



**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, NOVEMBER 10, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104**

AGENDA

1. Call to Order
2. Determination of Quorum
3. Pledge of Allegiance
4. Additions, Deletions and/or Adoption of the Agenda
5. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Council member to avoid conflicts of interest. Does any Council member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*
6. Mayor/Councilmember Reports
7. Public Comments
8. Public Safety Report
9. Consent Agenda
 - A. Approval of October 13, 2025 Regular Town Council Meeting Minutes
 - B. Approval of letters of support for federal zip code legislation
10. Old Business
 - A. Discussion and Consideration of Release of Enclave at Baxley Bond.
11. New Business
 - A. CZ 2025-04 Keystone Custom Homes Subdivision at 3009 Forest Lawn Drive
 - i. Public Hearing
 - ii. Discussion and Possible Consideration
 - B. O-2025-07 Text Amendment to D917A.G. Private Roads and Gatehouses and Section D918.I. Screening and Landscaping-Berm Language
 - i. Public Hearing
 - ii. Discussion and Possible Consideration
12. Code Enforcement Report

13. Update from Finance Officer and Tax Collector
14. Updates from Town Planner and Town Administrator
15. Transportation Report
16. Council Comments
17. Closed Session 143.318.11 (5)-*to establish, or to instruct the public body's staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or the amount of compensation and other material terms of an employment contract or proposed employment contract*
18. Adjournment

Weddington

10/2025

UCR Code	Description	Date of Report	Incident ID	
13B				
13B	SIMPLE ASSAULT	10/7/25	202508215	
13B	ASSAULT AND BATTERY	10/14/25	202508421	
13B	CHILD ABUSE - MISD	10/22/25	202508692	
13B	SIMPLE AFFRAY	10/28/25	202508890	
			Total:	4
13C				
13C	COMMUNICATING THREATS OF MASS VIOLENCE	10/3/25	202508067	
13C	COMMUNICATING THREATS	10/12/25	202508360	
13C	COMMUNICATING THREATS	10/21/25	202508655	
13C	COMMUNICATING THREATS	10/22/25	202508700	
			Total:	4
220				
220	BURGLARY-1ST DEGREE	10/18/25	202508567	
220	BREAKING OR ENTERING (M)	10/20/25	202508614	
220	BREAKING/ENTERING-FELONY	10/24/25	202508740	
220	BREAKING/ENTERING-FELONY	10/24/25	202508741	
			Total:	4
23F				
23F	BEL / THEFT FROM MOTOR VEHICLE	10/24/25	202508769	
			Total:	1
23H				
23H	LARCENY-MISDEMEANOR	10/2/25	202508028	
23H	LARCENY-MISDEMEANOR	10/8/25	202508226	
			Total:	2
26A				
26A	OBTAINING PROPERTY BY FALSE PRETENSES	10/8/25	202508238	
26A	OBTAINING PROPERTY BY FALSE PRETENSES	10/17/25	202508534	
26A	IDENTITY THEFT	10/22/25	202508691	
26A	OBTAINING PROPERTY BY FALSE PRETENSES	10/31/25	202508992	
			Total:	4
290				
290	INJURY TO PERSONAL PROPERTY	10/13/25	202508395	
290	INJURY TO REAL PROPERTY	10/23/25	202508708	
290	INJURY TO REAL PROPERTY	10/29/25	202508921	
			Total:	3
35A				
35A	POSSESS MARIJUANA UP TO 1/2 OZ	10/1/25	202507983	
35A	PWISD OF MARIJUANA	10/8/25	202508234	
35A	POSSESS COCAINE FEL	10/11/25	202508350	
35A	SIMPLE POSSESS SCH IV C/S	10/17/25	202508532	
35A	POSSESS SCH VI CS	10/24/25	202508756	

Weddington
10/2025

UCR Code	Description	Date of Report	Incident ID	
35A	POSSESS MARIJUANA UP TO 1/2 OZ	10/25/25	202508793	
35A	POSSESS MARIJUANA UP TO 1/2 OZ	10/30/25	202508971	
			Total:	7
35B				
35B	POSSESS MARIJUANA PARAPHERNALIA	10/1/25	202507983	
35B	POSSESS MARIJUANA PARAPHERNALIA	10/17/25	202508532	
35B	POSSESS MARIJUANA PARAPHERNALIA	10/25/25	202508793	
			Total:	3
90D				
90D	DRIVING WHILE IMPAIRED	10/25/25	202508793	
90D	DRIVING WHILE IMPAIRED	10/25/25	202508796	
			Total:	2
90G				
90G	CONSUME ALCOHOL < 19	10/25/25	202508795	
			Total:	1
90Z				
90Z	RESIST, DELAY, OBSTRUCT	10/11/25	202508350	
			Total:	1
999				
999	NO LIABILITY INSURANCE	10/1/25	202507983	
999	EXPIRED REGISTRATION CARD/TAG	10/1/25	202507983	
999	ACCIDENT POSSIBLE INJURY	10/1/25	202508010	
999	DWLR IMPAIRED REV	10/2/25	202508033	
999	ANIMAL CALL BITE	10/2/25	202508044	
999	FOUND PROPERTY	10/7/25	202508210	
999	CALL FOR SERVICE	10/8/25	202508229	
999	ACCIDENT NO VISIBLE INJURY	10/10/25	202508322	
999	ACCIDENT NO VISIBLE INJURY	10/11/25	202508347	
999	ACCIDENT NO VISIBLE INJURY	10/12/25	202508366	
999	ANIMAL CALL	10/14/25	202508409	
999	CALL FOR SERVICE	10/14/25	202508424	
999	ACCIDENT NO VISIBLE INJURY	10/16/25	202508468	
999	ACCIDENT NO VISIBLE INJURY	10/16/25	202508469	
999	LOST PROPERTY	10/16/25	202508484	
999	DWLR NON IMPAIRED REV	10/17/25	202508532	
999	ANIMAL CALL	10/18/25	202508555	
999	ACCIDENT POSSIBLE INJURY	10/18/25	202508563	
999	SERVE WARRANT	10/21/25	202508669	
999	ACCIDENT NO VISIBLE INJURY	10/21/25	202508672	
999	ACCIDENT NO VISIBLE INJURY	10/22/25	202508688	
999	ACCIDENT NO VISIBLE INJURY	10/23/25	202508709	
999	ACCIDENT NO VISIBLE INJURY	10/24/25	202508743	
999	SPEEDING	10/25/25	202508796	
999	ACCIDENT NO VISIBLE INJURY	10/26/25	202508811	
999	ACCIDENT NO VISIBLE INJURY	10/27/25	202508847	
999	WELL BEING CHECK	10/27/25	202508853	
999	ACCIDENT NO VISIBLE INJURY	10/30/25	202508956	

Weddington**10/2025**

UCR Code	Description	Date of Report	Incident ID
999	MISSING PERSON	10/31/25	202509008
9999			Total: 29
9999	MENTAL HEALTH INVESTIGATION	10/3/25	202508100
9999	MENTAL HEALTH INVESTIGATION	10/5/25	202508142
9999	MENTAL HEALTH INVESTIGATION	10/6/25	202508156
9999	MENTAL HEALTH INVESTIGATION	10/23/25	202508724
			Total: 4

Monthly Crime Total **69**



TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, OCTOBER 13, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
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1. Call to Order

Mayor Bell called the meeting to order at 7:00 p.m.

