't open itself up to security risks.

Discussion among council members confirmed this would be exploratory only with no money being spent at this time. Councilmember Brannon Howie noted that while ADA compliance by 2027 is required, much more research is needed before considering AI implementation. The council gave consensus to proceed with research on both ADA compliance and AI possibilities.

B. Discussion of Landscaping Weddington Road roundabout

Mayor Pro Tem Smith proposed exploring beautification of the roundabout by town hall. He explained that municipalities can beautify roundabouts within state guidelines using drought-hardy plants, shrubs, and smaller trees without adding power or water.

Council members discussed visibility concerns and previous attempts at roundabout landscaping. Councilmember Perryman recalled an incident less than two years ago where drivers went through plantings at Hemby and Providence, requiring replanting at town expense. He suggested ensuring the town wouldn't be responsible for repairs if someone damages plantings again.

Mayor Bell clarified this is exploratory only with no vote to spend taxpayer money. He also noted that landscaping on the town hall property has been delayed to avoid planting in summer heat but will be completed soon, along with replacement of damaged light poles.

C. Approve Release of Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley.

Mr. Gordos explained this performance bond release request for over \$2.5 million encompasses the entire Enclave at Baxley subdivision. The project has gone through multiple names, developers, and staff members over nearly a decade. The bond covers infrastructure including roads, sidewalks, curbs, and the detention pond. Mr. Gordos noted this conservation development preserved 50% of open space in perpetuity with the other 50% developed with lots as small as 12,000 square feet. Under old zoning requiring conservation developments to include a neighborhood green, this central feature has become a key concern for residents.

He reported that roads have been turned over to NCDOT with final asphalt layer completed, sidewalks and curbs are in good shape, and the town's primary concern - the stormwater pond - was inspected less than two weeks ago by staff and LaBelle Associates. During inspection, contractors were actively regrading and reseeding around the pond to address soil stability issues.

Bob Wilson from LaBelle Associates confirmed they could reinvestigate cracks in the pond embankment mentioned by residents, which weren't evident during their inspection. He explained that roads have been accepted by NCDOT and cannot be overruled, the park/common area isn't covered by the bond, and dead trees in undisturbed conservation areas are natural occurrences not requiring developer action.

Mr. Gordos addressed the tree planting issue, explaining that approved plans from 2020 (before the current UDO requiring trees in front and back yards) only showed front yard trees.

Robert Price from Toll Brothers stated they want to be good neighbors and have been in conversation with homeowners for about a year since turnover. He noted they could have petitioned for bond release a year ago but waited to address concerns. He explained that multiple entities validate proper construction including professional engineers, surveyors, and the town's third-party engineering firm. Mr. Price offered to investigate the HOA funding concerns and continue working with residents on their issues.

Council discussion focused on the recent repairs to the retention pond only two weeks prior being insufficient time to ensure proper establishment, the ability to request NCDOT reinspection of roads, and investigating whether the sinking fund was properly funded under applicable regulations. Council requested staff to determine that the sinking fund was sufficiently funded, to reinspect the ponds and request NCDOT to reinspect the roads.

Motion: Mayor Pro Tem Smith made a motion to table consideration of the release of the Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley until the November 10, 2025 Regular Town Council meeting.

Vote: The motion passed with a unanimous vote.

13. Code Enforcement Report

Mr. Gordos reported significant progress with nearly 50% of cases closed in the past month. The department levied fines of several thousand dollars and is actively collecting this revenue, which will fund the code enforcement department for several months. He announced that their current code enforcement officer will be phasing in a new inspector soon but expects the same positive level of service to continue.

14. Update from Finance Officer and Tax Collector

Ms. Gaylord reported completion of the first quarter with financial statements included in the packet. She noted quarterly updates on grant funds will be provided next month as they weren't ready for this meeting. The audit process is beginning and will continue for 30-45 days. Ms. Gaylord warned that Ms. Woods, the tax collector, has been receiving numerous property appraisal challenges with adjustments significantly higher than usual, which will reduce the initially billed tax amount somewhat. She confirmed this shouldn't materially impact the budget as the initial valuation exceeded budget projections.

15. Updates from Town Planner and Town Administrator

Mr. Gordos reported two projects pending for coming months. First is a conditional zoning revision to the ARIA subdivision (a 9-lot subdivision approved earlier) to use well water instead of public water, as allowed for rural subdivisions under 12 lots. Second is a Toll Brothers conventional subdivision on Weddington-Matthews Road that has undergone seven revisions and community meetings to address design issues. He noted developers are rushing to request bond releases, mentioning Weddington Glen (a Beechwood project) may request their remaining bond money in November. Mr. Gordos introduced Jazlyn Moock, the new part-time permit technician who started two weeks ago. She introduced herself as a Davidson College graduate with a political science degree and passion for zoning, excited to help with permit processing and customer service. Mayor Bell clarified that Jasmine is a part-time planning assistant and permit technician, not a full-time planner as some have claimed. Mr. Gordos confirmed the town still has only one planner.

Mr. Gordos announced that minor subdivisions are now posted online for transparency since strengthened major subdivision regulations have led to more minor subdivision applications. He also announced Bob Wilson from LaBelle will attend all future public meetings to provide engineering expertise when development proposals are considered, including preliminary review of projects before they reach the planning board.

Ms. Dewey reported that the family of the Eagle Scout who installed the Veterans' monument behind town hall has offered to update it. The deadline for name submissions was set to complete updates by Veterans Day 2025, though name collection will continue as an ongoing project. She also continues working on website upgrade proposals.

16. Transportation Report

Mayor Bell reported multiple conversations with DOT about the Rea Road extension and widening of Highway 16. DOT is confident the project will start in June/July 2029, with right-of-way acquisition already underway. He has requested a community-wide update from DOT but they are still tweaking plans including the Michigan left at Stratford and improvements at Rea Road. Mayor Bell continues working to minimize impact on homes, particularly in Stratford on Providence.

Mayor Pro Tem Smith added that Weddington Hills successfully negotiated for a cul-de-sac instead of a connection at Rea Road, with final agreement recently reached between the HOA, landowner, and state.

17. Council Comments

Councilmember Ladner congratulated staff on closing 50% of code enforcement cases, something she never thought possible when seeing the list two years ago. She thanked them for being strong and collecting fines.

Councilmember Howie thanked town staff, council, and everyone making the wheels turn at town hall. She thanked Rotary for the flags at 9/11 and making Weddington look sharp on important days. Councilmember Howie shared her terrifying experience during the elementary school hard lockdown a few weeks ago when she was in the building with her children. As officers walked down the hallway with weapons, it reminded her of a terrorist attack she had experienced, but this time with her children present. She thanked Deputy Wrenn and UCSO for their quick response, disposition, and seamless operations that got kids back on track.

Councilmember Perryman echoed the accolades and welcomed Jazlyn to the great team. He encouraged everyone to vote in the upcoming election regardless of political affiliation, noting it's a right paid for dearly.

Mayor Pro Tem Smith thanked everyone who stayed through the meeting and staff for their hard work. He welcomed Jazlyn and looked forward to continued financial updates, especially as the year progresses beyond first quarter when revenue starts coming in.

Mayor Bell noted he had optimistically expected a 30–45-minute meeting. He warned about election-time misinformation online, citing false claims about buying land and building a multi-million-dollar town hall or using taxpayer money for the LaBella study when grant funds were actually used. He encouraged anyone with questions to ask council or staff for clarification rather than believing inaccurate information.

18. Closed Session NCGS 143.318.11 (5)-to establish, or to instruct the public body’s staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or the amount of compensation and other material terms of an employment contract or proposed employment contract

Motion: Councilmember Ladner made a motion to move into Closed Session according to NCGS 143.318.11 (5)-to establish, or to instruct the public body’s staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or the amount of compensation and other material terms of an employment contract or proposed employment contract at 8:53 p.m.

Vote: The motion passed with a unanimous vote.

Mayor Bell called the meeting back to order at 9:52 p.m.

19. Adjournment

Motion: Mayor Pro Tem Smith made a motion to adjourn the October 13, 2025 Regular Town Council Meeting at 9:52 p.m.

Vote: The motion passed with a unanimous vote.

Approved: _____

Jim Bell, Mayor

Karen Dewey, Town Administrator/Clerk



November 11, 2025

The Honorable James Comer
Chairman
House Oversight and Government Reform Committee
2157 Rayburn House Office Building
Washington, DC 20515

The Honorable Robert Garcia
Ranking Member
House Oversight and Government Reform Committee
2105 Rayburn House Office Building
Washington, DC 20515

Dear Chairman Comer and Ranking Member Garcia:

On behalf of the residents of Weddington, NC, thank you for your support and leadership on the passage of H.R. 3095, a bill to establish a single unique zip code for our community and others across the country.

We strongly support this legislation because the lack of a single unique zip code can create a variety of issues for our residents and those in other impacted communities. Among the impacts are the potential for a life-threatening delay in response times for emergency services, inaccurate home and business insurance rates, delays and delivery issues with mail and packages, and the loss of community identity.

In addition, the financial and operational impact on the municipalities themselves is often significant: online sales tax revenue can be directed to the wrong jurisdiction, inaccurate census data can deprive communities of their fair share of federal and state grants and funding, important public outreach and legal notices may be misdirected, and unclear precinct assignments can cause confusion in local elections.

This bill, and similar measures introduced this Congress, would represent a major step forward for residents of our community, many who have been seeking relief from the United States Postal Service for 10, 15, and 20 years. A unique zip code can help us foster a stronger sense of community, improve the efficiency of our public services, and help provide clarity and stability for current and prospective residents and businesses. We thank you again for your support on this matter and urge the Congress to complete action on this matter as soon as possible.

Jim Bell, Mayor, Town of Weddington
Tom Smith, Mayor Pro Tem, Town of Weddington
Jeff Perryman, Councilmember, Town of Weddington
Brannon Howie, Councilmember, Town of Weddington
Darcey Ladner, Councilmember, Town of Weddington



November 11, 2025

The Honorable Thom Tillis
United States Senate
Washington, DC 20510

Dear Senator Tillis,

On behalf of the residents of Weddington, North Carolina, this is to request your cosponsorship of S. 2961, a bill being led by Sen. Jim Banks of Indiana to establish a single unique zip code for our community and others across the country.

We strongly support this legislation because the lack of a single unique zip code can create a variety of issues for our residents and those in other impacted communities. Among the impacts are the potential for a life-threatening delay in response times for emergency services, inaccurate home and business insurance rates, delays and delivery issues with mail and packages, and the loss of community identity.

In addition, the financial and operational impact on the municipalities themselves is often significant: online sales tax revenue can be directed to the wrong jurisdiction, inaccurate census data can deprive communities of their fair share of federal and state grants and funding, important public outreach and legal notices may be misdirected, and unclear precinct assignments can cause confusion in local elections.

This bill, and similar measures introduced this Congress, would represent a major step forward for residents of our community, many who have been seeking relief from the United States Postal Service for 10, 15, and 20 years. A unique zip code can help us foster a stronger sense of community, improve the efficiency of our public services, and help provide clarity and stability for current and prospective residents and businesses. We hope you will consider supporting this legislation and urge Congress to complete action on this matter as soon as possible.

Jim Bell, Mayor, Town of Weddington
Tom Smith, Mayor Pro Tem, Town of Weddington
Jeff Perryman, Councilmember, Town of Weddington
Brannon Howie, Councilmember, Town of Weddington
Darcey Ladner, Councilmember, Town of Weddington



TO: Planning Board
FROM: Gregory Gordos, AICP, Town Planner
DATE: November 10, 2025
SUBJECT: Application by Keystone Custom Builders. requesting Conditional Zoning approval for the development of a 12-lot conservation subdivision located at 3009 Forest Lawn Drive.

APPLICATION INFORMATION:

SUBMITTAL DATE: August 1, 2025
APPLICANT/ENGINEER: Casey Whiteman, Colliers Engineering & Design
PROPERTY LOCATION: 3009 FOREST LAWN DR
PARCEL ID#: 07150015
ACREAGE: +/- 16.66 acres
EXISTING LAND USE: Single-family residential
EXISTING ZONING: Residential-Conservation District (R-CD)

PROPOSAL:

The applicant is proposing the development of a 12-lot conservation (>50% open space) subdivision on a single parcel currently owned by the Helms family. The subdivision contains a single entrance on Forest Lawn Drive with a 100' buffer (per UDO) along the thoroughfare. Open space is primarily found at the rear of the property near steep slopes and floodplain for Twelvemile Creek. Other vacant lands along the creek are found to the east and south; Greylyn Drive is to the north and private road Walden Lane is across the street. Forest Lawn Drive, along with property along Weddington Road, remain some of the last undeveloped and contiguous tracts of land within Weddington.

Development Standards.

The development proposal does not include any changes to the Development Standards already set forth in the Unified Development Ordinance (UDO). The development shall be governed by this Plan and all applicable requirements of the UDO, including at applicant consent the new Appendix 2B. of the code.

RELATION TO THE UNIFIED DEVELOPMENT ORDINANCE:

UDO Section D-607(C), Conditional Rezoning.

As required by UDO Section D-607(C)(5), the applicant held their required design charette outdoors on the property on April 29th, 2025 and a Community Meeting at Town Hall on June 19th, 2025. A public presentation was made to the Weddington Town Council at their regularly scheduled meeting on July 14th.

As a Conditional Zoning (CZ) application with over six residential units, approval is solely under the responsibility of the Town Council, with staff and the Planning Board serving as advisory. The Conditional Zoning process allows the developer and the town to ask for conditions which could include special exceptions to rules or additional improvements. The town and the developer must agree on a condition for it to become a part of an approval.

UDO Section D-703(D), Permitted Uses (by zoning district).

Pursuant to Table 1, Permitted Uses, as contained within UDO Section D-703(D), Conservation Residential Development is specifically listed as a permissible use within the R-CD zone, subject to Conditional Zoning approval.

UDO Section D-703(E), Lot and Building Standards Table.

Pursuant to Table 2, Lot and Building Standards, as contained within UDO Section D-703(E), all development within the R-CD is required to meet certain standards. The following table identifies those standards, as well as how the subject development proposal complies:

| Lot and Building Standards | | Standard | Proposed |
|----------------------------|-------|------------------------------|-------------------------|
| Minimum Lot Size | | 18,000 sq. ft. (avg. 20,000) | 18,960 – 23,877 sq. ft. |
| Minimum Lot Width | | 120' | 120' (min) |
| Minimum Setbacks | Front | 50' | 50' |
| | Side | 15' | 15' |
| | Rear | 40' | 40' |
| Maximum Height | | 35' | 35' |
| Maximum Floor Area Ratio | | N/A | N/A |

UDO Section D-917A, Specific Requirements for All Residential Development.

UDO Section D-917A, establishes numerous rules for how residential development is intended to occur within the Town. These rules include, but are not limited to, the location of house sites, easements, the requirement of lots to abut public roads, street design and layout, cul-de-sacs, open space, buffering, and tree requirements. While not all these rules are appropriate to be included at this stage of the development process, there are many that must be considered.

UDO Section D-917A(A) Side lot lines shall be substantially at right angles or radial to street lines, and double frontage lots are to be avoided wherever possible.

The majority of lots are rectangular facing “Public Road A” and a stub-out “Public Road B” with two wedge-shaped lots on the cul-de-sac. Positive findings of compliance can be made.

UDO Section D-917A(D)(2) No proposed residential building lot that is partially subject to flooding as defined herein shall be approved unless there is established on the lot plan a contour line representing an elevation no lower than two feet above the base flood line as defined in Appendix 7. Floodplain Regulations.

While floodplain is found on the site, all proposed lots lie outside of it.

UDO Section D-917A(F)(1) All subdivision lots shall abut public roads.

All lots abut a proposed public road to be maintained by NCDOT and exit onto Forest Lawn. As such, positive findings of compliance can be made.

UDO Section D-917A(J)(1) Cul-de-sacs shall not exceed 500 feet.

One proposed road (A) is intersected by another public road, whereafter only four homes are accessed off the cul-de-sac. Measurement shall be from the point where the centerline of the dead-end street intersects with the center of a through street to the center of the turnaround of the cul-de-sac. By creating connectivity to an adjacent, vacant parcel, the two roads comply with this requirement.

UDO Section D-917A(J)(2) When cul-de-sacs end in the vicinity of an adjacent undeveloped property capable of being developed in the future, a right-of-way or easement shall be shown on the final plan to enable the street to be extended when the adjoining property is developed.

A street extension is proposed onto adjacent property Parcel No. 07150017. Positive findings of compliance can be made. The turnaround as submitted will need to be shown as a full road extension on the Final Plat.

UDO Section D-917A(K)(2) The proposed street layout shall be coordinated with the street system of the surrounding area. Where possible, existing principal streets shall be extended. Street connections shall be designed so as to minimize the number of new cul-de-sacs and to facilitate easy access to and from homes in different part of the tract (and on adjoining parcels).

Unfortunately an additional cul-de-sac would be added to the network. However, only 12 homes are proposed and thus only one point of ingress-egress is required.

UDO Section D-917A(K)(5) Two points of ingress and egress onto an adjoining public road from subdivision containing more than 15 lots is required.

N/A. Only 12 lots proposed. Positive findings of compliance can be made.

UDO Section D-917A(K)(6) Developable lots shall be accessed from interior streets, rather than from roads bordering the tract.

All lots are accessed from the new interior streets rather than Forest Lawn.

UDO Section D-917A(O)(1) Where the side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required.

The development proposal includes the provision of a 100-foot thoroughfare buffer. Sheet C-601 details the 39 buffer trees provided. Species are not specified as year-round and no existing trees would remain. See also Sheet C-100 Existing Conditions Plan.

UDO Section D-917A(Q)(2) Tree Save and Tree Replenish Requirements. In order to maintain or replenish the Town tree canopy in any new major residential development the following shall apply: a. The tree removal of trees greater than or equal to 8-inches DBH is not permitted within areas that have naturally occurring trees located outside the buildable area of a lot or development.

Please see limits of disturbance (LOD) as indicated on the Grading Plan and areas designated as Conservation Area as provided on the Layout Plan.

UDO Section D-917A(Q)(3) All buildings, building additions, and other structures (including but not limited to driveways) shall be located upon a lot or parcel of land in such a way as to minimize damage to or removal of Heritage trees.

Heritage Trees to be preserved are shown within the Planting Plan, with at least eight trees within the buildable area to be preserved. Several heritage trees visible from Forest Lawn Drive would be removed, however. See new exhibit and email provided from the Urban Forester.

UDO Section D-917B, Additional Specific Requirements for Conservation Residential Development.

UDO Section D-917B(B)(1) At a minimum, fifty percent (50%) of the net acreage of the tract will be required to be retained as Conservation Land. Not more than zero percent (0%) of the minimum required area of Conservation Lands shall be comprised of wetlands, submerged lands, steep slopes, floodways, or land under high voltage electrical transmission lines (conducting 69 kilovolts or more).

This UDO Section was amended in 2025 to change the minimum required area of Conservation Lands and consider ZERO PERCENT (0%) of steep slopes and floodways. Positive findings of compliance cannot be made when applying this new standard given the existing FEMA AE zone.

Steep slopes and forestlands are the Highest Priority (Tier A) for Conservation Lands and should not be penalized.

UDO Section D-917B(E)(3) Because of their extreme limitations, stream valleys, swales and other lowland areas may warrant designation as Conservation Lands. They may also require adjoining buffer lands to be included as Conservation Lands, to be determined by an analysis of the protection requirements of such areas as determined by the Town Council on a case by-case basis upon finding that designation of such areas as Conservation Land would have significant and positive long-term environmental impact on the Conservation Lands.

Staff argues that the inclusion of floodplain as Conservation Land ensures permanent protection of the watershed and adjacent properties.

UDO Section D-917B(J)(2) *In addition, all principal dwelling units shall otherwise be set back a minimum of 50 feet from the external boundaries of the conservation subdivision.*

Positive findings of compliance can be made.

UDO Section D-917B(L) *Design Standards Specific to the Conservation Lands*

Conservation Lands on the provided plans includes the thoroughfare buffer, which is currently unforested. After several revisions Pedestrian Pathways were added to the Planting Plan but not the overall Schematic Plan. To the greatest extent feasible, each conservation residential development should provide at least one neighborhood green, not less than 10,000 square feet in area, planted with shade trees at 40-foot intervals around the edge. No neighborhood green was provided.

UDO Section D-917D, Supplemental Requirements for Certain Uses.

UDO Section D-917D, establishes supplements requirements for certain uses; however, not for all uses that are specifically listed in the UDO, including traditional residential development. As such, this Section is not applicable.

UDO Section D-918, General Requirements.

The various provisions set forth in UDO Section D-918, including, but not limited to visibility at intersections, lighting, screening, and landscaping, fences and walls, signs, and off-street parking and loading, as applicable, shall be reviewed for compliance with the submittal of plans for a Construction Permit. It is noted, however, that there do not appear to be any immediate concerns regarding compliance with these provisions.

UDO Appendix 5, Architectural Standards.

It is noted that many of the basic building design standards established in Appendix 5 are intended more for the engagement of pedestrians with retail storefronts and are not applicable to this residential proposal.

RELATION TO THE CODE OF ORDINANCES:

Appendix C, Traffic Impact Analysis.

Pursuant to Sec. II (A) (1), a Traffic Impact Analysis (TIA) is required for any CZ which is expected to create 50 or more peak hour vehicle trips or 500 or more daily vehicle trips. The proposal would add 12 single-family homes to Weddington. Even if each home had three vehicles operating at peak hours, it would not meet the threshold to require a traffic impact analysis. None provided or required.

LAND USE PLAN CONSISTENCY:

On June 3rd 2024 the Weddington Town Council adopted the new Comprehensive Land Use Plan, which established new goals and policies from those previously used by the Planning Board.

Land Use Goals:

Goal 1: New development and redevelopment activities shall be consistent with the Future Land Use Map and categories.

Policy LU 1.1: The following Future Land Use categories, along with their intended uses, densities, and intensities, are hereby established (floor area ratio (FAR) only applies to non-residential uses): a. Agriculture: This category is intended to accommodate very low density residential development to retain rural character and agricultural activity. Maximum density: 1 dwelling unit per 1.5 acres.

The subject property is identified as *Traditional Residential* in the 2024 Future Land Use Map (Map 4). Traditional Residential allows for low density residential developments and applies to areas where most of the lots and parcels are less than six acres in area. Primarily, parcels with this designation have one dwelling unit per acre. 12 lots are proposed over 17 acres: a density of less than one unit per acre for this proposal.

Transportation Goals:

Goal 1: Encourage the development of well-designed streets that are safe, connected, and welcoming for all users.

Policy: T 1.1: Major thoroughfares and key entryways shall be given the highest priority for beautification efforts and corridor design.

Forest Lawn Drive is a connector road between the municipalities of Stallings and Wesley Chapen, with the property in-between in Weddington largely forested. Adequate visual screening throughout the year is a key consideration in this conditional zoning case. Staff recommends a planting plan specific to the thoroughfare buffer to ensure adequate design.

Policy: T 1.3: Encourage roads be designed and constructed to provide a high level of safety and comfort for all users (pedestrians, bicyclists and motorists), in a manner consistent with the character of the neighborhood through which the road travels.

Sidewalks are not provided on Forest Lawn Drive or in the subdivision itself. Mulch trails are proposed but would not be graded or maintained to ADA accessibility.

Housing Goals:

Goal 2: Maintain the Town's strong single-family residential character.

Policy: H 1.1: Retain the residential character of the community by ensuring that new residential development consists of single-family homes with a maximum density of one (1) dwelling unit per 40,000 sq feet.

Low-density housing is proposed under 1 unit/ac (12 units on 16 acres).

Conservation Goals:

Goal 1: Ensure that all new development takes place in a manner that conserves open space and scenic views.

Policy: C 1.1: Preserve open space and scenic views through zoning regulations that require open space preservation in both conventional and conservation subdivisions, as well as commercial developments.

Common open space in the development is limited to Conservation Lands and buffers around the perimeter of the property. Open space is not a useable amenity but tree screening.

Infrastructure Goals:

Goal 1: Ensure that all existing and future developments in Weddington are served by adequate water, wastewater, drainage and emergency services.

Policy: I 1.1: Require water, wastewater, and drainage system improvements to be constructed concurrent with new development and that they provide adequate capacity to meet demands from existing and new users.

One stormwater pond is proposed for stormwater runoff, which must be designed to meet 100-year stormwater events per the Town of Weddington UDO. Union County Water serves the site and most importantly, public sewer shall be provided via an existing line on Twelvemile Creek.

Based upon the above, staff provides the following **Land Use Plan Consistency Statement** for consideration:

While the development proposal can be found to be generally consistent with the adopted Land Use Plan, there are Goals and Policies for which compliance cannot be determined at the present time based upon the level of plans required to be submitted for this phase of development. In addition, while there may also be Goals and Policies for which there may be reason for concern, positive findings can nonetheless be made in support of this development proposal.

RECOMMENDATION:

It is the recommendation of staff that the request for Conditional Zoning to allow for the development of a 12-lot conservation subdivision (unnamed), generally located on Forest Lawn Drive, be recommended for approval based upon the recommendation of the Planning Board (including review of Appendix 2B.) in a Special Called follow-up meeting on October 2nd, and the satisfaction of conditions recommended by the Town Planner as provided in your agenda packet (Sheet C-600-TREE REMOVAL, Sheet C-601-PLANTING PLAN).

ATTACHMENTS:

Application
Layout Plan
Existing Conditions Plan
Grading and Drainage Plan
Utilities Plan
Planting Plan
Zoning Map
Community Meeting Report

ENGINEER:
COLLIERS ENGINEERING & DESIGN, INC.
5275 PARKWAY PLAZA BOULEVARD, SUITE 100
CHARLOTTE, NC 28217
CONTACT: CASEY WHITEMAN, PE
EMAIL: CASEY.WHITEMAN@COLLIERSENG.COM
(877) 627-3772 MAIN

SURVEYOR:
DEKTA LAND SERVICES
CONTACT: MICHAEL GREEN, JR
EMAIL: CHANDLER@DELTALANDSERVICES.NET
(704) 847-4700

DEVELOPER:
KEYSTONE HOMES
CONTACT: KEITH FENN, PE
EMAIL: KFENN@KEYSTONECUSTOMEHOME.COM
(980) 269-6609
2030 AIRPORT FLEX DRIVE, SUITE R
CHARLOTTE, NC 28208

WATER AND SEWER:
UNION COUNTY WATER
(704) 296-4210

GAS SERVICE:
PIEDMONT NATURAL GAS
 (800) 752-7504

ELECTRIC SERVICE:
UNION POWER
(704) 289-3145

| SHT. No. | DESCRIPTION |
|----------|---|
| -- | TREE SURVEY |
| C-000 | COVER SHEET |
| C-001 | GENERAL NOTES |
| C-100 | EXISTING CONDITIONS |
| C-101 | DEMOLITION PLAN |
| C-200 | SITE LAYOUT PLAN |
| C-201 | VEHICLE TURNING PLAN |
| C-202 | TRAFFIC CONTROL PLAN |
| C-300 | GRADING & DRAINAGE PLAN |
| C-301 | STORMWATER MANAGEMENT PLAN |
| C-302 | SIGHT DISTANCE PLAN |
| C-303 | ROAD ELEVATIONS HORIZONTAL |
| C-304 | ROAD PROFILES |
| C-400 | UTILITIES SKETCH PLAN |
| C-401 | UTILITIES PROFILE |
| C-500 | SOIL EROSION & SEDIMENT CONTROL PLAN PHASE I |
| C-502 | SOIL EROSION & SEDIMENT CONTROL PLAN PHASE II |
| C-503 | SOIL EROSION & SEDIMENT CONTROL DETAILS |
| C-504 | SOIL EROSION & SEDIMENT CONTROL DETAILS |
| C-505 | SOIL EROSION & SEDIMENT CONTROL DETAILS |
| C-600 | TREE REMOVAL PLAN |
| C-601 | PLANTING PLAN |
| C-602 | LANDSCAPE DETAILS |
| C-700 | LIGHTING PLAN |
| C-701 | LIGHTING DETAILS |
| C-800 | SITE DETAILS |
| C-801 | STORM DRAINAGE DETAILS |
| C-802 | WATER DETAILS |
| C-803 | SANITARY SEWER DETAILS |

An aerial photograph of a residential area with a hatched polygon indicating the 'SITE LOCATION'. The site is situated at the intersection of Walden Ln and Greylin Dr. Other nearby streets shown are Eirlys Ln, Carole Ct, and Walden Ln. A north arrow is located in the top right corner of the map.

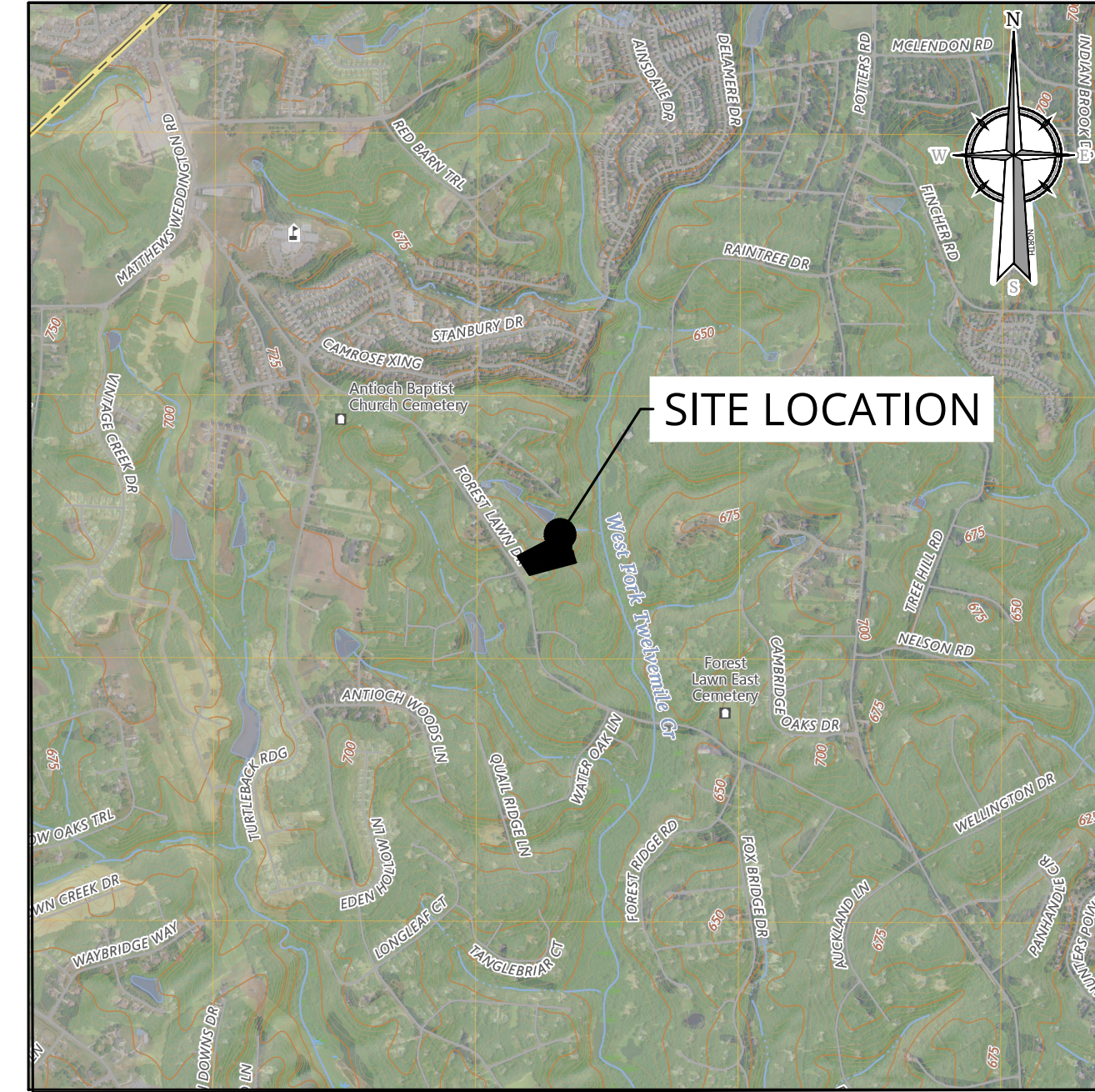
SOURCE: GEOLOCATION

300 0 300



SCALE : 1" = 300'

Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)



U.S.G.S 7.5 MIN. TOPOGRAPHIC QUADRANGLE,
NORTH CAROLINA

1000 0 1000



SCALE : 1" = 1000'

Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

**Engineering
& Design,**
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Architecture, Surveying, CT P.C.
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Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

PIN 07150015
3009 FOREST LAWN DRIVE
WEDDINGTON
UNION COUNTY
NORTH CAROLINA

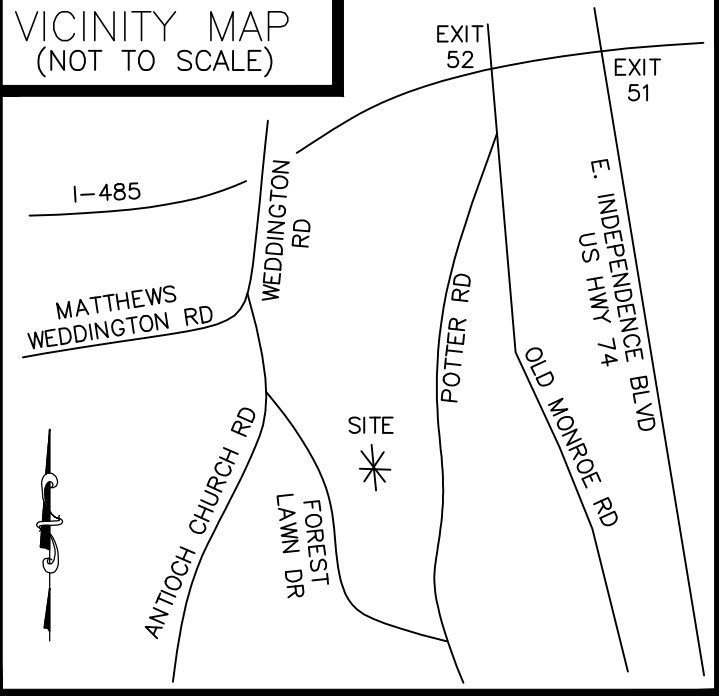
Colliers
Engineering
& Design,
Architecture, Landscape
Architecture, Surveying, C.T.P.C.

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COVER SHEET

SHEET NUMBER: C-000

VICINITY MAP
(NOT TO SCALE)



| LINETYPE LEGEND | |
|---|-----|
| BOUNDARY LINE | --- |
| BOUNDARY TIE LINE | --- |
| ADJOINING BOUNDARY LINE (NOT SURVEYED) | --- |
| RIGHT-OF-WAY | --- |
| OVERHEAD UTILITY LINES | --- |
| BASE FLOOD ELEVATION | --- |
| FEMA CROSS SECTIONS | --- |
| SANITARY SEWER LINE | --- |
| 45' ROAD R/W | --- |
| WATER LINE | --- |

SYMBOL LEGEND

| | |
|-----------|---|
| FOUND | ○ |
| SET | ● |
| CP | ○ |
| SSMH | ○ |
| UP | ○ |
| GW | ○ |
| T-PED | ○ |
| CO | ○ |
| FO MRKR | ○ |
| FO UG-BOX | ○ |
| E-BOX | ○ |
| WM | ○ |
| WV | ○ |
| FH | ○ |
| CONTROL | ○ |
| TREE | ○ |

NOTATION LEGEND

| | |
|---------|-----------------------------|
| AC | AIR CONDITIONER |
| BFP | BACK FLOW PREVENTION |
| CL | CENTERLINE |
| CO | CLEAN OUT |
| CP | CALCULATED POINT |
| DB | DEED BOOK |
| E-BOX | ELECTRIC BOX |
| EIP | EXISTING IRON PIPE |
| EIR | EXISTING IRON REBAR |
| EOP | EDGE OF PAVEMENT |
| FH | FIRE HYDRANT |
| FO | FIBER OPTIC |
| GW | GUY WIRE |
| MB | MAP BOOK |
| MRKR | MARKER |
| N/F | NOW OR FORMERLY |
| PG | PAGE |
| PC | PLAT CABINET |
| RCP | REINFORCED CONCRETE PIPE |
| R/W | RIGHT-OF-WAY |
| RWM | RIGHT OF WAY MONUMENT |
| SIR | SET IRON REBAR |
| SQ. FT. | SQUARE FOOT |
| SSMH | SANITARY SEWER MANHOLE |
| TBM | TEMPORARY BENCHMARK |
| T-PED | TELECOMMUNICATIONS PEDESTAL |
| UG | UNDERGROUND |
| UP | UTILITY POLE |
| WM | WATER METER |
| WTR | WATER |
| WV | WATER VALVE |

SURVEYOR NOTES:

- THIS PROPERTY MAY BE SUBJECT TO ANY EASEMENTS, RESTRICTIVE COVENANTS AND/OR RIGHT-OF-WAY OF RECORD
- SUBJECT BOUNDARY INFORMATION BASED ON DEED BOOK 5740, PAGE 122. ADJOINING BOUNDARY INFORMATION BASED ON DEED/MAP BOOK AND PAGES AS SHOWN ON SURVEY, RECORDED IN THE UNION COUNTY REGISTER OF DEEDS.
- BASIS OF BEARINGS: NC GRID NAD 83/2011, VERTICAL DATUM USED: NAVD88
- AREA BY COORDINATE METHOD. ALL DISTANCES SHOWN ARE HORIZONTAL AND US FEET.
- THIS PROPERTY IS LOCATED WITHIN ZONE "X" AND ZONE "AE" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3710448700J, DATED 10-16-2008.
- NO NCGS OR USGS MONUMENTS LOCATED WITHIN 2000' OF SUBJECT PARCEL.
- SUBJECT PROPERTY IS ZONED R-CD(WEDDINGTON) PER UNION COUNTY GIS
- SETBACKS PER TOWN OF WEDDINGTON UDO

| | |
|--------------------|--------------------|
| R-CD(CONVENTIONAL) | R-CD(CONSERVATION) |
| 50' SETBACK | 40' SETBACK |
| 15' SIDEYARD | 12' SIDEYARD*** |
| 40' REARYARD | 40' REARYARD |

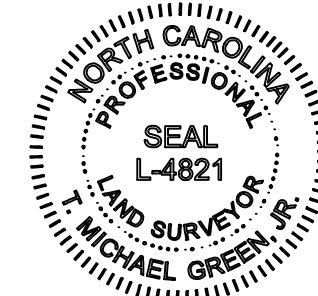
*** A SEPARATION OF 30 FEET SHALL BE MAINTAINED BETWEEN THE SIDES OF EACH DWELLING

I, T. MICHAEL GREEN, JR., PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DEED DESCRIPTION AND/OR MAP BOOK SEE PAGE NOTES.; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS FROM INFORMATION AS SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600); THAT THE GLOBAL POSITIONING SYSTEM (GPS) SURVEY AND AND THAT THE ORIGINAL DATA WAS OBTAINED ON MARCH 4TH, 2025; THAT THE SURVEY WAS COMPLETED ON JULY 29TH, 2025; THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GPS SURVEY:
CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.10 US.FT.
TYPE OF GPS FIELD PROCEDURE: RTK NETWORK
DATE OF SURVEY: AUGUST 1, 2025
DATUM/EPOCH: NAD 83/2011
PUBLISHED/FIXED CONTROL USED: NGS MONUMENT "NGS UNION HM71"
GEOID MODEL: GEOID 18
COMBINED GRID FACTOR: 0.99985350
UNITS: US SURVEY FOOT

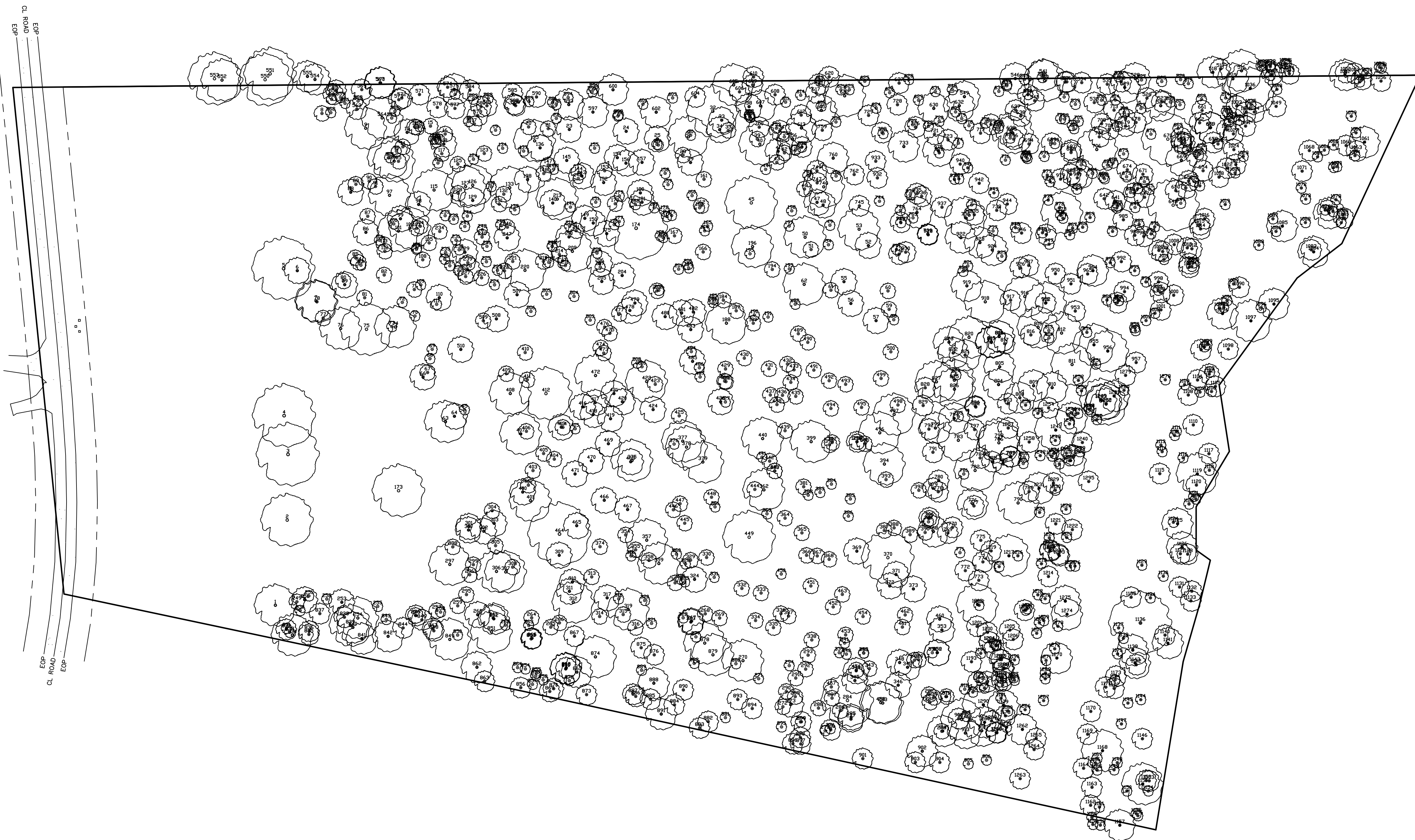
WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS ____ DAY OF _____, 2025.

PRELIMINARY
NOT FOR RECORDATION OR SALES

T. MICHAEL GREEN, JR., PLS
LICENSE NUMBER: L-4821



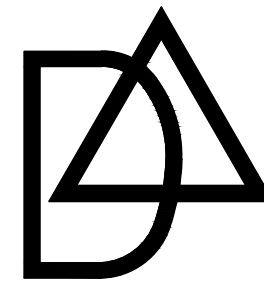
NAD83(2011)
NC GRID



GRAPHIC SCALE



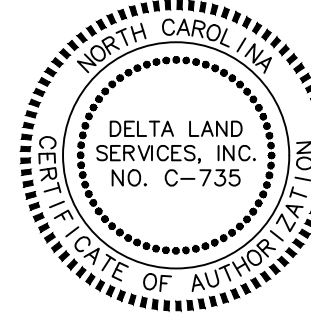
(IN FEET)
1 inch = 60 ft.



DELTA LAND
SERVICES, INC.

NC FIRM LICENSE #C-735
608 MATTHEWS-
MINT HILL ROAD
SUITE G
MATTHEWS, NC 28105
T 704.847.4700
www.deltalandservices.net

SEAL:



PREPARED FOR:
KEYSTONE CUSTOM HOMES

ADDRESS: 2030 AIRPORT FLEX DRIVE,
SUITE R
CHARLOTTE, NC 28208

OWNER(S):
HELMS BRENDA PRESSLEY
HELMS RICHARD WAYNE
DB 5740 PG 122

ADDRESS:
3009 FOREST LAWN DR
MATTHEWS, NC 28104

TREE SURVEY EXHIBIT
PARCEL ID#: 07150015
VANCE TOWNSHIP
UNION COUNTY, NORTH CAROLINA

SHEET NUMBER:

SHEET 1 OF 2

PROJECT NAME:

FOREST LAWN

DRAWN BY: CCM DATE: 08/01/2025

CHECKED BY: TMG SCALE: 1" = 60'

REVISION NO: DATE:

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| | |
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| | |
| | |

DRAWING TITLE:

3009 FOREST LAWN DRIVE
TREE SURVEY EXH.DWG

1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
2. EXISTING PHOTO AND TOPOGRAPHIC INFORMATION IS BASED ON SURVEY INFORMATION PROVIDED BY THE CLIENT AND DATED 04/02/2025. CONTRACTOR TO VERIFY AS-BUILT CONDITIONS PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER ON RECORD IF ANY DISCREPANCIES OCCUR.

- GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING NEWLY CONSTRUCTED AND EXISTING UTILITIES. HE SHALL NOTIFY THE OWNERS OF PUBLIC UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING PLANTING OPERATIONS.
2. GENERAL CONTRACTOR SHALL ERECT TREE PROTECTION FENCING. FENCING SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO BEGINNING. CONTRACTOR SHALL MAINTAIN FENCING THROUGHOUT THE DURATION OF PROJECT.
3. PLANT MATERIAL SHALL MEET OR EXCEED SPECIFICATIONS AND SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK BOOK. THE CONTRACTOR SHALL GUARANTEE THAT THE MATERIAL INSTALLED ON SITE IS IN FACT THE MATERIAL THAT WAS SPECIFIED BY THE LANDSCAPE ARCHITECT OR ENGINEER. ANY CHANGES IN SPECIES SPECIFIED SHALL BE SUBMITTED IN WRITING TO, AND APPROVED/REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER.
4. IN THE EVENT ANY ERROR(S) ARE FOUND ON THESE DRAWINGS OR OUT IN THE FIELD THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH WORK. SHOULD THE CONTRACTOR FAIL TO CONTACT THE LANDSCAPE ARCHITECT OR ENGINEER, HE/SHE WILL BE RESPONSIBLE FOR THE COST OF ANY CORRECTION TO BE MADE.
5. ALL WORK SHALL BE PERFORMED BY FULLY QUALIFIED PLANTSMEN. USE GOOD HORTICULTURAL PRACTICES TO KEEP ALL PLANTS AND PLANT MATERIAL INSTALLED IN A LIVING, HEALTHY CONDITION UP TO THE DATE FOR TERMINATION OF THE CONTRACTOR'S RESPONSIBILITY FOR CARE.
6. THE PLANTS DELIVERED TO THE PROJECT SITE SHALL BE PLANTED AS SOON AS SITE CONDITIONS PERMIT. TAKE CARE IN SCHEDULING PLANT DELIVERIES AND THE SIZE OF DELIVERIES SO THAT LONG PERIODS OF STORAGE ARE AVOIDED. ADEQUATELY PROTECT PLANTS PLACED IN TEMPORARY STORAGE FROM THE SUN AND WIND. WATER PLANTS SO AS TO MAINTAIN THEIR APPEARANCE AND HEALTH. PLANTS THAT HAVE NOT BEEN PROPERLY MAINTAINED DURING TEMPORARY STORAGE MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER.
7. THE OPTIMUM TIME FOR PLANTING IS FROM OCTOBER 1ST TO APRIL 1ST. SCHEDULING FOR PLANTING AT OTHER TIMES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR ENGINEER.
8. THE CONTRACTOR SHALL SUBMIT CUT SHEETS TO THE LANDSCAPE ARCHITECT OR ENGINEER REGARDING ALL PLANTING MATERIALS, SEEDING, SOD, STEEL EDGING, WEED CONTROL, FERTILIZING, LIMES, CHEMICALS TO BE APPLIED ON SITE AND ANY OTHER ITEM(S) RELATED TO THE LANDSCAPE OF THE SITE FOR APPROVAL PRIOR TO INSTALLATION ON SITE.
9. ALL CONTRACTORS APPLYING CHEMICALS ON SITES SHALL SUBMIT COPIES OF CERTIFICATION(S) AND LICENSES TO THE LANDSCAPE ARCHITECT OR ENGINEER.
10. PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO INSTALLATION. GIVE LANDSCAPE ARCHITECT OR ENGINEER 24 HOURS NOTICE PRIOR TO INSPECTION.
11. PLANTING BED SHALL BE CLEARED OF ROCK, GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS.
12. FERTILIZE ALL PLANT MATERIAL AT INSTALLATION WITH PETER'S SLOW RELEASE 20-20-20 OR EQUIVALENT APPROVED BY LANDSCAPE ARCHITECT OR ENGINEER. APPLY PER MANUFACTURERS RECOMMENDATIONS OR APPLY 15 POUNDS PER 1,000 SQUARE FEET APPLY FERTILIZER BEFORE MULCHING.
13. ALL DISTURBED AREAS NOT OTHERWISE SEEDED OR PLANTED SHALL BE SODDED AS DIRECTED BY THE LANDSCAPE ARCHITECT, OR ENGINEER.
14. PLANTING BEDS SHALL HAVE A 4-INCH SHREDDED HARDWOOD BARK MULCH IN ENTIRE BED, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
15. ALL PLANTED AREAS SHALL BE TREATED WITH A WATER SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.
16. APPLY TWO POUNDS ACTUAL NITROGEN (IN SLOW RELEASE FORM) PER 1,000 SQUARE FEET TO ALL SHRUB AND TREE PLANTINGS BEFORE LAYING MULCH.
17. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWNS UNTIL THE PROJECT IS ACCEPTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, UNLESS OTHERWISE SPECIFIED.
18. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE CALENDAR YEAR FROM THE DATE THE PROJECT IS ACCEPTED.
19. ALL TREES SHALL BE FIRST QUALITY REPRESENTATIVES OF THEIR SPECIES AND SHALL MEET ALL REQUIREMENTS OTHERWISE STIPULATED. THE LANDSCAPE ARCHITECT OR ENGINEER RESERVES THE RIGHT TO REJECT PLANTED MATERIAL IN THE FIELD, AT THE GROWING SITE, OR ON THE JOB SITE.
20. THE CONTRACTOR SHALL TEST ALL PITS FOR DRAINAGE ANY TREE PIT THAT HOLDS WATER FOR MORE THAN 24 HOURS SHALL BE INSTALLED WITH TWO TREE PIT DRAINAGE. DRAINAGE OF ALL PLANTING PITS AND BEDS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
21. ALL TREES AND SHRUBS SHALL BE INSTALLED ACCORDING TO THE DETAILS LOCATED IN THIS PLAN SET.
22. DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE OWNER.
23. NO CHANGES TO ANY ASPECT OF THIS DEVELOPMENT PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, ARCHITECTURAL DESIGN, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF UNION COUNTY.
24. THE APPLICANT HEREBY OFFERS AND CONSENTS TO INCLUSION OF ALL IMPROVEMENTS AND COMMITMENTS SHOWN ON THIS DEVELOPMENT PLAN.
25. SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS DEVELOPMENT PLAN.

1. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, AND WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.

- ### PLANTING NOTES

1. THE QUANTITIES INDICATED ON THE PLANT MATERIALS SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHALL NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE DRAWINGS SHALL GOVERN.
2. NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER. CHANGES IN MATERIAL MAY REQUIRE RE-APPROVAL BY LOCAL AUTHORITIES. CONTRACTOR IS NOT TO SEEK RE-APPROVAL WITHOUT EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT OR ENGINEER.
3. ALL PLANTS MUST BE NURSERY GROWN, HEALTHY, VIGOROUS, AND FREE FROM ALL PESTS AND DISEASE, BALL AND BURLAP (BBB) OR CONTAINER GROWN AS SPECIFIED IN THE MATERIALS SCHEDULE. ALL PLANT SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z-60, LATEST EDITION FOR SIZE AND QUALITY.
4. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS: TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. REFER TO THE WRITTEN SPECIFICATIONS.
5. ALL PLANTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, AND OR OWNERS REPRESENTATIVE AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
6. ALL TREES 2-INCH CALIPER AND LARGER SHALL BE STAKED AND GUYPED AS SPECIFIED. STAKE AND GUY MATERIALS SHALL BE REMOVED BY THE LANDSCAPE CONTRACTOR 12 MONTHS AFTER FINAL ACCEPTANCE.
7. THE DIMENSIONS FOR HEIGHT, SPREAD, AND CALIPER AS SPECIFIED IN THE PLANT MATERIALS SCHEDULE ARE THE MINIMUM DESIRED FOR EACH PLANT. EACH PLANT SHALL BE UNIFORM AND CONSISTENT AS IT PERTAINS TO THE SPECIFICATIONS AND THE INDIVIDUAL SPECIES. ANY PLANT MATERIAL WHICH FAILS THESE SPECIFICATIONS WILL BE REJECTED. THE CONTRACTOR SHALL PROVIDE ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. CALIPER SIZE IS NOT TO BE REDUCED. TREES THAT FAIL MINIMUM CALIPER SIZE AS MEASURED IN THE FIELD WILL BE REJECTED AND REPLACEMENTS SHALL BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CALIPER MEASUREMENTS SHALL BE MADE IN ACCORDANCE WITH ANSI STANDARDS.
8. PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER. NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. FIELD ADJUSTS AS NECESSARY AFTER LANDSCAPE ARCHITECT'S OR ENGINEER'S APPROVAL.
9. THE LANDSCAPE CONTRACTOR SHALL FIELD STAKE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT OR ENGINEER SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER ARE SUBJECT TO REJECTION AND/ OR REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
10. PRE-EMERGENT HERBICIDES, TRIFLURAL OR EPTAM, SHALL BE APPLIED TO ALL PLANTING BEDS. APPLY AT MANUFACTURERS RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL MIXES.
11. APPLY ROOT STIMULATOR, CONTAINING MYCORRHIZAE, TO ALL PLANTS PRIOR TO BACK FILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL PRIOR TO USE.
12. SEEDING: EVENLY APPLY THE TEMPORARY/PERMANENT SEED MIXTURES USING HYDROSEEDING, BROADCAST, OR DRILL SEEDING METHODS THAT PLANT SEED LESS THAN 3/4-INCH BELOW THE GROUND SURFACE: APPLY LEGUME SEED INOCULANTS SPECIFICALLY MADE FOR THE LEGUME SEED TYPE BEING APPLIED AT FIVE TIMES THE MANUFACTURER'S RECOMMENDED RATE. USE NO SEED OR INOCULANT THAT HAS BEEN IMPROPERLY STORED, EXPOSED TO EXCESS MOISTURE, OR EXPOSED TO TEST DATE. IF HYDROSEEDING METHODS ARE USED SEED, INOCULANTS, FERTILIZERS, AND POLYMER TACKIFIERS/SOIL STABILIZER MAY BE APPLIED IN ONE APPLICATION, PROVIDED THAT SEED AND INOCULANTS ARE NOT HELD IN A SLURRY WITH FERTILIZERS FOR MORE THAN ONE HOUR.
13. ALL DISTURBED AREAS THAT DO NOT RECEIVE MULCH OR OTHER SPECIFIED IMPROVEMENTS ARE TO BE FINE GRADED TO TRANSITION SMOOTHLY INTO ADJACENT GRADES AND RECEIVE THE FOLLOWING PERMANENT SEED MIX IF NO OTHER PERMANENT SEED MIX IS PROVIDED: PERMANENT SEED MIX SHALL MATCH THE EXISTING LAWN TYPE AND CONSIST OF A MINIMUM 4 NAMED VARIETIES OF EACH SEED TYPE. SUBMIT THE SEED MIX TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL PRIOR TO SEEDING.
14. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANTINGS FOR A PERIOD OF ONE (1) YEAR BEGINNING UPON THE WRITTEN DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT. ANY PLANTS SUBJECT TO REPLACEMENT SHALL BE MADE AT THE END OF THE WARRANTY PERIOD OR AT TIME AS DETERMINED BY THE OWNERS REPRESENTATIVE. ALL PLANTS MUST BE ALIVE AND HEALTHY FOR REVIEW AND APPROVAL BY LOCAL AUTHORITIES AS APPROPRIATE FOR OCCUPANCY PERMIT.
15. THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE CONTRACTOR. ALL IMPORTED TOPSOIL SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLACEMENT.
16. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1-INCH IN DIAMETER PRIOR TO LAYING SOIL OR SEEDING.
17. ALL TREE, SHRUB AND GROUND COVER BEDS (EXISTING AND NEW) TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF AGED, SHREDED HARDWOOD BARK.
18. THE TYPICAL PLANTING SOIL BACKFILL MIX FOR BEDS AND PLANT BACKFILL SHALL CONSIST OF THE FOLLOWING: 2/3 SITE SOIL 1/3 SOIL AMENDMENTS (BY VOLUME AS FOLLOWS): 2 PARTS HUMUS AND OR PEAT, 1 PART COARSE RIVER SAND, 1 PART STERILIZED COMPOSTED COW MANURE, 1 PART COMMERCE FERTILIZER, AND LIVE AS RECOMMENDED BY THE SOILS TEST REPORT. COMPLETELY BLEND BACKFILL SOIL MIX PRIOR TO PLACEMENT.

1. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING UTILITY SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES.
4. THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN IN ACCORDANCE WITH THE SPECIFICATIONS.
5. SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS A (3,600 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED.
6. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
7. SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON-SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
9. THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH UNION COUNTY. NO CHANGE TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER ARE AT THE CONTRACTOR'S RISK. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS AREA, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, AND LANDSCAPING.

1. ALL PROPOSED GRADES SHOWN ARE FINAL GRADES, TOP OF GROUND LEVEL, TOP OF PAVEMENT, OR GRATE ELEVATION AT THE DRAINDOWN POINT, UNLESS INDICATED OTHERWISE.
2. OWNER SHALL CONSULT WITH A PROFESSIONAL GEOTECHNICAL ENGINEER AND OBTAIN A GEOTECHNICAL SOIL REPORT PRIOR TO ANY LAND DISTURBANCE ACTIVITY. OWNER SHALL PROVIDE THE GEOTECHNICAL REPORT TO THE CONTRACTOR, AND SHALL CONSULT WITH THE ENGINEER ON RECORD IF OWNER PROVIDED GEOTECHNICAL REPORT WARRANTS A DESIGN CHANGE.
3. EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
4. CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
5. PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6-IN MINIMUM).
6. PAVEMENT SLOPES ACCESSIBLE PARKING STALLS AND ADJOINING ACCESSIBLES SHALL BE MAXIMUM 2.00% AND SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
7. ALL SLOPES IN NON-PAVED AREAS SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
8. ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, UNLESS NOTED OTHERWISE.
9. ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE DESIGNATED, AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.

1. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
3. ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
4. FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, CONTRACTOR IS TO COORDINATE WITH ARCHITECTURAL AND PLUMBING DRAWINGS.
5. ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
6. ALL STORM STRUCTURES ARE PER THE TOWN OF WEDDINGTON STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE INDICATED.
7. ALL CATCH BASINS AND MANHOLES WITH A DEPTH GREATER THAN 3.5' SHALL BE PROVIDED WITH STEPS MEETING THE REQUIREMENTS OF NCDOT SPECIFICATION.
8. ALL STORM PIPES AND STRUCTURES SHALL BE INSTALLED PER THE TOWN OF WEDDINGTON STANDARDS AND SPECIFICATIONS.
9. STORM SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES PER UNION COUNTY STANDARDS AND SPECIFICATIONS.

TRAFFIC CONTROL NOTES

1. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPERTY OWNERS AND TENANTS ACCESS TO THEIR PROPERTY THROUGHOUT THE PROJECT LIMITS, INCLUDING REASONABLE INGRESS AND EGRESS FOR BUSINESSES.
2. ADJACENT LANES TO CONSTRUCTION ZONES MAY REMAIN OPEN IF LATERAL CLEARANCE BETWEEN EDGE OF TRAVEL LANE AND EQUIPMENT IS EQUAL TO OR GREATER THAN 5' (INCLUDING WIDTH OF DRUM).
3. CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON BOTH SIDES OF THE ROAD SIMULTANEOUSLY WITHIN THE SAME AREA EXCEPT WHERE THE ROADWAY IS DIVIDED BY A RAISED MEDIAN.
4. ONLY DRUMS WILL BE USED DURING LANE CLOSURES, NO CONES WILL BE ALLOWED.

1. DURING THE HOURS OF 6:00 AM - 9:00 AM AND 4:00 PM - 6:00 PM MONDAY THROUGH FRIDAY CONSTRUCTION OR MAINTENANCE WORK WHICH INVOLVES CLOSURE OF A TRAVEL LANE WILL NOT BE ALLOWED ON THROUGHFARE STREETS EXCEPT FOR EMERGENCY SITUATIONS OR WITH APPROVAL FROM NCDOT.

1. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES & GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE ACTIVITIES OCCURRING.
2. THE CONTRACTOR SHALL OBTAIN & PAY FOR, PRIOR TO THE BEGINNING OF ANY WORK, ALL PERMITS AND LICENSES NECESSARY TO ACCOMPLISH WORK. PERMITS CAN INCLUDE, BUT ARE NOT LIMITED TO THE UNION COUNTY, NC DOT ENCROACHMENT PERMIT, GRADING PERMIT, AND/OR UTILITY COMPANY'S PERMIT FOR THE WORK TO BE PERFORMED ON THEIR RESPECTIVE PROPERTY.
3. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELVES WITH THE JOB SITE AND LOCATION OF ALL EXISTING FACILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
5. ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR WILL BE UNLATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES OR UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS, AND IF DAMAGED, THEY SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND/OR UTILITY COMPANY AT NO COST TO THE OWNER.
7. ALL 4" AND 6" SANITARY SEWER SHALL BE SCH-40 PVC OR APPROVED EQUAL INSTALLED AT A MINIMUM SLOPE OF ONE INCH PER 1.0000 UNLESS OTHERWISE NOTED. SEWARIETY SERVICE SHALL BE INSTALLED AT A MINIMUM DEPTH OF THREE FEET UNLESS OTHERWISE NOTED. A MINIMUM OF 3" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE & STORM SEWER CROSSINGS. SANITARY SERVICE JOINTS ALL CONFORM TO ASTM D-3212.
8. THE CONTRACTOR SHALL RE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES, VALVE BOXES, PEDESTALS, CLEANOUTS, AND ANY OTHER UTILITY ACCESS COVERS TO FINISHED PAVEMENT SURFACE, FINISHED GRADES OR SIDEWALK GRADE, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
9. DISTANCES SHOWN FOR BOTH SANITARY SEWER AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE; CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH.
10. ROOF DRAINS, FOUNDATION DRAINS, AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
11. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM KNOWN SITE FEATURES. DRAWINGS SHALL INCLUDE HORIZONTAL AND VERTICAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.
12. MECHANICAL/ELECTRICAL CONTRACTORS SHALL BRING ALL UTILITIES 5' OUTSIDE BUILDING WALL. COORDINATE WITH ARCHITECT AND MEP ENGINEER.
13. WHEN WATER MAIN IS ABOVE SEWER, BUT WITH LESS THAN 18" CLEARANCE, OR WHEN THE SEWER IS ABOVE THE WATER MAIN, BOTH WATER MAIN AND SEWER LINE SHALL BE CONSTRUCTED OF FERROUS MATERIALS WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MIN. LATERAL DISTANCE, MEASURED AT RIGHT ANGLES TO THE SEWER, OF 10' EACH SIDE OF THE CROSSING WITH FULL SECTIONS CENTERED AT THE POINT OF CROSSING.
14. ALL UTILITIES SHALL BE INSTALLED BY A NC LICENSED UTILITY CONTRACTOR, APPROVED BY THE ENGINEER.

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Casey R. Whiteman
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COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING
PLAN
FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

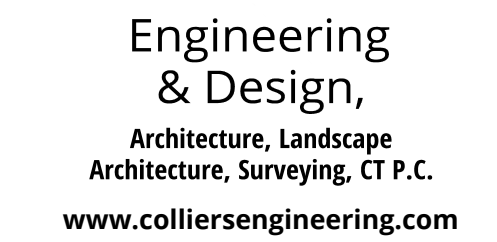
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| SCALE: AS SHOWN | DATE: 09/25/25 | DRAWN BY: NWB | CHECKED BY: CW |
| PROJECT NUMBER: 25003536A | | DRAWING NAME: C-CVER | |

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER: C-001



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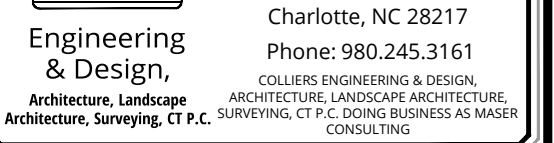
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CONDITIONAL ZONING
PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
009 FOREST LAWN DRIVE

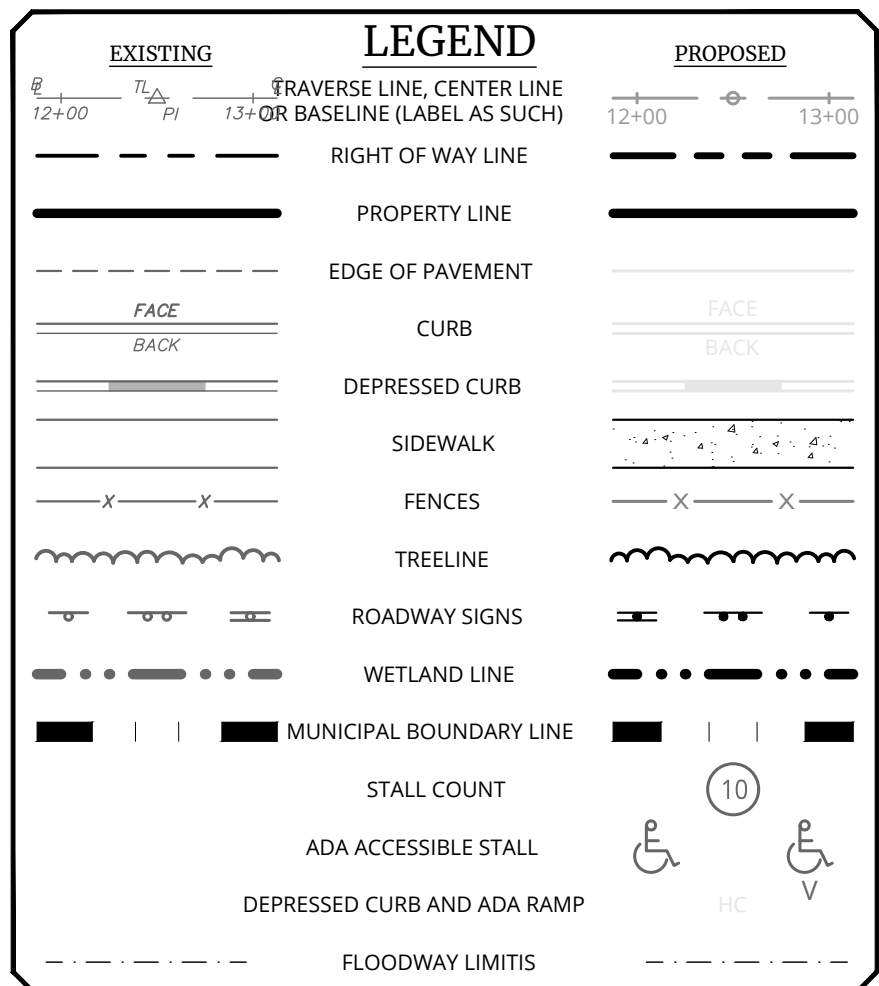
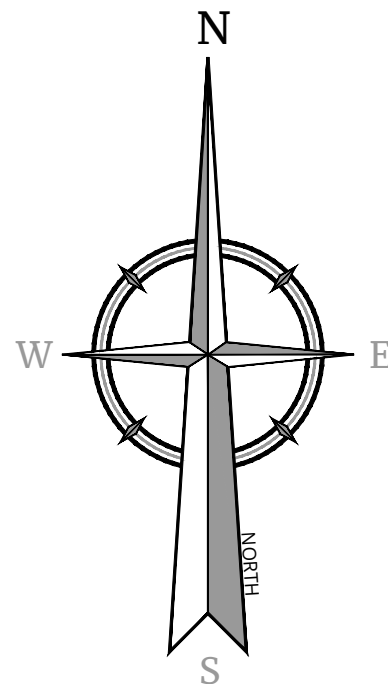
WEDDINGTON
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| 250035364 | | C-DEMO | |

DEMOLITION PLAN

SHEET NUMBER: C-101



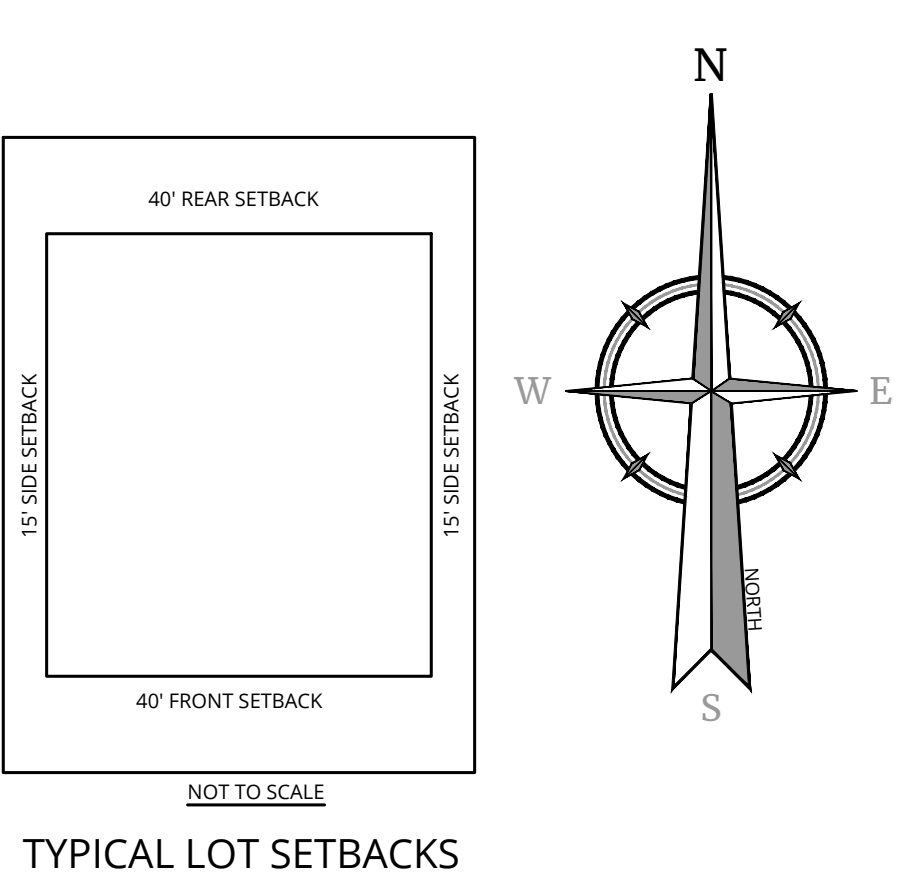
SCALE : 1" = 60'

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



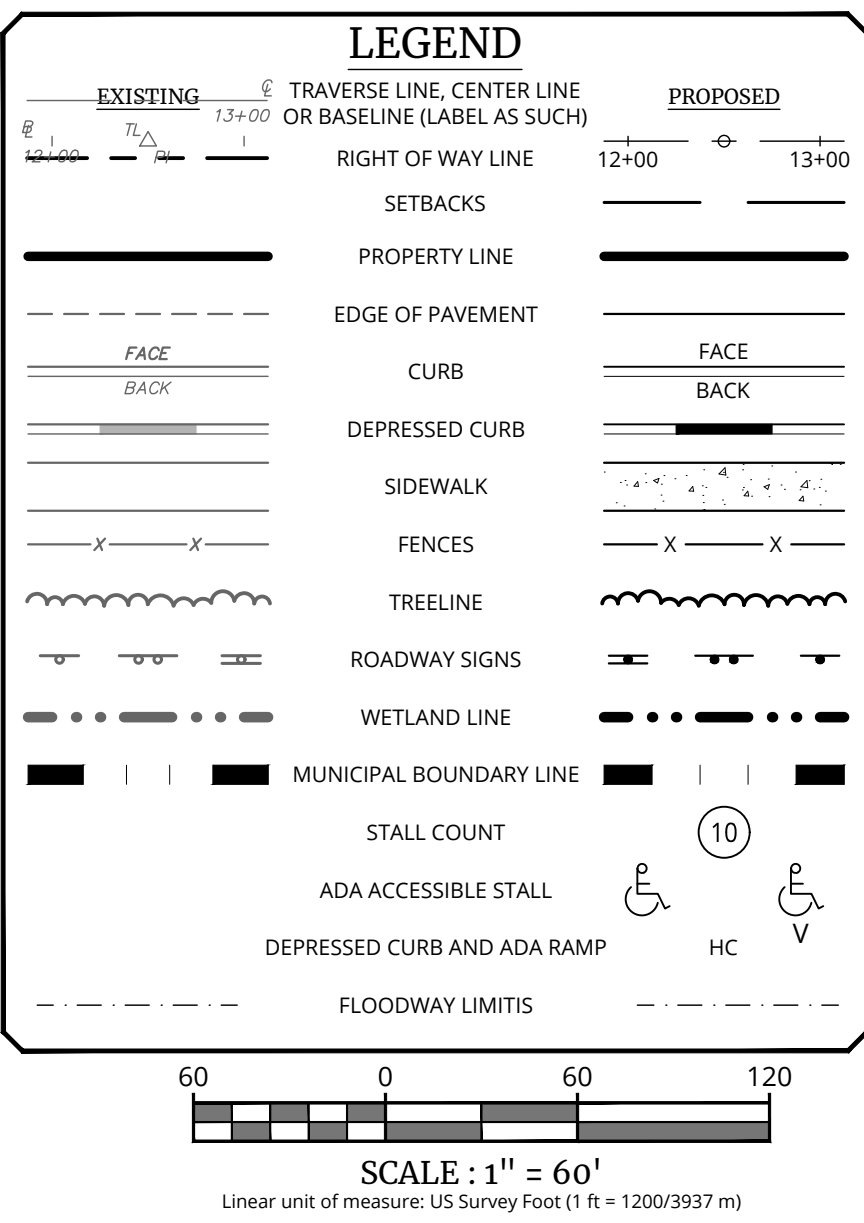
| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 25°24'46" W | 54.90' |
| L2 | S 35°46'42" E | 65.13' |
| L3 | S 03°49'44" W | 62.79' |
| L4 | S 27°00'01" E | 42.10' |
| L5 | S 81°37'16" E | 17.00' |
| L6 | S 13°20'00" E | 44.10' |
| L7 | S 11°04'04" E | 58.01' |
| L8 | N 75°17'17" E | 25.33' |

B:\NDIOGOU.BA\025\25003536\Engineering\Site Plans\C-DEMO.dwg\C-101 DEMO PLAN



| KEYSTONE CUSTOM HOMES, WEDDINGTON | | |
|-----------------------------------|--|-----------------|
| SITE DATA | | |
| | REQUIRED /EXISTING | PROPOSED |
| SITE ADDRESS | 3009 FOREST LAWN DR. MATTHEWS, NC, 28104 | |
| PARCEL (PIN) | 07150015 | |
| ZONING | RESIDENTIAL CONSERVATION DISTRICT (R-CD) | |
| PROPOSED USE | SINGLE FAMILY CONSERVATION DEVELOPMENT | |
| GROSS SITE AREA | 16.66 AC | |
| TOTAL # OF LOTS | 12 | |
| MIN LOT SIZE | 18,000 SF | |
| AVERAGE LOT SIZE | 20,402 SF | |
| MIN LOT WIDTH | 100 FT | |
| MAXIMUM BUILDING HEIGHT | 35 FT | |
| CUL DE SAC ROAD A | 156 FT | |
| CONSERVATION SPACE | MIN. 8.27 AC (50 %) | 8.53 AC (51.6%) |
| MINIMUM FRONT SETBACK | 40 FT | 40 FT |
| REAR SETBACK | 40 FT | 40 FT |
| MINIMUM SIDE YARD | 15 FT | 15 FT |

- NOTES**
- SEE SHEET C-001 FOR GENERAL NOTES.
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 - CONTRACTOR TO VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
 - CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND COMPLY TO THE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.