2. Determination of Quorum

Quorum was determined with all councilmembers present: Mayor Jim Bell, Mayor Pro Tem Tom Smith, Council members Jeff Perryman, Brannon Howie, and Darcey Ladner

Staff: Town Administrator/Clerk Karen Dewey, Town Planner Greg Gordos, Finance Officer Leslie Gaylord, Deputy Clerk/Admin Assistant Debbie Coram, Permit Tech/Planning Assistant Jazlyn Moock, Town Attorney Karen Wolter, Deputy Grant Wrenn

Visitors: Anne Marie Cruz, Andy Anderson, Craig Horn, Ellen McLaughlin, Liz Holtey, Fred LeFranc, Bob Griswold, Mark Shepherd, Virginia Shepherd, Winsley Peter, Bill Deter, Anand Kulkarni, Bob Donnelly, Sonali Patel, Andrea Donnelly, Clayton Jones, Cathy Killough Brown, Christopher Neve, Robert Price, Tracy Stone, Reuben Radik, Venketesh Macherla, Santhosh Dasavathan, Dileep Kolli, Rostik Radik, Vijay Paka, Bill Cathey, Eric Anderson

3. Pledge of Allegiance

Council led the Pledge of Allegiance.

4. Additions, Deletions and/or Adoption of the Agenda

Mayor Bell requested to pull item 10.B. Approve Release of Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley from the Consent Agenda and add it as New Business item C for discussion.

Motion: Mayor Pro Tem Smith made a motion to adopt the agenda as amended
Vote: The motion passed with a unanimous vote.

5. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Council member to avoid conflicts of interest. Does any Council member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*

Mayor Bell read the Conflict of Interest Statement. No Councilmember had a conflict of interest.

6. Mayor/Councilmember Reports

Councilmember Perryman reported on the September Western Union Municipal Alliance meeting held in Stallings. He noted that there was not a quorum present, with only representatives from Stallings, Wesley Chapel, and himself in attendance. Though no formal meeting was held, they had informal discussions. He announced that the next meeting is scheduled for October 23rd at 4:00 PM at Waxhaw Town Hall.

Mayor Pro Tem Smith thanked the Council for taking up the resolution on World Polio Day. He serves as the Rotary District 7680 Polio Plus Fund Chair covering 14 counties in the area. He noted that polio is no longer endemic in the US since 1979 and currently exists in only two countries - Afghanistan and Pakistan - with 35 cases year-to-date, a significant reduction from 350,000 cases of paralytic polio annually when the eradication effort began 40 years ago. He invited anyone interested to join Rotary, which meets Thursday mornings at 7:30 AM at the Weddington Swim and Racquet Club. Mayor Pro Tem Smith also reported on his meeting with county DOT maintenance personnel regarding road conditions. He explained that due to state budget constraints, DOT had only \$600,000 total for maintenance of secondary streets in the entire county last year. Preservation treatments cost \$120,000 per mile while full asphalt resurfacing costs

\$240,000 per mile. He noted that DOT is prioritizing the worst condition roads for maintenance. The upcoming state budget, once passed, will determine what roads can be resurfaced in the coming year.

7. Public Comments

Mayor Bell read the public comment rules, emphasizing that comments must be directed to the council, not the audience, and warning that anyone turning to address the audience would receive one warning before being stopped. He stated that anyone talking during the meeting would receive one warning before being escorted from the property.

Anne Marie Cruz 13624 Providence Road: Ms. Cruz addressed the conservation easement on the Hunter Farm. She used ChatGPT to explain the legal documents in simple terms, confirming that the conservation easement is a "forever promise" that runs with the land in perpetuity. The easement prohibits commercial or industrial use, subdividing for neighborhoods or shopping centers, and new roads or parking lots except for farming or education. The land must remain as open farm and nature space forever, regardless of ownership. She explained that the only way to end the easement would be through "impossibility of purpose," requiring agreement from a judge, the Catawba Lands Conservancy, and the NC Attorney General that keeping the land as open farm space is no longer possible. Cruz asked council members and residents to share this accurate information and correct any misunderstandings.

Phillip Anderson 13624 Providence Road: Mr. Anderson continued the discussion about the conservation easement, expressing frustration at hearing the same false claims for 30-40 years. He clarified that the three-year tax lookback applies to tax law when someone stops farming, not to the conservation easement. He emphasized that the conservation easement cannot be undone - it's a legal property agreement on file at the Union County Register of Deeds that binds any future property owner forever. Only agricultural, educational, and conservation uses are allowed, with the possibility of building one additional house on one acre by mutual agreement with the Catawba Land Conservancy.

Fred LeFranc 2109 White Magnolia Lane: Mr. LeFranc thanked Mayor Bell for helping get speed bumps installed at their community entrance and Officer Wren for attending their security meeting. He opposed the release of Toll Brothers' bond due to pending issues in their community. He outlined five main concerns: cracks in the retention pond berms requiring engineering review; poor condition of the park area with dead grass and safety hazards for children; irrigation valves not connected to electricity causing \$7,500 water bills; dead trees in conservation areas posing safety risks; and roads with standing water issues despite DOT turnover. He also noted their HOA was forced upon them with only \$8,000 in reserves despite collecting \$52,500 in deposits from residents.

Eric Anderson 13624 Providence Road: Mr. Anderson expressed concern about the town's pattern of misreading legal contracts, referencing a previous lawsuit that cost the town nearly a million dollars. He warned that denying development proposals that follow town rules will result in lawsuits and urged the council to change the rules if they don't want development rather than denying compliant proposals.

Winsley Peter 3109 Weeping Willow Dr: Mr. Peter described their luxury neighborhood of \$1.2-1.7 million homes, now nearly two years old. He called the common areas an embarrassment compared to other Weddington neighborhoods, with the park full of potholes making it unusable for children who must play in the streets instead. He requested the council hold the bond until issues are addressed. He commented on the standing water issues in their cul-de-sac, noting there are no storm drains while another cul-de-sac has three. The water creates marshy, muddy conditions after every sprinkler use or rainfall, creating safety hazards for children playing hockey.

Sonali Patel, who paid a premium for a pond-facing lot, described ongoing issues with the pond area despite multiple visits from workers. She expressed concerns about pond safety with her young children, drainage issues, and the poor condition of common areas with ant piles and no grass, making it unsafe for children to play.

Cathy Brown 5012 Longview: Ms. Brown criticized the three-day deadline for submitting veterans' names for recognition, calling it insulting to those who gave years or decades of service. She contrasted it with Indian Trail's veteran memorial that has no deadline for a 100\$ fee and commented Weddington's approach was an embarrassment.

Reuben Radik, 2103 Green Cypress Lane: Mr. Radik asked the council to help by holding the bond release to bring Toll Brothers to the negotiating table. He noted Toll Brothers received conservation easements

allowing 0.3-acre lots instead of one-acre lots but now they are trying to walk away from responsibilities, forcing the HOA to handle everything.

Venkat Macherla, 2002 Green Cypress Lane: Mr. Macherla reiterated safety and infrastructure concerns including retention pond cracks needing professional inspection, the eyesore park with water logging, hazardous dead trees, and lack of maintenance instructions. He noted their HOA is out of funds despite paying over \$25,000 in annual water bill

8. Presentation of Proclamation for World Polio Day

Mayor Bell read Proclamation P-2025-05 proclaiming October 24, 2025, as World Polio Day. The proclamation recognized Rotary's global network of 1.2 million members and their role in launching PolioPlus in 1985 and establishing the Global Polio Eradication Initiative in 1988. It noted that polio cases have dropped 99.9% since 1988, with Rotary contributions adding to more than \$2.9 billion and protecting over 3 billion children in 122 countries. The proclamation encouraged all citizens to recognize these efforts and join the fight for a polio-free world.