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COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C.# C-4746

CONDITIONAL ZONING PLAN

FOR
KEYSTONE CUSTOM HOMES WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

**WEDDINGTON
UNION COUNTY
NORTH CAROLINA**

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Suite 100
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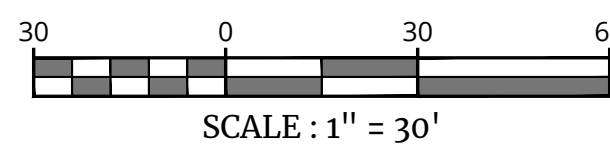
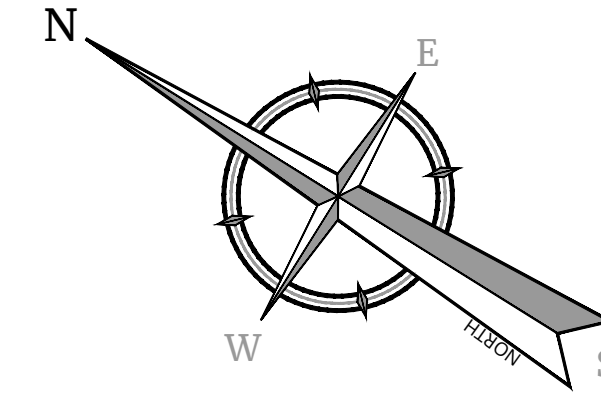
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| 25003536A | C-LAY1 | | |

SHEET TITLE:

LAYOUT PLAN

SHEET NUMBER:

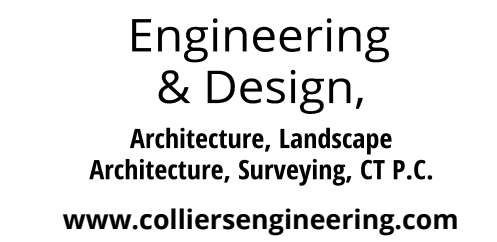
C-200



GENERAL NOTES

1. SEE SHEET C-002 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

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COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

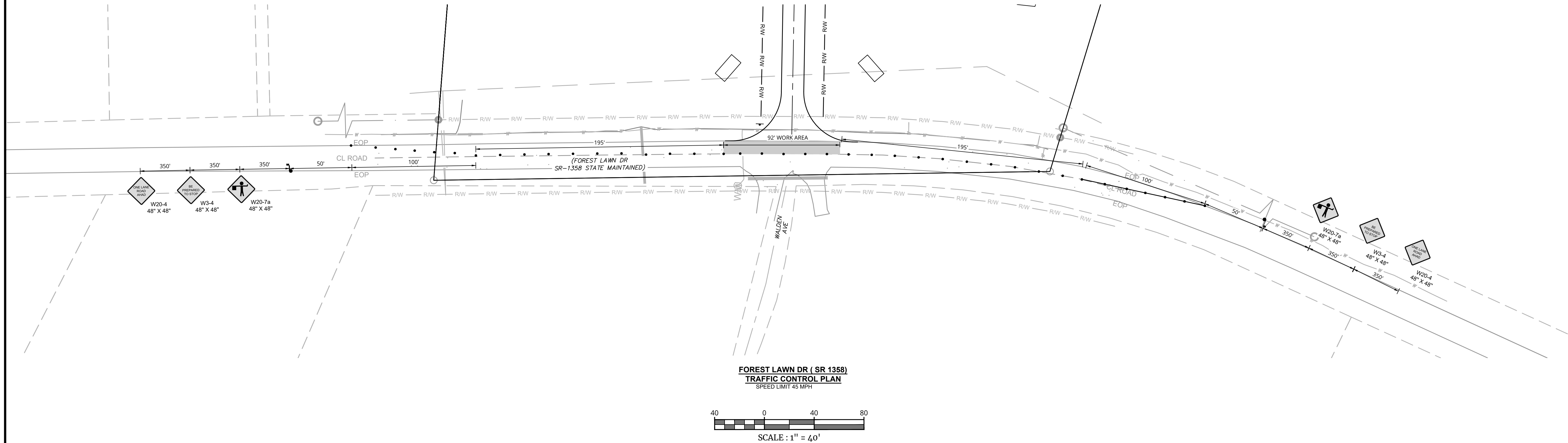


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| PROJECT NUMBER: 25003536A | | DRAWING NAME: C-LAYT | |

SHEET TITLE:

TRAFFIC CONTROL PLAN

SHEET NUMBER: C-202



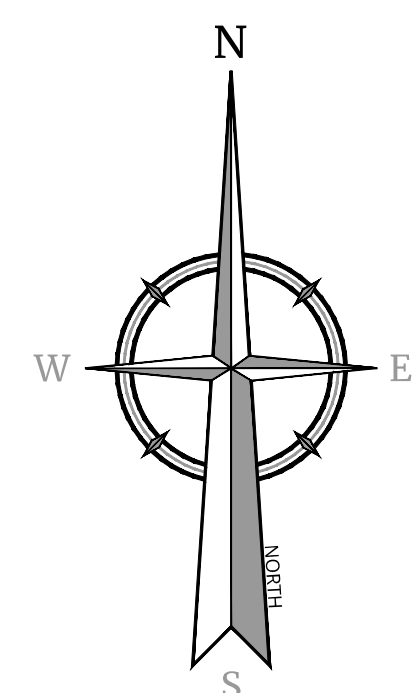
GENERAL NOTES

1. SEE SHEET C-002 FOR GENERAL NOTES.
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| | | <p>RIGHT OF WAY LINE</p> | | | |
| | | <p>PROPERTY LINE</p> | | | |
| | | <p>EDGE OF PAVEMENT</p> | | | |
| | | <p>FACE</p> | | | |
| | | <p>BACK</p> | | | |
| | | <p>DEPRESSED CURB</p> | | | |
| | | <p>SIDEWALK</p> | | | |
| | | <p>FENCES</p> | | | |
| | | <p>TREELINE</p> | | | |
| | | <p>ROADWAY SIGNS</p> | | | |
| | | <p>WETLAND LINE</p> | | | |
| | | <p>MUNICIPAL BOUNDARY LINE</p> | | | |
| | | <p>STALL COUNT</p> | | | |
| | | <p>ADA ACCESSIBLE STALL</p> | | | |
| | | <p>DEPRESSED CURB AND ADA RAMP</p> | | | |
| | | <p>FLOODWAY LIMITS</p> | | | |

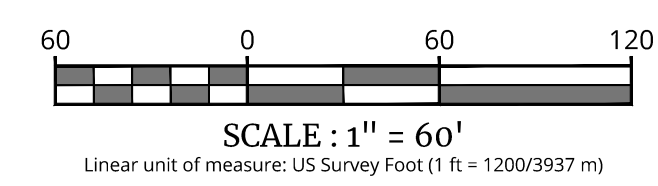
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2025\25003536\Engineering\Site Plans\C-LAYT.dwg\C-202 - TRAFFIC CONTROL PLAN By: NDI\GOU.BA



- NOTES**
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| | | BACK | | | |
| | | DEPRESSED CURB | | | |
| | | SIDEWALK | | | |
| | | FENCES | | | |
| | | TREELINE | | | |
| | | ROADWAY SIGNS | | | |
| | | WETLAND LINE | | | |
| | | MUNICIPAL BOUNDARY LINE | | | |
| | | TYPE 9' INLET | | | |
| | | TYPE 'C', 'D', 'E' INLET | | | |
| | | STORM MANHOLE | | | |
| | | SANITARY MANHOLE | | | |
| | | FLARED END SECTION | | | |
| | | HEADWALL | | | |
| | | HYDRANT | | | |
| | | POLE MOUNTED LIGHT | | | |
| | | CONTOURS | | | |
| | | SPOT ELEVATION | | | |
| | | DIRECTION OF OVERLAND FLOW | | | |
| | | TOP OF CURB ELEVATION | | | |
| | | BOTTOM OF CURB ELEVATION | | | |
| | | TOP OF DEPRESSED CURB ELEVATION | | | |



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CONDITIONAL ZONING PLAN

FOR
KEYSTONE CUSTOM HOMES WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON UNION COUNTY NORTH CAROLINA

Engineering & Design,
Architecture, Landscape Architecture,
Surveying, CT P.C.

CHARLOTTE
5275 Parkway Plaza Boulevard,
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Charlotte, NC 28217
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COLLIERS ENGINEERING & DESIGN
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| | | | |
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| SCALE: | DATE: | DRAWN BY: | CHECKED BY: |
| AS SHOWN | 09/25/25 | NWB | CW |

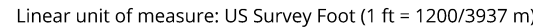
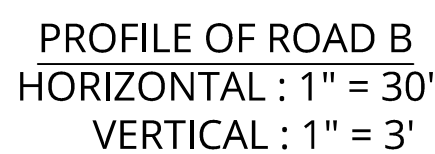
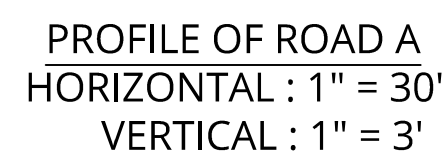
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|-----------------|---------------|
| PROJECT NUMBER: | DRAWING NAME: |
| 25003536A | C-GRAD3 |

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-300

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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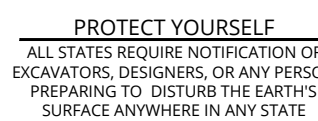


Engineering
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Doing Business as



FOR STATE SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM

| KEYSTONE CUSTOM HOMES, WEDDINGTON | |
|---|---|
| SITE DATA | |
| SITE ADDRESS | 3009 FOREST LAWN DR, MATTHEWS, NC 28104 |
| PARCEL (PIN) | 07150015 |
| SF WATER DEMAND (GDP) = 12 X 400 | 4,800 |
| IRRIGATION DEMAND (GDP) = 12 X 200 | 2,400 |
| IRRIGATION COMMON OPEN SPACE (GDP) = 1" PER WEEK / 7 DAYS | 90 |
| TOTAL ESTIMATED DEMAND | 7,290 |
| SEWER DEMAND (GPD) = 12X280 GPD | 3,360 |
| DOMESTIC METER | 12 |
| WASTE WATER QUALITY | DOMESTIC |
| WWTP | TWELVE MILE CREEK |

NOTE: METERS TO BE INSTALLED INDIVIDUALLY

NOTES

1. SEE SHEET C-001 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHERS PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
3. CONTRACTOR TO VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
4. CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND COMPLY TO THE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.

| EXISTING | | LEGEND | | PROPOSED | |
|-------------------|---|--------|--|----------|--------------|
| | TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) | | | | |
| RIGHT OF WAY LINE | | | | | |
| PROPERTY LINE | | | | | |
| EDGE OF PAVEMENT | | | | | |
| | CURB | | | | FACE BACK |
| DEPRESSED CURB | | | | | |
| SIDEWALK | | | | | |
| | FENCES | | | | X X |
| TREE LINE | | | | | |
| ROADWAY SIGNS | | | | | |
| WETLAND LINE | | | | | |
| | MUNICIPAL BOUNDARY LINE | | | | |
| | TYPE '9' INLET | | | | |
| | TYPE 'C', 'D', 'E' INLET | | | | |
| | STORM MANHOLE | | | | |
| | SANITARY MANHOLE | | | | |
| | FLARED END SECTION | | | | |
| | HEADWALL | | | | |
| | HYDRANT | | | | |
| | POLE MOUNTED LIGHT | | | | |
| | CATV | | | | |
| | WATER MAIN | | | | |
| | GAS MAIN | | | | |
| | TELEPHONE CONDUIT | | | | |
| | ELECTRIC CONDUIT | | | | |
| | SANITARY PIPE | | | | |
| | STORM PIPE | | | | |



SCALE : 1" = 60

Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

UTILITIES SKETCH PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON


PIN 07150015
3009 FOREST LAWN DRIVE

3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

Colliers

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| | | | |
|----------|------------|-----------|-------------|
| SCALE: | DATE: | DRAWN BY: | CHECKED BY: |
| AS SHOWN | 04/07/2025 | NWB | CW |

| | |
|------------------------|-------------------------|
| PROJECT NUMBER: --- | DRAWING NAME: C-UTIL |
|------------------------|-------------------------|

SHEET TITLE:

1. *Journal of the American Medical Association*, 2000; 283: 2689-2694.

UTILITIES SKETCH PLAN

OTHERED BRETFEN 10

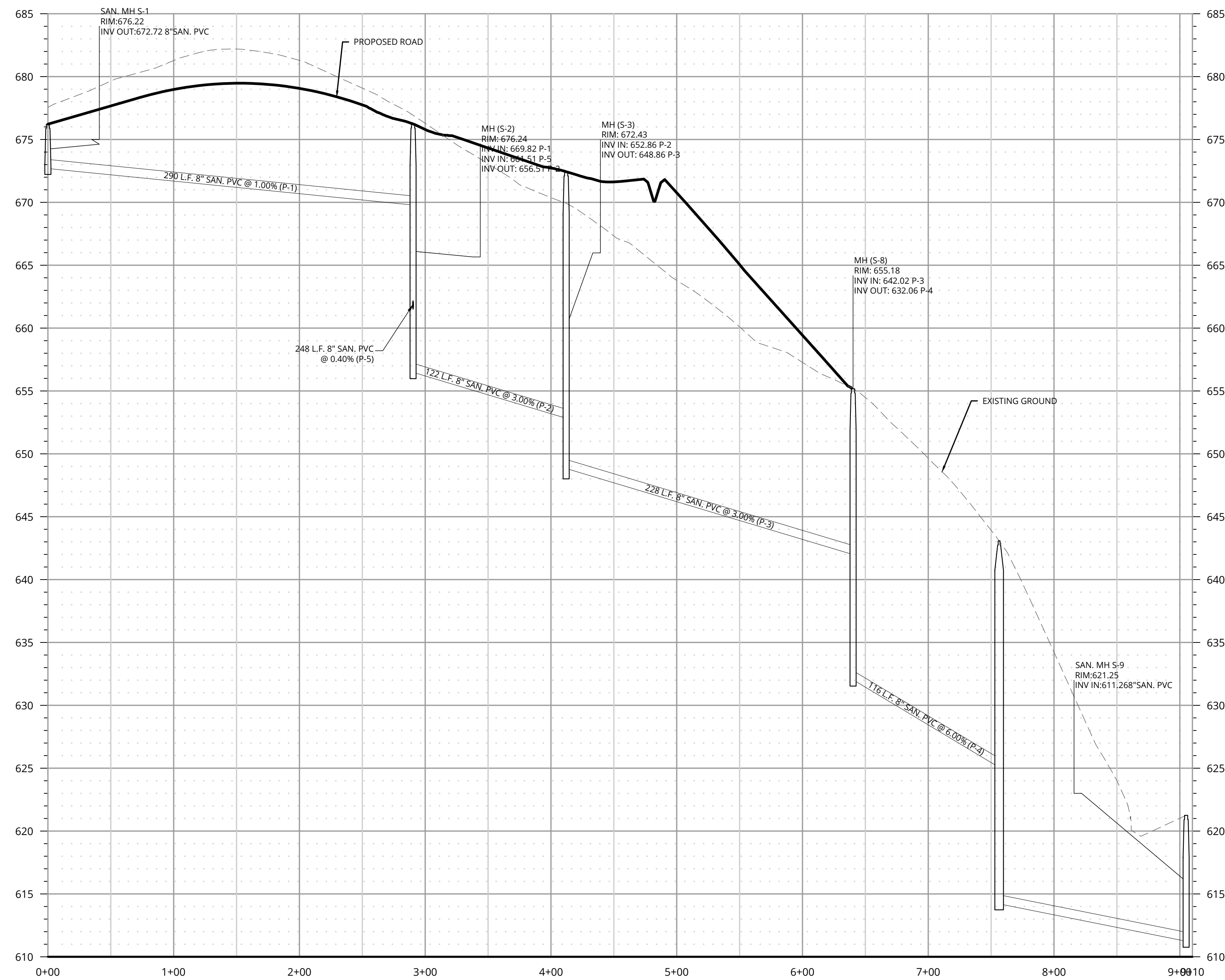
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1000

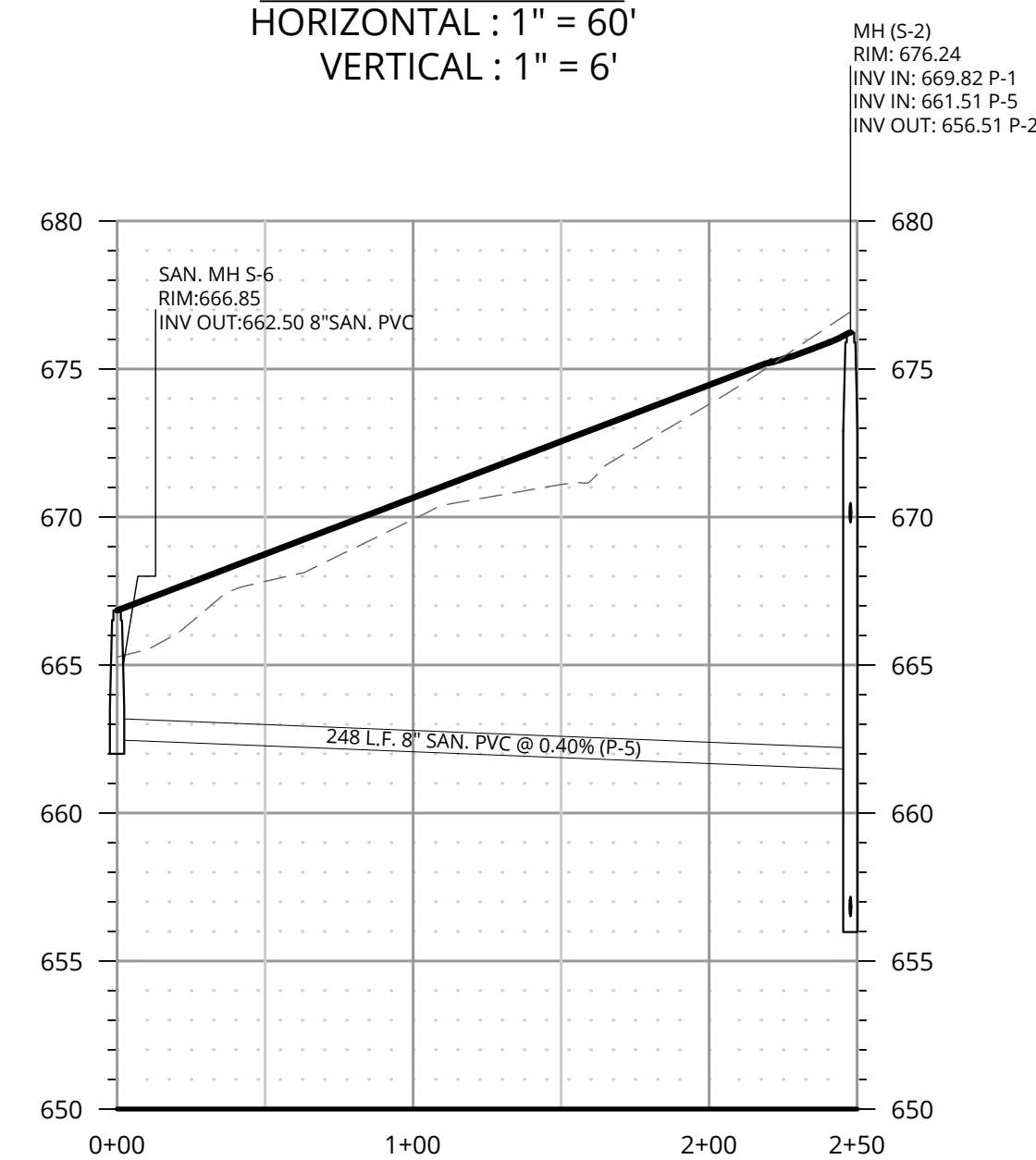
C-400

SCALE DRAWINGS FOR CONSTRU

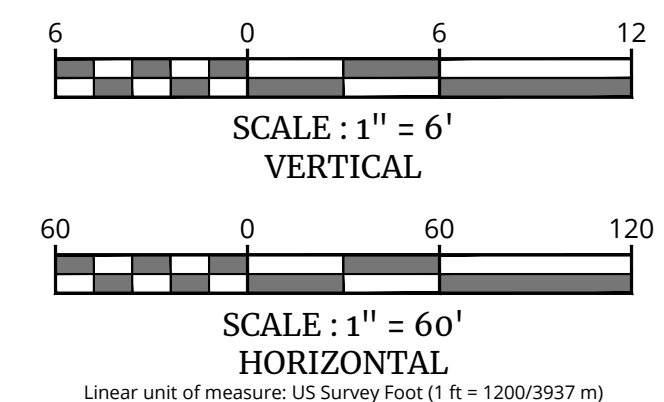
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

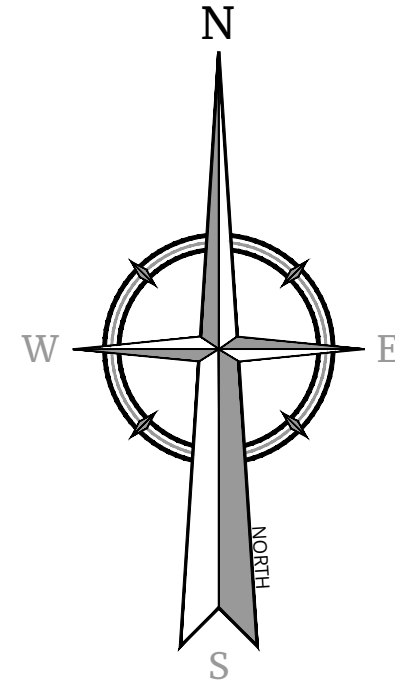


PROFILE OF SEWER A
 HORIZONTAL : 1" = 60'
 VERTICAL : 1" = 6'

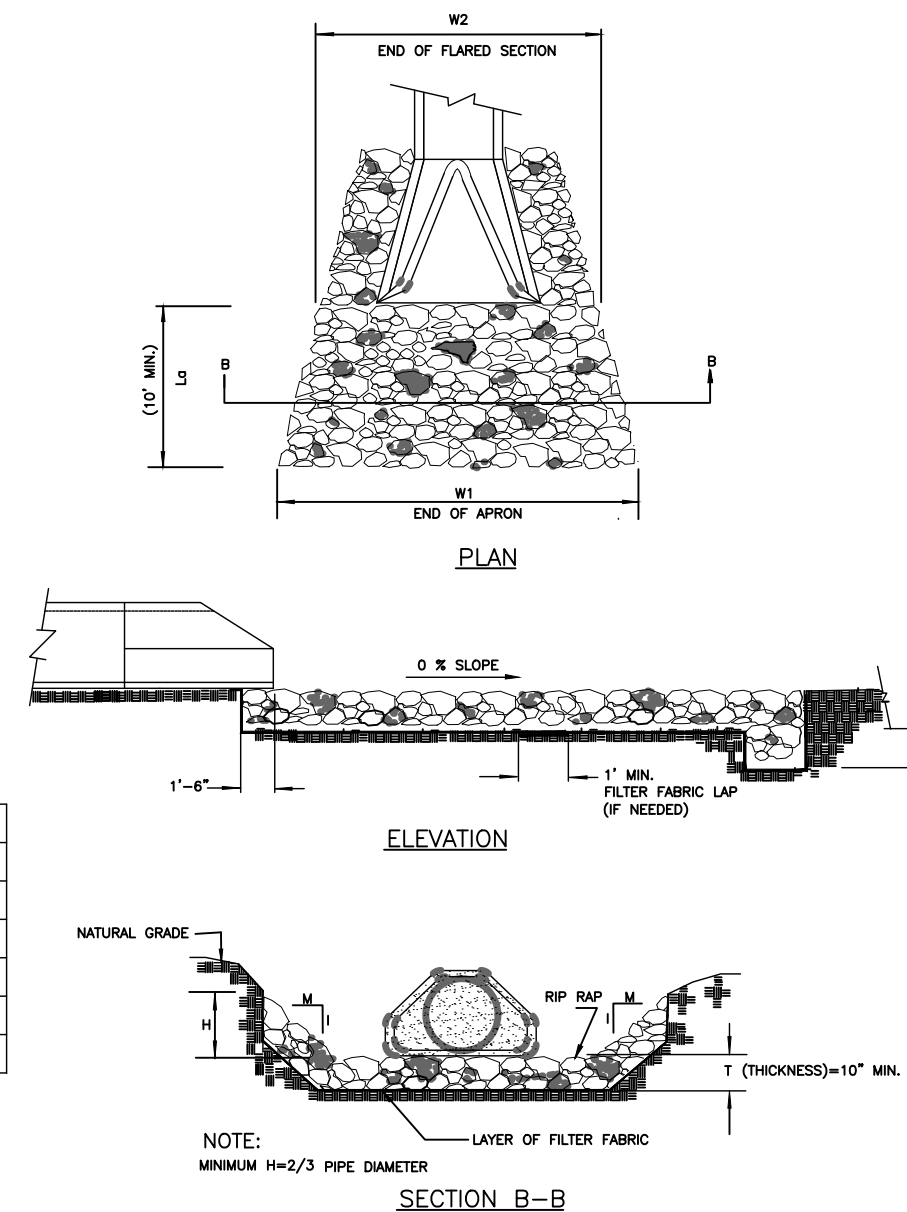
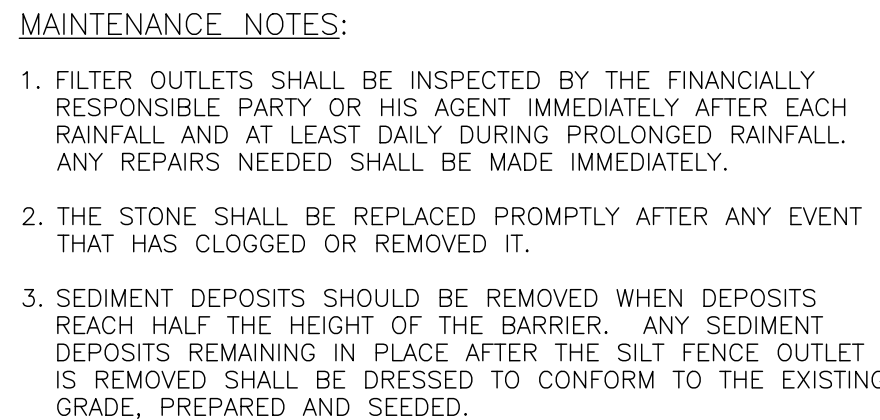
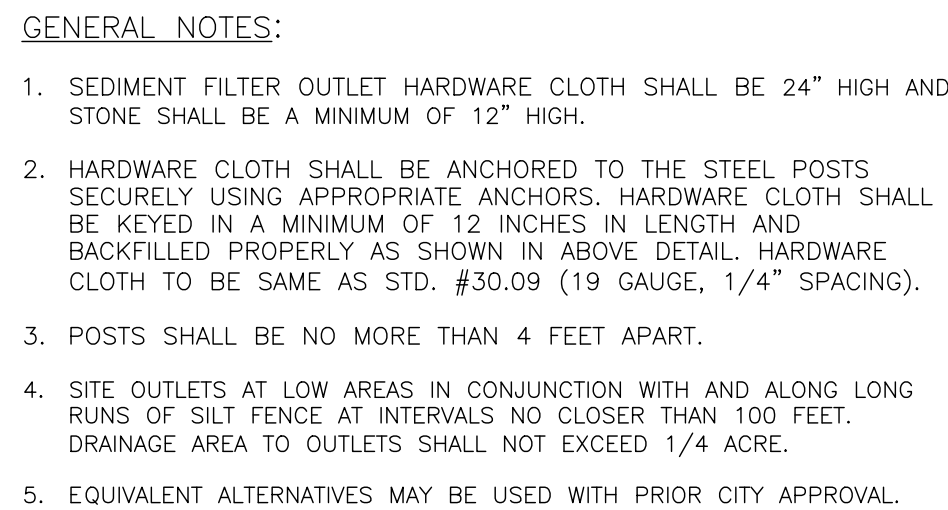
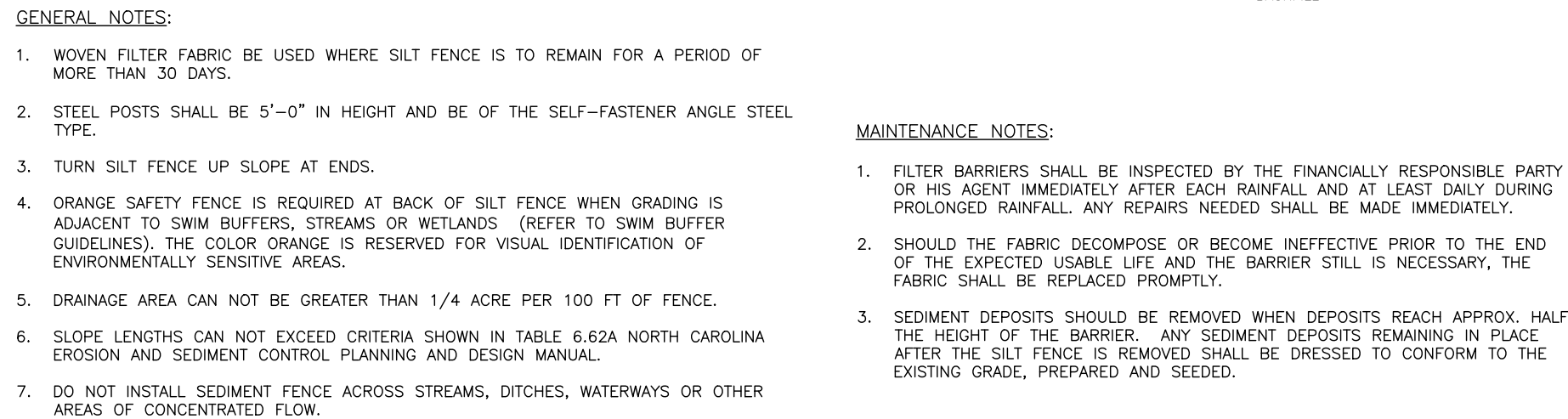
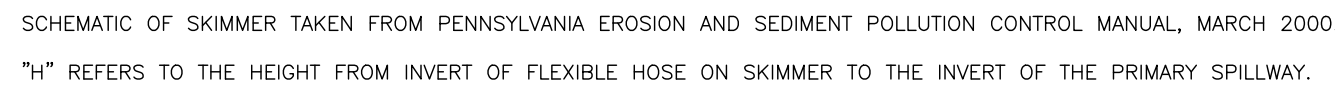


PROFILE OF SEWER B
HORIZONTAL : 1" = 60'
VERTICAL : 1" = 6'

[illegible]



SCALE : 1" = 60'



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



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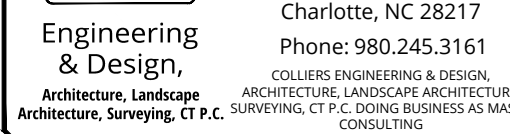
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Casey R. Whiteman
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N.C. #: C-4746

CONDITIONAL ZONING
PLAN
FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

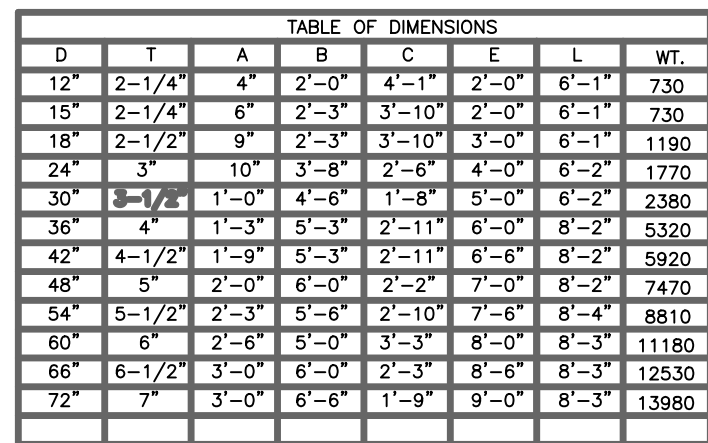


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|------------------------------|-------------------|-------------------------|-------------------|
| SCALE: AS SHOWN | DATE: 09/25/25 | DRAWN BY: NWB | CHECKED BY: CW |
| PROJECT NUMBER: 250035364 | | DRAWING NAME: C-SESC | |

SHEET TITLE:

SOIL EROSION & SEDIMENT
CONTROL DETAILS

C-503



-
- A schematic diagram of a hood and expansion restraint system. A rectangular hood is shown at the top, with a label 'HOOD' pointing to its right side. Below the hood is a horizontal 'GRATE'. Two diagonal lines representing the expansion restraint extend from the grate down to a central point. A horizontal line labeled 'EXPANSION RESTRAINT' is shown below the grate. The entire assembly is supported by a base structure, with several upward-pointing arrows indicating support or movement. A curved line on the left side of the base represents a flexible connection or seal.

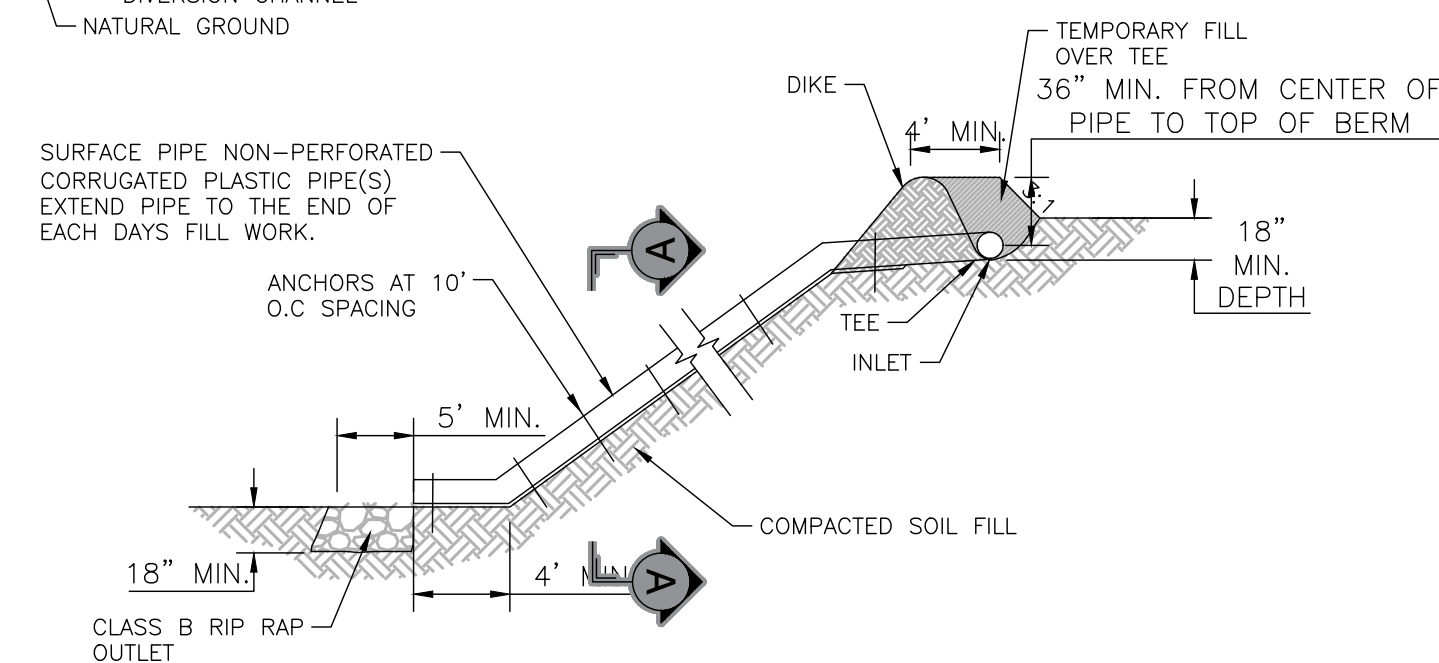
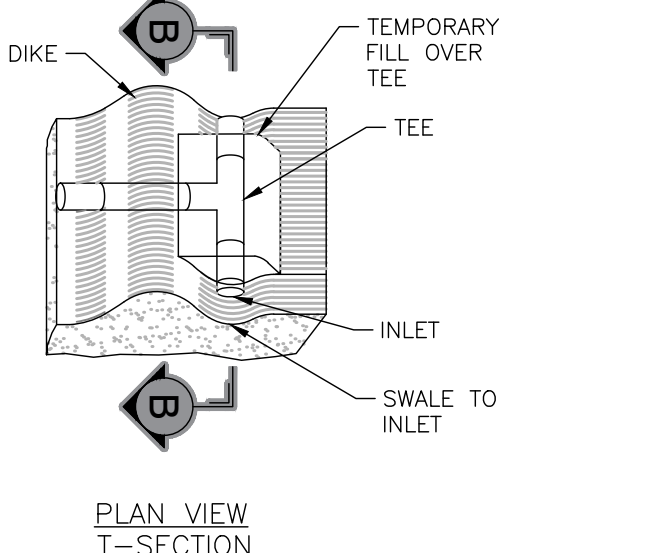
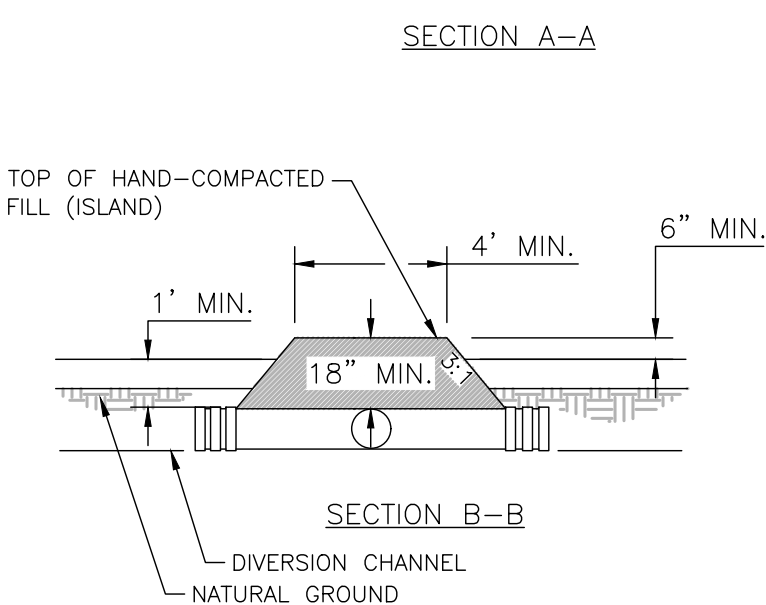
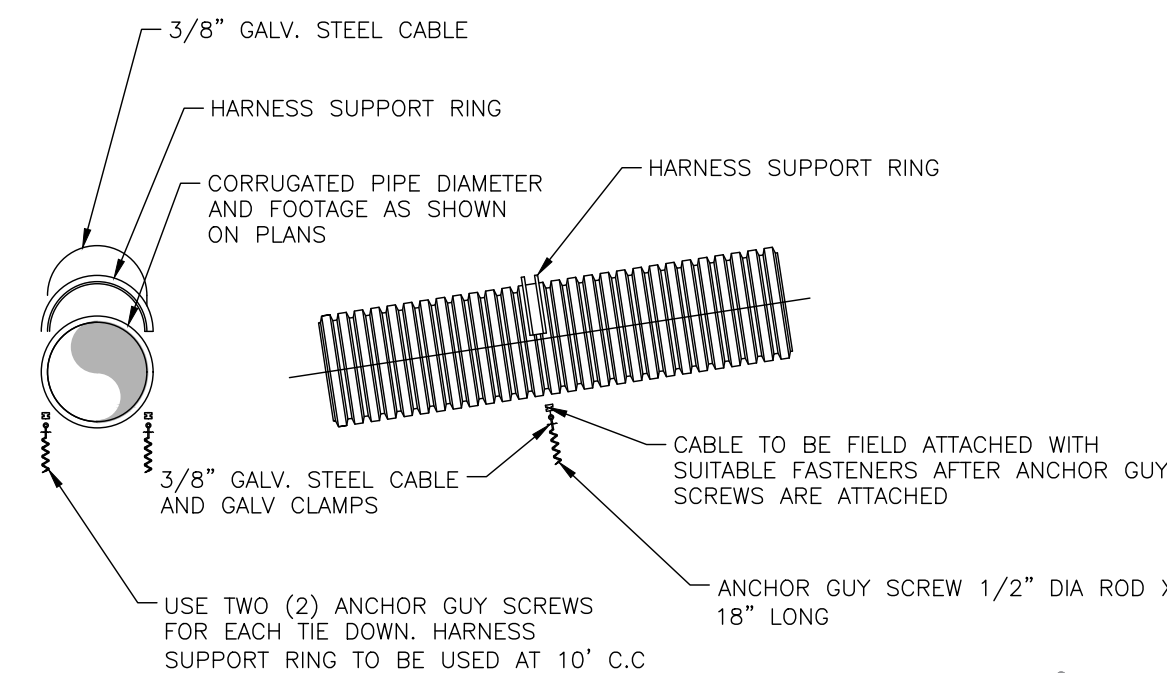


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Diagram illustrating the cross-section of a ditch and berm system, showing the following components and dimensions:

- FILL SLOPE:** The upper slope of the embankment.
- 2:1 MAX.:** Maximum side slopes of the ditch.
- 2' MIN.:** Minimum width of the ditch.
- W:** Width of the ditch.
- B:** Width of the ditch.
- 2:1 MAX. SIDE SLOPES:** Maximum side slopes of the ditch.
- 6' TYP.:** Typical width of the berm.
- 2' MIN.:** Minimum width of the berm.
- COMPACTED BERM:** The top layer of the berm.
- SILT FENCE (SEE NOTE 2):** A fence located to the right of the berm.
- FINISHED GRADE NATURAL GROUND:** The ground surface on the left side of the ditch.
- NATURAL GROUND:** The ground surface on the right side of the ditch.
- WIDTHS (W AND B) AND DEPTH OF DITCH TO BE DESIGNED BY ENGINEER (18" MIN.):** Dimensions to be determined by the engineer.

-
- PLAN VIEW
- The diagram illustrates the plan view of a stormwater management structure. It shows a central circular area with a 'TEE TO MATCH PIPE SIZE' leading to a 'SLOPE DRAIN'. The structure is surrounded by 'CLASS B RIPRAP' and a 'FILTER BERM #57 WASHED STONE'. The flow path is indicated by arrows labeled 'FLOW'. The structure is situated on 'STABILIZED GROUND'. The riprap headwall is shown with a 'TOP OF BERM' and a '4'-WIDE BERM'. The 'TUL SLOPE' is also indicated.



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| REV | DATE | DRAWN BY | DESCRIPTION |
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| 100 | 1 | 1 | 1 |

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UNION COUNTY
NORTH CAROLINA



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|------------------------------|-------------------|-------------------------|-------------------|
| SCALE: AS SHOWN | DATE: 09/25/25 | DRAWN BY: NWB | CHECKED BY: CW |
| PROJECT NUMBER: 25003536A | | DRAWING NAME: C-SESC | |

SHEET TITLE:

SOIL EROSION & SEDIMENT CONTROL DETAILS

SHEET NUMBER: C-504

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

| INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NCG010000 AND SELF-INSPECTION RECORDS FOR LAND DISTURBING ACTIVITIES PER 6. 113A-6.1 | | | | |
|--|--|--|--|---|
| Project Name | | Land Quality or Local Program Project/Permit # | | |
| Approving Authority | Date of Plan Approval | Expiration Date, applicable | | |
| NCG010000 Certificate of Coverage Number | | Date of CDC Issuance | | |
| Coverings under the NCG010000 permit must be renewed annually, if issued after April 1, 2019 and Notice of Termination is filed and approved. | | | | |
| PART 1A: Spatial Data | | PART 1B: Phases of the Plan | | |
| | Rain Amount (inches) Daily Rainfall Required: If no rain, indicate as a "0" | Check All applicable box(es) that apply to completed & current phases | | X |
| M | | Initial installation of erosion control and sediment control measures | | |
| T | | Clearing and grubbing of existing ground cover | | |
| W | | Completion of any grading that requires ground cover | | |
| Th | | Completion of all land-disturbance activity, construction or development | | |
| F | | Permanent ground cover sufficient to restrain erosion has been established | | |
| Set (Inspection Optional) | | | | |
| Run (Inspection Optional) | | | | |
| Are there any site or project conditions that limit completion of inspection? | | | | |
| If yes, explain conditions and areas of site that were inaccessible. | | | | |

| PART 2 - STORMWATER PLANS AND CONTROLS | | Due to each question below, mark the corresponding box as Yes, No or N/A. For all items marked "No", note in Reference the specific action and provide the Contractor an Action and Location of the deficiency, the original date noted, and the date it was noted as being completed. NOTE: Reference numbers may be used multiple times. | | |
|--|--|--|----|-----|
| Reference | Part 2A: Storm Water Plans and Related Documents | Yes | No | N/A |
| A | Is the approved letter of endorsement and approval of the WPERC Construction General Permit (CGP) on site? (It may be acceptable electronic copy of CGP as a copy) | | | |
| B | Is the approved plan on site and current? | | | |
| Reference | Part 2B: Stormwater Pollution Controls | Yes | No | N/A |
| A | Are erosion and sediment controls that are shown on the approved plan installed and operating properly with no repairs needed? | | | |
| B | Are stormwater controls that are shown on the approved plan installed and operating properly with no repairs needed? | | | |
| C | Is vehicle tracking, for construction entrance operating properly with no repairs needed? | | | |
| D | Is Soil Stabilization, Any areas of the site where construction activity has occurred been properly stabilized with the required treatments? | | | |
| E | Are surface stormwater basins or other means provided from sediment loss, and located at least 10 feet away or downhill from the road base and surface waters? | | | |
| Reference | Part 2C: Non-Storm Water Pollution Controls | Yes | No | N/A |
| A | Concrete, slopes, paint, etc. wash, debris. Are washouts installed, properly located, pooled and operating with no repairs needed? | | | |
| B | Spill & hazardous wastes: Are trash, debris, and hazardous materials properly managed? | | | |
| J | Sanitary waste: Are portable toilets located and operating with no visible repairs needed? | | | |
| K | Equipment and stored fuels: Are fuels, lubricants, hydraulic fluids, etc. contained so as to not enter surface and ground waters? | | | |
| <p>For any items listed in the action below and the release of hazardous substances to the appropriate DEC Regional Office via phone call or email, within 24 hours of the date of the inspection, the contractor must provide the DEC Regional Office with a written report. For reports listed in the action below, a full description of substantiation is required in Part 3A. This includes, but may not be limited to: location, estimated amount of release, date and time of release, description of the release, the action taken, and what corrective action is to be taken to prevent this from recurring.</p> | | | | |
| Part 2D: Submittal/Inspection | | | | |
| L | Was sediment or other pollutants noted beyond the approved or permitted limits of disturbance? | | | |
| M | Are BMPs designed to retaining sediment or other pollutants to incoming waters? | | | |
| <p>Report visible sedimentation into streams or wetlands to the appropriate DEC Regional Office via phone call or email within 24 hours of the date of the inspection.</p> | | | | |

[illegible][illegible]

| GROUND STABILIZATION TIMEFRAMES | | |
|--|---------------|---|
| Site Area Description | Stabilization | Timeframe Variations |
| Perimeter dikes, swales and slopes | 7 days | None |
| High Quality Water (Hemlock Zone) | 7 days | None |
| Slopes flatter than 3:1 | 7 days | 7 days for perimeter dikes, swales, slopes and HWQZ zones 14 days for slopes 10:1 or less in length and not steeper than 2:1 10 days for Falls Lake Watershed |
| Slopes 3:1 to 4:1 | 14 days | 7 days for perimeter dikes, swales, slopes and HWQZ zones 7 days for slopes greater than 10:1 in length 10 days for Falls Lake Watershed |
| All other areas with slopes flatter than 4:1 | 14 days | 7 days for perimeter dikes, swales, slopes and HWQZ zones 10 days for Falls Lake Watershed |

[illegible]

| | | | |
|---|--|---------------------------|--|
| PART 4: Signature of Inspector | | County | |
| Financially Responsible Party (FRP) / Permittee | | | |
| INSPECTOR | | | |
| Name | | Employer | |
| Inspector Type (Mark X) | | Address | |
| FRP/Permittee | | Phone Number | |
| Agent/Designee | | Email Address | |
| By this signature, I certify in accordance with the NCCCO 9000 permit & G.S. 173A.44 that this report is accurate and complete to the best of my knowledge. | | | |
| Financially Responsible Party / Permittee or Agent / Designee | | Date & Time of Inspection | |

| | | | |
|--|--|--|-------------------|
| Date: | NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR FALL | | Page: |
| NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR SUMMER | | NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING | |
| SEEDING MIXTURE | | SEEDING MIXTURE | |
| Species | Rate | Species | Rate |
| Indian Fescue | 15 lbs/acre | Centipede | 5 lbs/acre |
| Switchgrass | 2.5-3.5 lbs/acre* | Indian Woodrats | 4-6 lbs/acre* |
| Indian Grass | 5-7 lbs/acre* | Virginia Wild Rye | 1.5-2.5 lbs/acre* |
| Big Bluestem | 5-7 lbs/acre* | | |
| Indian Woodrats | 1.5-2.5 lbs/acre* | | |
| Virginia Wild Rye | 4-6 lbs/acre* | | |
| *Depending upon mix with other species. See table 6.11 d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual. | | *Depending upon mix with other species. See table 6.11 d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual. | |
| Seeding Dates | | Seeding Dates | |
| Mountains - Hard Fescue- Aug 1 - June 1 | | Coastal or Eastern Piedmont for Centipede- Sept. 1 - May 1 | |
| Mountains - Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 15 | | Coastal and Piedmont for Indian Woodrats and Virginia Wild Rye- Feb 15 - April 1 | |
| Piedmont and Coastal- Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 1 | | Mountains for Indian Woodrats and Virginia Wild Rye- March 1 - May 15 | |
| Coastal- Indian Woodrats and Virginia Wild Rye- Sept 1 - Nov 1 | | Maintenance: | |
| Maintenance: | | Significant maintenance may be required to obtain desired cover once centipede is planted. Acceptable for sodding. | |
| Hard Fescue is not recommended for slopes > 5%. Prefers shade. | | | |

SEED BED PREPARATION:

LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or lower need not be limed.

FERTILIZER- Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniformly fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

NOTES:

1. Permanent seeding, sodding or other means of stabilization are required when all construction work is completed according to the NPDES timeframe's table.
2. A North Carolina Department of Agriculture soils test (or equal) is highly recommended to be obtained for all areas to be seeded, sprigged, sodded or planted.
3. Use a seeding mix that will produce fast growing nurse crops and includes non-invasive species that will eventually provide a permanent groundcover. Soil blankets may be used in lieu of nurse crops. Mat, tack or crimp mulch, as needed to stabilize seeded areas until root establishment. This must be applied uniformly over the soil with a cover density of at least 80%.
4. Ground cover shall be maintained until permanent vegetation is established and stable against accelerated erosion.

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|  EFFECTIVE DATE: 11/12/2020 | <h2 style="text-align: center;">PERMANENT SEEDING RECOMMENDATIONS</h2> |
| | Content of the table body |

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|---|-----------------------|--|-----------------------|---|-----------------------|
| Date: | | | Page: | | |
| TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING | | TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER | | TEMPORARY SEEDING RECOMMENDATIONS FOR FALL | |
| Seeding Mixture | | Seeding Mixture | | Seeding Mixture | |
| Species | Rate (lb/acre) | Species | Rate (lb/acre) | Species | Rate (lb/acre) |
| Rye (grain) | 120 | German millet | 40 | Rye (grain) | 120 |
| Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) | 50 | In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre. | | Seeding Dates | |
| Omit annual lespedeza when duration of temporary cover is not to extend beyond June. | | Seeding Dates | | Mountains—Aug. 15 - Dec. 15 | |
| Seeding Dates | | Mountains—May 15 - Aug. 15 | | Coastal Plain and Piedmont—Aug. 15 - Dec. 31 | |
| Mountains—Above 2500 feet: Feb. 15 - May 15 | | Piedmont—May 1 - Aug. 15 | | Mulch | |
| Below 2500 feet: Feb. 1 - May 1 | | Coastal Plain—Apr. 15 - Aug. 15 | | Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. | |
| Piedmont—Jan. 1 - May 1 | | Mulch | | Maintenance | |
| Coastal Plain—Dec. 1 - Apr. 15 | | Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. | | Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March. | |
| Mulch | | Maintenance | | | |
| Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. | | Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage. | | | |
| Maintenance | | | | | |
| Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage. | | | | | |

SEED BED PREPARATION:

LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1 1/2 tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.

FERTILIZER- Apply fertilizers according to soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.


SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loose soil just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade should be a smooth even soil surface with a loosen uniform fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

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|  NORTH CAROLINA <i>Environmental Quality</i> EFFECTIVE DATE: 11/12/2020 | <h2 style="text-align: center;">TEMPORARY SEEDING RECOMMENDATIONS</h2> |
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| GROUND STABILIZATION AND MATERIALS HANDLING PROCEDURES FOR COMPLIANCE WITH THE NCOG CONTIGUOUS ZONE PERMITS | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|--|--|-------------------------|---|--|--|---|------|--|---|------|---|---|--|---|----|--|---|----|--|--|----|--------------------------------------|
| Implementing the details and specifications on this plan sheet will result in the construction of a permanent ground stabilization and erosion control system and Materials Handling Plan for the NCOG Construction General Permit (Sections E and F, respectively). The contractor shall be responsible for obtaining all necessary permits and approvals from the delegated authority having jurisdiction. All details and specifications shown on this plan sheet shall be followed and the delegated authority shall be notified of any changes. | | | | | | | | | | | | | | | | | | | | | | | | |
| SECTION E - GROUND STABILIZATION | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Required ground stabilization techniques shall be installed within this permit construction timeline:</p> <table border="1"> <thead> <tr> <th>Site Area Description</th> <th>Stabilization techniques shall be installed within this permit construction timeline after ceasing excavation and disturbance</th> <th>Timeline variations</th> </tr> </thead> <tbody> <tr> <td> <ul style="list-style-type: none"> Perimeter ditches and perimeter slopes </td> <td>7</td> <td>None</td> </tr> <tr> <td> <ul style="list-style-type: none"> High quality Water (H2O) Zones </td> <td>7</td> <td>None</td> </tr> <tr> <td> <ul style="list-style-type: none"> Slopes steeper than 7:1 </td> <td>7</td> <td>If slopes are 30' or less in length and are not deeper than 2.1', 14 days after excavation</td> </tr> <tr> <td> <ul style="list-style-type: none"> Slopes steeper than 4:1 </td> <td>14</td> <td>14 days after excavation for slopes longer than 50' in length and with slopes steeper than 4:1</td> </tr> <tr> <td> <ul style="list-style-type: none"> Slopes 3:1 to 1:1 </td> <td>14</td> <td>10 days for perimeter ditches, slopes, ditches, perimeter slopes and H2O Zones</td> </tr> <tr> <td> <ul style="list-style-type: none"> Areas with slopes flatter than 4:1 </td> <td>14</td> <td>10 days for flat Water Watched areas</td> </tr> </tbody> </table> | | | | Site Area Description | Stabilization techniques shall be installed within this permit construction timeline after ceasing excavation and disturbance | Timeline variations | <ul style="list-style-type: none"> Perimeter ditches and perimeter slopes | 7 | None | <ul style="list-style-type: none"> High quality Water (H2O) Zones | 7 | None | <ul style="list-style-type: none"> Slopes steeper than 7:1 | 7 | If slopes are 30' or less in length and are not deeper than 2.1', 14 days after excavation | <ul style="list-style-type: none"> Slopes steeper than 4:1 | 14 | 14 days after excavation for slopes longer than 50' in length and with slopes steeper than 4:1 | <ul style="list-style-type: none"> Slopes 3:1 to 1:1 | 14 | 10 days for perimeter ditches, slopes, ditches, perimeter slopes and H2O Zones | <ul style="list-style-type: none"> Areas with slopes flatter than 4:1 | 14 | 10 days for flat Water Watched areas |
| Site Area Description | Stabilization techniques shall be installed within this permit construction timeline after ceasing excavation and disturbance | Timeline variations | | | | | | | | | | | | | | | | | | | | | | |
| <ul style="list-style-type: none"> Perimeter ditches and perimeter slopes | 7 | None | | | | | | | | | | | | | | | | | | | | | | |
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| <p>Note: After the completion of construction activities, areas with temporary erosion stabilization shall be converted to permanent ground stabilization or so as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Erosion stabilization shall be maintained until the permanent ground stabilization surface abutted against accelerated erosion until permanent ground stabilization is achieved.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| GROUND STABILIZATION SPECIFICATION | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Perimeter Stabilization: Perimeter stabilization shall not be utilized on the soil. Use one of the techniques in the table below:</p> <table border="1"> <thead> <tr> <th>Temporary Stabilization</th> <th>Permanent Stabilization</th> </tr> </thead> <tbody> <tr> <td> <ul style="list-style-type: none"> Temporary grass seed covered with straw or straw mulch Hydroseeding Grass seed covered with straw or without straw mulch Grass seed covered with straw or other mulch Flexi- seeding </td> <td> <ul style="list-style-type: none"> Permanent grass seed in permanent soil Grass seed mulch in permanent soil Hydroseeding Grass seed in permanent plantings covered with straw Grass seed and dyes evenly distributed ground with straw to resist erosion events Structural methods such as concrete, asphalt or retaining walls Grass seed mulch covered with grass seed </td> </tr> </tbody> </table> | | | | Temporary Stabilization | Permanent Stabilization | <ul style="list-style-type: none"> Temporary grass seed covered with straw or straw mulch Hydroseeding Grass seed covered with straw or without straw mulch Grass seed covered with straw or other mulch Flexi- seeding | <ul style="list-style-type: none"> Permanent grass seed in permanent soil Grass seed mulch in permanent soil Hydroseeding Grass seed in permanent plantings covered with straw Grass seed and dyes evenly distributed ground with straw to resist erosion events Structural methods such as concrete, asphalt or retaining walls Grass seed mulch covered with grass seed | | | | | | | | | | | | | | | | | |
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| POLYACRYLAMIDES (PAM) AND ACCIDENTS | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>2. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>3. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>4. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>5. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>6. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>7. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>8. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>9. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> <p>10. Select Forfeitures that are appropriate for the cases being exposed during construction.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>CONSTRUCTION AND VEHICLE MAINTENANCE</p> <ol style="list-style-type: none"> Maintain vehicles and equipment to prevent discharge of fuel. Provide drip pans under any stored equipment. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project. Collect all spent fuels, store in separate containers and properly dispose of them as waste liquids through a licensed waste disposal facility. Remove leaking vehicles and construction equipment from service until the problem has been corrected. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products in a recycling or disposal container that holds these materials. | | | | | | | | | | | | | | | | | | | | | | | | |
| LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Never bury or burn waste. Use litter and debris in approved waste water ditches.</p> <ol style="list-style-type: none"> Provide a sufficient number and size of storage bins (e.g. dumpster, trash receptacle) to store all debris and waste. Store debris and waste in storage bins. Locate waste containers at least 50 feet from storm drain inlets and surface water users unless other alternatives are approved by the delegated authority. Locate waste containers on areas that do not receive substantial amounts of runoff. Use debris and waste in storage bins to prevent debris from blowing away. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Remove or replace damaged waste containers. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow. Dispose waste off site at an approved disposal facility. Use debris, sludge, clean up and liquid waste in designated waste containers. | | | | | | | | | | | | | | | | | | | | | | | | |
| PAINT AND OTHER LIQUID WASTES | | | | | | | | | | | | | | | | | | | | | | | | |
| <ol style="list-style-type: none"> Do not dump paint and other liquid waste into storm drains, streams or wetlands. Contain liquid wastewater at least 50 feet away from storm drain inlets and surface water users unless other alternatives are approved by the delegated authority. Contain liquid waste in a controlled area. Store paint and other liquid waste in approved containers. Prevent the discharge of spills, solvents, detergents and other liquid wastes from the project. | | | | | | | | | | | | | | | | | | | | | | | | |
| PORABLE TOILETS | | | | | | | | | | | | | | | | | | | | | | | | |
| <ol style="list-style-type: none"> Install portable toilets on level ground, at least 50 feet away from storm drain inlets, wetlands and surface water users. Use portable toilets to prevent erosion reasonably avoidable if 50-foot offset is not attainable, provide relocation of portable toilet behind fence or place portable toilet behind and surround by vegetation. Provide staining or anchoring of portable toilets during periods of high winds or high water. Monitor portable toilets for leaking and properly dispose of any leaked material. Use covered portable toilet trailers to remove leaking portable toilets and replace with new portable toilets. | | | | | | | | | | | | | | | | | | | | | | | | |
| EARTHEN STOOPED MANAGEMENT | | | | | | | | | | | | | | | | | | | | | | | | |
| <ol style="list-style-type: none"> Show stooped locations on plan. Locate earthen material stooped areas at least 50 feet away from storm drain inlets, wetlands and surface water users. Reasonable alternatives can be shown no other alternatives are attainable. Protect stooped areas by fences installed along low water with a minimum offset of 50 feet from the low of creek. Provide stable stone across points when feasible. Use stone to stabilize the toe of the slope by installing stone on the sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is determined by the delegated authority having jurisdiction. The delegated authority has the discretion to remove or disallow for temporary or permanent control needs. | | | | | | | | | | | | | | | | | | | | | | | | |

NORTH CAROLINA
 Environmental Quality

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|  | <p>ROY COOPER <i>Chairman</i></p> <p>MICHAEL S. REGAN <i>Secretary</i></p> <p>S. JAY ZIMMERMAN <i>Director</i></p> |
|---|--|

| North Carolina DWR List of Approved PAMS/Flocculants | | | | | |
|---|--|---|--|--|--|
| Updated 4/01/2017 | | | | | |
| Company | Product | Maximum Recommended Concentration | | | |
| Applied Polymer System | APS 712 | 59.3 ppm | | | |
| Applied Polymer System | APS 730 | 5.6 ppm | | | |
| Applied Polymer System | APS 740 | 5.2 ppm | | | |
| Applied Polymer System | APS 703d | ** | | | |
| Applied Polymer System | APS 703d#3 | ** | | | |
| Applied Polymer System | APS 708 | ** | | | |
| Applied Polymer System | APS 705 | 27.7 ppm | | | |
| Aquamark, Inc. | AQ100 | Land surface application only at 39.7 ppm | | | |
| Aquamark, Inc. | AQ109 | Land surface application only at 0.18ppm | | | |
| Ashland Hercules Water Tech | Ashland Charge Pac 55 | 10 mL/g | | | |
| Ashland Hercules Water Tech | Ashland Zalta MC 9500 | 10 mL/g | | | |
| Cape Fear Consulting | PAX-CF-038A | 5 ppm | | | |
| Cape Fear Consulting | CF-C-4330 | 4.5 ppm | | | |
| Carolina Hydrologics | HYDROLOC PAM | Land surface application only at 3.0 x/ml | | | |
| Carolina Hydrologics | Flocc Roll-In-Flat | 50 mL/g | | | |
| Chemical Solutions, Inc. | CS-1234 and/or CS-1234D | 500 mg/l per 1% solids "see below" | | | |
| Chemical Solutions, Inc. | MCL7154DP | 10 mL/g | | | |
| Chen Techniques | Sol Defender | Land surface application only at 0.008% | | | |
| HaloSource, Inc. | GeFlocc | 2.56 mg/L | | | |
| HaloSource, Inc. | LBP-2101 | 500 mg/L | | | |
| Hanes One Components | TerraGuard Granular PAM | 3.25mg/L | | | |
| Innovative Turf Solutions | EnviroPam | 200 mg/L | | | |
| Innovative Turf Solutions | Erosion Guard Powder, Erosion Control Logo/Erosion Guard Flats | 200 mg/L | | | |
| Innovative Turf Solutions | FLOCC | 650 mg/L | | | |
| Leanner Measner Greener, Inc. | L M G Dust Magnet 281 Solution | 0.05% | | | |
| Leanner Measner Greener, Inc. | L M G Dust Magnet 163 solution | 0.5 mg/L | | | |
| Leanner Measner Greener, Inc. | DGP-2100 | 28.125 mg/L | | | |
| Nalco | Nalco 8187 | 100 ppm | | | |
| NTU | GroScrub 10 13, 20, 23, 34 | 10 mL/g | | | |
| NTU | GroScrub Bubbles | 1 mg/L | | | |
| Paschal Associates Sales | PRR P251 | 25 ppm | | | |
| Southeastern Laboratories | SEI FLOC 6028 | 7.5 ppm | | | |
| Storm Klirr | 3% Liqua-Poc | 9.4 mL/g | | | |
| Terra Nova | EarthGuard | 000625 mL/L | | | |
| All these products should be used by the manufacturer's instruction and with Best Management Practices. | | | | | |
| Additional information for specific products: | | | | | |
| <ul style="list-style-type: none"> For use and toxicity guidance regarding CS-1234 and/or CS-1234D, please contact Cindy Moore with the DWR Aquatic Toxicology Branch at c@nha.744-8442 or at cindy.a.moore@dcr.state.nc.us | | | | | |
| <small>State of North Carolina Environment Quality Water Sciences Section 1611 Mail Service Center Raleigh, North Carolina 27699-1621 919-743-4880</small> | | | | | |

CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle steel, hardened concrete in accordance with local and state waste regulations and an approved facility.
3. Dispose of, or recycle, from mortar, concrete, and aggregate in the above items and in addition place the mixer and associated materials on impervious barrier and within 100 feet of the concrete washout.
4. Install concrete concrete washout per local requirements, where applicable. If an alternative method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this sheet.
5. Do not use concrete washouts for dewatering or storing discharge or sidewalk openings, below normal ground level. Discharge may not be poured into or discharged to the storm drain system or receiving surface waters. Liquid waste must be contained, below normal ground level.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. As a minimum, install protection of storm drain (inlet) directly to the washout which could receive discharge and in front of the washout. Additional controls may be required by the approving authority.
7. Locate washouts in an easily accessible area, on level ground and install a storm drain and in front of the washout. Additional controls may be required by the approving authority.
8. Install a sign on any directing concrete trucks to the washout within the project limits. Post signage on the washout tank to identify its location.
9. Remove leavings from the washout when at approximately 75% capacity to limit further wastes. Regularly take, seal, bag or other temporary structural controls, when no longer functional. When utilizing alternative or proprietary controls, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. If not applicable, and stabilizes any disturbance caused by removal of washout.

HARDWARES, PESTICIDES AND RODENTIDES

1. Store and apply hardware, pesticides and rodenticides in accordance with label restrictions.
2. Store hardware, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of emergency.
3. Do not store herbicides, pesticides and rodenticides in areas where ground water or surface water may be at risk. Do not store herbicides, pesticides or surface water. If a spill occurs, obtain area immediately.
4. Do not stockpile these materials.

HAZARDOUS AND TOXIC WASTE

1. Collect and dispose of hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

LANDFILL EFFECTIVE: 04/01/19

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING
 1. Occurrences that Must be Reported
 Permitttees shall report the following occurrences:
 (a) Visible sediment deposition in a stream or wetland.
 (b) Oil spills if:
 • They are 25 gallons or more,
 • They are less than 25 gallons but cannot be cleaned up within 24 hours,
 • They cause sheen on surface waters (regardless of volume), or
 • They are within 100 feet of surface waters (regardless of volume).
 (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (40 CFR 302.41) and 40 CFR 137.33 or Section 102 of RCRA (40 CFR 302.41 and 40 CFR 145.143-215).
 (d) Anticipated bypasses and unanticipated bypasses.
 (e) Noncompliance with the conditions of this permit that may endanger health or the environment.


2. Reporting Requirements and Other Requirements
 After a permittee becomes aware of an occurrence that must be reported, he/she shall contact the State Water Pollution Control Board (SWPCB) and the North Carolina Department of Environment and Natural Resources (NCEM) immediately. Occurrences outside normal business hours may only be called after 5:00 p.m. Eastern Standard Time (EST) to the Emergency Center personnel at (800) 855-6388.

Occurrence
 Within 24 hours, a written accident report must be submitted to the SWPCB and NCEM. The report must include:
 (a) Name of violator, address, city, county and state.
 (b) Name of the facility, address, city, county and state.
 (c) Name of the person who reported the occurrence.
 (d) Name of the person who investigated the occurrence.
 (e) Name of the person who prepared the report.
 (f) Name of the person who reviewed the report.
 (g) Name of the person who approved the report.
 (h) Name of the person who signed the report.
 (i) Name of the person who filed the report.
 (j) Name of the person who received the report.
 (k) Name of the person who processed the report.
 (l) Name of the person who reviewed the report.
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
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Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING
PLAN

FOR

**KEYSTONE CUSTOM
HOMES
WEDDINGTON**

PIN 07150015
3009 FOREST LAWN DRIVE
WEDDINGTON
UNION COUNTY
NORTH CAROLINA

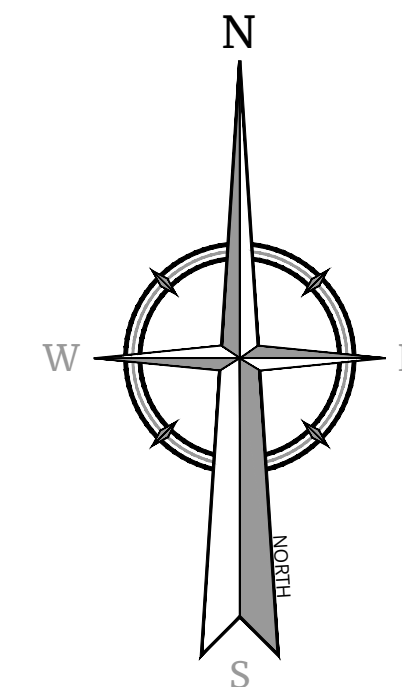
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SHEET TITLE:

SOIL EROSION & SEDIMENT
CONTROL DETAILS

SHEET NUMBER: C-505



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| 396 | 11-9-83 | | |
| 397 | 1 | | |

Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING
PLAN
FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

Colliers

**Engineering
& Design,
Architecture, Landscape
Architecture, Surveying, C.T.P.C.**

| | | | |
|------------------------------|-------------------|-------------------------|-------------------|
| SCALE: AS SHOWN | DATE: 09/25/25 | DRAWN BY: NWB | CHECKED BY: CW |
| PROJECT NUMBER: 25003536A | | DRAWING NAME: C-LAND | |

TREE REMOVAL PLAN

SHEET NUMBER: C-600

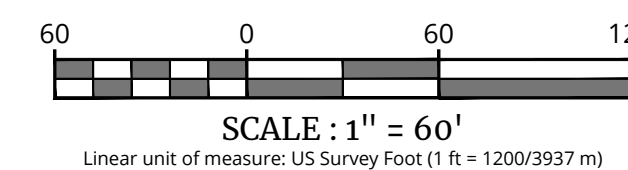
NOTES

1. SEE SHEET C-001 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHERS PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION; IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
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4. CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND COMPLY TO THE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
6. SITE TO BE FULLY PERMANENTLY STABILIZED, WITH NO AREAS LEFT AS BARE SOILS.

HERITAGE TREE REMOVAL

HERITAGE TREES INSIDE BUILDABLE AREA= 123 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMOVED = 107 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMAINING = 16 TREES

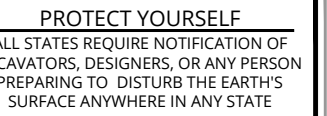
| EXISTING | LEGEND | PROPOSED |
|----------|---|----------|
| | TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) | |
| | RIGHT OF WAY LINE | |
| | PROPERTY LINE | |
| | EDGE OF PAVEMENT | |
| | CURB | |
| | DEPRESSED CURB | |
| | SIDEWALK | |
| | FENCES | |
| | TREELINE | |
| | ROADWAY SIGNS | |
| | WETLAND LINE | |
| | MUNICIPAL BOUNDARY LINE | |
| | STALL COUNT | |
| | ADA ACCESSIBLE STALL | |
| | DEPRESSED CURB AND ADA RAMP | |
| | DIRECTION OF TRAFFIC FLOW | |



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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Architecture, Surveying, CT P.C.
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CONSULTING



| REV | DATE | DRAWN BY | DESCRIPTION |
|-----|------|----------|-------------|
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CONDITIONAL ZONING
PLAN
FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

Colliers
Engineering
& Design,
Architecture, Landscape
Architecture, Surveying, CT P.C.

| | | | |
|-----------------|----------|---------------|-------------|
| CALE: | DATE: | DRAWN BY: | CHECKED BY: |
| AS SHOWN | 09/25/25 | NWB | CW |
| PROJECT NUMBER: | | DRAWING NAME: | |
| 25003536A | | C-LAND | |

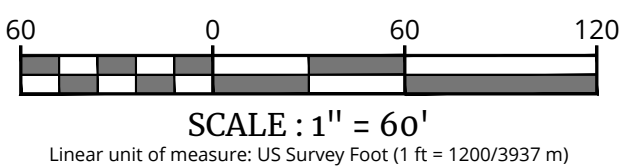
ET NUMBER:
C-601

1. SEE SHEET C-001 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHERS PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
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6. SITE TO BE FULLY PERMANENTLY STABILIZED, WITH NO AREAS LEFT AS BARE SOILS.

BUFFER TREES REQUIRED = 39 TREES 
 BUFFER TREES PROVIDED = 39 TREES
 LOT TREES REQUIRED = 48 TREES 
 LOT TREES PROVIDED = 48 TREES
 STREET TREES REQUIRED = 24 TREES 
 STREET TREES PROVIDED = 24 TREES
 TOTAL HERITAGE TREES = 192 TREES
 TOTAL HERITAGE TREES REMOVED = 111 TREES
 TOTAL HERITAGE TREES REMAINING = 81 TREES

HERITAGE TREES INSIDE BUILDABLE AREA= 123 TREES
 HERITAGE TREES INSIDE BUILDABLE AREA REMOVED = 107 TREES
 HERITAGE TREES INSIDE BUILDABLE AREA REMAINING = 16 TREES

| EXISTING | | LEGEND | | PROPOSED | |
|----------|---|--------|--|----------|--|
| | TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) | | | | |
| | RIGHT OF WAY LINE | | | | |
| | PROPERTY LINE | | | | |
| | EDGE OF PAVEMENT | | | | |
| | CURB | | | | |
| | DEPRESSED CURB | | | | |
| | SIDEWALK | | | | |
| | FENCES | | | | |
| | TREELINE | | | | |
| | ROADWAY SIGNS | | | | |
| | WETLAND LINE | | | | |
| | MUNICIPAL BOUNDARY LINE | | | | |
| | STALL COUNT | | | | |
| | ADA ACCESSIBLE STALL | | | | |
| | DEPRESSED CURB AND ADA RAMP | | | | |
| | DIRECTION OF TRAFFIC FLOW | | | | |



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION





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CONSULTING



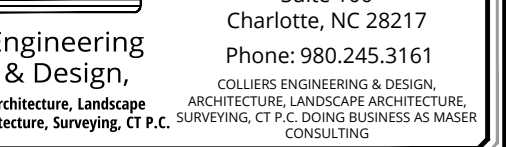
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| 99 | 99 | 99 | 99 |
| 100 | 100 | 100 | 100 |

CONDITIONAL ZONING PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
009 FOREST LAWN DRIVE

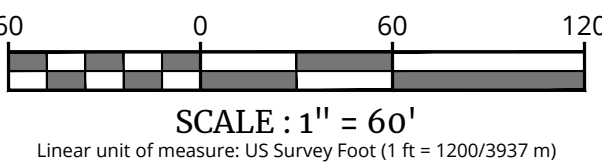
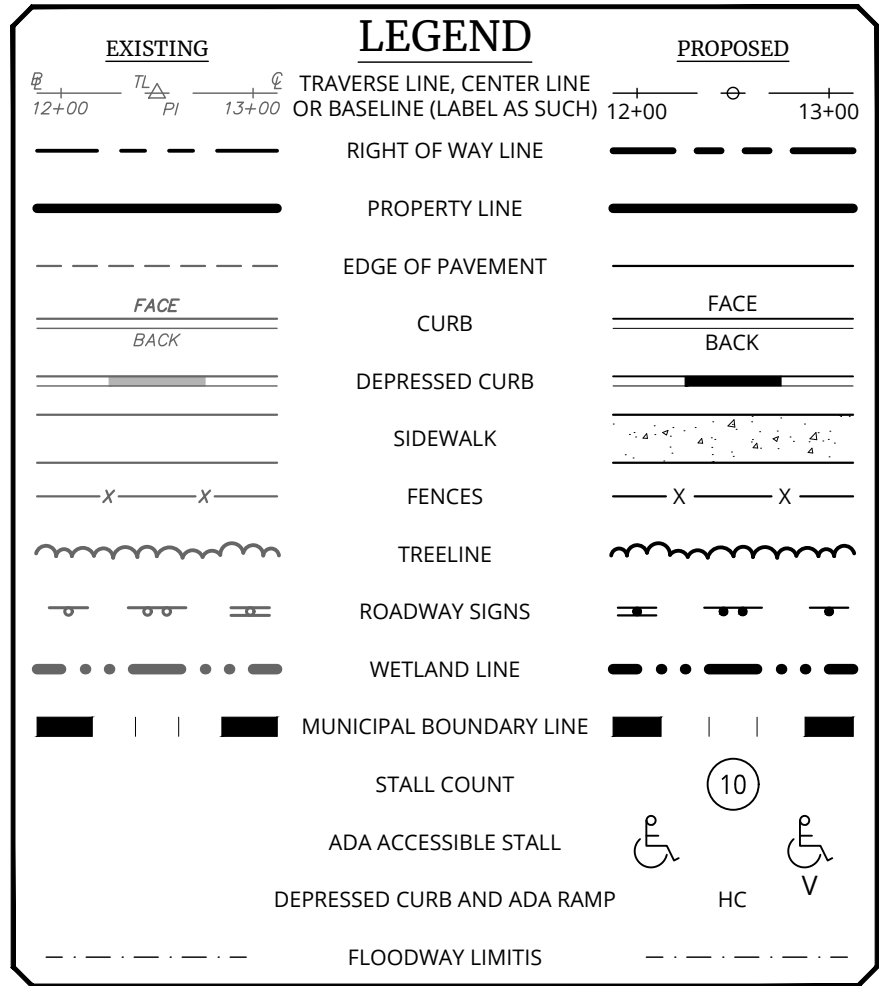
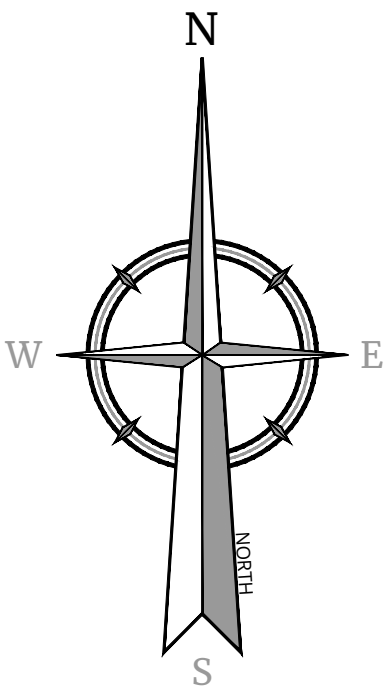
WEDDINGTON
UNION COUNTY
NORTH CAROLINA



SHEET TITLE:

LIGHTING PLAN



SHEET NUMBER: C-700



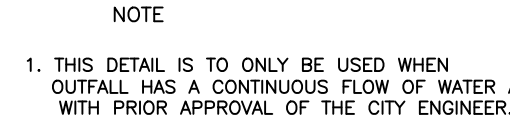
NOTES

1. SEE SHEET C-01 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION; IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEDICATES ALL WORK ASSOCIATED WITH THE PROJECT.
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SITE LUMINAIRE SCHEDULE

| Symbol | Qty | Label | Arrangement | Description |
|---|-----|-------|-------------------------|---|
|  | 2 | A | SINGLE POLE LIGHT | D821-LED-60-30-U-5-TD-B, TYPE 5. POLE MOUNTED. MOUNTING HEIGHT: 12 FT. |
|  | 5 | B | SINGLE POLE LIGHT | D824-LED-60-30-UNV-LP-T2, TYPE 2, POLE MOUNTED. MOUNTING HEIGHT: 22 FT (20 FT TALL POLE ON TOP OF 2' POLE BASE) |

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



| PIPE SIZE | A | B | C | D | E | F | G | WT. RIB RAP IN TONS |
|-----------|-----|-----|--------|--------|----|--------|--------|---------------------|
| 15" | 10" | 7" | 1 1/2" | 1" | 1" | 4 1/2" | 3" | |
| 18" | 12" | 8" | 2" | 1" | 1" | 5" | 4" | 6 |
| 21" | 15" | 9" | 2 1/2" | 1 1/2" | 1" | 7" | 4 1/2" | 12 |
| 24" | 17" | 10" | 2 1/2" | 1 1/2" | 1" | 8" | 5 1/2" | 15 |
| 30" | 20" | 13" | 3" | 2" | 2" | 9" | 6" | 22 |
| 36" | 24" | 16" | 3 1/2" | 2" | 2" | 9 1/2" | 7" | 33 |

RIP RAP PLUNGE POOL

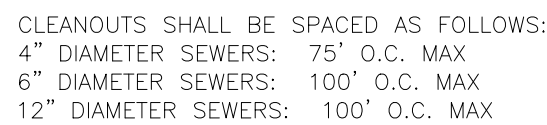
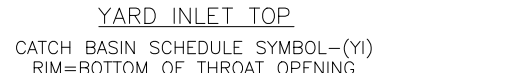
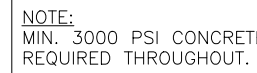
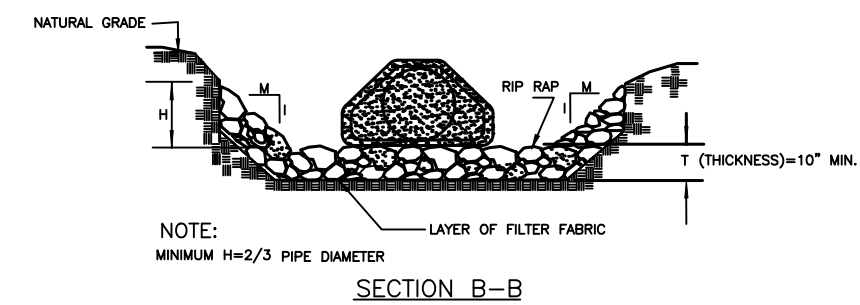
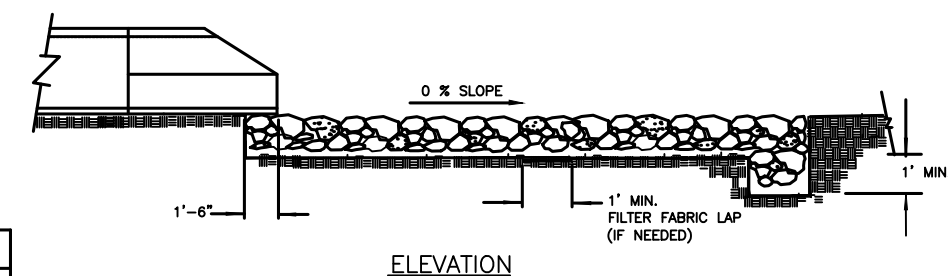


Diagram illustrating the cross-section of a stone apron. The structure is trapezoidal, resting on a stone base. The top width is labeled W_2 and the bottom width is labeled W_1 . The height of the structure is indicated as 65 (10' MIN.). The top edge is labeled "END OF FLARED SECTION" and the bottom edge is labeled "END OF APRON".