Mayor Pro Tem Smith explained that the global polio eradication initiative vaccinates approximately 450 million children annually at a cost of \$1 billion per year. He described polio as a waterborne disease transmitted through unsanitary water, particularly problematic in Third World countries with poor water and sewer systems. Two of three polio types have been eradicated worldwide, with only Type 1 remaining in Afghanistan and Pakistan. The effort involves 50,000 paid workers and hundreds of thousands of volunteers.

Craig Horn, President of the Rotary Club of Weddington-Waxhaw, thanked the council for the proclamation. He recalled the iron lung and its terrible impact on children who could not breathe on their own. He emphasized that Rotary is very close to eradicating polio worldwide and stressed the critical importance of not stopping now. Mayor Bell presented the proclamation to Mr. Horn.

9. Public Safety Report

Deputy Wrenn presented the September public safety statistics: 63 9-1-1 hang-ups, 29 wrecks including serious personal injury, 24 alarms, 10 animal services calls, 4 armed subject reports, 5 assaults, 2 home burglaries, 1 vehicle burglary, 52 business checks, 17 careless/reckless driving calls, 7 disturbances including domestics, 562 preventive patrols, 13 residential checks for vacationing residents, and 57 traffic stops, totaling 1,400 calls for service.

Deputy Wrenn reminded residents about October safety concerns with churches holding fall events and trunk-or-treats. He urged extra caution as darkness comes earlier, and children will be out. Many HOAs have encouraged the neighbors to set up at the end of driveways rather than having children walk up to houses, avoiding setting off doorbell cameras and creating a safer environment. He noted officers will patrol with cruise lights on.

Deputy Wrenn thanked residents for their calls, both positive and negative, emphasizing the importance of reporting suspicious activity. He shared an example of someone wearing a mask at a retail store who was arrested with hundreds of dollars in stolen merchandise, receiving an additional charge under North Carolina statute for wearing a mask during commission of a crime.

10. Consent Agenda

- A. Approve September 8, 2025 Regular Town Council Meeting Minutes**
- ** B. Approve Release of Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley.**

Motion: Councilmember Perryman made a motion to approve the Consent Agenda as amended.

Vote: The motion passed with a unanimous vote.

11. Old Business

No Old Business was discussed.

12. New Business

- A. Discussion of Website Upgrade to include AI capability and meet ADA requirements.**

Ms. Dewey explained that the town website must be ADA compliant by April 2027 according to federal requirements. She has begun obtaining quotes for upgrading the website, noting the current bare-bones site will require more significant investment.

Mayor Pro Tem Smith explained his interest in incorporating AI capabilities to make the website more user-friendly, allowing citizens to find information instantly rather than searching through multiple pages or calling staff. He believes AI features could be incorporated alongside ADA compliance upgrades, though they are separate components.

Mayor Bell shared his conversation with a computer science professor about concerns regarding AI and government computers. The professor advised considering return on investment, avoiding expensive solutions, looking for bots that could drive up costs, and limiting AI access to prevent distribution of residential records. Mayor Bell emphasized the need to ensure the town is protected and doesn't open itself up to security risks.

Discussion among council members confirmed this would be exploratory only with no money being spent at this time. Councilmember Brannon Howie noted that while ADA compliance by 2027 is required, much more research is needed before considering AI implementation. The council gave consensus to proceed with research on both ADA compliance and AI possibilities.

B. Discussion of Landscaping Weddington Road roundabout

Mayor Pro Tem Smith proposed exploring beautification of the roundabout by town hall. He explained that municipalities can beautify roundabouts within state guidelines using drought-hardy plants, shrubs, and smaller trees without adding power or water.

Council members discussed visibility concerns and previous attempts at roundabout landscaping. Councilmember Perryman recalled an incident less than two years ago where drivers went through plantings at Hemby and Providence, requiring replanting at town expense. He suggested ensuring the town wouldn't be responsible for repairs if someone damages plantings again.

Mayor Bell clarified this is exploratory only with no vote to spend taxpayer money. He also noted that landscaping on the town hall property has been delayed to avoid planting in summer heat but will be completed soon, along with replacement of damaged light poles.

C. Approve Release of Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley.

Mr. Gordos explained this performance bond release request for over \$2.5 million encompasses the entire Enclave at Baxley subdivision. The project has gone through multiple names, developers, and staff members over nearly a decade. The bond covers infrastructure including roads, sidewalks, curbs, and the detention pond. Mr. Gordos noted this conservation development preserved 50% of open space in perpetuity with the other 50% developed with lots as small as 12,000 square feet. Under old zoning requiring conservation developments to include a neighborhood green, this central feature has become a key concern for residents.

He reported that roads have been turned over to NCDOT with final asphalt layer completed, sidewalks and curbs are in good shape, and the town's primary concern - the stormwater pond - was inspected less than two weeks ago by staff and LaBelle Associates. During inspection, contractors were actively regrading and reseeding around the pond to address soil stability issues.

Bob Wilson from LaBelle Associates confirmed they could reinvestigate cracks in the pond embankment mentioned by residents, which weren't evident during their inspection. He explained that roads have been accepted by NCDOT and cannot be overruled, the park/common area isn't covered by the bond, and dead trees in undisturbed conservation areas are natural occurrences not requiring developer action.

Mr. Gordos addressed the tree planting issue, explaining that approved plans from 2020 (before the current UDO requiring trees in front and back yards) only showed front yard trees.

Robert Price from Toll Brothers stated they want to be good neighbors and have been in conversation with homeowners for about a year since turnover. He noted they could have petitioned for bond release a year ago but waited to address concerns. He explained that multiple entities validate proper construction including professional engineers, surveyors, and the town's third-party engineering firm. Mr. Price offered to investigate the HOA funding concerns and continue working with residents on their issues.

Council discussion focused on the recent repairs to the retention pond only two weeks prior being insufficient time to ensure proper establishment, the ability to request NCDOT reinspection of roads, and investigating whether the sinking fund was properly funded under applicable regulations. Council requested staff to determine that the sinking fund was sufficiently funded, to reinspect the ponds and request NCDOT to reinspect the roads.

Motion: Mayor Pro Tem Smith made a motion to table consideration of the release of the Performance Bond in the amount of \$2,624,900 for the Enclave at Baxley until the November 10, 2025 Regular Town Council meeting.

Vote: The motion passed with a unanimous vote.

13. Code Enforcement Report

Mr. Gordos reported significant progress with nearly 50% of cases closed in the past month. The department levied fines of several thousand dollars and is actively collecting this revenue, which will fund the code enforcement department for several months. He announced that their current code enforcement officer will be phasing in a new inspector soon but expects the same positive level of service to continue.

14. Update from Finance Officer and Tax Collector

Ms. Gaylord reported completion of the first quarter with financial statements included in the packet. She noted quarterly updates on grant funds will be provided next month as they weren't ready for this meeting. The audit process is beginning and will continue for 30-45 days. Ms. Gaylord warned that Ms. Woods, the tax collector, has been receiving numerous property appraisal challenges with adjustments significantly higher than usual, which will reduce the initially billed tax amount somewhat. She confirmed this shouldn't materially impact the budget as the initial valuation exceeded budget projections.