1. NOTES:
2. CROSS OR MEDIAN SIZE OF RIPRAP AND LENGTH, WIDTH AND DEPTH OF APRON TO BE DESIGNED BY THE ENGINEER.
3. REFER TO THE CHARLOTTE MECKLENBURG STORM WATER DESIGN MANUAL FOR RIPRAP DESIGN.
4. RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 2:1 AND A HEIGHT NOT LESS THAN TWO TIMES THE PIPE DIAMETER OR CULVERT HEIGHT.
5. THERE SHALL BE NO OVERTFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE SLOPED SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE CULVERT OR PIPE SHALL BE AT LEAST AT THIS DOWNSTREAM END.
6. THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL, MAXIMUM TAPER TO RECEIVING CHANNEL 5:1.
7. ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
8. THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
9. NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE ALLOWED.
10. FILTER FABRIC SHALL BE INSTALLED ON COMPACTED SUBGRADE PRIOR TO PLACEMENT OF RIP RAP.
11. ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.

USE USDA NOMOGRAPH FROM NC SEDIMENT AND EROSION CONTROL MANUAL OF
CHARLOTTE MECKLENBURG STORM WATER DESIGN MANUAL FOR DESIGN DATA.

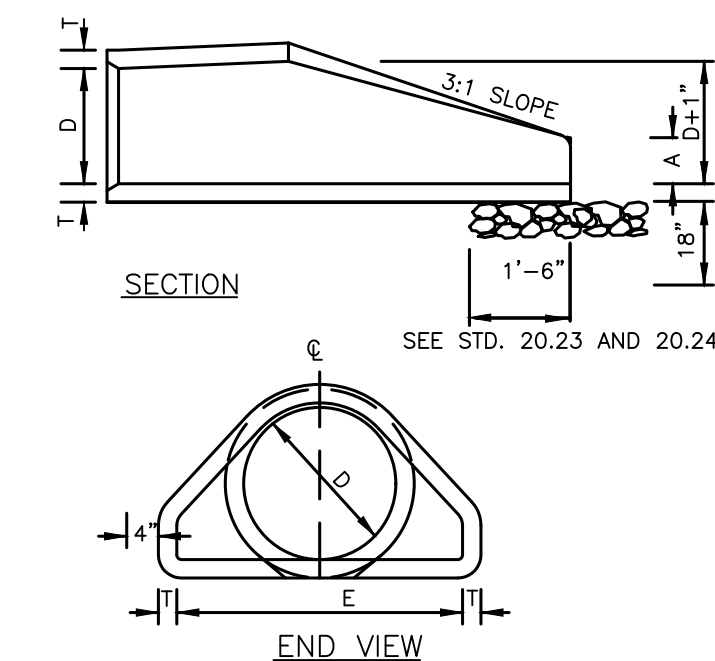
| OUTLET | Lo | W1 | W2 | *T | H |
|--------|----|----|----|----|---|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

- * d50 (see fig 8.06 a&b) NC SEDIMENT AND EROSION CONTROL MANUAL
 $d_{max} = 1.5 \times d_{50}$
 $T = 1.5 \times d_{max}$
 $T(\min.) = 10''$

| D | T | A | B | C | E | L | WT. |
|-----|---------------|-------|-------|--------|-------|-----------|-------|
| 12" | 2-1/4" | 4" | 2'-0" | 4'-10" | 2'-0" | 6'-1-1/2" | 730 |
| 15" | 2-1/4" | 6" | 2'-3" | 3'-10" | 2'-0" | 6'-1-1/2" | 730 |
| 18" | 2-1/2" | 9" | 2'-3" | 3'-10" | 3'-0" | 6'-1-1/2" | 1190 |
| 24" | 3" | 10" | 3'-8" | 2'-6" | 4'-0" | 6'-2-1/2" | 1770 |
| 30" | 3-1/2" | 1'-0" | 4'-6" | 1'-11" | 5'-0" | 6'-2-1/2" | 2380 |
| 36" | 4" | 1'-3" | 5'-3" | 2'-8" | 6'-0" | 8'-2" | 5320 |
| 42" | 4-1/2" | 1'-9" | 5'-3" | 2'-11" | 6'-6" | 8'-2" | 5920 |
| 48" | 5" | 2'-0" | 5'-0" | 2'-2" | 7'-5" | 8'-2" | 7470 |
| 54" | 5-1/2" | 2'-6" | 5'-6" | 2'-2" | 7'-5" | 8'-2" | 8810 |
| 60" | 6" | 3'-0" | 5'-0" | 2'-3" | 8'-0" | 8'-3" | 10230 |
| 66" | 6-1/2" | 3'-6" | 5'-0" | 2'-3" | 8'-6" | 8'-3" | 12530 |
| 72" | 7" | 3'-0" | 6'-6" | 1'-9" | 9'-0" | 8'-3" | 13980 |

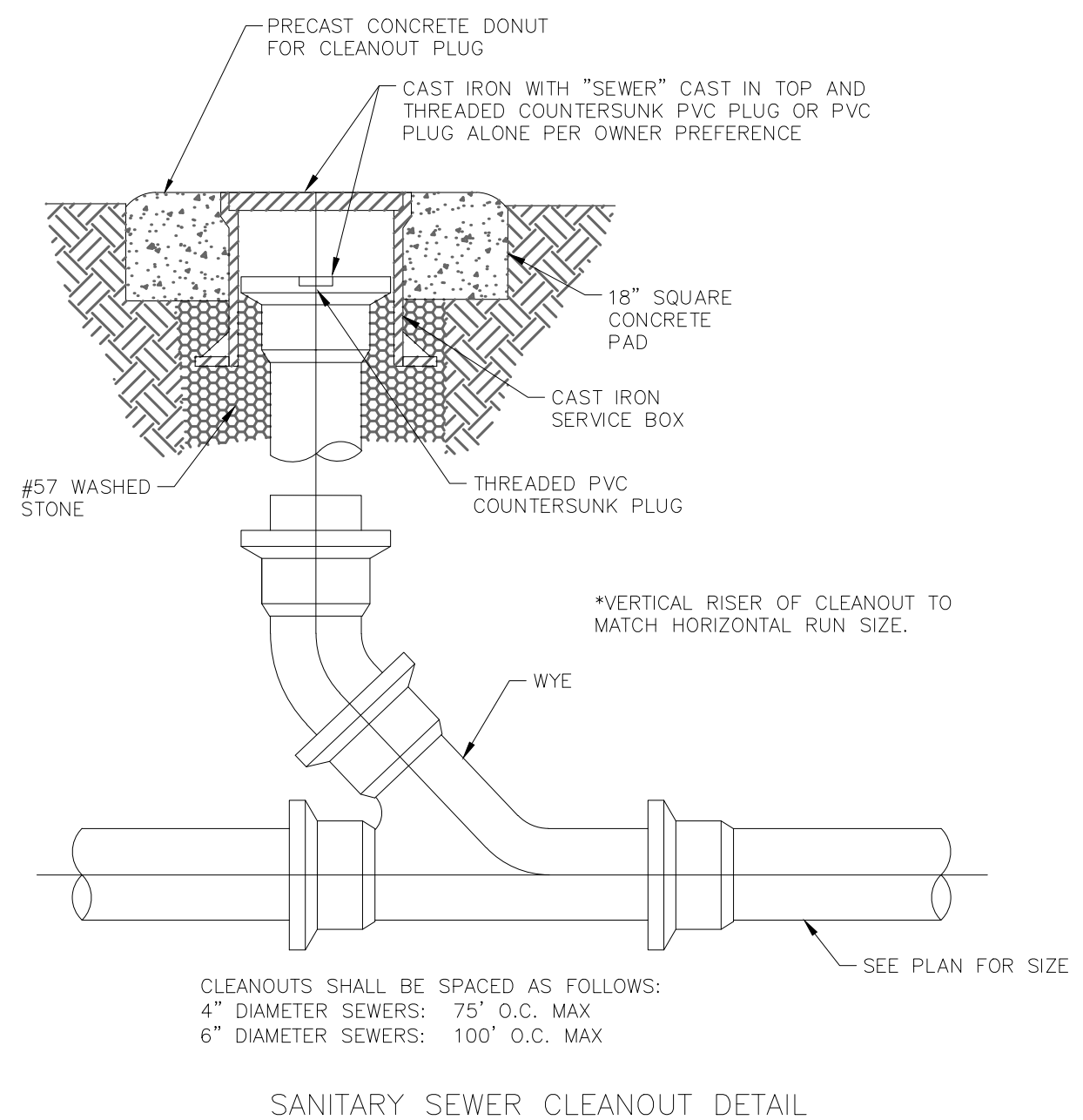
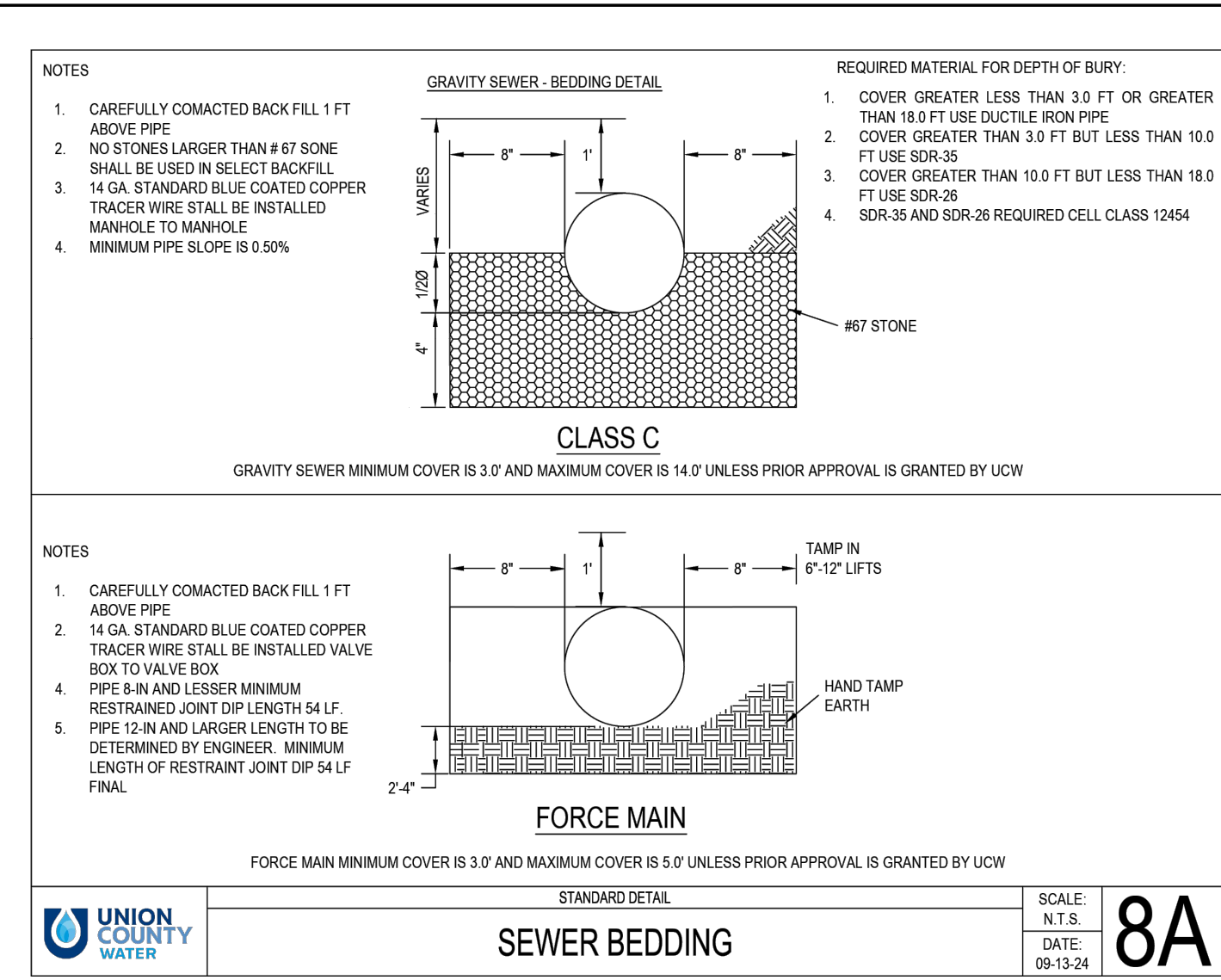
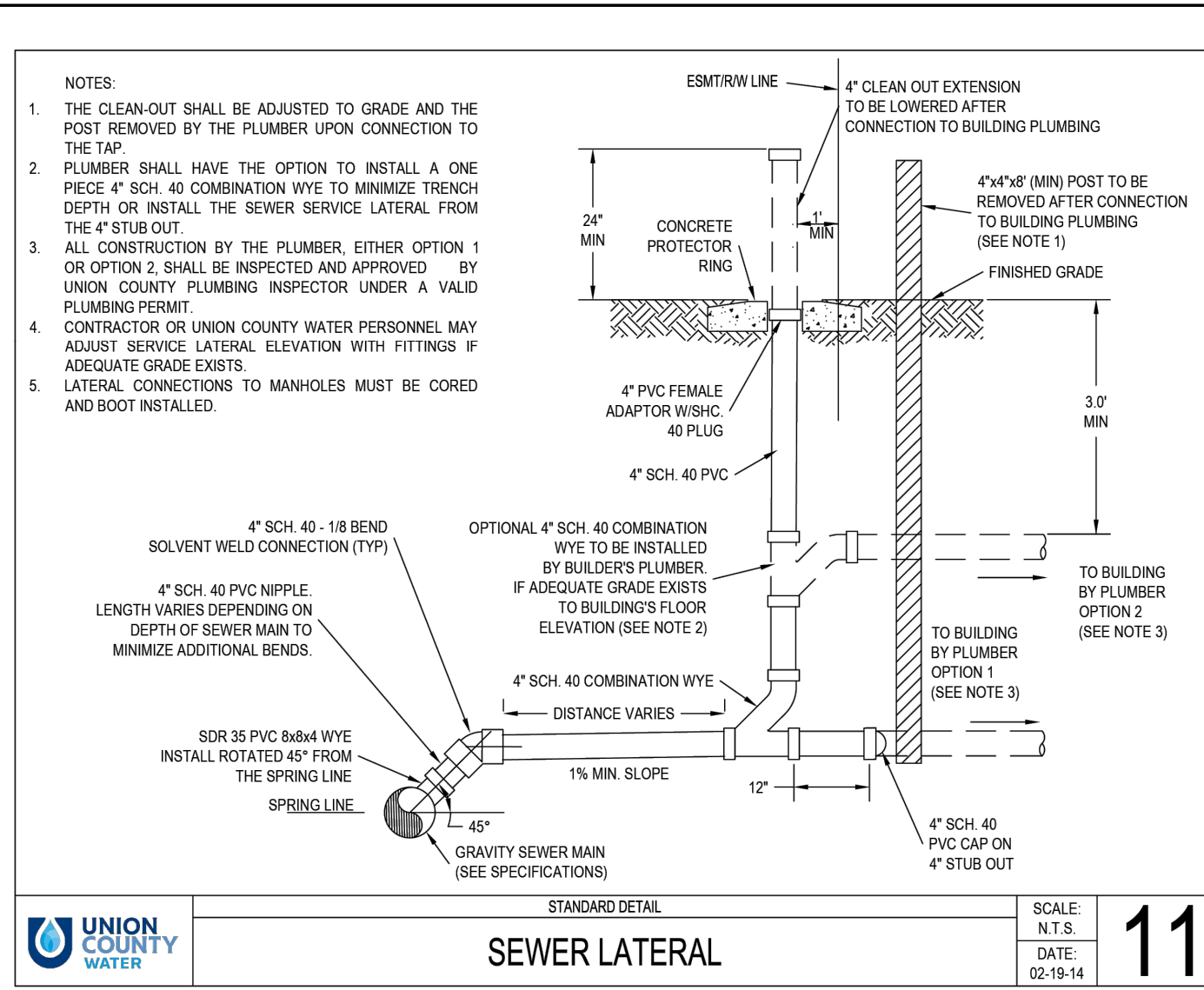
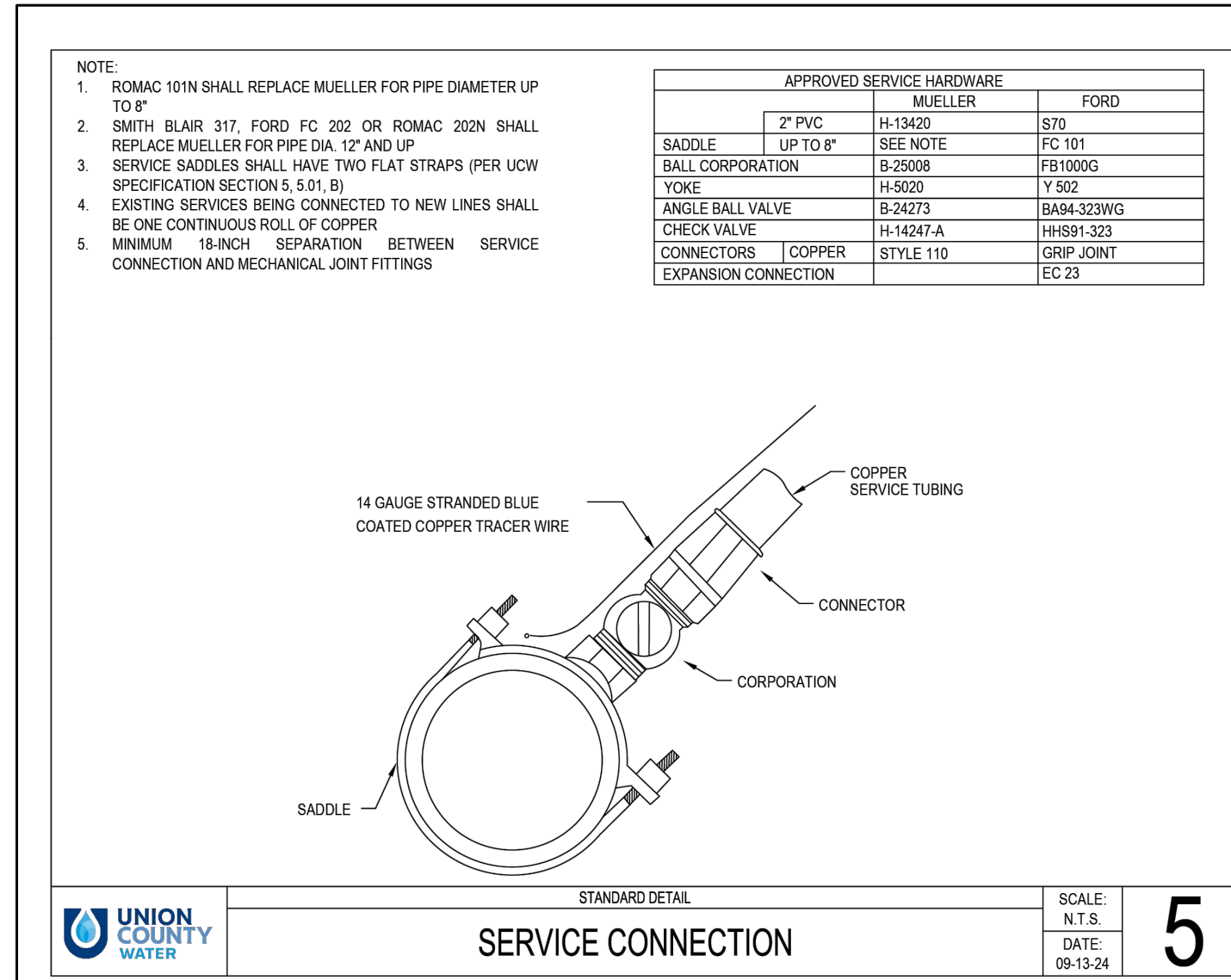
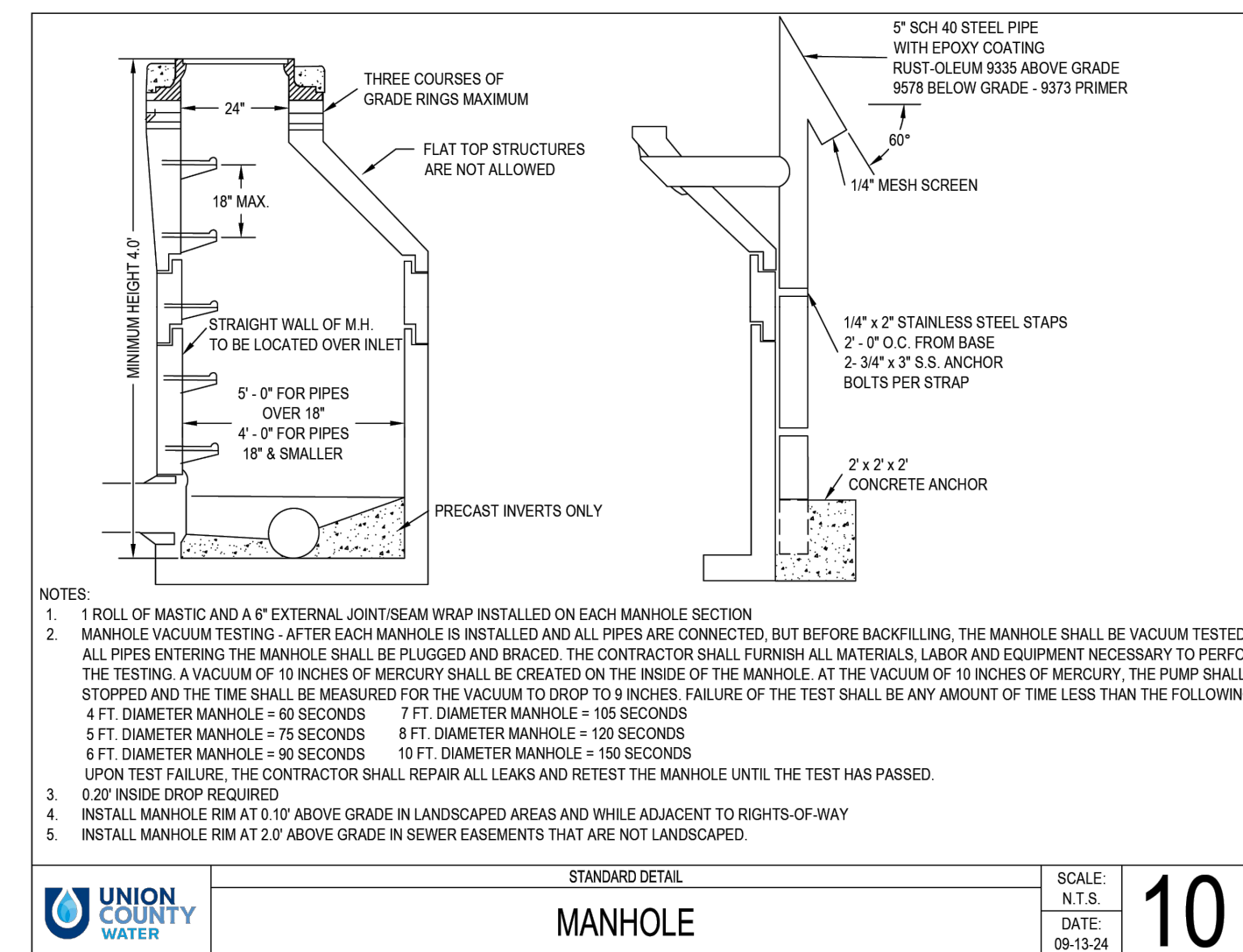
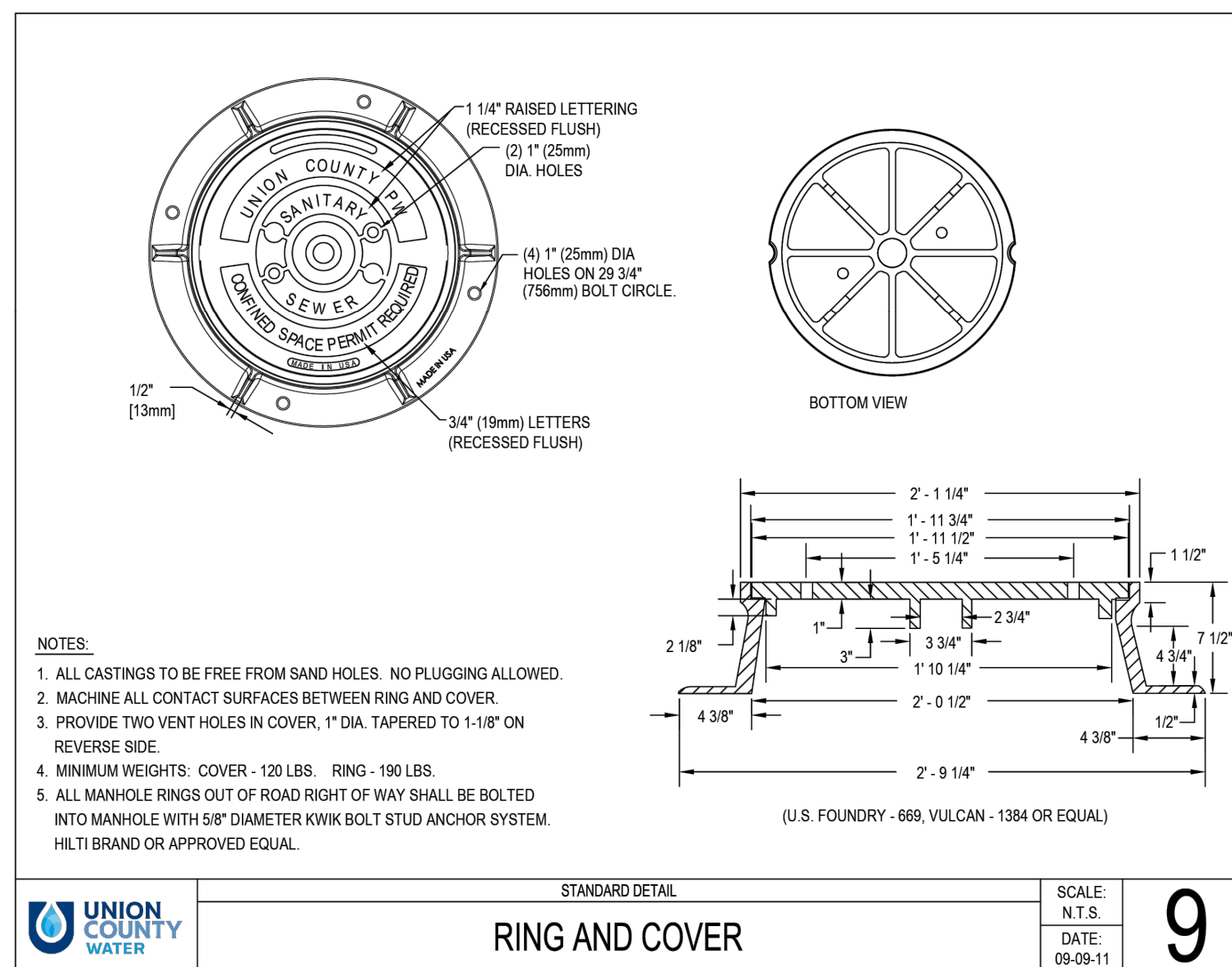
GENERAL NOTES:


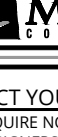




1. SEE FORMER NCDOT STANDARD 310.01 FOR DETAILS.
2. REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF REINFORCED CONCRETE PIPE OF LIKE DIAMETER PER AASHTO M170, TABLE 2, WALL B.
3. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
4. PROVIDE TONGUE OR SPIGOT JOINT AT INLET END SECTION.
5. PROVIDE GROOVE OR BELL JOINT AT OUTLET END SECTION.
6. THE DIMENSIONS FOR END SECTIONS SHALL SUBSTANTIALLY AGREE WITH THE TABLE. MINOR VARIATIONS WILL BE PERMITTED BASED ON THE MANUFACTURER'S STANDARD FORMS AND TEMPLATES.
7. NOT TO BE USED IN NCDOT MAINTAINED RIGHT OF WAY.



FLARED END SECTION
12" THRU 72" PIPE
NOT TO SCALE

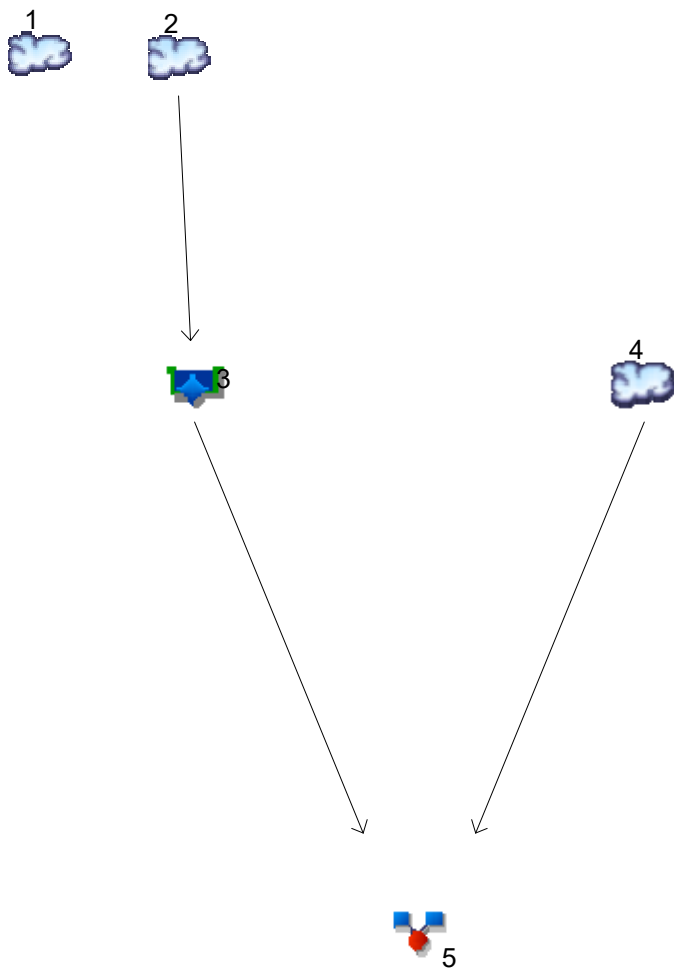
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|----------|--|-----------|---|-------------|--|--|--|---|--|--|--|--|---|--|--|--|--|--------|--|-------|--|-----------|--|-------------|--|--|--|----------|--|----------|--|-----|--|----|--|--|--|------------------------------|--|--|--|--|-------------------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| <div style="margin-bottom: 10px;"></div> <div style="text-align: center;"><h2 style="margin: 0;">Engineering & Design,</h2><p style="margin: 0;">Architecture, Landscape Architecture, Surveying, CT P.C.</p><p style="margin: 0;">www.colliersengineering.com</p></div> <div style="font-size: small; margin-top: 5px;">Copyright © 2025, Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.</div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Doing Business as | | | | | <div style="float: right;"><div>MASER CONSULTING</div></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <div style="display: flex; justify-content: space-between; align-items: center;"><div style="text-align: center;"><p>811 <i>Call before you dig</i></p></div><div style="text-align: center;"><p>PROTECT YOURSELF</p><p style="font-size: x-small;">ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE</p></div></div> <div style="text-align: center; margin-top: 10px;"><p>FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <div style="display: flex; justify-content: space-between;"><div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">DESCRIPTION</div><div style="flex-grow: 1; display: grid; grid-template-columns: repeat(10, 1fr); gap: 5px;"><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div></div><div style="display: flex; justify-content: space-between;"><div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">DRAWN BY</div><div style="flex-grow: 1; display: grid; grid-template-columns: repeat(10, 1fr); gap: 5px;"><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div></div><div style="display: flex; justify-content: space-between;"><div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">DATE</div><div style="flex-grow: 1; display: grid; grid-template-columns: repeat(10, 1fr); gap: 5px;"><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div></div><div style="display: flex; justify-content: space-between;"><div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold;">REV</div><div style="flex-grow: 1; display: grid; grid-template-columns: repeat(10, 1fr); gap: 5px;"><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div><div style="background-color: #f0f0f0; height: 20px;"></div></div></div></div></div></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <div style="margin-bottom: 10px;"><h2 style="margin: 0;">Casey R. Whiteman</h2><p style="margin: 0;">NORTH CAROLINA PROFESSIONAL ENGINEER LICENSE NUMBER: 059701 COLLIERS ENGINEERING & DESIGN CT, P.C. N.C. # C-4746</p></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <div style="margin-bottom: 10px;"><h2 style="margin: 0;">CONDITIONAL ZONING PLAN</h2><p style="margin: 0;">FOR</p><h2 style="margin: 0;">KEYSTONE CUSTOM HOMES WEDDINGTON</h2></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <div style="margin-bottom: 10px;"><p style="margin: 0;">PIN 07150015</p><p style="margin: 0;">3009 FOREST LAWN DRIVE</p></div> <div style="margin-bottom: 10px;"><p style="margin: 0;">WEDDINGTON</p><p style="margin: 0;">UNION COUNTY</p><p style="margin: 0;">NORTH CAROLINA</p></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"><tr><td colspan="5" style="text-align: center; padding: 5px;"><div style="margin-bottom: 5px;"></div><div style="text-align: center;"><h3 style="margin: 0;">Engineering & Design,</h3><p style="margin: 0;">Architecture, Landscape Architecture, Surveying, CT P.C.</p></div></td><td colspan="5" style="text-align: center; padding: 5px;"><p>CHARLOTTE</p><p>3275 Parkway Plaza Boulevard, Suite 100 Charlotte, NC 28217 Phone: 980.245.3161</p><p style="font-size: x-small;">COLLIERS ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING, CT P.C. DOING BUSINESS AS MASER CONSULTING</p></td></tr><tr><td colspan="2" style="padding: 5px;">SCALE:</td><td colspan="2" style="padding: 5px;">DATE:</td><td colspan="2" style="padding: 5px;">DRAWN BY:</td><td colspan="4" style="padding: 5px;">CHECKED BY:</td></tr><tr><td colspan="2" style="padding: 5px;">AS SHOWN</td><td colspan="2" style="padding: 5px;">09/25/25</td><td colspan="2" style="padding: 5px;">NWB</td><td colspan="4" style="padding: 5px;">CW</td></tr><tr><td colspan="5" style="padding: 5px;">PROJECT NUMBER: 25003536A</td><td colspan="5" style="padding: 5px;">DRAWING NAME: C-DTLS</td></tr><tr><td colspan="10" style="padding: 5px;">SHEET TITLE: <h2 style="margin: 0; text-align: center;">SANITARY SEWER DETAILS</h2></td></tr><tr><td colspan="10" style="padding: 5px;">SHEET NUMBER: <h2 style="margin: 0; text-align: center;">C-803</h2></td></tr></table> | | | | | | | | | | <div style="margin-bottom: 5px;"></div> <div style="text-align: center;"><h3 style="margin: 0;">Engineering & Design,</h3><p style="margin: 0;">Architecture, Landscape Architecture, Surveying, CT P.C.</p></div> | | | | | <p>CHARLOTTE</p> <p>3275 Parkway Plaza Boulevard, Suite 100 Charlotte, NC 28217 Phone: 980.245.3161</p> <p style="font-size: x-small;">COLLIERS ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING, CT P.C. DOING BUSINESS AS MASER CONSULTING</p> | | | | | SCALE: | | DATE: | | DRAWN BY: | | CHECKED BY: | | | | AS SHOWN | | 09/25/25 | | NWB | | CW | | | | PROJECT NUMBER: 25003536A | | | | | DRAWING NAME: C-DTLS | | | | | SHEET TITLE: <h2 style="margin: 0; text-align: center;">SANITARY SEWER DETAILS</h2> | | | | | | | | | | SHEET NUMBER: <h2 style="margin: 0; text-align: center;">C-803</h2> | | | | | | | | | |
| <div style="margin-bottom: 5px;"></div> <div style="text-align: center;"><h3 style="margin: 0;">Engineering & Design,</h3><p style="margin: 0;">Architecture, Landscape Architecture, Surveying, CT P.C.</p></div> | | | | | <p>CHARLOTTE</p> <p>3275 Parkway Plaza Boulevard, Suite 100 Charlotte, NC 28217 Phone: 980.245.3161</p> <p style="font-size: x-small;">COLLIERS ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING, CT P.C. DOING BUSINESS AS MASER CONSULTING</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SCALE: | | DATE: | | DRAWN BY: | | CHECKED BY: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AS SHOWN | | 09/25/25 | | NWB | | CW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROJECT NUMBER: 25003536A | | | | | DRAWING NAME: C-DTLS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SHEET TITLE: <h2 style="margin: 0; text-align: center;">SANITARY SEWER DETAILS</h2> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SHEET NUMBER: <h2 style="margin: 0; text-align: center;">C-803</h2> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025



Legend

| Hyd. | Origin | Description |
|------|------------|------------------|
| 1 | SCS Runoff | Existing DA |
| 2 | SCS Runoff | Proposed DA |
| 3 | Reservoir | Wet Pond |
| 4 | SCS Runoff | Bypass |
| 5 | Combine | <no description> |

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

| Hyd. No. | Hydrograph type (origin) | Peak flow (cfs) | Time interval (min) | Time to Peak (min) | Hyd. volume (cuft) | Inflow hyd(s) | Maximum elevation (ft) | Total strge used (cuft) | Hydrograph Description |
|-----------------------------------|--------------------------|-----------------|---------------------|--------------------|-----------------------|---------------|------------------------|-------------------------|------------------------|
| 1 | SCS Runoff | 3.912 | 2 | 722 | 13,400 | ----- | ----- | ----- | Existing DA |
| 2 | SCS Runoff | 10.31 | 2 | 718 | 20,642 | ----- | ----- | ----- | Proposed DA |
| 3 | Reservoir | 0.390 | 2 | 838 | 19,866 | 2 | 630.81 | 11,768 | Wet Pond |
| 4 | SCS Runoff | 0.686 | 2 | 718 | 1,972 | ----- | ----- | ----- | Bypass |
| 5 | Combine | 0.732 | 2 | 718 | 21,838 | 3, 4 | ----- | ----- | <no description> |
| Keystone Wet Pond Hydrographs.gpw | | | | | Return Period: 1 Year | | | Monday, 08 / 18 / 2025 | |