15. Updates from Town Planner and Town Administrator

Mr. Gordos reported two projects pending for coming months. First is a conditional zoning revision to the ARIA subdivision (a 9-lot subdivision approved earlier) to use well water instead of public water, as allowed for rural subdivisions under 12 lots. Second is a Toll Brothers conventional subdivision on Weddington-Matthews Road that has undergone seven revisions and community meetings to address design issues. He noted developers are rushing to request bond releases, mentioning Weddington Glen (a Beechwood project) may request their remaining bond money in November. Mr. Gordos introduced Jazlyn Moock, the new part-time permit technician who started two weeks ago. She introduced herself as a Davidson College graduate with a political science degree and passion for zoning, excited to help with permit processing and customer service. Mayor Bell clarified that Jasmine is a part-time planning assistant and permit technician, not a full-time planner as some have claimed. Mr. Gordos confirmed the town still has only one planner.

Mr. Gordos announced that minor subdivisions are now posted online for transparency since strengthened major subdivision regulations have led to more minor subdivision applications. He also announced Bob Wilson from LaBelle will attend all future public meetings to provide engineering expertise when development proposals are considered, including preliminary review of projects before they reach the planning board.

Ms. Dewey reported that the family of the Eagle Scout who installed the Veterans' monument behind town hall has offered to update it. The deadline for name submissions was set to complete updates by Veterans Day 2025, though name collection will continue as an ongoing project. She also continues working on website upgrade proposals.

16. Transportation Report

Mayor Bell reported multiple conversations with DOT about the Rea Road extension and widening of Highway 16. DOT is confident the project will start in June/July 2029, with right-of-way acquisition already underway. He has requested a community-wide update from DOT but they are still tweaking plans including the Michigan left at Stratford and improvements at Rea Road. Mayor Bell continues working to minimize impact on homes, particularly in Stratford on Providence.

Mayor Pro Tem Smith added that Weddington Hills successfully negotiated for a cul-de-sac instead of a connection at Rea Road, with final agreement recently reached between the HOA, landowner, and state.

17. Council Comments

Councilmember Ladner congratulated staff on closing 50% of code enforcement cases, something she never thought possible when seeing the list two years ago. She thanked them for being strong and collecting fines.

Councilmember Howie thanked town staff, council, and everyone making the wheels turn at town hall. She thanked Rotary for the flags at 9/11 and making Weddington look sharp on important days. Councilmember Howie shared her terrifying experience during the elementary school hard lockdown a few weeks ago when she was in the building with her children. As officers walked down the hallway with weapons, it reminded her of a terrorist attack she had experienced, but this time with her children present. She thanked Deputy Wrenn and UCSO for their quick response, disposition, and seamless operations that got kids back on track.

Councilmember Perryman echoed the accolades and welcomed Jazlyn to the great team. He encouraged everyone to vote in the upcoming election regardless of political affiliation, noting it's a right paid for dearly.

Mayor Pro Tem Smith thanked everyone who stayed through the meeting and staff for their hard work. He welcomed Jazlyn and looked forward to continued financial updates, especially as the year progresses beyond first quarter when revenue starts coming in.

Mayor Bell noted he had optimistically expected a 30–45-minute meeting. He warned about election-time misinformation online, citing false claims about buying land and building a multi-million-dollar town hall or using taxpayer money for the LaBella study when grant funds were actually used. He encouraged anyone with questions to ask council or staff for clarification rather than believing inaccurate information.

18. Closed Session NCGS 143.318.11 (5)-*to establish, or to instruct the public body's staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or the amount of compensation and other material terms of an employment contract or proposed employment contract*

Motion: Councilmember Ladner made a motion to move into Closed Session according to NCGS 143.318.11 (5)-to establish, or to instruct the public body's staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or the amount of compensation and other material terms of an employment contract or proposed employment contract at 8:53 p.m.

Vote: The motion passed with a unanimous vote.

Mayor Bell called the meeting back to order at 9:52 p.m.

19. Adjournment

Motion: Mayor Pro Tem Smith made a motion to adjourn the October 13, 2025 Regular Town Council Meeting at 9:52 p.m.

Vote: The motion passed with a unanimous vote.

Approved: _____

Jim Bell, Mayor

Karen Dewey, Town Administrator/Clerk



November 11, 2025

The Honorable James Comer
Chairman
House Oversight and Government Reform Committee
2157 Rayburn House Office Building
Washington, DC 20515

The Honorable Robert Garcia
Ranking Member
House Oversight and Government Reform Committee
2105 Rayburn House Office Building
Washington, DC 20515

Dear Chairman Comer and Ranking Member Garcia:

On behalf of the residents of Weddington, NC, thank you for your support and leadership on the passage of H.R. 3095, a bill to establish a single unique zip code for our community and others across the country.

We strongly support this legislation because the lack of a single unique zip code can create a variety of issues for our residents and those in other impacted communities. Among the impacts are the potential for a life-threatening delay in response times for emergency services, inaccurate home and business insurance rates, delays and delivery issues with mail and packages, and the loss of community identity.

In addition, the financial and operational impact on the municipalities themselves is often significant: online sales tax revenue can be directed to the wrong jurisdiction, inaccurate census data can deprive communities of their fair share of federal and state grants and funding, important public outreach and legal notices may be misdirected, and unclear precinct assignments can cause confusion in local elections.

This bill, and similar measures introduced this Congress, would represent a major step forward for residents of our community, many who have been seeking relief from the United States Postal Service for 10, 15, and 20 years. A unique zip code can help us foster a stronger sense of community, improve the efficiency of our public services, and help provide clarity and stability for current and prospective residents and businesses. We thank you again for your support on this matter and urge the Congress to complete action on this matter as soon as possible.

Jim Bell, Mayor, Town of Weddington
Tom Smith, Mayor Pro Tem, Town of Weddington
Jeff Perryman, Councilmember, Town of Weddington
Brannon Howie, Councilmember, Town of Weddington
Darcey Ladner, Councilmember, Town of Weddington



November 11, 2025

The Honorable Thom Tillis
United States Senate
Washington, DC 20510

Dear Senator Tillis,

On behalf of the residents of Weddington, North Carolina, this is to request your cosponsorship of S. 2961, a bill being led by Sen. Jim Banks of Indiana to establish a single unique zip code for our community and others across the country.

We strongly support this legislation because the lack of a single unique zip code can create a variety of issues for our residents and those in other impacted communities. Among the impacts are the potential for a life-threatening delay in response times for emergency services, inaccurate home and business insurance rates, delays and delivery issues with mail and packages, and the loss of community identity.

In addition, the financial and operational impact on the municipalities themselves is often significant: online sales tax revenue can be directed to the wrong jurisdiction, inaccurate census data can deprive communities of their fair share of federal and state grants and funding, important public outreach and legal notices may be misdirected, and unclear precinct assignments can cause confusion in local elections.

This bill, and similar measures introduced this Congress, would represent a major step forward for residents of our community, many who have been seeking relief from the United States Postal Service for 10, 15, and 20 years. A unique zip code can help us foster a stronger sense of community, improve the efficiency of our public services, and help provide clarity and stability for current and prospective residents and businesses. We hope you will consider supporting this legislation and urge Congress to complete action on this matter as soon as possible.

Jim Bell, Mayor, Town of Weddington
Tom Smith, Mayor Pro Tem, Town of Weddington
Jeff Perryman, Councilmember, Town of Weddington
Brannon Howie, Councilmember, Town of Weddington
Darcey Ladner, Councilmember, Town of Weddington



TO: Planning Board
FROM: Gregory Gordos, AICP, Town Planner
DATE: November 10, 2025
SUBJECT: Application by Keystone Custom Builders. requesting Conditional Zoning approval for the development of a 12-lot conservation subdivision located at 3009 Forest Lawn Drive.

APPLICATION INFORMATION:

SUBMITTAL DATE: August 1, 2025
APPLICANT/ENGINEER: Casey Whiteman, Colliers Engineering & Design
PROPERTY LOCATION: 3009 FOREST LAWN DR
PARCEL ID#: 07150015
ACREAGE: +/- 16.66 acres
EXISTING LAND USE: Single-family residential
EXISTING ZONING: Residential-Conservation District (R-CD)

PROPOSAL:

The applicant is proposing the development of a 12-lot conservation (>50% open space) subdivision on a single parcel currently owned by the Helms family. The subdivision contains a single entrance on Forest Lawn Drive with a 100' buffer (per UDO) along the thoroughfare. Open space is primarily found at the rear of the property near steep slopes and floodplain for Twelvemile Creek. Other vacant lands along the creek are found to the east and south; Greylyn Drive is to the north and private road Walden Lane is across the street. Forest Lawn Drive, along with property along Weddington Road, remain some of the last undeveloped and contiguous tracts of land within Weddington.

Development Standards.

The development proposal does not include any changes to the Development Standards already set forth in the Unified Development Ordinance (UDO). The development shall be governed by this Plan and all applicable requirements of the UDO, including at applicant consent the new Appendix 2B. of the code.

WEDDINGTON

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RELATION TO THE UNIFIED DEVELOPMENT ORDINANCE:

UDO Section D-607(C), Conditional Rezoning.

As required by UDO Section D-607(C)(5), the applicant held their required design charette outdoors on the property on April 29th, 2025 and a Community Meeting at Town Hall on June 19th, 2025. A public presentation was made to the Weddington Town Council at their regularly scheduled meeting on July 14th.

As a Conditional Zoning (CZ) application with over six residential units, approval is solely under the responsibility of the Town Council, with staff and the Planning Board serving as advisory. The Conditional Zoning process allows the developer and the town to ask for conditions which could include special exceptions to rules or additional improvements. The town and the developer must agree on a condition for it to become a part of an approval.

UDO Section D-703(D), Permitted Uses (by zoning district).

Pursuant to Table 1, Permitted Uses, as contained within UDO Section D-703(D), Conservation Residential Development is specifically listed as a permissible use within the R-CD zone, subject to Conditional Zoning approval.

UDO Section D-703(E), Lot and Building Standards Table.

Pursuant to Table 2, Lot and Building Standards, as contained within UDO Section D-703(E), all development within the R-CD is required to meet certain standards. The following table identifies those standards, as well as how the subject development proposal complies:

Lot and Building Standards		Standard	Proposed
Minimum Lot Size		18,000 sq. ft. (avg. 20,000)	18,960 – 23,877 sq. ft.
Minimum Lot Width		120'	120' (min)
Minimum Setbacks	Front	50'	50'
	Side	15'	15'
	Rear	40'	40'
Maximum Height		35'	35'
Maximum Floor Area Ratio		N/A	N/A

UDO Section D-917A, Specific Requirements for All Residential Development.

UDO Section D-917A, establishes numerous rules for how residential development is intended to occur within the Town. These rules include, but are not limited to, the location of house sites, easements, the requirement of lots to abut public roads, street design and layout, cul-de-sacs, open space, buffering, and tree requirements. While not all these rules are appropriate to be included at this stage of the development process, there are many that must be considered.

UDO Section D-917A(A) *Side lot lines shall be substantially at right angles or radial to street lines, and double frontage lots are to be avoided wherever possible.*

The majority of lots are rectangular facing “Public Road A” and a stub-out “Public Road B” with two wedge-shaped lots on the cul-de-sac. Positive findings of compliance can be made.

UDO Section D-917A(D)(2) No proposed residential building lot that is partially subject to flooding as defined herein shall be approved unless there is established on the lot plan a contour line representing an elevation no lower than two feet above the base flood line as defined in Appendix 7. Floodplain Regulations.

While floodplain is found on the site, all proposed lots lie outside of it.

UDO Section D-917A(F)(1) All subdivision lots shall abut public roads.

All lots abut a proposed public road to be maintained by NCDOT and exit onto Forest Lawn. As such, positive findings of compliance can be made.

UDO Section D-917A(J)(1) Cul-de-sacs shall not exceed 500 feet.

One proposed road (A) is intersected by another public road, whereafter only four homes are accessed of the cul-de-sac. Measurement shall be from the point where the centerline of the dead-end street intersects with the center of a through street to the center of the turnaround of the cul-de-sac. By creating connectivity to an adjacent, vacant parcel, the two roads comply with this requirement.

UDO Section D-917A(J)(2) When cul-de-sacs end in the vicinity of an adjacent undeveloped property capable of being developed in the future, a right-of-way or easement shall be shown on the final plan to enable the street to be extended when the adjoining property is developed.

A street extension is proposed onto adjacent property Parcel No. 07150017. Positive findings of compliance can be made. The turnaround as submitted will need to be shown as a full road extension on the Final Plat.

UDO Section D-917A(K)(2) The proposed street layout shall be coordinated with the street system of the surrounding area. Where possible, existing principal streets shall be extended. Street connections shall be designed so as to minimize the number of new cul-de-sacs and to facilitate easy access to and from homes in different part of the tract (and on adjoining parcels).

Unfortunately an additional cul-de-sac would be added to the network. However, only 12 homes are proposed and thus only one point of ingress-egress is required.

UDO Section D-917A(K)(5) Two points of ingress and egress onto an adjoining public road from subdivision containing more than 15 lots is required.

N/A. Only 12 lots proposed. Positive findings of compliance can be made.

UDO Section D-917A(K)(6) Developable lots shall be accessed from interior streets, rather than from roads bordering the tract.

All lots are accessed from the new interior streets rather than Forest Lawn.

UDO Section D-917A(O)(1) Where the side or rear yards of lots may be oriented toward existing thoroughfare roads, a buffer at least 100 feet wide of existing woodland providing adequate visual screening throughout the year is required.

The development proposal includes the provision of a 100-foot thoroughfare buffer. Sheet C-601 details the 39 buffer trees provided. Species are not specified as year-round and no existing trees would remain. See also Sheet C-100 Existing Conditions Plan.

UDO Section D-917A(Q)(2) Tree Save and Tree Replenish Requirements. In order to maintain or replenish the Town tree canopy in any new major residential development the following shall apply: a. The tree removal of trees greater than or equal to 8-inches DBH is not permitted within areas that have naturally occurring trees located outside the buildable area of a lot or development.

Please see limits of disturbance (LOD) as indicated on the Grading Plan and areas designated as Conservation Area as provided on the Layout Plan.

UDO Section D-917A(Q)(3) All buildings, building additions, and other structures (including but not limited to driveways) shall be located upon a lot or parcel of land in such a way as to minimize damage to or removal of Heritage trees.

Heritage Trees to be preserved are shown within the Planting Plan, with at least eight trees within the buildable area to be preserved. Several heritage trees visible from Forest Lawn Drive would be removed, however. See new exhibit and email provided from the Urban Forester.

UDO Section D-917B, Additional Specific Requirements for Conservation Residential Development.