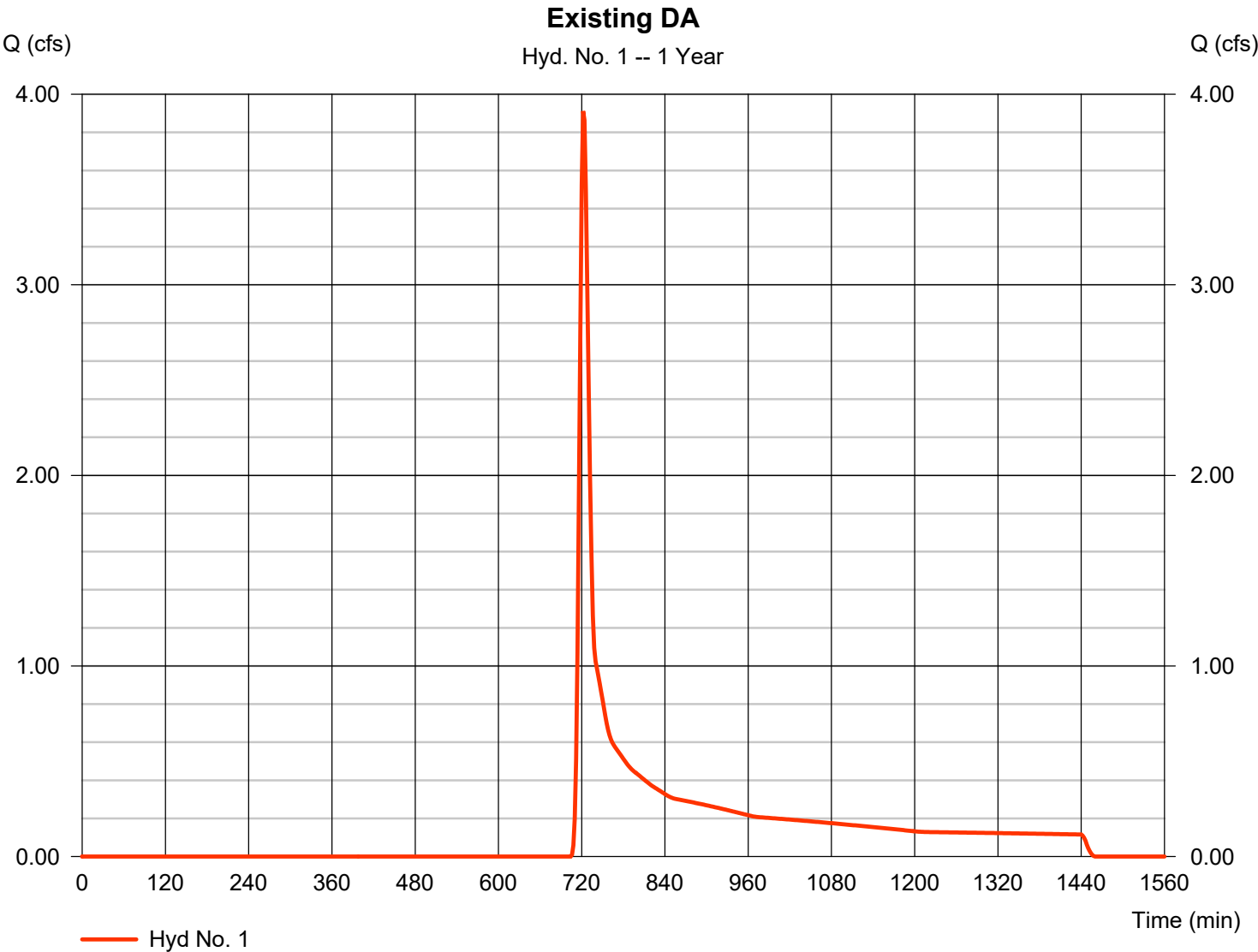
Hydrograph Report

Hyd. No. 1

Existing DA

| | | | |
|-----------------|--------------|--------------------|---------------|
| Hydrograph type | = SCS Runoff | Peak discharge | = 3.912 cfs |
| Storm frequency | = 1 yrs | Time to peak | = 722 min |
| Time interval | = 2 min | Hyd. volume | = 13,400 cuft |
| Drainage area | = 8.070 ac | Curve number | = 65* |
| Basin Slope | = 0.0 % | Hydraulic length | = 0 ft |
| Tc method | = TR55 | Time of conc. (Tc) | = 12.90 min |
| Total precip. | = 2.86 in | Distribution | = Type II |
| Storm duration | = 24 hrs | Shape factor | = 484 |

* Composite (Area/CN) = [(1.930 x 69) + (5.630 x 60) + (0.510 x 98)] / 8.070



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No. 1

Existing DA

| <u>Description</u> | <u>A</u> | <u>B</u> | <u>C</u> | <u>Totals</u> | | | |
|------------------------------------|---------------|----------|-------------|------------------|-------------|----------|--------------|
| Sheet Flow | | | | | | | |
| Manning's n-value | = 0.150 | 0.400 | 0.011 | | | | |
| Flow length (ft) | = 30.9 | 69.2 | 0.0 | | | | |
| Two-year 24-hr precip. (in) | = 3.53 | 3.53 | 0.00 | | | | |
| Land slope (%) | = 3.95 | 7.25 | 0.00 | | | | |
| Travel Time (min) | = 2.77 | + | 9.09 | + | 0.00 | = | 11.87 |
| Shallow Concentrated Flow | | | | | | | |
| Flow length (ft) | = 137.00 | 129.00 | 75.00 | | | | |
| Watercourse slope (%) | = 10.27 | 13.19 | 7.98 | | | | |
| Surface description | = Unpaved | Unpaved | Paved | | | | |
| Average velocity (ft/s) | =5.17 | 5.86 | 5.74 | | | | |
| Travel Time (min) | = 0.44 | + | 0.37 | + | 0.22 | = | 1.03 |
| Channel Flow | | | | | | | |
| X sectional flow area (sqft) | = 0.00 | 0.00 | 0.00 | | | | |
| Wetted perimeter (ft) | = 0.00 | 0.00 | 0.00 | | | | |
| Channel slope (%) | = 0.00 | 0.00 | 0.00 | | | | |
| Manning's n-value | = 0.015 | 0.015 | 0.015 | | | | |
| Velocity (ft/s) | =0.00 | 0.00 | 0.00 | | | | |
| Flow length (ft) | (0)0.0 | 0.0 | 0.0 | | | | |
| Travel Time (min) | = 0.00 | + | 0.00 | + | 0.00 | = | 0.00 |
| Total Travel Time, Tc | | | | 12.90 min | | | |

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

| Hyd. No. | Hydrograph type (origin) | Peak flow (cfs) | Time interval (min) | Time to Peak (min) | Hyd. volume (cuft) | Inflow hyd(s) | Maximum elevation (ft) | Total strge used (cuft) | Hydrograph Description |
|-----------------------------------|--------------------------|-----------------|---------------------|--------------------|-----------------------|---------------|------------------------|-------------------------|------------------------|
| 1 | SCS Runoff | 7.439 | 2 | 722 | 21,928 | ----- | ----- | ----- | Existing DA |
| 2 | SCS Runoff | 14.73 | 2 | 718 | 29,496 | ----- | ----- | ----- | Proposed DA |
| 3 | Reservoir | 0.978 | 2 | 768 | 28,701 | 2 | 631.09 | 14,476 | Wet Pond |
| 4 | SCS Runoff | 1.518 | 2 | 718 | 3,465 | ----- | ----- | ----- | Bypass |
| 5 | Combine | 1.577 | 2 | 718 | 32,166 | 3, 4 | ----- | ----- | <no description> |
| Keystone Wet Pond Hydrographs.gpw | | | | | Return Period: 2 Year | | | Monday, 08 / 18 / 2025 | |

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

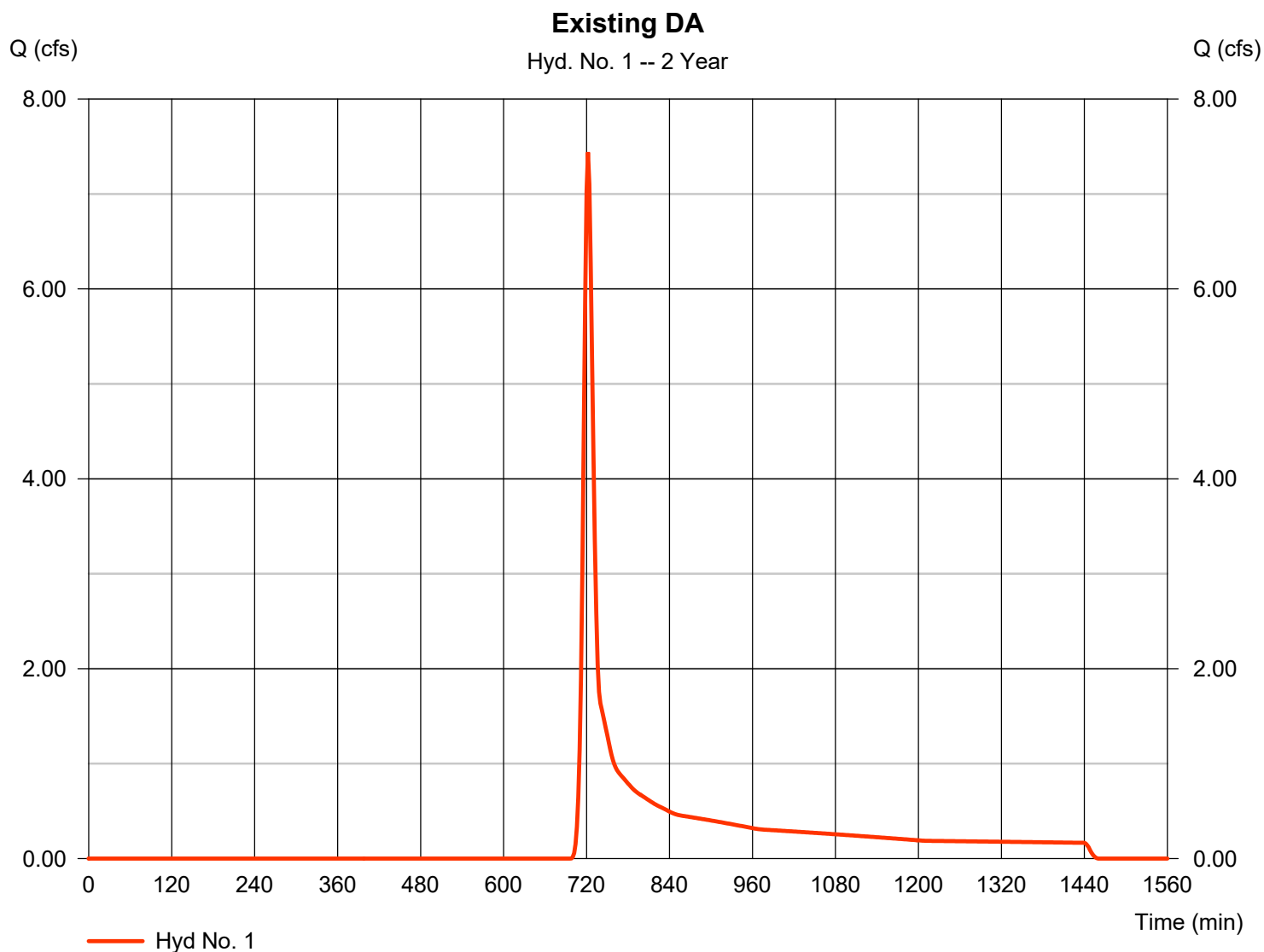
Monday, 08 / 18 / 2025

Hyd. No. 1

Existing DA

| | | | |
|-----------------|--------------|--------------------|---------------|
| Hydrograph type | = SCS Runoff | Peak discharge | = 7.439 cfs |
| Storm frequency | = 2 yrs | Time to peak | = 722 min |
| Time interval | = 2 min | Hyd. volume | = 21,928 cuft |
| Drainage area | = 8.070 ac | Curve number | = 65* |
| Basin Slope | = 0.0 % | Hydraulic length | = 0 ft |
| Tc method | = TR55 | Time of conc. (Tc) | = 12.90 min |
| Total precip. | = 3.45 in | Distribution | = Type II |
| Storm duration | = 24 hrs | Shape factor | = 484 |

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

| Hyd. No. | Hydrograph type (origin) | Peak flow (cfs) | Time interval (min) | Time to Peak (min) | Hyd. volume (cuft) | Inflow hyd(s) | Maximum elevation (ft) | Total strge used (cuft) | Hydrograph Description |
|-----------------------------------|--------------------------|-----------------|---------------------|--------------------|------------------------|---------------|------------------------|-------------------------|------------------------|
| 1 | SCS Runoff | 19.05 | 2 | 722 | 50,758 | ----- | ----- | ----- | Existing DA |
| 2 | SCS Runoff | 27.80 | 2 | 716 | 56,231 | ----- | ----- | ----- | Proposed DA |
| 3 | Reservoir | 5.669 | 2 | 726 | 55,410 | 2 | 632.16 | 26,036 | Wet Pond |
| 4 | SCS Runoff | 4.332 | 2 | 718 | 8,771 | ----- | ----- | ----- | Bypass |
| 5 | Combine | 6.760 | 2 | 724 | 64,181 | 3, 4 | ----- | ----- | <no description> |
| Keystone Wet Pond Hydrographs.gpw | | | | | Return Period: 10 Year | | | Monday, 08 / 18 / 2025 | |

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Monday, 08 / 18 / 2025

Hyd. No. 1

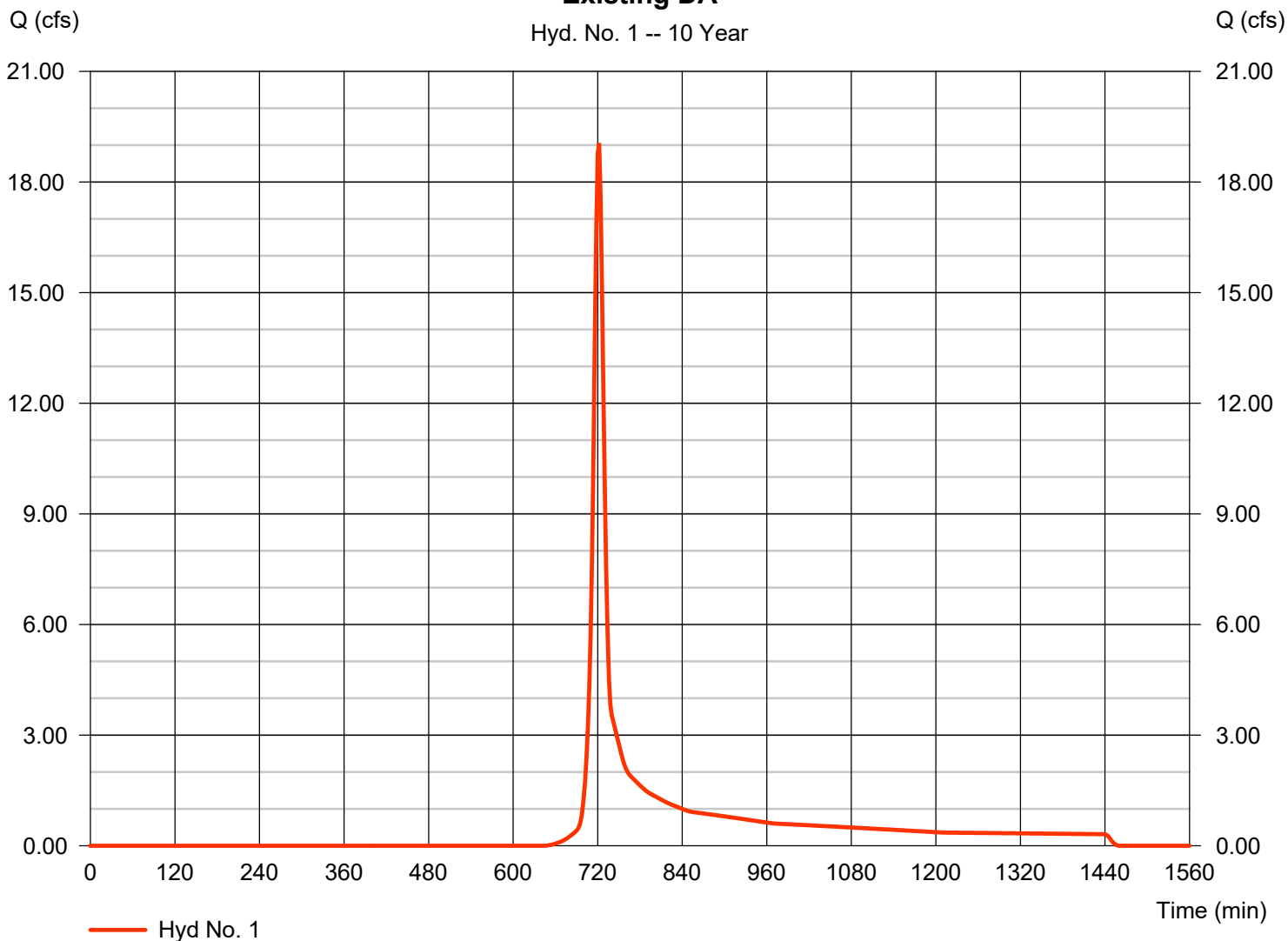
Existing DA

| | | | |
|-----------------|--------------|--------------------|---------------|
| Hydrograph type | = SCS Runoff | Peak discharge | = 19.05 cfs |
| Storm frequency | = 10 yrs | Time to peak | = 722 min |
| Time interval | = 2 min | Hyd. volume | = 50,758 cuft |
| Drainage area | = 8.070 ac | Curve number | = 65* |
| Basin Slope | = 0.0 % | Hydraulic length | = 0 ft |
| Tc method | = TR55 | Time of conc. (Tc) | = 12.90 min |
| Total precip. | = 5.04 in | Distribution | = Type II |
| Storm duration | = 24 hrs | Shape factor | = 484 |

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$

Existing DA

Hyd. No. 1 -- 10 Year



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

| Hyd. No. | Hydrograph type (origin) | Peak flow (cfs) | Time interval (min) | Time to Peak (min) | Hyd. volume (cuft) | Inflow hyd(s) | Maximum elevation (ft) | Total strge used (cuft) | Hydrograph Description |
|-----------------------------------|--------------------------|-----------------|---------------------|--------------------|------------------------|---------------|------------------------|-------------------------|------------------------|
| 1 | SCS Runoff | 26.87 | 2 | 722 | 70,593 | ----- | ----- | ----- | Existing DA |
| 2 | SCS Runoff | 36.02 | 2 | 716 | 73,274 | ----- | ----- | ----- | Proposed DA |
| 3 | Reservoir | 20.92 | 2 | 722 | 72,441 | 2 | 632.50 | 29,938 | Wet Pond |
| 4 | SCS Runoff | 6.263 | 2 | 718 | 12,542 | ----- | ----- | ----- | Bypass |
| 5 | Combine | 24.43 | 2 | 720 | 84,984 | 3, 4 | ----- | ----- | <no description> |
| Keystone Wet Pond Hydrographs.gpw | | | | | Return Period: 25 Year | | | Monday, 08 / 18 / 2025 | |

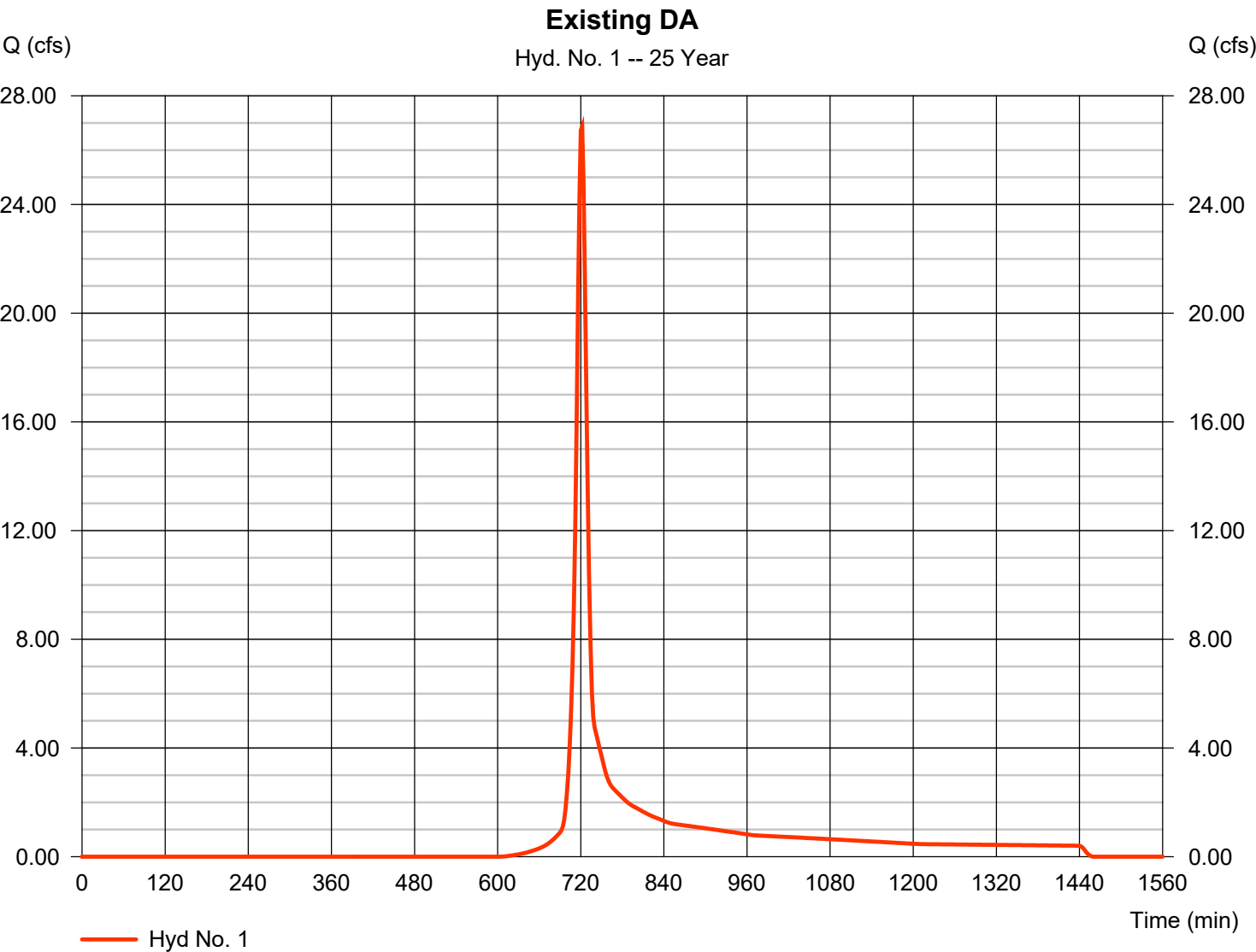
Hydrograph Report

Hyd. No. 1

Existing DA

| | | | |
|-----------------|--------------|--------------------|---------------|
| Hydrograph type | = SCS Runoff | Peak discharge | = 26.87 cfs |
| Storm frequency | = 25 yrs | Time to peak | = 722 min |
| Time interval | = 2 min | Hyd. volume | = 70,593 cuft |
| Drainage area | = 8.070 ac | Curve number | = 65* |
| Basin Slope | = 0.0 % | Hydraulic length | = 0 ft |
| Tc method | = TR55 | Time of conc. (Tc) | = 12.90 min |
| Total precip. | = 5.98 in | Distribution | = Type II |
| Storm duration | = 24 hrs | Shape factor | = 484 |

* Composite (Area/CN) = [(1.930 x 69) + (5.630 x 60) + (0.510 x 98)] / 8.070



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

| Hyd. No. | Hydrograph type (origin) | Peak flow (cfs) | Time interval (min) | Time to Peak (min) | Hyd. volume (cuft) | Inflow hyd(s) | Maximum elevation (ft) | Total strge used (cuft) | Hydrograph Description |
|-----------------------------------|--------------------------|-----------------|---------------------|--------------------|------------------------|---------------|------------------------|-------------------------|------------------------|
| 1 | SCS Runoff | 33.52 | 2 | 720 | 87,696 | ----- | ----- | ----- | Existing DA |
| 2 | SCS Runoff | 42.76 | 2 | 716 | 87,482 | ----- | ----- | ----- | Proposed DA |
| 3 | Reservoir | 32.57 | 2 | 720 | 86,644 | 2 | 632.69 | 32,135 | Wet Pond |
| 4 | SCS Runoff | 7.921 | 2 | 718 | 15,840 | ----- | ----- | ----- | Bypass |
| 5 | Combine | 39.04 | 2 | 720 | 102,484 | 3, 4 | ----- | ----- | <no description> |
| Keystone Wet Pond Hydrographs.gpw | | | | | Return Period: 50 Year | | | Monday, 08 / 18 / 2025 | |

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

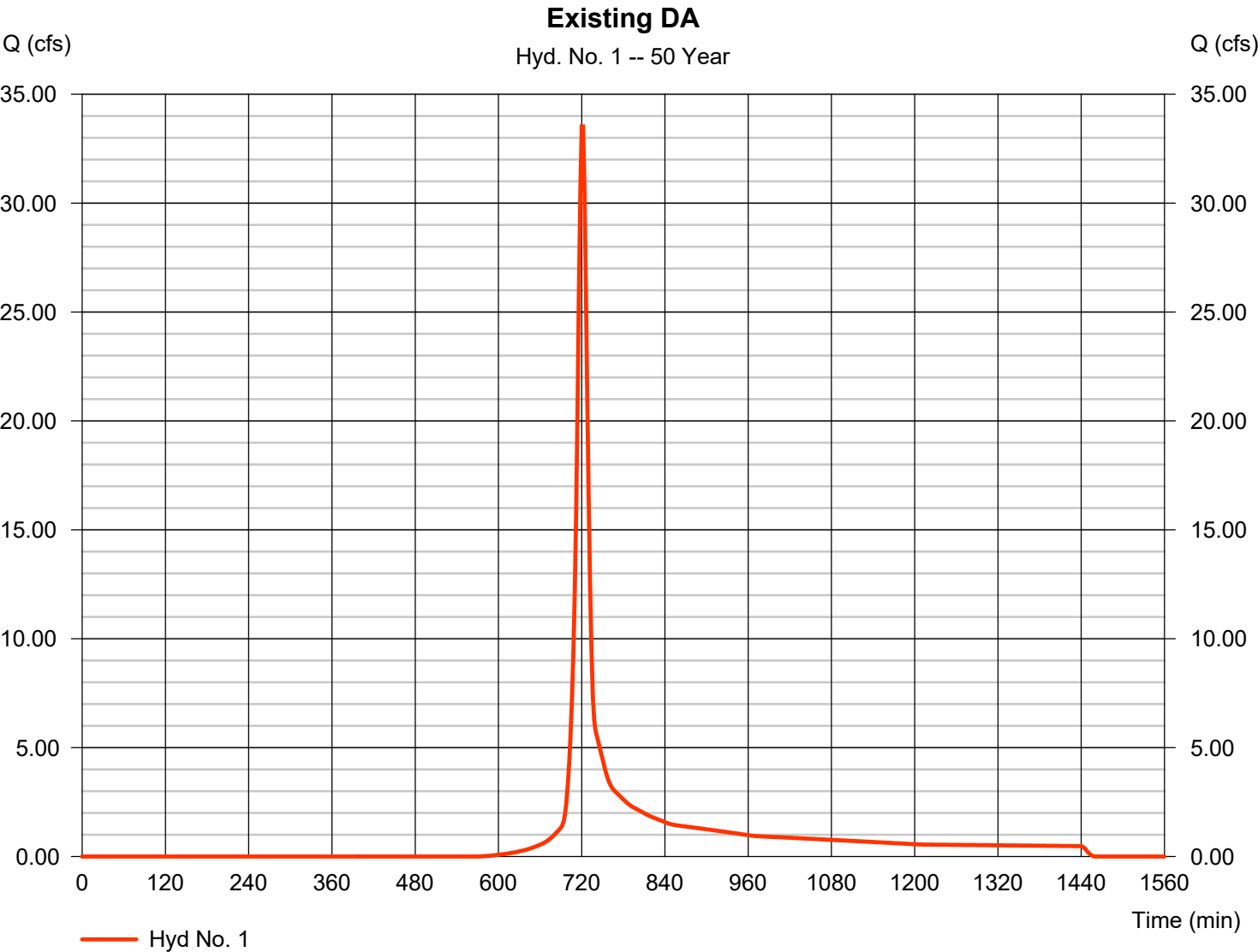
Monday, 08 / 18 / 2025

Hyd. No. 1

Existing DA

| | | | |
|-----------------|--------------|--------------------|---------------|
| Hydrograph type | = SCS Runoff | Peak discharge | = 33.52 cfs |
| Storm frequency | = 50 yrs | Time to peak | = 720 min |
| Time interval | = 2 min | Hyd. volume | = 87,696 cuft |
| Drainage area | = 8.070 ac | Curve number | = 65* |
| Basin Slope | = 0.0 % | Hydraulic length | = 0 ft |
| Tc method | = TR55 | Time of conc. (Tc) | = 12.90 min |
| Total precip. | = 6.74 in | Distribution | = Type II |
| Storm duration | = 24 hrs | Shape factor | = 484 |

* Composite (Area/CN) = [(1.930 x 69) + (5.630 x 60) + (0.510 x 98)] / 8.070



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

| Hyd. No. | Hydrograph type (origin) | Peak flow (cfs) | Time interval (min) | Time to Peak (min) | Hyd. volume (cuft) | Inflow hyd(s) | Maximum elevation (ft) | Total strge used (cuft) | Hydrograph Description |
|-----------------------------------|--------------------------|-----------------|---------------------|--------------------|-------------------------|---------------|------------------------|-------------------------|------------------------|
| 1 | SCS Runoff | 40.66 | 2 | 720 | 105,791 | ----- | ----- | ----- | Existing DA |
| 2 | SCS Runoff | 49.65 | 2 | 716 | 102,172 | ----- | ----- | ----- | Proposed DA |
| 3 | Reservoir | 41.98 | 2 | 720 | 101,329 | 2 | 632.82 | 33,712 | Wet Pond |
| 4 | SCS Runoff | 9.667 | 2 | 718 | 19,364 | ----- | ----- | ----- | Bypass |
| 5 | Combine | 49.89 | 2 | 718 | 120,692 | 3, 4 | ----- | ----- | <no description> |
| Keystone Wet Pond Hydrographs.gpw | | | | | Return Period: 100 Year | | | Monday, 08 / 18 / 2025 | |

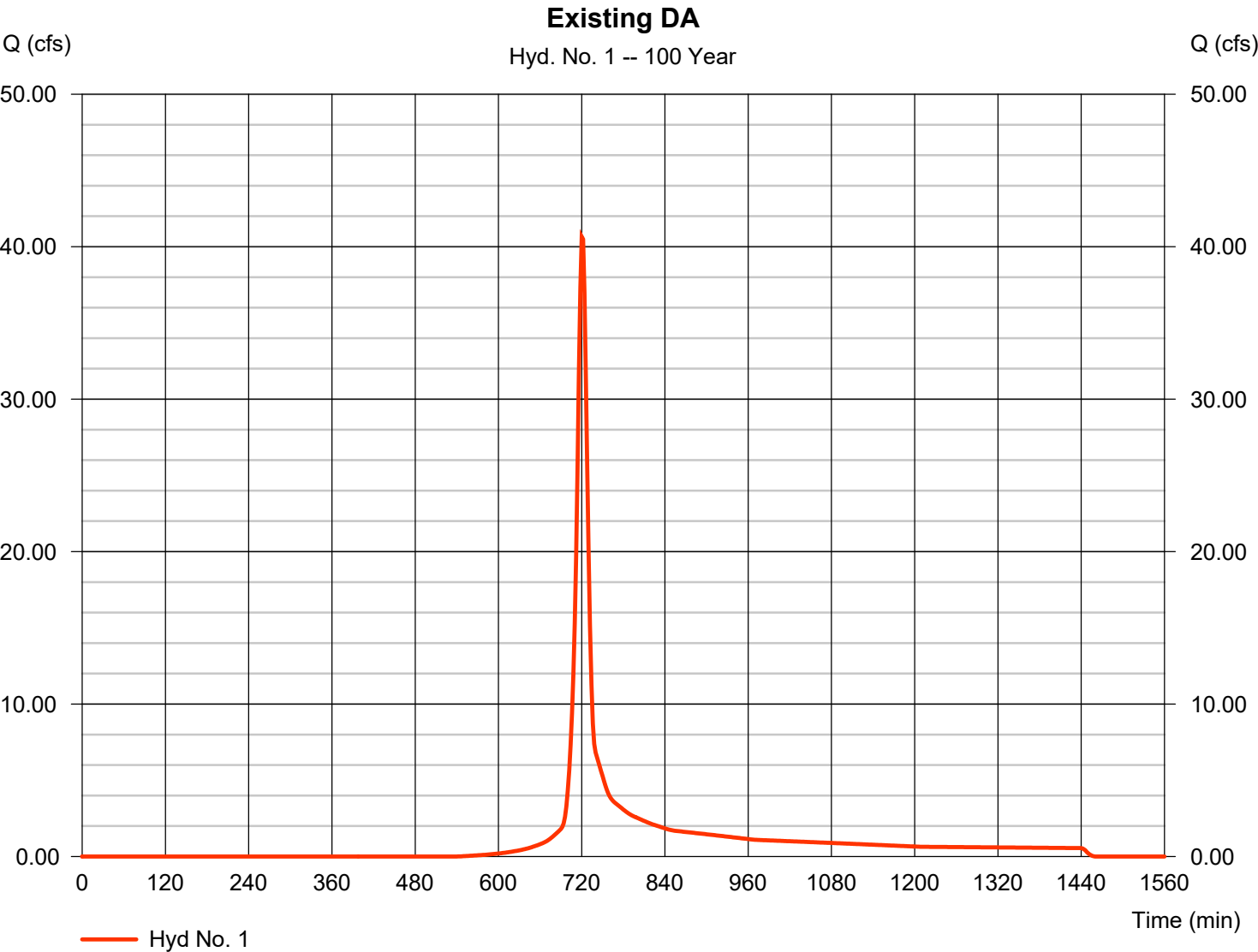
Hydrograph Report

Hyd. No. 1

Existing DA

| | | | | | |
|-----------------|---|------------|--------------------|---|--------------|
| Hydrograph type | = | SCS Runoff | Peak discharge | = | 40.66 cfs |
| Storm frequency | = | 100 yrs | Time to peak | = | 720 min |
| Time interval | = | 2 min | Hyd. volume | = | 105,791 cuft |
| Drainage area | = | 8.070 ac | Curve number | = | 65* |
| Basin Slope | = | 0.0 % | Hydraulic length | = | 0 ft |
| Tc method | = | TR55 | Time of conc. (Tc) | = | 12.90 min |
| Total precip. | = | 7.51 in | Distribution | = | Type II |
| Storm duration | = | 24 hrs | Shape factor | = | 484 |

* Composite (Area/CN) = [(1.930 x 69) + (5.630 x 60) + (0.510 x 98)] / 8.070



COMPOSITE CURVE NUMBERS (CN)

Project Area Soil Types =

CcB2 - Cecil Sandy Clay Loam
CuD2 - Cullen Clay Loam
EnD - Enon Sandy Loam

Input

Calculated

Pre-Construction Conditions:

Pre-Drainage Area #1

| Cover Type/Condition | Soil Classification | CN | Area (SF) | Area (AC) |
|------------------------|---------------------|------|-----------|-----------|
| Brush - Fair Condition | B | 56 | 0 | 0.00 |
| Grass - Fair Condition | B | 69 | 84,231 | 1.93 |
| Woods - Fair Condition | B | 60 | 0 | 0.00 |
| Woods - Fair Condition | B | 60 | 245,281 | 5.63 |
| Impervious | B | 98 | 22,247 | 0.51 |
| TOTAL: | | 64.6 | 351,759 | 8.08 |

*NCDEQ Table 4: HSGs for NC Soil Types - Urban Areas Runoff Curve Numbers for SCS Method

NCDEQ Stormwater Design Manual Revised 3-15-2017

Post-Construction Conditions:

Post-Drainage Area #1

| Cover Type/Condition | Soil Classification | CN | Area (SF) | Area (AC) |
|------------------------|---------------------|------|-----------|-----------|
| Brush - Fair Condition | B | 56 | 0 | 0.00 |
| Woods - Fair Condition | B | 60 | 0 | 0.00 |
| Meadow | B | 58 | 0 | 0.00 |
| Grass - Good Condition | B | 61 | 157,409 | 3.61 |
| Impervious | B | 98 | 113,705 | 2.61 |
| TOTAL: | | 76.5 | 271,113 | 6.22 |

Water Quality Calculations

| Input |
|------------|
| Calculated |

| | | |
|----------------------|-------|----|
| Drainage Area | 6.22 | ac |
| Impervious Area | 2.61 | ac |
| Impervious % | 42% | |
| Estimated Avg. Depth | 3.00 | ft |
| SA/DA Ratio | 1.74 | % |
| SA Required | 0.11 | ac |
| SA Required | 4,706 | sf |
| | | |

| SA/DA Ratio | | | |
|-----------------------|-----------------------------------|------|------|
| % Impervious Cover | Permanent Pool Average Depth (ft) | | |
| | 2.50 | 3.00 | 3.50 |
| 40% | FALSE | 1.51 | 1.38 |
| 42% | 0.00 | 1.74 | 1.60 |
| 50% | FALSE | 1.79 | 1.65 |

*C-3 Table 1 (Piedmont and Mountain Region)
(NCDEQ BMP Design Manual revised 11-23-2020)

Main Pool Calculations

* Average Depth calculations are based on Equation 3 of Wet Pond MDC 2 of the NCDEQ Stormwater Design Manual

| | | |
|--------------------------|-------|--------------|
| Main Pool Provided Depth | 3.50 | ft |
| Calc Avg. Depth | 3.07 | ft (PROCEED) |
| SA Provided | 7,815 | sf (PROCEED) |
| SA Provided | 0.18 | ac |

| | | |
|--------------------------|--------|----|
| D _{MAX} | 0.50 | ft |
| Perimeter _{PP} | 337.87 | ft |
| Width _{SUBMERG} | 3.00 | ft |
| V _{SHELF} | 253.40 | cf |

Volume Calculation (Average End Method)

| Stage (ft) | Elevation (ft) | Area (sf) | Inc. Vol. (cf) | Acc Vol. (cf) | |
|---------------|-------------------|--------------|-------------------|------------------|----------------------------|
| | 626.00 | | | | Bottom of Sediment Removal |
| 0.00 | 626.00 | 3,255 | 0 | 0 | Top of Sediment Removal |
| 1.00 | 627.00 | 3,795 | 3,525 | 3,525 | |
| 2.00 | 628.00 | 4,360 | 4,078 | 7,603 | |
| 3.00 | 629.00 | 4,950 | 4,655 | 12,258 | |
| 3.50 | 629.50 | 7,815 | 3,191 | 15,449 | PERMANENT POOL |

Temporary Pool Calculations

$$R_v = 0.05 + 0.9 * I_A$$

SIMPLE METHOD PER NCDEQ BMP MANUAL SECTION 3.3.1

$$WQ_v = 3630 * R_D * R_v * A$$

R_v = Runoff coefficient [storm runoff (in)/storm rainfall (in)], unitless

I_A = Impervious fraction [impervious portion of drainage area (ac)/drainage area (ac)], unitless

$**V$ = Volume of runoff that must be controlled for the design storm (ft³)

R_D = Design storm rainfall depth (in) (*Typically, 1.0" or 1.5"*)

A = Watershed area (ac)

| | | |
|--------------|-------|-------------------------|
| R_v | 0.43 | (Design Storm = 1 inch) |
| WQv required | 9,657 | cfs |
| WQv provided | 9,680 | cfs (PROCEED) |

Temp. Pool Provided Depth 4.50 ft

Volume Calculation (Average End Method)

| Stage (ft) | Elevation (ft) | Area (sf) | Inc. Vol. (cf) | Acc Vol. (cf) | |
|------------|----------------|-----------|----------------|---------------|----------------|
| 0.00 | 629.50 | 7,815 | 0 | 0 | Permanent Pool |
| 0.50 | 630.00 | 8,857 | 4,168 | 4,168 | Top of Shelf |
| 1.50 | 631.00 | 9,955 | 9,406 | 13,574 | |
| 2.50 | 632.00 | 11,110 | 10,533 | 24,107 | |
| 3.50 | 633.00 | 12,322 | 11,716 | 35,823 | |
| 4.50 | 634.00 | 13,590 | 12,956 | 48,779 | Top of Berm |

Assumed Stage Interval for Treatment of WQv

630.00

Interpolate 0.10 area between even stages at WQv stage

Volume Calculation (Average End Method)

| Stage (ft) | Elevation (ft) | Area (sf) | Inc. Vol. (cf) | Acc Vol. (cf) |
|------------|----------------|-----------|----------------|---------------|
| 0.00 | 630.00 | 8,857 | 4,168 | 4,168 |
| 0.10 | 630.10 | 8,967 | 891 | 5,059 |
| 0.20 | 630.20 | 9,077 | 902 | 5,961 |
| 0.30 | 630.30 | 9,186 | 913 | 6,875 |
| 0.40 | 630.40 | 9,296 | 924 | 7,799 |
| 0.50 | 630.50 | 9,406 | 935 | 8,734 |
| 0.60 | 630.60 | 9,516 | 946 | 9,680 |
| 0.70 | 630.70 | 9,626 | 957 | 10,637 |
| 0.80 | 630.80 | 9,735 | 968 | 11,605 |
| 0.90 | 630.90 | 9,845 | 979 | 12,584 |
| 1.00 | 631.00 | 9,955 | 990 | 13,574 |

Calc WQV Elevation 630.60

Water Quality Orifice Size Calculation

| | | | | |
|--------------------------|---------|------|---------|-----------------------------|
| Treatment Vol | 9,680 | CF | 9,680 | (NCDEQ required time frame) |
| Draw Down Time | 2 | DAYS | 5 | |
| Draw Down Time | 172,800 | sec | 432,000 | |
| Flow (Q) | 0.056 | CFS | 0.022 | |
| Cd | 0.6 | | 0.6 | |
| H/3 | 0.367 | ft | 0.367 | Min orifice diameter |
| Area of orifice | 0.019 | sf | 0.008 | |
| Max orifice diameter | 1.88 | in | 1.19 | |
| Orifice Size Used (Dia.) | 1.50 | in | PROCEED | |
| Draw Down Time | 3.08 | DAYS | PROCEED | |

Forebay Volume Calculation

Forbay Provided Depth ft

Volume Calculation (Average End Method)

| Stage (ft) | Elevation (ft) | Area (sf) | Inc. Vol. (cf) | Acc Vol. (cf) | |
|------------|----------------|-----------|----------------|---------------|----------------------------|
| | 626.00 | | | | Bottom of Sediment Removal |
| 0.00 | 626.00 | 577 | 0 | 0 | Top of Sediment Removal |
| 1.00 | 627.00 | 782 | 680 | 680 | |
| 2.00 | 628.00 | 1,011 | 897 | 1,576 | |
| 3.00 | 629.00 | 1,265 | 1,138 | 2,714 | |

| | | |
|---------------------------|-------|---------|
| 15% Permanent Pool Volume | 2,317 | Proceed |
| 20% Permanent Pool Volume | 3,090 | |
| Forebay Volume Provided | 2,714 | |
| | 18% | |

From: Sara Hymel <Sara.Hymel@ucps.k12.nc.us>
Sent: Monday, August 18, 2025 4:15 PM
To: Keith Fenn; Jimmy Bention
Cc: Gregory Gordos; Casey Whiteman
Subject: Re: Letter of Notification of Development in Weddington

This Message originated outside your organization.