UDO Section D-917B(B)(1) At a minimum, fifty percent (50%) of the net acreage of the tract will be required to be retained as Conservation Land. Not more than zero percent (0%) of the minimum required area of Conservation Lands shall be comprised of wetlands, submerged lands, steep slopes, floodways, or land under high voltage electrical transmission lines (conducting 69 kilovolts or more).

This UDO Section was amended in 2025 to change the minimum required area of Conservation Lands and consider ZERO PERCENT (0%) of steep slopes and floodways. Positive findings of compliance cannot be made when applying this new standard given the existing FEMA AE zone.

Steep slopes and forestlands are the Highest Priority (Tier A) for Conservation Lands and should not be penalized.

UDO Section D-917B(E)(3) Because of their extreme limitations, stream valleys, swales and other lowland areas may warrant designation as Conservation Lands. They may also require adjoining buffer lands to be included as Conservation Lands, to be determined by an analysis of the protection requirements of such areas as determined by the Town Council on a case by-case basis upon finding that designation of such areas as Conservation Land would have significant and positive long-term environmental impact on the Conservation Lands.

	Staff argues that the inclusion of floodplain as Conservation Land ensures permanent protection of the watershed and adjacent properties.
UDO Section D-917B(J)(2)	<i>In addition, all principal dwelling units shall otherwise be set back a minimum of 50 feet from the external boundaries of the conservation subdivision.</i>
	Positive findings of compliance can be made.

UDO Section D-917B(L) *Design Standards Specific to the Conservation Lands*

Conservation Lands on the provided plans includes the thoroughfare buffer, which is currently unforested. After several revisions Pedestrian Pathways were added to the Planting Plan but not the overall Schematic Plan. To the greatest extent feasible, each conservation residential development should provide at least one neighborhood green, not less than 10,000 square feet in area, planted with shade trees at 40-feet intervals around the edge. No neighborhood green was provided.

UDO Section D-917D, Supplemental Requirements for Certain Uses.

UDO Section D-917D, establishes supplements requirements for certain uses; however, not for all uses that are specifically listed in the UDO, including traditional residential development. As such, this Section is not applicable.

UDO Section D-918, General Requirements.

The various provisions set forth in UDO Section D-918, including, but not limited to visibility at intersections, lighting, screening, and landscaping, fences and walls, signs, and off-street parking and loading, as applicable, shall be reviewed for compliance with the submittal of plans for a Construction Permit. It is noted, however, that there do not appear to be any immediate concerns regarding compliance with these provisions.

UDO Appendix 5, Architectural Standards.

It is noted that many of the basic building design standards established in Appendix 5 are intended more for the engagement of pedestrians with retail storefronts and are not applicable to this residential proposal.

RELATION TO THE CODE OF ORDINANCES:

Appendix C, Traffic Impact Analysis.

Pursuant to Sec. II (A) (1), a Traffic Impact Analysis (TIA) is required for any CZ which is expected to create 50 or more peak hour vehicle trips or 500 or more daily vehicle trips. The proposal would add 12 single-family homes to Weddington. Even if each home had three vehicles operating at peak hours, it would not meet the threshold to require a traffic impact analysis. None provided or required.

LAND USE PLAN CONSISTENCY:

On June 3rd 2024 the Weddington Town Council adopted the new Comprehensive Land Use Plan, which established new goals and policies from those previously used by the Planning Board.

Land Use Goals:

Goal 1: *New development and redevelopment activities shall be consistent with the Future Land Use Map and categories.*

Policy **LU 1.1:** *The following Future Land Use categories, along with their intended uses, densities, and intensities, are hereby established (floor area ratio (FAR) only applies to non-residential uses): a. Agriculture: This category is intended to accommodate very low density residential development to retain rural character and agricultural activity. Maximum density: 1 dwelling unit per 1.5 acres.*

The subject property is identified as *Traditional Residential* in the 2024 Future Land Use Map (Map 4). Traditional Residential allows for low density residential developments and applies to areas where most of the lots and parcels are less than six acres in area. Primarily, parcels with this designation have one dwelling unit per acre. 12 lots are proposed over 17 acres: a density of less than one unit per acre for this proposal.

Transportation Goals:

Goal 1: *Encourage the development of well-designed streets that are safe, connected, and welcoming for all users.*

Policy: **T 1.1:** *Major thoroughfares and key entryways shall be given the highest priority for beautification efforts and corridor design.*

Forest Lawn Drive is a connector road between the municipalities of Stallings and Wesley Chapel, with the property in-between in Weddington largely forested. Adequate visual screening throughout the year is a key consideration in this conditional zoning case. Staff recommends a planting plan specific to the thoroughfare buffer to ensure adequate design.

Policy: **T 1.3:** *Encourage roads be designed and constructed to provide a high level of safety and comfort for all users (pedestrians, bicyclists and motorists), in a manner consistent with the character of the neighborhood through which the road travels.*

Sidewalks are not provided on Forest Lawn Drive or in the subdivision itself. Mulch trails are proposed but would not be graded or maintained to ADA accessibility.

Housing Goals:

Goal 2: *Maintain the Town's strong single-family residential character.*

Policy: **H 1.1:** *Retain the residential character of the community by ensuring that new residential development consists of single-family homes with a maximum density of one (1) dwelling unit per 40,000 sq feet.*

Low-density housing is proposed under 1 unit/ac (12 units on 16 acres).

Conservation Goals:

Goal 1: *Ensure that all new development takes place in a manner that conserves open space and scenic views.*

Policy: **C 1.1:** *Preserve open space and scenic views through zoning regulations that require open space preservation in both conventional and conservation subdivisions, as well as commercial developments.*

Common open space in the development is limited to Conservation Lands and buffers around the perimeter of the property. Open space is not a useable amenity but tree screening.

Infrastructure Goals:

Goal 1: *Ensure that all existing and future developments in Weddington are served by adequate water, wastewater, drainage and emergency services.*

Policy: ***I 1.1:** Require water, wastewater, and drainage system improvements to be constructed concurrent with new development and that they provide adequate capacity to meet demands from existing and new users.*

One stormwater pond is proposed for stormwater runoff, which must be designed to meet 100-year stormwater events per the Town of Weddington UDO. Union County Water serves the site and most importantly, public sewer shall be provided via an existing line on Twelvemile Creek.

Based upon the above, staff provides the following **Land Use Plan Consistency Statement** for consideration:

While the development proposal can be found to be generally consistent with the adopted Land Use Plan, there are Goals and Policies for which compliance cannot be determined at the present time based upon the level of plans required to be submitted for this phase of development. In addition, while there may also be Goals and Policies for which there may be reason for concern, positive findings can nonetheless be made in support of this development proposal.

RECOMMENDATION:

It is the recommendation of staff that the request for Conditional Zoning to allow for the development of a 12-lot conservation subdivision (unnamed), generally located on Forest Lawn Drive, be recommended for approval based upon the recommendation of the Planning Board (including review of Appendix 2B.) in a Special Called follow-up meeting on October 2nd, and the satisfaction of conditions recommended by the Town Planner as provided in your agenda packet (Sheet C-600-TREE REMOVAL, Sheet C-601-PLANTING PLAN).