Received.

Thank you,

Sara

Sara Hymel
Director of Planning and Construction

Union County Public Schools
201 Venus Street Monroe, NC 28112
Telephone: 704-296-3160 - D (internal ext. 6766)
Cell Phone: 980-722-5762
Email: sara.hymel@ucps.k12.nc.us

www.ucps.k12.nc.us

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From: Keith Fenn <kfenn@keystonecustomhome.com>
Sent: Monday, August 18, 2025 3:47 PM
To: Sara Hymel <Sara.Hymel@ucps.k12.nc.us>; Jimmy Bention <Jimmy.Bention@ucps.k12.nc.us>
Cc: Gregory Gordos <ggordos@townofweddington.com>; Casey Whiteman <casey.whiteman@collierseng.com>
Subject: Letter of Notification of Development in Weddington

**WARNING: This email originated outside of our organization.
DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.**

Please find attached a notification letter as required and requested by Town of Weddington.

Keith Fenn, PE
Carolinas Director of Land Entitlement and Development | Keystone Custom Homes

CELL [980-269-6609](tel:980-269-6609)
EMAIL kfenn@keystonecustomhome.com
WEBSITE KeystoneCustomHome.com

MEETING SIGN IN SHEET

Second Community Meeting

Location: Weddington Town Hall, 1924 Weddington Road

Date: Thursday, June 19, 2025 at 5:30 p.m.

Applicant: Keystone Custom Homes

Project Location: 3009 Forest Lawn (parcel number 07150015).

Keystone

| Name | Address | Phone | Email |
|---------------|----------------------|--------------|-------|
| Clayton Jones | 5147 Panhandle C.r. | 704-821-2756 | |
| Cathy Weaver | 2824 Blythe Rd Wayh- | 704-292-9248 | |
| Wayne Helms | 3009 Forest Lawn Dr | 704-806-2989 | |
| Jerry Smith | 1517 Cox Rd | 704-309-4372 | |
| Chad Emerine | 953 Eagle Rd | 704-989-6879 | |
| Brice Deter | Waybridge Way | 515-326-5584 | |
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Note: Also in attendance
Keith Fenn, Keystone Homes
Alan Banks, Keystone Homes
Casey Whiteman, Colliers Engineering and Design
Greg Gordos, Town of Weddington

Keystone - 3009 Forest Lawn

From Casey Whiteman <Casey.Whiteman@collierseng.com>

Date Fri 2025-06-20 4:48 PM

To Gregory Gordos <ggordos@townofweddington.com>

Cc Alan Banks <abanks@keystonecustomhome.com>; Keith Fenn <kfenn@keystonecustomhome.com>

 1 attachment (1 MB)

0026_001.pdf;

Greg,

Attached is the sign-in sheet for last night's community meeting. We noted three topics of discussion listed below:

1. Question was raised on the Yield Plan – Clarified that the Yield Plan does include 12 Lots and Greg, Town Planner, acknowledged receipt of it.
2. Location of Heritage Trees was brought up – Discussed that we are saving as many as possible but not all, but that we will have this displayed and shared with/for Council to review.
3. Discussed that the Stormwater Basin was general on this plan submitted and that Town Council may request more detailed layout. Will provide the actual grading of pond for Council and verify calcs were considered in design per Weddington/State specs.

Please let us know if you need anything else or if you have any questions about the meeting.

Casey Whiteman, PE

Geographical Discipline Leader | Civil Site

casey.whiteman@collierseng.com

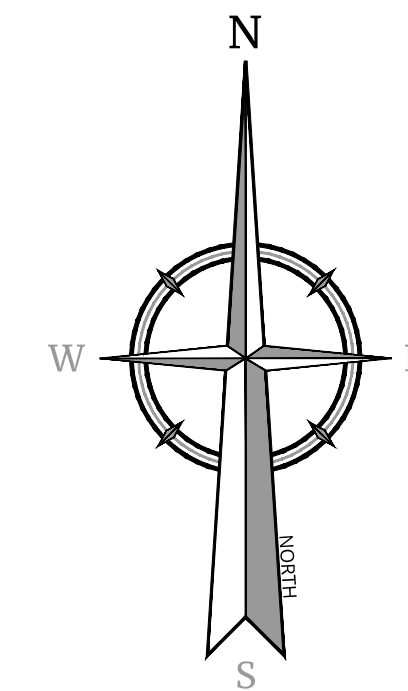
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5275 Parkway Plaza Blvd, Ste 100, Charlotte, NC 28217





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Architecture, Landscape Architecture,
Surveying, CT P.C.

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| 98 | 11/1/01 | 1 | |
| 99 | 11/1/01 | 1 | |
| 100 | 11/1/01 | 1 | |

Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

SITE DEVELOPMENT PLANS

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA



**Engineering
& Design,**
Architecture, Landscape Architecture,
Surveying, C.T.P.C.

| | | | |
|------------------------------|-------------------|-------------------------|-------------------|
| SCALE: AS SHOWN | DATE: 10/20/25 | DRAWN BY: NWB | CHECKED BY: CW |
| PROJECT NUMBER: 25003536A | | DRAWING NAME: C-LAND | |

SHEET TITLE:

TREE REMOVAL PLAN

SHEET NUMBER: C-600

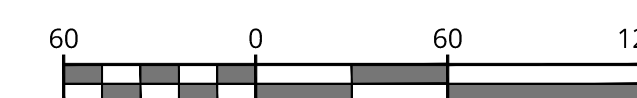
NOTES

1. SEE SHEET C-001 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHERS PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION; IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
3. CONTRACTOR TO VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION; INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
4. CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND COMPLY TO THE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
6. SITE TO BE FULLY PERMANENTLY STABILIZED, WITH NO AREAS LEFT AS BARE SOILS.

HERITAGE TREE REMOVAL

HERITAGE TREES INSIDE BUILDABLE AREA= 142 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMOVED = 123 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMAINING = 19 TREES

| EXISTING | LEGEND | PROPOSED |
|----------|---|----------|
| | TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) | |
| | RIGHT OF WAY LINE | |
| | PROPERTY LINE | |
| | EDGE OF PAVEMENT | |
| | CURB | |
| | DEPRESSED CURB | |
| | SIDEWALK | |
| | FENCES | |
| | TREELINE | |
| | ROADWAY SIGNS | |
| | WETLAND LINE | |
| | MUNICIPAL BOUNDARY LINE | |
| | STALL COUNT | |
| | ADA ACCESSIBLE STALL | |
| | DEPRESSED CURB AND ADA RAMP | |
| | DIRECTION OF TRAFFIC FLOW | |



SCALE : 1" = 60'

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

| CODE | QTY | BOTANICAL NAME | COMMON NAME | MAT. HT. | MAT. SPRD. | INSTL. HT. | MIN. CAL. | COND. | REMARKS |
|------------------------|-----|--------------------------|--------------|-----------|------------|------------|----------------|-------|-----------------------------------|
| DECIDUOUS TREES | | | | | | | | | |
| ACRU | 13 | ACER RUBRUM | RED MAPLE | 40' - 70' | 30' - 50' | 14' - 16' | 3" - 3.5" CAL. | B&B | STRAIGHT, SYMMETRICAL, FULL CROWN |
| LITU | 9 | LIQUIDAMBAR STYRACIFLUA | SWEET GUM | 60' - 80' | 40' - 60' | 14' - 16' | 3" - 3.5" CAL. | B&B | STRAIGHT, SYMMETRICAL, FULL CROWN |
| LIST | 6 | LIQUIDENDRON STYRACIFLUA | TULIP TREE | 60' - 80' | 40' - 60' | 14' - 16' | 3" - 3.5" CAL. | B&B | STRAIGHT, SYMMETRICAL, FULL CROWN |
| QUPH | 13 | QUERCUS PHELLOS | TULOW OAK | 40' - 70' | 25' - 35' | 16' | 3" - 3.5" CAL. | B&B | STRAIGHT, SYMMETRICAL, FULL CROWN |
| QUSH | 6 | QUERCUS SHUMARDII | SHUMARD OAK | 40' - 60' | 30' - 40' | 14' - 16' | 3" - 3.5" CAL. | B&B | STRAIGHT, SYMMETRICAL, FULL CROWN |
| ULPA | 13 | ULMUS PARVIFOLIA | LACEBARK ELM | 25' - 40' | 14' - 16' | 14' - 16' | 3" - 3.5" CAL. | B&B | STRAIGHT, SYMMETRICAL, FULL CROWN |

| | | | | | | | | | |
|------|----|----------------------|--------------------|-----------|-----------|-----------|----------------|-----|--|
| AMAR | 4 | AMELANCHIER ARBOREA | DOWNY SERVICEBERRY | 15' - 25' | 15' - 20' | 9' - 10' | MULTISTEM | B&B | (3) STEMS, SYMMETRICAL, LOW BRANCHED |
| CACA | 20 | CARPINUS CAROLINIANA | AMERICAN HORNBEAM | 20' - 40' | 20' - 30' | 14' - 16' | 3" - 3.5" CAL. | B&B | (3) STEMS, SYMMETRICAL, FULL, LOW BRANCHED |
| CECA | 4 | CERCIS CANADENSIS | EASTERN REDBUD | 20' - 30' | 25' - 35' | 9' - 10' | MULTISTEM | B&B | (3) STEMS, SYMMETRICAL, LOW BRANCHED |

| | | | | | | | | |
|------|---|----------------------|------------------|-----------|-----------|-----------|-----|-----------------------------------|
| CRJA | 4 | CRYPTOMERIA JAPONICA | JAPANESE CEDAR | 50' - 60' | 20' - 30' | 8' - 10' | B&B | STRAIGHT, SYMMETRICAL, DENSE, LOW |
| ILOP | 4 | ILEX OPACA | AMERICAN HOLLY | 15' - 30' | 10' - 20' | 10' - 12' | B&B | STRAIGHT, SYMMETRICAL, DENSE, LOW |
| JUVE | 4 | JUNIPERUS VIRGINIANA | EASTERN REDCEDAR | 30' - 60' | 10' - 25' | 8' - 10' | B&B | STRAIGHT, SYMMETRICAL, DENSE, LOW |
| PIAB | 4 | PICEA ABIES | NORWAY SPRUCE | 40' - 60' | 25' - 30' | 8' - 10' | B&B | STRAIGHT, SYMMETRICAL, DENSE, LOW |

| DECIDUOUS SHRUBS | | | | | | | | | |
|------------------|-----|-------------------------------------|------------------------------|-----------|----------|-----------|-----------|--------|------------------------------------|
| ASCR | 109 | ABELIA GRANDIFLORA 'LITTLE RICHARD' | LITTLE RICHARD GLOSSY ABELIA | 2' - 3' | 3' - 4' | 15" - 19" | 15" - 18" | 3 GAL. | DENSE, SYMMETRICAL, WELL FURNISHED |
| FOXJ | 27 | FORSYTHIA X INTERMEDIA 'LYNWOOD' | BORDER FORSYTHIA | 6'-9" | 6'-9" | 3' - 3.5" | 2.5' - 3' | 3 GAL. | DENSE, SYMMETRICAL, WELL FURNISHED |
| VIPR | 14 | VIURNUM PRUNIFOLIUM | BLACKHAW VIURNUM | 12' - 15' | 6' - 12' | 3.5 - 4" | 2.5 - 3" | B&B | DENSE, SYMMETRICAL, WELL FURNISHED |

| | | | | | | | | | |
|------|----|-----------------------------------|--------------------|---------|---------|-----------|-----------|--------|------------------------------------|
| ILGL | 92 | ILEX GLABRA | INKBERRY HOLLY | 5' - 8' | 5' - 8' | 3' - 3.5' | 3' - 3.5' | 3 GAL. | DENSE, SYMMETRICAL, WELL FURNISHED |
| IVNA | 13 | ILEX VOMITORIA 'NANA' | DWARF YAUPON HOLLY | 3' - 5' | 3' - 6' | 3' - 3.5' | 3' - 3.5' | 3 GAL. | DENSE, SYMMETRICAL, WELL FURNISHED |
| JUPF | 16 | JUNIPERUS CHINENSIS 'PFITZERIANA' | PFITZER JUNIPER | 4'-6" | 6' - 8' | 3' - 3.5' | 3' - 3.5' | B&B | DENSE, SYMMETRICAL, WELL FURNISHED |



1. THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY.
2. REFER TO CIVIL SITE PLANS FOR ADDITIONAL GENERAL NOTES

1. REFER TO SHEET **C-602 & C-603** FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS.
2. REFER TO SHEET **C-601** FOR PLANT SCHEDULES.
3. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS.
4. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE. SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
5. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE LAWN SEED MIX NOTES ON THE LANDSCAPE DETAILS SHEET AND THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
6. SOD SHALL BE A BLEND OF TURFGRASS SPECIES SUITABLE TO THE PROJECT LOCATION AND LOCALLY AVAILABLE.
7. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED 3'-00" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 3'-00" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
8. CONTRACTOR TO SUPPLY AND INSTALL DEEP ROOT ROOT BARRIER WHEN TREE ROOT BALLS ARE WITHIN 5' OF UNDERGROUND UTILITIES.

| CATEGORY | REQUIRED | PROVIDED |
|--------------|----------|----------|
| BUFFER TREES | 39 | 39 |
| LOT TREES | 48 | 48 |
| STREET TREES | 24 | 24 |

| DESCRIPTION | COUNT (TREES) |
|--------------------------|---------------|
| TOTAL HERITAGE TREES | 192 |
| HERITAGE TREES REMOVED | 127 |
| HERITAGE TREES REMAINING | 65 |

| DESCRIPTION | COUNT (TREES) |
|--|---------------|
| TOTAL HERITAGE TREES INSIDE BUILDABLE AREA | 142 |
| HERITAGE TREES INSIDE BUILDABLE AREA REMOVED | 123 |
| HERITAGE TREES INSIDE BUILDABLE AREA REMAINING | 19 |

A diagram showing a cross-section of a landscape bed. It includes various plant types and layers. Labels with leader lines point to the following components from top to bottom:

- MULCHED TREE RING
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL OR UNDERSTORY TREE
- SHRUB
- PERENNIAL / ANNUAL / ORNAMENTAL GRASS
- SHRUB/PERENNIAL MASS
- MULCH BED LINE

Colliers

**Engineering
& Design,**
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CHARLOTTE
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COLLIERS ENGINEERING & DESIGN,
ARCHITECTURE, LANDSCAPE
ARCHITECTURES, SURVEYING, CT P.C.
DOING BUSINESS AS NACOR CONSULTING

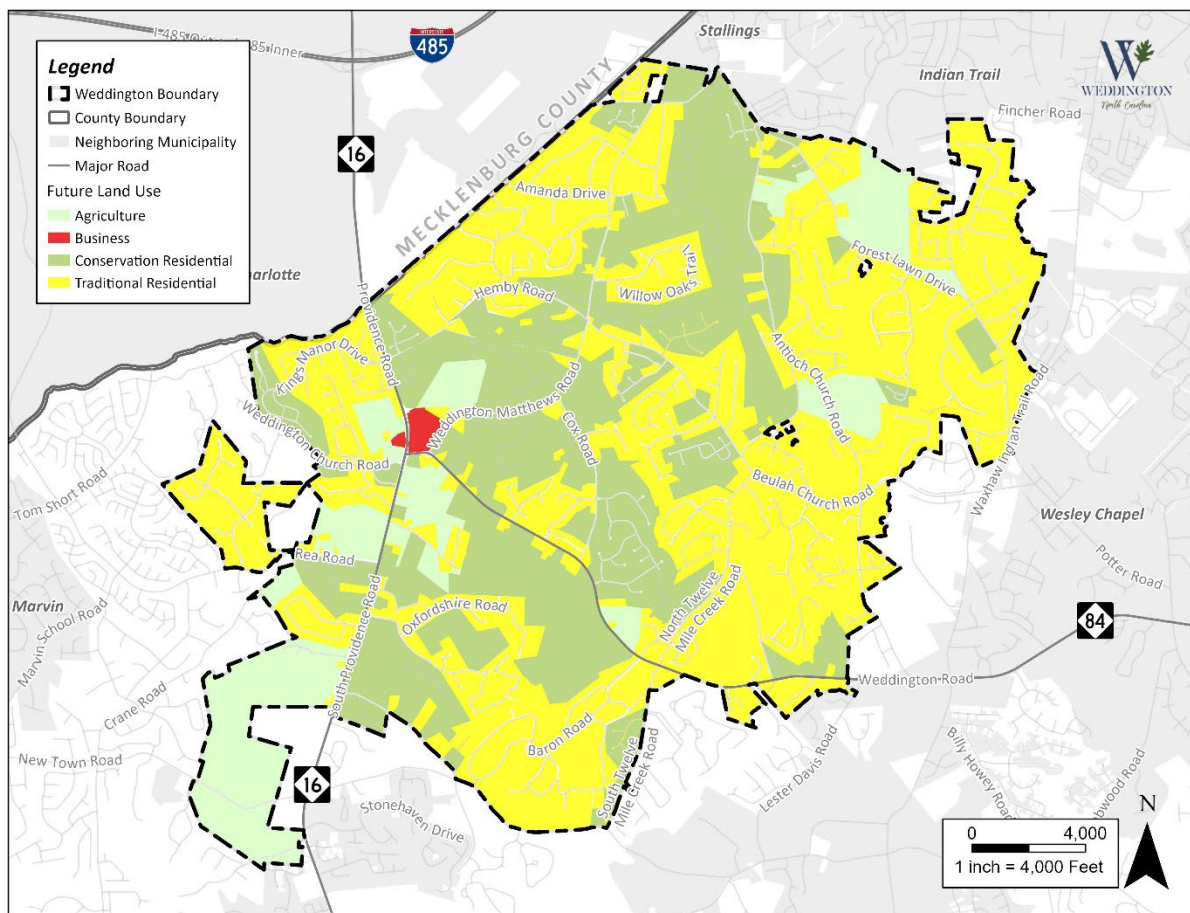
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PLANTING PLAN

SHEET NUMBER:

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

Map 4 Future Land Use Map



From: [Keith O'Herrin](#)
To: [Casey Whiteman](#); [Keith Fenn](#)
Cc: [Ndiogou Ba](#); [Karen Dewey](#)
Subject: Re: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap
Date: Tuesday, November 4, 2025 3:11:07 PM

Hello all,

Thanks for the opportunity to provide comments early:

Do you intend to engage in mass grading, or would you leave undisturbed areas between each building pad? I see many trees on your survey that should be preserved between pads as they are over 8 inches DBH and they are outside of buildable areas. At a glance, this looks like more clearing, scraping, and grading than I would expect. Note there is a desire to return to the old way of building homes, where the only areas that were cleared from wooded lots were the driveway and the pad, maybe a small yard. Or if not all the way back to the 1980s, at least some trees and natural areas left undisturbed which may require working with the natural contours of the land/less grading.

Do you stockpile topsoil on site to replace at the end of construction for yards and landscaping? Or is it removed from site?

The tree survey needs to be accompanied by an inventory of all existing trees DBH 6 or greater, and dogwood 5 inches or greater DBH. Heritage trees should be called out especially:

- Oak and Tuliptree 20 inches +
- Hickory and Pecan 18 inches +
- Southern magnolia and other magnolia 10 inches +
- Red maple, sugar maple, and elms 10 inches +
- Dogwoods 5 inches +

Knowing how modern construction goes, I am not sure this tree you called out will actually be preserved. Builders expect to be able to drive a 4 wheel drive forklift around the entire home, and approach from any direction, meaning a 25-30ft approach distance to lift trusses, man lift, etc 30ft into the air. And orange plastic mesh fence designating tree protection zones is insufficient to keep equipment out. So as currently drawn, this tree doesn't have a very good chance of being preserved. Red oaks and willow oaks are not very tolerant of root loss or soil compaction. Driven-post chain link fence would keep equipment out.

- The ordinance requires that 'All buildings, building additions, and other structures (including but not limited to driveways) shall be located upon a lot or parcel of land in such a way as to minimize damage to or removal of Heritage trees.'
- Also, that all "reasonable efforts have been undertaken in the architectural layout and design of the proposed development" such as building placement, driveways, walkways, and parking areas. Drainage, and more.
- So, I'd expect to be asked these questions:
 - How have you altered or changed your plans to accommodate heritage trees on site?
 - How is this different than a plan drawn in a town with no tree ordinance?

Keith O'Herrin, Ph.D.

NCRF #1941

Urban Forester | County Extension

T 704.283.3510

Keith.O'Herrin@unioncountync.gov

unioncountync.gov

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From: Casey Whiteman <casey.whiteman@collierseng.com>

Sent: Tuesday, November 4, 2025 10:43 AM

To: Keith Fenn <kfenn@keystonecustomhome.com>; Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>

Cc: Ndiogou Ba <ndiogou.ba@collierseng.com>

Subject: RE: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

WARNING: This email originated from outside of Union County Government, be cautious when clicking on links or opening attachments.

Keith,

Attached are our current preliminary landscape plans. As Keith mentioned, we are trying to make every effort to save one of the bigger trees up front. I have provided a blow up of the two lots to give you an idea of where we are at with this. We kept 30 feet from the pads.

Let us know if you would like to discuss it.

Casey Whiteman

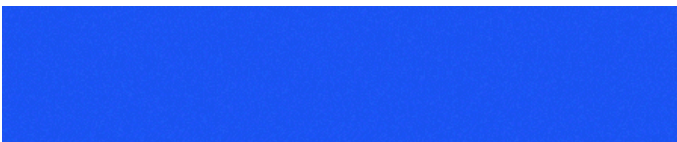
Geographical Discipline Leader | Civil Site
Charlotte, North Carolina

Colliers Engineering & Design

casey.whiteman@collierseng.com

Cell: 480 298 7229 | Main: 877 627 3772

colliersengineering.com | [affiliated authorized entities](#)



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From: Keith Fenn <kfenn@keystonecustomhome.com>
Sent: Tuesday, November 4, 2025 10:19 AM
To: Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Cc: Casey Whiteman <casey.whiteman@collierseng.com>
Subject: RE: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

This Message originated outside your organization.

Casey,

Can you send Keith the latest Landscape plan you uploaded and submitted to Weddington?

Thanks.

Keith Fenn, PE

Carolinas Director of Land Entitlement and Development | Keystone Custom Homes

CELL [980-269-6609](tel:980-269-6609)

EMAIL kfenn@keystonecustomhome.com

WEBSITE KeystoneCustomHome.com

From: Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Sent: Tuesday, November 4, 2025 10:14 AM
To: Keith Fenn <kfenn@keystonecustomhome.com>
Cc: Casey Whiteman <casey.whiteman@collierseng.com>
Subject: Re: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

I'd be happy to look now. I may see something others don't.

Keith O'Herrin, Ph.D.

NCRF #1941

Urban Forester | County Extension

T 704.283.3510

Keith.O'Herrin@unioncountync.gov
unioncountync.gov

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From: Keith Fenn <kfenn@keystonecustomhome.com>
Sent: Tuesday, November 4, 2025 8:53 AM
To: Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Cc: Casey Whiteman <casey.whiteman@collierseng.com>
Subject: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

WARNING: This email originated from outside of Union County Government, be cautious when clicking on links or opening attachments.

Keith,

Thank you again for taking my call and for visiting the site we've been working through the zoning process with the Town of Weddington. I especially appreciate your time and expertise in inspecting the four heritage trees on the lot back in July.

As we discussed, we've made every effort to interpret and apply the adopted tree ordinances—ordinances you helped shape for Weddington—and have worked diligently with both Planning Staff and the Planning Board throughout this process. One key area of focus for all parties has been the four heritage trees you inspected.

You noted that these trees appear to be approximately 70 years old, with a potential lifespan of 90 to 120 years. You also confirmed they are healthy and show no signs of distress, and recommended preserving them if feasible. Additionally, you advised using a 30-foot radius around each tree to protect the canopy and root systems from grading impacts.

As we've progressed through multiple design iterations for the site, I wanted to make you aware that the internal street alignment—based on NCDOT criteria—will unfortunately impact a few of these trees. Despite our best efforts, avoiding this conflict has proven unworkable.

I share this information to ensure you're aware of our deliberate and thoughtful approach to preserving as many heritage trees as possible.

Please let me know if you'd prefer to review our tree preservation and removal plan in advance of a formal submission to Weddington, or if you'd rather wait until the official review request is initiated. Thank you again for your time and guidance.

Keith Fenn, PE

Carolinas Director of Land Entitlement and Development | Keystone Custom Homes

CELL [980-269-6609](tel:980-269-6609)

EMAIL kfenn@keystonecustomhome.com

WEBSITE KeystoneCustomHome.com



MEMORANDUM

TO: Town Council
FROM: Gregory Gordos, Town Planner
DATE: November 10, 2025
SUBJECT: Discussion and Possible Recommendation of Text Amendment 2025-04
Section D917A.G. Private Roads and Gatehouses and Section D918.I.
Screening and Landscaping

BACKGROUND:

In January of 2025 the Weddington Planning Board, as a part of a discussions regarding changes to the Unified Development Ordinance (“UDO”), recommended several text amendments to the Weddington Town Council. These text changes ranged from a comprehensive update to the Tree Protection portion of the UDO to a one sentence clarification on the jurisdiction of the North Carolina Department of Transportation and the town’s up-to-date adoption of their street design standards. All text amendments were adopted by the Town Council as recommended at their February 10, 2025 public hearings as Text Amendment 2025-01, 2025-02, and 2025-03.

In late February 2025 a Planning Board member contacted staff about the possible omission of changes agreed upon by consensus (but not within the text of the ordinance) during these Planning Board discussions.

For instance, it was agreed upon that *berms* should be reinstated in UDO Section D-917 A.O. Buffering (Text Amendment 2024-05), but *berms* are also referenced in another portion of the code, Section D-918-I. Screening and Landscaping. It is understood that the intent was to change the code in all relevant areas.

Text Amendment 2025-02 addressed cul-de-sacs and the gating of these roads, but gate maintenance is also mentioned in Section D917A.G. Private Roads and Gatehouses and this text was intended to be removed.

PROPOSAL:

To clerically amend Section D917A.G. Private Roads and Gatehouses and Section D918.I. Screening and Landscaping to reflect the previous consensus of this Planning Board and to clarify all intended text changes. Staff feels that these changes reflect the Board’s intention in previous discussions, but because they are found in UDO Sections not previously mentioned in the previous ordinances, we humbly ask to review this exact amendment for accuracy.

OUTLINE OF TEXT AMENDMENT:

The following sections of the UDO are proposed to be amended:

Section D-917A.

G: Private Roads and Gatehouses

3. *Neighborhoods which have an entrance gate are subject to the following regulations:*

a. *The homeowner's association will provide the access code to the gate and an emergency contact number to the fire department, the Union County Sheriff and other emergency services and will be responsible for maintenance, testing and repairs of all functions of the gate.*

~~b. *An annual inspection and test of the gate system shall be performed, and the results submitted to Town hall during the renewal window prescribed in the Town of Weddington Annual Enforcement Manual.*~~

~~c. *Should there be a problem with the operation of the entrance gate, the gate shall remain open and accessible until the gate is repaired and tested.*~~

~~d. *Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year round maintenance and to submit a copy of the service agreement to Town Hall.*~~

~~e.b.~~ *The maintenance and upkeep of any guardhouses or entry structures, and subdivision walls, fences, or berms located at the external periphery of the development, shall be the sole responsibility of the developer and/or any duly incorporated and active homeowners' association.*

Section D-918.

I: Screening and Landscaping

7. *Berms may be used as screening ~~(for non-residential uses only)~~, provided such berms are at least six feet in height with a maximum slope of 4:1, as measured from the exterior property line. Berms shall be stabilized to prevent erosion and landscaped. If a berm is constructed, shrubs are required but the number may be reduced by 25 percent. However, constructing a berm does not modify the number of trees required.*

Staff offers the modification above for the Town Council's consideration and approval, as recommended by the Planning Board. Staff had recommended no text amendment to the Board. For ease of reference, new text is referenced in red/underlined font, while deletions are referenced in ~~striethrough~~ font.

LAND USE PLAN CONSISTENCY:

State Statutes requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. Accordingly, staff provides the following Land Use Plan Consistency Statement for consideration:

The proposed amendments to the Unified Development Ordinance are found to be generally consistent with the adopted Land Use Plan (Plan). However, while these amendments do not further any specific Goal or Policy of the Plan, they also do not act contrary to any specific Goal or Policy of the Plan, nor would they prevent the administration and implementation of the Plan, or preclude the fulfilment of the community vision as set forth in the Plan. Additionally, the proposed amendments are found to be reasonable in that they continue to improve upon the organization of existing ordinances and provide additional clarity for staff, appointed and elected officials, and residents.

RECOMMENDATION:

Staff recommends approval of the proposed text amendment.

Attachments:

- Ordinance 2025-04

- 19

- a. The applicant shall submit an application with a sketch plat showing the proposed easement lots for approval to proceed further as specified in this section.
- b. All access easements shall be at least 45 feet in width and shall meet or exceed the state department of transportation minimum standards for subdivision road width where possible. The travel surface of said easement shall be at least 16 feet in width. The travel surface need not be paved. The easement shall be maintained at all times in a condition that is passable for service and emergency vehicles.
- c. The creation of easement lots shall follow the procedures of a minor subdivision as outlined in Article 8. In addition, a statement shall be placed on the subdivision plat acknowledging that said lots were being created upon a privately maintained and recorded easement, and a statement indicating the parties responsible for maintaining the easement.
- d. Creation of such easement lots and access easements shall not impair future extension of an adequate system of public streets to serve such lots.
- e. Easement lots shall not be further subdivided unless the newly created lots abut a public road. Any additional subdivision of easement lots shall be a major subdivision and shall be reviewed using the major subdivision plat approval process.
- f. If public road access becomes available to easement lots, all affected lot owners shall have the easement terminated of record.

G. Private Roads and Gatehouses. New residential neighborhoods may be developed with private roads and gatehouses are permitted in accordance with the following standards:

1. With the exception of the placement of the gate and/or guardhouse in a private street, any private road shall be built to state standards and shall meet all applicable minimum right-of-way, pavement, and construction standards for public roads as established by the state department of transportation.
 - a. A certified engineer shall verify that all private roads within residential neighborhood conform to all required state department of transportation standards for roadway and storm drainage design.
 - b. The NCDOT Built-To Standards Checklist (available at Town Hall upon request) will be required to be submitted to the Town zoning staff for review and approval.
 - c. The Town reserves the right to have streets inspected during the construction phase to ensure that they are being built in accordance with all applicable state DOT standards.
 - d. The developer shall bear all costs borne by the Town in association with such inspections.
2. Before the approval of a final plat, the developer shall submit to the Town the design and layout of any gatehouse, external fence, and walls. Berms shall be located outside any public street right-of-way and shall be designed to blend in, to the greatest degree feasible, with the proposed development and shall be attractive to motorists and pedestrians from adjoining public streets.
3. Neighborhoods which have an entrance gate are subject to the following regulations:
 - a. The homeowner's association will provide the access code to the gate and an emergency contact number to the fire department, the Union County Sheriff and other emergency services and will be responsible for maintenance, testing and repairs of all functions of the gate.
 - b. An annual inspection and test of the gate system shall be performed, and the results submitted to Town hall during the renewal window prescribed in the Town of Weddington Annual Enforcement Manual.
 - c. Should there be a problem with the operation of the entrance gate, the gate shall remain open and accessible until the gate is repaired and tested.
 - d. Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year-round maintenance and to submit a copy of the service agreement to Town Hall.
 - e. The maintenance and upkeep of any guardhouses or entry structures, and subdivision walls, fences, or berms located at the external periphery of the development, shall be the sole responsibility of the developer and/or any duly incorporated and active homeowners' association.

- b. Failure to install and maintain tree protective devices shall be a civil penalty of five hundred dollars (\$500.00) per tree per day beginning with the date the citation is issued and ending when the site is in compliance.
 - c. Failure to install required landscape material or to replace dead landscape material shall be a civil penalty of five hundred dollars (\$500.00) per day beginning with the date the citation is issued and ending when the site is in compliance.
 - d. Removal of a tree 8-inches DBH or greater without permission from the administrator will result in a civil penalty of one thousand dollars (\$1,000.00) per tree.
 - e. Removal of a Heritage tree without permission from the Administrator shall be a civil penalty of eight hundred dollars (\$800.00) per inch for each tree.
 - f. The maximum civil penalty for each tree shall not exceed fifty thousand dollars (\$50,000).
12. In accordance with N.C.G.S. 160D-921, the town administrator may deny a building permit or refuse to approve a site or subdivision plan for either a period of up to:
- a. Three years after the completion of a timber harvest if the harvest results in the removal of all or substantially all of the trees that were protected under local government regulations governing development from the tract of land for which the permit or approval is sought.
 - b. Five years after the completion of a timber harvest if the harvest results in the removal of all or substantially all of the trees that were protected under local government regulations governing development from the tract of land for which the permit or approval is sought and the harvest was a willful violation of the local government regulations.

(O-2025-01)

Section D-917B. Additional Specific Requirements for Conservation Residential Development.

A. Minimum Total Acreage. The minimum total acreage for a Conservation Residential Development is six (6) acres.

B. Minimum Open Space.

- 1. At a minimum, fifty percent (50%) of the net acreage of the tract will be required to be retained as Conservation Land. Not more than zero percent (0%) of the minimum required area of Conservation Lands shall be comprised of wetlands, submerged lands, steep slopes, floodways, or land under high voltage electrical transmission lines (conducting 69 kilovolts or more).
- 2. When a proposed conservation residential development project lies on both sides of a major or minor thoroughfare, all attempts should be made to have 50 percent (50%) of each side's gross acreage designated as Conservation Land. However, the Town may allow flexibility on the distribution of Conservation Land in situations where there is greater logic to preserving special features on one side of the road, or due to locating homes on the other side due to the relative absence of special site features with greater conservation value.
- 3. The minimum percentage and acreage of required Conservation Lands shall be calculated by the applicant and submitted as part of the sketch plan.

C. Priority for Conservation Lands. In delineating conservation areas, the applicant shall use the following tier system as a guide, with those lands included in tier A having the highest priority for preservation; provided, however, that in certain portions of the Town, the priorities defined may be altered by the Town in order to maximize achievement of the goals and objectives of maintaining open space through conservation residential development projects:

- 1. Tier A, Highest Priority.
 - a. Forestlands.
 - b. Steep slopes (greater than twenty five percent (25%).
 - c. Viewsheds from thoroughfares.

2. Tier B, Medium Priority.
 - a. Farmlands, meadows, pastures, and grasslands.
 - b. Historic sites.
3. Tier C, Lowest Priority.
 - a. Moderate steep slopes (fifteen to twenty five percent (15% to 25%).
 - b. Rock formations.
 - c. Lands adjacent to parks.

D. Consistency with Town Plans. Conservation Lands shall be located in a manner that is consistent with the Town's land use plan and any Conservation Land audit, which identifies an interconnected network of Conservation Lands.

E. Stream Valleys, Swales, Springs, and Other Lowland Areas. Stream valleys, swales, springs and other lowland areas are resources that warrant restrictive land use controls because of flooding hazards to human life and property, their groundwater recharge functions, their importance to water quality and the health of aquatic communities, and their wildlife habitats. They are generally poorly suited for on-site subsurface sewage disposal systems. Accordingly, the following activities shall be minimized in such areas:

1. Disturbance to streams and drainage swales.
2. Disturbance to year-round wetlands, areas with seasonally high-water tables and areas of surface water concentration.
3. Because of their extreme limitations, stream valleys, swales and other lowland areas may warrant designation as Conservation Lands. They may also require adjoining buffer lands to be included as Conservation Lands, to be determined by an analysis of the protection requirements of such areas as determined by the Town Council on a case-by-case basis upon finding that designation of such areas as Conservation Land would have significant and positive long-term environmental impact on the Conservation Lands.

F. Forestlands.

1. Forestlands often occur in association with stream valleys and wet areas, poor and erodible agricultural soils, and moderate to steep slopes. Forestlands serve many functions, including soil stabilizers, particularly on moderate to steep slopes, a means of ameliorating harsh microclimatic conditions in both summer and winter, a source of wood products, natural wildlife habitats, and visual buffers.
2. Because of their resource values, all forestlands on any tract proposed for a conservation subdivision shall be evaluated to determine the extent to which they should be designated partly or entirely as Conservation Lands. Evaluation criteria include: configuration and size, present conditions, site potential (i.e., the site's capabilities to support forestlands, based upon its topographic, soil and hydrologic characteristics), ecological functions (i.e., in protecting steep slopes, erodible soils, maintaining stream quality and providing for wildlife habitats), relationship to forestlands on adjoining properties and the potential for maintaining continuous forestland areas.
3. The evaluation of the tract's forestlands shall be undertaken consistent with the Town's land audit. This evaluation shall be submitted as a report and made a part of the application for a sketch plan. At a minimum, that report shall include one or more maps indicating boundaries and conditions of forestland areas.
4. In designing a conservation residential development, the applicant shall be guided by the following standards:
 - a. Proposed site improvements shall be located, designed and constructed to minimize the loss or degradation of forestland areas.
 - b. Disturbance or removal of forestlands occupying environmentally sensitive areas shall be undertaken on a limited, selective, as needed basis. In particular, areas to be designed around and conserved, whenever possible, include the following: areas with a high diversity of tree species and tree ages; areas without invasive species; and individual trees of significant diameter. Because different tree species have different growth characteristics, certain species become significant at different diameters. For example, fast-growing species such as conifers become significant at 15 inches dbh. Relatively fast-growing hardwoods such as sweet gum and sycamore become significant at 12 inches dbh. Other hardwoods such as oaks and maples become significant at 12 inches dbh. Understory trees such as dogwood, redbud, waterbeech, and holly become significant at eight inches dbh.