ATTACHMENTS:

Application
Layout Plan
Existing Conditions Plan
Grading and Drainage Plan
Utilities Plan
Planting Plan
Zoning Map
Community Meeting Report

DEVELOPMENT SITE PLANS

FOR

KEYSTONE HOMES

3009 FOREST LAWN DRIVE

TOWN OF WEDDINGTON

UNION COUNTY, NORTH CAROLINA

PROJECT CONSULTANTS
ENGINEER:
 COLLIERS ENGINEERING & DESIGN, INC.
 5275 PARKWAY PLAZA BOULEVARD, SUITE 100
 CHARLOTTE, NC 28217
 CONTACT: CASEY WHITEMAN, PE
 EMAIL: CASEYWHITEMAN@COLLIERSENG.COM
 (877) 627-3772 MAIN

SURVEYOR:
 DELTA LAND SERVICES
 CONTACT: MICHAEL GREEN, JR.
 EMAIL: CHANDLER@DELTLANDSERVICES.NET
 (704) 847-4700

DEVELOPER:
 KEYSTONE HOMES
 CONTACT: KEITH FENN, PE
 EMAIL: KEEN@KEYSTONECUSTOMEHOME.COM
 (980) 269-6609
 2030 AIRPORT FLEX DRIVE, SUITE R
 CHARLOTTE, NC 28208

UTILITY COMPANIES

WATER AND SEWER:
 UNION COUNTY WATER
 (704) 296-4210

GAS SERVICE:
 PIEDMONT NATURAL GAS
 (800) 752-7504

ELECTRIC SERVICE:
 UNION POWER
 (704) 289-3145

Colliers

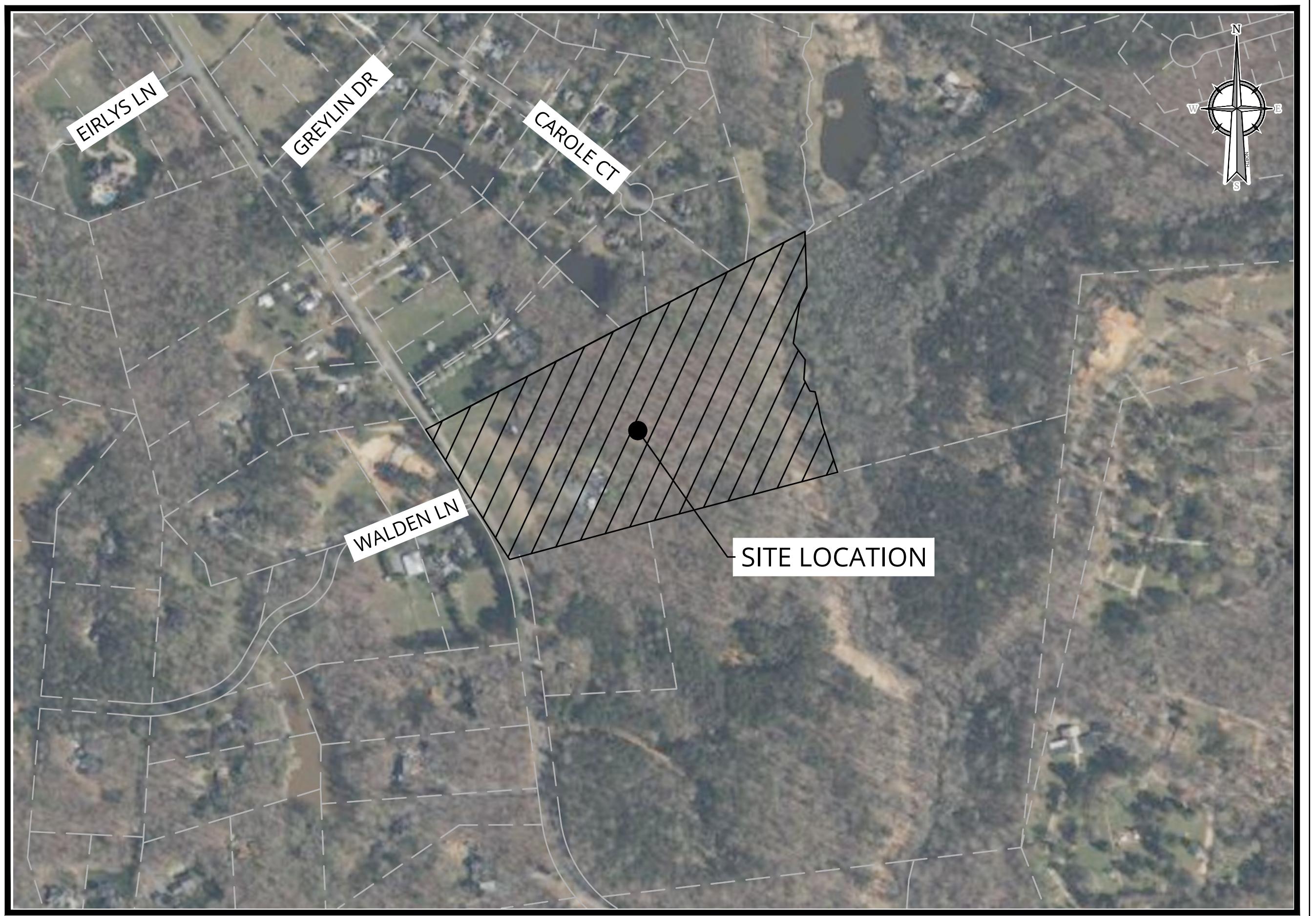
Engineering & Design,
 Architecture, Landscape
 Architecture, Surveying, C.P.T.C.

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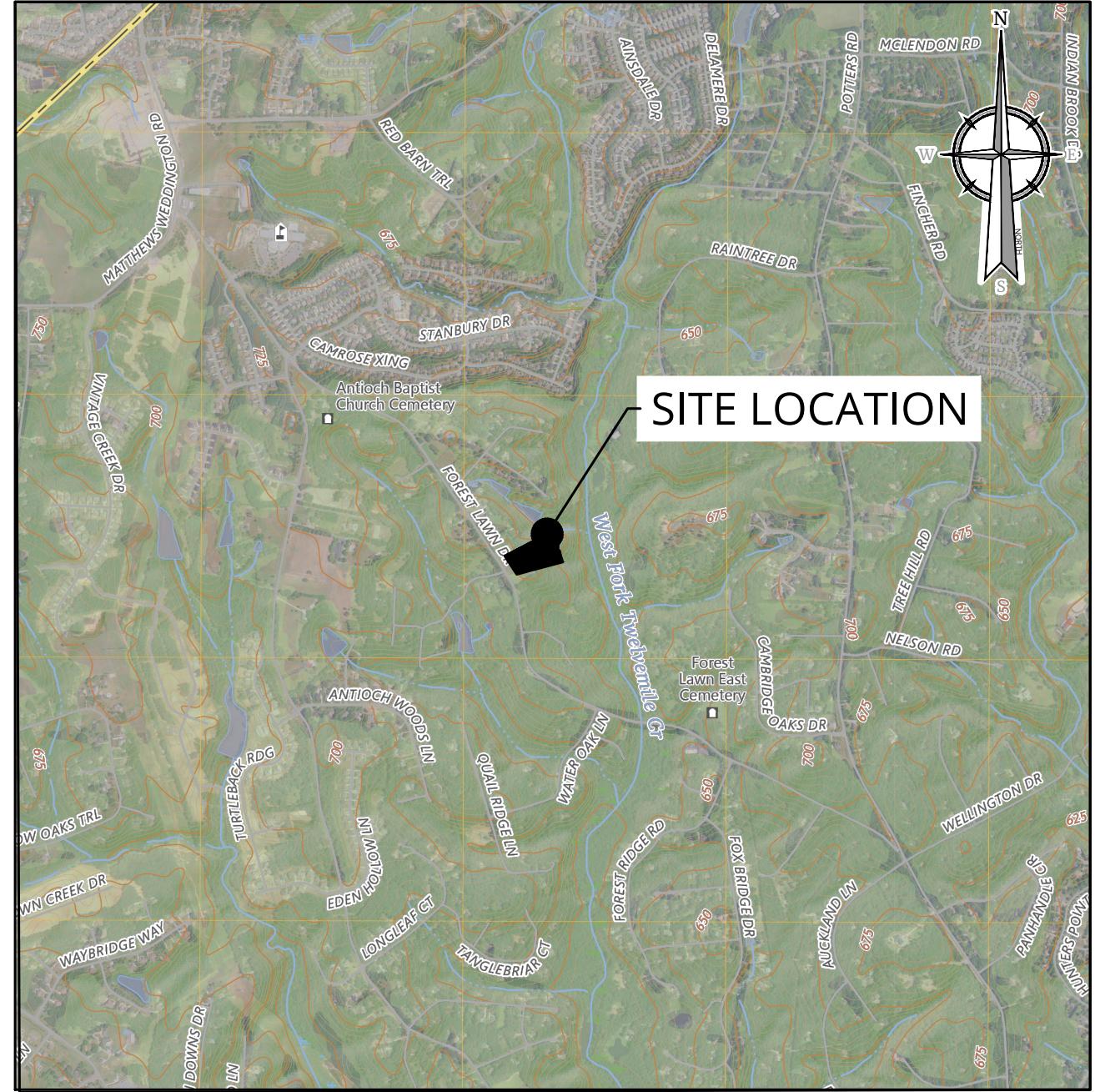
811
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PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF
 EXCAVATORS, DESIGNERS, OR ANY PERSON
 PREPARING TO DISTURB THE EARTH'S
 SURFACE ANYWHERE IN ANY STATE
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS
 VISIT: WWW.CALL811.COM