1. *Single-Family and Two-Family Dwellings.* All Zoning Permit submittals for single-family and two-family dwellings, as well as any additions thereto, shall consist of the following items:
 - a. A completed application, as provided by the Town.
 - b. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 - c. A plot plan, prepared by a licensed surveyor or engineer, depicting the following:
 - North arrow, scale, location map and date prepared;
 - All adjacent rights-of-way with indication of centerline and width, and paved width;
 - Dimensions of existing lot lines, streets, drives, building lines, setbacks, structural overhangs, and building separations;
 - Identification and description of watercourses, wetlands, tree masses, and other environmentally sensitive areas;
 - Location, footprint and size of all existing and proposed buildings; and
 - Location of all existing and proposed water lines, sanitary sewer lines, septic fields, and any proposed utility easements.
 - d. Architectural details including the following:
 - Floor plans of the proposed structure (only where the dwelling includes an elevator shaft, or an accessory dwelling is associated with the proposal); and
 - Building elevation drawings depicting proposed height and building materials.
 - e. *Exception.* If the proposed dwelling is to be located on a lot of ten acres or greater and is not to be located closer than 200 feet from any property line, then a plot plan sketch document may be provided in-lieu of a plot plan prepared by a licensed surveyor or engineer.
2. *Principal Uses Other Than Single-Family and Two-Family Dwellings.* All Zoning Permit submittals for a principal use other than single-family and two-family dwellings, as well as any additions thereto, shall consist of the following items:
 - a. A completed application, as provided by the Town.
 - b. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 - c. A survey of the subject parcel as prepared by a licensed surveyor.
 - d. Civil plans, prepared by a licensed engineer, consisting of the following:
 - Cover sheet with site data table;
 - Demolition plan, if applicable;
 - Site plan;
 - Paving, grading and drainage plan;
 - Utility plan;
 - Lighting plan; and
 - Landscape plan.
 - e. Architectural details including the following:
 - A floor plan of the proposed structure; and
 - Building elevations drawings depicting proposed height and building materials.
 - f. Traffic Impact Analysis (TIA), if applicable, prepared consistent with the most recent version of the Town's TIA Procedures Manual.
3. *Accessory Buildings, Decks, and Patios on Residential Property.*
 - a. All Zoning Permit submittals for an accessory building, deck or patio that is less than or equal to 200 square feet on residential property shall be accompanied by the following items:
 1. A completed application, as provided by the Town.
 2. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 3. A plot plan sketch depicting the following:
 - Lot boundary;

- Location and square footage of all existing principal and accessory structures;
 - Location, square footage, and dimensions of proposed structures; and
 - Distance of the proposed structure from the front, side, and rear lot lines.
4. Building elevations drawings depicting proposed height and building materials, or manufacturers specification sheet/details.
- b. All Zoning Permit submittals for an accessory building, deck or patio that is greater than 200 square feet on residential property shall be accompanied by the following items:
1. A completed application, as provided by the Town.
 2. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 3. A plot plan, prepared by a licensed surveyor or engineer, depicting the following:
 - North arrow, scale, location map and date prepared;
 - All adjacent rights-of-way with indication of centerline and width, and paved width;
 - Dimensions of existing lot lines, streets, drives, building lines, setbacks, structural overhangs, and building separations;
 - Identification and description of watercourses, wetlands, tree masses, and other environmentally sensitive areas;
 - Location, footprint and size of all existing and proposed buildings; and
 - Location of all existing and proposed water lines, sanitary sewer lines, septic fields, and any proposed utility easements.
 4. Architectural details including the following:
 - A floor plan of the proposed structure; and
 - Building elevation drawings depicting proposed height and building materials.
 5. Exception. If the proposed accessory structure is to be located on a lot of ten acres or greater and is not to be located closer than 200 feet from any property line, then a plot plan sketch document may be provided in-lieu of a plot plan prepared by a licensed surveyor or engineer.
- c. All Zoning Permit submittals for buildings for agricultural purposes shall be accompanied by the following items:
1. A completed application, as provided by the Town.
 2. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 3. A plot plan sketch depicting the following:
 - Lot boundary;
 - Location and square footage of all existing principal and accessory structures;
 - Location, square footage, and dimensions of proposed structures; and
 - Distance of the proposed structure from the front, side, and rear lot lines.
 4. Building elevations drawings depicting proposed height and building materials, or manufacturers specification sheet/details.
4. *Upfits.* All Zoning Permit submittals for an upfit of an existing residential or non-residential building, as well as any associated accessory structures or decks, shall be accompanied by the following items:
- a. A completed application, as provided by the Town.
 - b. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 - c. A floor plan depicting the existing and proposed improvements.

(Ord. No. 2022-03, 2022 10-10; Ord. No. 2023-01, 2023 02-13)

CERTIFICATE OF COMPLIANCE.

- Application provided by the Town. Initiated by the owner of the property or authorized agent.
- Fee

- A physical survey certified* as accurate by a surveyor or engineer registered with the state including:
 - the lot boundary;
 - dimensions of the proposed structure;
 - setbacks; and
 - the distance the structure is from the front, sides and rear lot lines of the lot labeled on the plan.

*for residential properties, that if the tract that the residence is constructed on contains ten acres or more, then the person applying for the certificate of compliance shall be allowed to present a noncertified sketch in lieu thereof, provided that the residence is not to be located closer than 200 feet from any of the boundaries of the tract. If the proposed residence is to be located closer than 200 feet from any of the boundaries of the tract, then the applicant shall submit a certified survey of the improvements with respect to those boundaries only. The sketch submitted shall in all other respects comply to the requirements set forth above.

SIGN PERMIT

- Application provided by the Town.
- Fee.
- Elevation showing the linear feet of the facade from side to side, existing signs and square feet and the proposed sign and square feet.
- Site plan (for free standing signs).

TEMPORARY STRUCTURES INCLUDING MOBILE HOMES, CONSTRUCTION TRAILERS, AND SUBDIVISION SALES OFFICES

- Application provided by the Town.
- Fee
- Site plan depicting the following:
 - Size of temporary structures including dimensions
 - Location of structure including all setbacks & buffers
 - Parking for temporary use

TEMPORARY USES INCLUDING EVENTS

- A site plan showing parking and the layout of event area, temporary structures and sign locations
- Narrative including:
 - Nature of use
 - Duration of use
 - Hours of operation
 - Lighting
 - Projected attendance
 - Waste/trash disposal
- Other Submittal Requirements (if applicable):
 - Proof of adequate insurance to cover the event
 - Review from Union County Sheriff's Department regarding traffic and crowd control
 - Union County mass gathering permit
 - Department of Revenue weekend Temp Sales and Use ID# for retail sales

- (1) No conditional use, vested rights, rezoning, or zoning application for nonresidential uses or preliminary subdivision plat for residential or nonresidential uses will be considered as complete unless it includes a stormwater management plan detailing in concept how runoff resulting from the development will be controlled or managed. Preliminary informational meetings with the town zoning administrator or the planning board may be allowed without a complete stormwater management concept plan.
 - (2) No zoning permit or final plat approval shall be issued until a satisfactory final stormwater management plan has been reviewed and approved by the town upon determination that the plan is consistent with the requirements of this division.
 - (3) All costs for the town's engineering review of the stormwater management concept plans and final plans shall be borne by the owner/developer.
- (b) *Stormwater management concept plan requirements.* A stormwater management concept plan shall be required with all permit applications and will include sufficient information to evaluate the environmental characteristics of the project site, the potential impacts of all proposed development of the site on water resources, and the effectiveness and acceptability of the measures proposed for managing stormwater generated at the project site. The information provided shall meet the design requirements of the Stormwater Manual. The following items are required to be submitted for review of the stormwater management concept plan:
- (1) Existing conditions and proposed site layout sketch plans which illustrate at a minimum: existing and proposed topography; perennial and intermittent streams; mapping of predominant soils from soil surveys; boundaries of existing predominant vegetation and proposed limits of clearing and grading; proposed open space area; and location of existing and proposed roads, buildings, parking areas and other impervious surfaces.
 - (2) A written or graphic inventory of the natural resources at the site and surrounding area as it exists prior to the commencement of the project and a description of the watershed and its relation to the project site. This description should include a discussion of soil conditions, forest cover, topography, wetlands, and other native vegetative areas on the site, as well as the location and boundaries of other natural feature protection and conservation areas such as lakes, ponds, floodplains, stream buffers, and other setbacks. Particular attention should be paid to environmentally sensitive features that provide particular opportunities or constraints for development.
 - (3) A written or graphic concept plan of the proposed post-construction stormwater management system including: preliminary selection and location of proposed structural stormwater controls; low impact design elements; location of existing and proposed conveyance systems such as grass channels, swales, and storm drains; flow paths; location of proposed open space areas; location of all floodplain/floodway limits; relationship of the site to upstream and downstream properties and drainages; and preliminary location of proposed stream channel modifications, such as bridge or culvert crossings.
 - (4) Preliminary selection and rationale for any structural stormwater management practices along with sufficient engineering analysis to show that the proposed stormwater management measures are capable of controlling runoff from the site in compliance with the Town of Weddington Stormwater Management Ordinance and the specifications of the Stormwater Manual.
 - (5) A note acknowledging responsibility for the operation and maintenance of any stormwater management facility, and that such obligation shall be disclosed to future owners.
- (c) *Final stormwater management plan requirements.* After review of the stormwater management concept plan and modifications to that plan as deemed necessary by the town, a final stormwater management plan shall be submitted for approval. The final stormwater management plan shall detail how post-construction runoff will be controlled, managed and maintained in perpetuity, and how the proposed project will meet the requirements of this division. All such plans shall conform to the design requirements of the Stormwater Manual and shall be prepared by a North Carolina licensed professional engineer. The plan submittal shall include all of the information required in the submittal checklist established by the zoning administrator.
- (d) *Performance bond/security.*
- (1) The Town of Weddington may, at its discretion, require the submittal of a performance security or bond prior to issuance of a permit in order to insure that the stormwater management facilities are installed by the permit holder as required by the approved stormwater management plan. The amount of the installation performance security shall be the total estimated construction cost of the stormwater management practices approved under



Code Enforcement Report

October 31, 2025

What was accomplished this week?

- Meeting held with staff to discuss code enforcement cases.
- Inspection at 2015 Wedgewood.

What will be accomplished next week?

- The Code Enforcement Team will discuss ongoing and new cases.
- Inspections at 101 Amanada, 6939 Tree Hill, and 4000 Ambassador.

Schedule Status:

- 4500 Homestead (Construction Debris): Abatement needs scheduled
- 109 Foxton: Scheduled to come off as soon as permit is pulled.
- 416 Gatewood: Property owner is attempting to apply for a permit which would negate any minimum housing issue so long as it's active.
- 4000 Ambassador: Next Inspection Nov 7th 2025
- 6939 Tree Hill: Next inspection Nov 7th 2025
- 101 Amanada: Next inspection Nov 7th 2025

Input Needed from Weddington:

- 4500 Homestead: Town needs to find a contractor for cleanup in case property owner does not comply with final notice. The property has been issued two violations this year. If one more is issued, any subsequent violations can move straight to abatement.

Other Issues or Concerns:

- New code enforcement officer will be beginning in next few months. Matthew will still be on for transition and will be overseeing the contract post transition.

- Invoice for Q1 2026 was submitted to Centralina and should be coming to Weddington soon.

Matthew Rea, AICP, NCCZO

(330) 885-0937

mrea@ibts.org

WEDDINGTON
General Fund
BALANCE SHEET
AS OF: 10/31/25

| | | 2026 | 2025 |
|----------------------------|-------------------------------------|----------------------|----------------------|
| <hr/> | | | |
| Assets | | | |
| 10-1120-000 | SOUTH STATE CHECKING ACCOUNT | 734,948.45 | 735,558.48 |
| 10-1120-001 | TRINITY MONEY MARKET | 0.00 | 0.00 |
| 10-1120-002 | CITIZENS SOUTH CD'S | 0.00 | 0.00 |
| 10-1130-000 | BB&T/TRUIST CHECKING | 635,237.75 | 492,051.80 |
| 10-1130-001 | BB&T/TRUIST MONEY MARKET | 1,853,132.09 | 2,336,152.82 |
| 10-1140-000 | NC CLASS INVESTMENT ACCOUNT | 264,278.55 | 260,501.59 |
| 10-1170-000 | NC CASH MGMT TRUST | 5,204,045.55 | 5,131,607.54 |
| 10-1205-000 | DUE FROM OTHER FUNDS (SCIF/PARK) | 79,676.32 | 54,932.32 |
| 10-1210-000 | A/R SOLID WASTE FEES | 17,457.31 | 24,175.84 |
| 10-1210-001 | A/R SOLID WASTE FEES PRIOR YR | 0.00 | 0.00 |
| 10-1210-002 | A/R SOLID WASTE FEES NEXT 8 PY | 51,874.31 | 51,874.31 |
| 10-1211-001 | A/R PROPERTY TAX | 1,407,860.93 | 13,279.34 |
| 10-1212-001 | A/R PROPERTY TAX - 1ST YEAR PRIOR | 9,489.32 | 9,149.43 |
| 10-1212-002 | A/R PROPERTY TAX - NEXT 8 PRIOR YRS | 11,181.98 | 5,019.66 |
| 10-1213-000 | A/R PROPERTY TAX INTEREST RECEIVABL | 914.79 | 1,632.50 |
| 10-1214-000 | PREPAID ASSETS | 0.00 | 36,575.14 |
| 10-1215-000 | A/R INTERGOVT-LOCAL OPTION SALES TX | 0.00 | 91,453.12 |
| 10-1216-000 | A/R INTERGOVT - MOTOR VEHICLE TAXES | 0.00 | 7,790.24 |
| 10-1217-000 | A/R INTERGOVT - UTILITY/SOLID WASTE | 0.00 | 105,899.33 |
| 10-1220-000 | AR OTHER | 0.00 | 16,375.60 |
| 10-1232-000 | SALES TAX RECEIVABLE | 670.89 | 670.89 |
| 10-1240-000 | INVESTMENT INCOME RECEIVABLE | 0.00 | 0.00 |
| 10-1610-001 | FIXED ASSETS - LAND & BUILDINGS | 2,513,697.44 | 2,513,697.44 |
| 10-1610-002 | FIXED ASSETS - FURNITURE & FIXTURES | 9,651.96 | 9,651.96 |
| 10-1610-003 | FIXED ASSETS - EQUIPMENT | 32,076.19 | 32,076.19 |
| 10-1610-004 | FIXED ASSETS - INFRASTRUCTURE | 26,851.00 | 26,851.00 |
| 10-1610-005 | FIXED ASSETS - COMPUTERS | 9,539.00 | 9,539.00 |
| 10-1610-006 | FIXED ASSETS - COMPUTER SOFTWARE | 182,994.00 | 182,994.00 |
| | Total Assets | <u>13,045,577.83</u> | <u>12,149,509.54</u> |
| Liabilities & Fund Balance | | | |
| 10-2110-000 | ACCOUNTS PAYABLE | 0.00 | 39,644.26 |
| 10-2115-000 | ACCOUNTS PAYABLE ACCRUAL | 387.00 | 387.00 |
| 10-2116-000 | CUSTOMER REFUNDS | 7,900.60 | 8,765.30 |
| 10-2120-000 | BOND DEPOSIT PAYABLE | 47,896.25 | 47,896.25 |
| 10-2151-000 | FICA TAXES PAYABLE | 1,617.08 | 0.00 |
| 10-2152-000 | FEDERAL TAXES PAYABLE | 675.07 | 0.00 |
| 10-2153-000 | STATE W/H TAXES PAYABLE | 573.00 | 305.00- |
| 10-2154-001 | NC RETIREMENT PAYABLE | 2,361.76 | 0.00 |
| 10-2155-000 | HEALTH INSURANCE PAYABLE | 4,091.33- | 0.00 |
| 10-2156-000 | LIFE INSURANCE PAYABLE | 315.73 | 0.00 |
| 10-2157-000 | 401K PAYABLE | 776.16 | 0.00 |
| 10-2200-000 | ENCUMBRANCES | 0.00 | 0.00 |
| 10-2210-000 | RESERVE FOR ENCUMBRANCES | 0.00 | 0.00 |
| 10-2605-000 | DEFERRED REVENUES- TAX INTEREST | 914.79 | 1,632.50 |
| 10-2610-000 | DEFERRED REVENUE SOLID WASTE FEES | 17,457.31 | 24,175.84 |
| 10-2610-001 | DEFERRED REVENUE SOLID WASTE PY | 0.00 | 0.00 |
| 10-2610-002 | DEFERRED REVENUE SOLID WASTE N8 PY | 51,874.31 | 51,874.31 |
| 10-2620-000 | DEFERRED REVENUE - DELQ TAXES | 9,489.32 | 9,149.43 |
| 10-2625-000 | DEFERRED REVENUE - CURR YR TAX | 1,407,860.93 | 13,279.34 |
| 10-2630-000 | DEFERRED REVENUE-NEXT 8 | 11,181.98 | 5,019.66 |
| 10-2635-000 | DEFERRED REVENUE - PREPAID TAXES | 0.00 | 0.00 |

WEDDINGTON
General Fund
BALANCE SHEET
AS OF: 10/31/25

| | | 2026 | 2025 |
|-------------|-------------------------------------|----------------------------|----------------------------|
| | Total Liabilities | <u>1,557,189.96</u> | <u>201,518.89</u> |
| 10-2640-001 | FUND BALANCE - UNASSIGNED | 4,011,564.15 | 4,011,564.15 |
| 10-2640-002 | FUND BALANCE - RESERVE WATER/SEWER | 0.00 | 0.00 |
| 10-2640-003 | FUND BALANCE-ASSIGNED | 820,000.00 | 820,000.00 |
| 10-2640-004 | FUND BALANCE-INVEST IN FIXED ASSETS | 2,774,809.59 | 2,774,809.59 |
| 10-2640-005 | CURRENT YEAR EQUITY YTD | <u>0.00</u> | <u>0.00</u> |
| | Total | <u>7,606,373.74</u> | <u>7,606,373.74</u> |
| | Revenue | 566,881.36 | 1,054,301.79 |
| | Less Expenses | <u>1,026,484.14</u> | <u>458,632.60-</u> |
| | Net | <u>459,602.78-</u> | <u>1,512,934.39</u> |
| | Total Fund Balance | <u>7,146,770.96</u> | <u>9,119,308.13</u> |
| | Total Liabilities & Fund Balance | <u><u>8,703,960.92</u></u> | <u><u>9,320,827.02</u></u> |

WEDDINGTON

Statement of Revenue and Expenditures - Standard

11/05/2025
02:49 PM**Revenue Account Range:** First to zz-zzzzz-zzz**Expend Account Range:** First to zz-zzzzz-zzz**Print Zero YTD Activity:** No**Include Non-Anticipated:** Yes**Include Non-Budget:** No**Year To Date As Of:** 10/31/25**Current Period:** 10/01/25 to 10/31/25**Prior Year:** 10/01/24 to 10/31/24

| Revenue Account | Description | Prior Yr Rev | Anticipated | Curr Rev | YTD Rev | Excess/Deficit | % Real |
|-----------------|-------------------------------------|--------------|--------------|-----------|------------|----------------|--------|
| 10-3101-110 | AD VALOREM TAX - CURRENT | 40,737.62 | 1,595,000.00 | 89,232.58 | 364,202.13 | 1,230,797.87 - | 23 |
| 10-3102-110 | AD VALOREM TAX - 1ST PRIOR YR | 744.79 | 7,500.00 | 395.23 | 3,790.02 | 3,709.98 - | 51 |
| 10-3103-110 | AD VALOREM TAX - NEXT 8 YRS PRIOR | 79.59 | 500.00 | 0.00 | 4.45 | 495.55 - | 1 |
| 10-3110-121 | AD VALOREM TAX - MOTOR VEH CURRENT | 24,968.97 | 110,000.00 | 7,924.89 | 16,110.26 | 93,889.74 - | 15 |
| 10-3115-180 | TAX INTEREST | 36.46 | 3,000.00 | 412.16 | 3,159.80 | 159.80 | 105 |
| 10-3120-000 | SOLID WASTE FEE REVENUES | 58,592.15 | 0.00 | 916.59 | 6,792.15 | 6,792.15 | 0 |
| 10-3231-220 | LOCAL OPTION SALES TAX REV - ART 39 | 57,214.48 | 625,000.00 | 33,617.66 | 68,440.56 | 556,559.44 - | 11 |
| 10-3322-220 | BEER & WINE TAX | 0.00 | 65,000.00 | 0.00 | 0.00 | 65,000.00 - | 0 |
| 10-3324-220 | UTILITY FRANCHISE TAX | 0.00 | 475,000.00 | 0.00 | 0.00 | 475,000.00 - | 0 |
| 10-3333-220 | SOLID WASTE DISP TAX | 0.00 | 3,000.00 | 0.00 | 2,616.84 | 383.16 - | 87 |
| 10-3340-400 | ZONING & PERMIT FEES | 1,165.00 | 10,000.00 | 3,187.50 | 7,710.00 | 2,290.00 - | 77 |
| 10-3350-400 | SUBDIVISION FEES | 0.00 | 10,000.00 | 330.00 | 440.00 | 9,560.00 - | 4 |

WEDDINGTON
Statement of Revenue and Expenditures

11/05/2025
02:49 PM

| Revenue Account | Description | Prior Yr Rev | Anticipated | Curr Rev | YTD Rev | Excess/Deficit | % Real |
|------------------------------------|---------------------------------|-------------------|---------------------|-------------------|-------------------|----------------------|-----------|
| 10-3360-400 | STORMWATER EROSION CONTROL FEES | 0.00 | 500.00 | 0.00 | 0.00 | 500.00- | 0 |
| 10-3830-891 | MISCELLANEOUS REVENUES | 0.00 | 2,500.00 | 870.14 | 132.14 | 2,367.86- | 5 |
| 10-3831-491 | INVESTMENT INCOME | 25,214.62 | 250,000.00 | 22,679.28 | 93,483.01 | 156,516.99- | 37 |
| General Fund Revenue Totals | | 208,753.68 | 3,157,000.00 | 159,566.03 | 566,881.36 | 2,590,118.64- | 17 |
| Expenditure Account | Description | Prior Yr Expd | Budgeted | Current Expd | YTD Expended | Unexpended | % Expd |
| 10-4110-000 | GENERAL GOVERNMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4110-110 | SOLID WASTE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4110-115 | SOLID WASTE | 84,334.48 | 1,082,950.00 | 89,298.88 | 357,195.52 | 725,754.48 | 33 |
| 10-4110-150 | POLICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4110-155 | POLICE PROTECTION | 98,110.15 | 691,645.00 | 163,481.70 | 326,963.40 | 364,681.60 | 47 |
| 10-4110-160 | EVENT PUBLIC SAFETY | 0.00 | 5,000.00 | 0.00 | 0.00 | 5,000.00 | 0 |
| 10-4110-180 | GOVERNING BOARD | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4110-190 | LEGAL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4110-192 | ATTORNEY FEES - GENERAL | 5,000.00 | 72,500.00 | 5,750.00 | 15,750.00 | 56,750.00 | 22 |
| 10-4110-193 | ATTORNEY FEES - LITIGATION | 0.00 | 5,000.00 | 0.00 | 0.00 | 5,000.00 | 0 |
| 10-4110-320 | OTHER GENERAL GOVERNMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4110-330 | ELECTION EXPENSE | 0.00 | 20,000.00 | 0.00 | 0.00 | 20,000.00 | 0 |
| 10-4110-340 | PUBLICATIONS | 0.00 | 10,000.00 | 0.00 | 0.00 | 10,000.00 | 0 |
| 10-4110-342 | HOLIDAY/TREE LIGHTING | 0.00 | 10,000.00 | 0.00 | 2,846.22 | 7,153.78 | 28 |
| 10-4110-343 | SPRING EVENT | 0.00 | 8,550.00 | 0.00 | 0.00 | 8,550.00 | 0 |
| 10-4110-344 | OTHER COMMUNITY EVENTS | 0.00 | 1,500.00 | 0.00 | 0.00 | 1,500.00 | 0 |
| 4110 GENERAL GOVERNMENT | | 187,444.63 | 1,907,145.00 | 258,530.58 | 702,755.14 | 1,204,389.86 | 37 |

WEDDINGTON

Statement of Revenue and Expenditures

11/05/2025
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| Expenditure Account | Description | Prior Yr Expd | Budgeted | Current Expd | YTD Expended | Unexpended | % Expd |
|---------------------|-------------------------------------|---------------|------------|--------------|--------------|------------|--------|
| 10-4120-000 | ADMINISTRATIVE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4120-120 | SALARIES & EMPLOYEE BENEFITS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4120-121 | SALARIES - ADMINISTRATOR/CLERK | 5,687.50 | 74,250.00 | 8,957.82 | 26,873.46 | 47,376.54 | 36 |
| 10-4120-123 | SALARIES - TAX COLLECTOR | 4,739.70 | 64,500.00 | 7,478.91 | 22,069.05 | 42,430.95 | 34 |
| 10-4120-124 | SALARIES - FINANCE OFFICER | 870.40 | 21,615.00 | 1,935.36 | 5,147.52 | 16,467.48 | 24 |
| 10-4120-125 | SALARIES - MAYOR & TOWN COUNCIL | 2,100.00 | 32,500.00 | 2,100.00 | 8,400.00 | 24,100.00 | 26 |
| 10-4120-181 | FICA EXPENSE | 1,024.89 | 15,500.00 | 1,566.14 | 4,780.57 | 10,719.43 | 31 |
| 10-4120-182 | EMPLOYEE RETIREMENT | 2,263.74 | 29,575.00 | 3,694.96 | 11,002.24 | 18,572.76 | 37 |
| 10-4120-183 | EMPLOYEE INSURANCE | 2,748.00 | 37,975.00 | 2,300.14 | 9,200.56 | 28,774.44 | 24 |
| 10-4120-184 | EMPLOYEE LIFE INSURANCE | 16.64 | 500.00 | 83.66 | 334.64 | 165.36 | 67 |
| 10-4120-185 | EMPLOYEE S-T DISABILITY | 28.00 | 375.00 | 45.79 | 183.16 | 191.84 | 49 |
| 10-4120-190 | PROFESSIONAL SERVICES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4120-191 | AUDIT FEES | 0.00 | 25,000.00 | 0.00 | 0.00 | 25,000.00 | 0 |
| 10-4120-193 | CONTRACT LABOR | 0.00 | 9,000.00 | 0.00 | 6,930.96 | 2,069.04 | 77 |
| 10-4120-200 | OTHER ADMINISTRATIVE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4120-205 | OFFICE SUPPLIES - ADMIN | 273.17 | 12,500.00 | 134.24 | 513.03 | 11,986.97 | 4 |
| 10-4120-210 | PLANNING CONFERENCE | 0.00 | 2,000.00 | 0.00 | 0.00 | 2,000.00 | 0 |
| 10-4120-321 | TELEPHONE - ADMIN | 155.49 | 2,000.00 | 169.21 | 845.96 | 1,154.04 | 42 |
| 10-4120-325 | POSTAGE - ADMIN | 0.00 | 2,500.00 | 0.00 | 768.36 | 1,731.64 | 31 |
| 10-4120-331 | UTILITIES - ADMIN | 636.36 | 5,000.00 | 536.18 | 1,013.30 | 3,986.70 | 20 |
| 10-4120-351 | REPAIRS & MAINTENANCE - BUILDING | 73,352.50- | 35,000.00 | 0.00 | 0.00 | 35,000.00 | 0 |
| 10-4120-352 | REPAIRS & MAINTENANCE - EQUIPMENT | 3,158.11 | 86,000.00 | 4,055.36 | 38,859.98 | 47,140.02 | 45 |
| 10-4120-354 | REPAIRS & MAINTENANCE - GROUNDS | 2,701.40 | 105,000.00 | 5,650.00 | 20,557.00 | 84,443.00 | 20 |
| 10-4120-355 | REPAIRS & MAINTENANCE - PEST CONTRL | 473.36 | 1,500.00 | 0.00 | 562.50 | 937.50 | 38 |
| 10-4120-356 | REPAIRS & MAINTENANCE - CUSTODIAL | 600.00 | 6,500.00 | 600.00 | 1,560.00 | 4,940.00 | 24 |
| 10-4120-370 | ADVERTISING - ADMIN | 25.50 | 500.00 | 0.00 | 45.15 | 454.85 | 9 |
| 10-4120-397 | TAX LISTING & TAX COLLECTION FEES | 0.00 | 500.00 | 0.00 | 396.99 | 103.01 | 79 |

WEDDINGTON
Statement of Revenue and Expenditures

11/05/2025
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| Expenditure Account | Description | Prior Yr Expd | Budgeted | Current Expd | YTD Expended | Unexpended | % Expd |
|---------------------|--------------------------------------|-------------------|-------------------|------------------|-------------------|-------------------|-----------|
| 10-4120-400 | ADMINISTRATIVE: TRAINING | 382.00 | 6,500.00 | 1,350.00 | 3,610.00 | 2,890.00 | 56 |
| 10-4120-410 | ADMINISTRATIVE: TRAVEL | 500.29 | 5,000.00 | 144.34 | 966.33 | 4,033.67 | 19 |
| 10-4120-450 | INSURANCE | 0.00 | 28,350.00 | 0.00 | 28,036.61 | 313.39 | 99 |
| 10-4120-491 | DUES & SUBSCRIPTIONS | 25.00 | 29,925.00 | 175.00 | 23,846.57 | 6,078.43 | 80 |
| 10-4120-498 | GIFTS & AWARDS | 0.00 | 1,500.00 | 0.00 | 29.58 | 1,470.42 | 2 |
| 10-4120-499 | MISCELLANEOUS | 4,321.01 | 15,000.00 | 1,206.45 | 2,606.54 | 12,393.46 | 17 |
| | 4120 ADMINISTRATIVE | 40,621.94- | 656,065.00 | 42,183.56 | 219,140.06 | 436,924.94 | 33 |
| 10-4130-000 | ECONOMIC & PHYSICAL DEVELOPMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4130-120 | SALARIES & EMPLOYEE BENEFITS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4130-121 | SALARIES - ZONING ADMINISTRATOR | 6,666.66 | 85,200.00 | 10,500.00 | 31,500.00 | 53,700.00 | 37 |
| 10-4130-122 | SALARIES - ASST ZONING ADMINISTRATOR | 0.00 | 27,450.00 | 2,921.00 | 2,921.00 | 24,529.00 | 11 |
| 10-4130-123 | SALARIES - ADMINISTRATIVE ASSISTANT | 1,964.17 | 26,250.00 | 3,079.61 | 8,741.06 | 17,508.94 | 33 |
| 10-4130-124 | SALARIES - PLANNING BOARD | 200.00 | 6,300.00 | 300.00 | 1,250.00 | 5,050.00 | 20 |
| 10-4130-125 | SALARIES - SIGN REMOVAL | 264.60 | 3,600.00 | 330.75 | 1,190.70 | 2,409.30 | 33 |
| 10-4130-181 | FICA EXPENSE - P&Z | 695.83 | 11,765.00 | 1,235.40 | 3,262.54 | 8,502.46 | 28 |
| 10-4130-182 | EMPLOYEE RETIREMENT - P&Z | 1,114.00 | 30,050.00 | 1,835.40 | 5,506.20 | 24,543.80 | 18 |
| 10-4130-183 | EMPLOYEE INSURANCE | 1,374.00 | 19,350.00 | 1,150.07 | 4,600.28 | 14,749.72 | 24 |
| 10-4130-184 | EMPLOYEE LIFE INSURANCE | 25.60 | 375.00 | 47.00 | 188.00 | 187.00 | 50 |
| 10-4130-185 | EMPLOYEE S-T DISABILITY | 14.00 | 200.00 | 30.46 | 121.84 | 78.16 | 61 |
| 10-4130-190 | CONTRACTED SERVICES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4130-192 | CONSULTING STORMWATER CONTROL | 7,686.41 | 95,000.00 | 782.00 | 8,747.70 | 86,252.30 | 9 |
| 10-4130-193 | CONSULTING | 5,840.00 | 75,000.00 | 8,883.00 | 28,069.00 | 46,931.00 | 37 |
| 10-4130-194 | CONSULTING - COG | 0.00 | 15,000.00 | 0.00 | 5,026.93 | 9,973.07 | 34 |
| 10-4130-195 | OTHER CONSULTING CONTRACTS | 0.00 | 150,500.00 | 0.00 | 0.00 | 150,500.00 | 0 |
| 10-4130-200 | OTHER PLANNING | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 |
| 10-4130-201 | OFFICE SUPPLIES - PLANNING & ZONING | 273.16 | 7,500.00 | 134.24 | 513.02 | 6,986.98 | 7 |

WEDDINGTON

Statement of Revenue and Expenditures

11/05/2025
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| Expenditure Account | Description | Prior Yr Expd | Budgeted | Current Expd | YTD Expended | Unexpended | % Expd |
|--|---------------------------------|-------------------|---------------------|-------------------|---------------------|---------------------|-----------|
| 10-4130-215 | HISTORIC PRESERVATION | 0.00 | 250.00 | 0.00 | 0.00 | 250.00 | 0 |
| 10-4130-321 | TELEPHONE - PLANNING & ZONING | 155.49 | 2,000.00 | 169.20 | 845.93 | 1,154.07 | 42 |
| 10-4130-325 | POSTAGE - PLANNING & ZONING | 0.00 | 2,500.00 | 0.00 | 768.37 | 1,731.63 | 31 |
| 10-4130-331 | UTILITIES - PLANNING & ZONING | 455.73 | 5,000.00 | 480.28 | 1,291.21 | 3,708.79 | 26 |
| 10-4130-370 | ADVERTISING - PLANNING & ZONING | 0.00 | 500.00 | 0.00 | 45.16 | 454.84 | 9 |
| 10-4130-500 | CAPITAL EXPENDITURES - P&Z | 0.00 | 30,000.00 | 0.00 | 0.00 | 30,000.00 | 0 |
| 4130 ECONOMIC & PHYSICAL DEVELOPMEN | | 26,729.65 | 593,790.00 | 31,878.41 | 104,588.94 | 489,201.06 | 18 |
| General Fund Expenditure Totals | | | | | | | |
| | | 173,552.34 | 3,157,000.00 | 332,592.55 | 1,026,484.14 | 2,130,515.86 | 33 |

10 General Fund

| | Prior | Current | YTD |
|---------------|------------|-------------|--------------|
| Revenues: | 208,753.68 | 159,566.03 | 566,881.36 |
| Expenditures: | 173,552.34 | 332,592.55 | 1,026,484.14 |
| Net Income: | 35,201.34 | 173,026.52- | 459,602.78- |

Grand Totals

| | Prior | Current | YTD |
|---------------|------------|-------------|--------------|
| Revenues: | 208,753.68 | 159,566.03 | 566,881.36 |
| Expenditures: | 173,552.34 | 332,592.55 | 1,026,484.14 |
| Net Income: | 35,201.34 | 173,026.52- | 459,602.78- |

**TOWN OF
W E D D I N G T O N
MEMORANDUM**

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: November 10, 2025

SUBJECT: Tax Report– October 2025

| | |
|--|---------------|
| Transactions: | |
| Utility Tax Charges | \$9893.95 |
| Discoveries | \$224.93 |
| Refunds | \$389.87 |
| Balance Adjustments | 1.76 |
| Refunds | \$(2284.84) |
| Taxes Collected: | |
| 2022 | \$(197.18) |
| 2023 | \$(452.14) |
| 2024 | \$(1074.66) |
| 2025 | \$(89,232.58) |
| As of October 31, 2025; the following taxes remain Outstanding: | |
| 2014 | \$136.06 |
| 2015 | \$187.26 |
| 2016 | \$251.29 |
| 2017 | \$421.72 |
| 2018 | \$139.46 |
| 2019 | \$390.77 |
| 2020 | \$285.81 |
| 2021 | \$408.89 |
| 2022 | \$1986.01 |
| 2023 | \$11,902.38 |
| 2024 | \$22,933.75 |

| | |
|---------------------------|-----------------------|
| 2025 | \$1,407,860.93 |
| Total Outstanding: | \$1,446,904.33 |

TOWN OF WEDDINGTON
ARPA QUARTERLY UPDATE
AS OF 9/30/25

| | |
|------------------------|-----------------|
| BEGINNING ARPA BALANCE | \$ 1,635,187.50 |
| SPENT 10/1/21-6/30/23 | (799,944.67) |
| SPENT 7/1/23-6/30/24 | (639,273.64) |
| SPENT 7/1/24-12/31/24 | (195,969.19) |
| BALANCE AT 7/1/25 | <u>\$ -</u> |
| SPENT 7/1/25-9/30/25 | - |
| BALANCE AT 9/30/25 | <u>\$ -</u> |

TOWN OF WEDDINGTON
SCIF QUARTERLY SUMMARY REPORT
AS OF 9/30/2025

| | | | TOWN HALL REPAIR & RENOVATIONS | OUTBUILDING RENOVATION & SIDEWALK CONSTRUCTION | PARK PLAZA CONSTRUCTION | TOWN PARK AMPITHEATER & PICNIC TABLES | LANDSCAPING, LIGHTING, GRADING & IRRIGATION | INTERSECTION IMPROVEMENTS | AUDIO-VISUAL ENHANCEMENTS | CONSULTING & PROJECT MANAGEMENT | ESTIMATED COST OVERRUNS | INTEREST EARNED |
|-----------------------------------|--------|--------------|--------------------------------------|---|----------------------------|---|--|------------------------------|------------------------------|---------------------------------------|----------------------------|--------------------|
| SCIF PROJECT ORDINANCE BUDGET | \$ | - | \$ 175,000.00 | \$ 150,000.00 | \$ 105,000.00 | \$ 75,000.00 | \$ 35,000.00 | \$ 65,000.00 | \$ 20,000.00 | \$ 75,000.00 | \$ 150,000.00 | \$ - |
| RECEIPT OF FUNDS 8/25/23 | \$ | 850,000.00 | | | | | | | | | | |
| INTEREST EARNED AS OF 6/30/2025 | \$ | 58,364.74 | | | | | | | | | | \$ 58,364.74 |
| TRANSFER TO GENERAL FUND | \$ | (153,081.57) | \$ (42,555.57) | \$ - | \$ (102,034.00) | \$ - | \$ (8,492.00) | \$ - | \$ - | \$ - | \$ - | |
| SCIF CASH BALANCE AT 6/30/25 | \$ | 755,283.17 | \$ 132,444.43 | \$ 150,000.00 | \$ 2,966.00 | \$ 75,000.00 | \$ 26,508.00 | \$ 65,000.00 | \$ 20,000.00 | \$ 75,000.00 | \$ 150,000.00 | \$ 58,364.74 |
| DUE TO GENERAL FUND FY2025 | | | | | | | | | | | | |
| DEHAAN PAINTING | Nov-23 | \$ 10,320.00 | \$ 10,320.00 | | | | | | | | | |
| DEHAAN PAINTING | Dec-23 | \$ 3,945.63 | \$ 3,945.63 | | | | | | | | | |
| DEHAAN PAINTING DEPOSIT A | Sep-23 | \$ (10.00) | \$ (10.00) | | | | | | | | | |
| WD SMITH GRADING ADJ | | \$ (337.36) | | \$ (337.36) | | | | | | | | |
| XL MEDIAWORKS | Jul-24 | \$ 14,329.05 | | | | | | | \$ 14,329.05 | | | |
| LABELLA CONSULTING | Jun-25 | \$ 26,685.00 | | | | | | | | \$ 26,685.00 | | |
| DUE TO GENERAL FUND FY2025 | \$ | 54,932.32 | \$ 14,255.63 | \$ - | \$ (337.36) | \$ - | \$ - | \$ - | \$ 14,329.05 | \$ 26,685.00 | \$ - | \$ - |
| DUE TO GENERAL FUND FY2026 | | | | | | | | | | | | |
| LABELLA CONSULTING | Jul-25 | \$ 13,710.00 | | | | | | | | \$ 13,710.00 | | |
| LABELLA CONSULTING | Sep-25 | \$ 11,034.00 | | | | | | | | \$ 11,034.00 | | |
| DUE TO GENERAL FUND FY2026 | \$ | 79,676.32 | \$ 14,255.63 | \$ - | \$ (337.36) | \$ - | \$ - | \$ - | \$ 14,329.05 | \$ 51,429.00 | \$ - | \$ - |
| SCIF BALANCE REMAINING AT 9/30/25 | \$ | 675,606.85 | \$ 118,188.80 | \$ 150,000.00 | \$ 3,303.36 | \$ 75,000.00 | \$ 26,508.00 | \$ 65,000.00 | \$ 5,670.95 | \$ 23,571.00 | \$ 150,000.00 | \$ 58,364.74 |

TOWN OF WEDDINGTON
SPECIAL REVENUE - OSBM PARK FUNDS
AS OF 9/30/25

| | |
|--------------------------------|----------------------|
| BEGINNING BALANCE | \$ 250,000.00 |
| FY2025 INTEREST EARNED | 7,872.20 |
| BALANCE AT 7/1/25 | <u>\$ 257,872.20</u> |
| INTEREST EARNED 7/1/25-9/30/25 | 2,810.72 |
| BALANCE AT 9/30/25 | <u>\$ 260,682.92</u> |