SITE LOCATION MAP

SOURCE: GEOLOCATION
 300 0 300
 SCALE : 1" = 300'
 Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)



USGS MAP

U.S.G.57.5 MIN. TOPOGRAPHIC QUADRANGLE,
 NORTH CAROLINA
 1000 0 1000
 SCALE : 1" = 1000'
 Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

Casey R. Whiteman
 NORTH CAROLINA PROFESSIONAL ENGINEER
 LICENSE NUMBER: 059701
 COLLIER ENGINEERING & DESIGN CT, P.C.
 N.C. #: C-4746

CONDITIONAL ZONING
 PLAN

FOR
 KEYSTONE CUSTOM
 HOMES
 WEDDINGTON

PIN 07150015
 3009 FOREST LAWN DRIVE

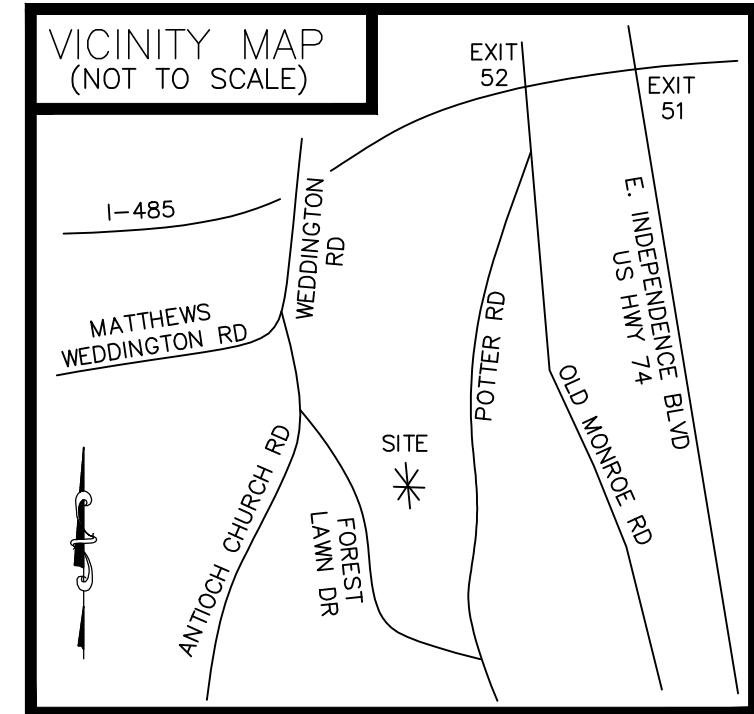
WEDDINGTON
 UNION COUNTY
 NORTH CAROLINA

Colliers
 Charlotte
 5275 Parkway Plaza Boulevard,
 Charlotte, NC 28217
 Phone: 980-245-3161
 COLLIER ENGINEERING & DESIGN
 ARCHITECTURE, LANDSCAPE ARCHITECTURE,
 SURVEYING, C.P.T.C. & BUSINESS AS MASER
 CONSULTING

SCALE: DATE: DRAWN BY: CHECKED BY:
 AS SHOWN 09/25/25 NWB CW
 PROJECT NUMBER: DRAWING NAME:
 25003536A C-CVER

SHEET TITLE:
 COVER SHEET

SHEET NUMBER:
 C-000



LINETYPE LEGEND	
BOUNDARY LINE	—
BOUNDARY TIE LINE	— — —
ADJOINING BOUNDARY LINE (NOT SURVEYED)	— — — — —
RIGHT-OF-WAY	— — — — —
OVERHEAD UTILITY LINES	— — — — —
BASE FLOOD ELEVATION	— — — — —
FEMA CROSS SECTIONS	— — — — —
SANITARY SEWER LINE	— — — — —
45° ROAD R/W	— — — — —
WATER LINE	— — — — —

SYMBOL LEGEND	
FOUND	○
SET	●
CP	○
SSMH	○
UP	○
GW	○
T-PED	□
CO	○
FO MRKR	○
FO UG-BOX	○
E-BOX	□
WM	○
WV	○
FH	○
CONTROL	△
TREE	○

NOTATION LEGEND	
AC	AIR CONDITIONER
BFP	BACK FLOW PREVENTION
CL	CENTERLINE
CO	CLEAN OUT
CP	CALCULATED POINT
DB	DEED BOOK
E-BOX	ELECTRIC BOX
EIP	EXISTING IRON PIPE
EIR	EXISTING IRON REBAR
EOP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FO	FIBER OPTIC
GW	GUY WIRE
MB	MAP BOOK
MRKR	MARKER
N/F	NOW OR FORMERLY
PG	PAGE
PC	PLAT CABINET
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
RWM	RIGHT OF WAY MONUMENT
SIR	SET IRON REBAR
SO. FT.	SQUARE FOOT
SSMH	SANITARY SEWER MANHOLE
TBM	TEMPORARY BENCHMARK
T-PED	TELECOMMUNICATIONS PEDESTAL
UG	UNDERGROUND
UP	UTILITY POLE
WM	WATER METER
WTR	WATER
WV	WATER VALVE

SURVEYOR NOTES:

1. THIS PROPERTY MAY BE SUBJECT TO ANY EASEMENTS, RESTRICTIVE COVENANTS AND/OR RIGHT-OF-WAY OF RECORD
2. SUBJECT BOUNDARY INFORMATION BASED ON DEED BOOK 5740, PAGE 122, ADJOINING BOUNDARY INFORMATION BASED ON DEED/MAP BOOK AND PAGES AS SHOWN ON SURVEY, RECORDED IN THE UNION COUNTY REGISTER OF DEEDS.
3. BASIS OF BEARINGS: NC GRID NAD 83/2011, VERTICAL DATUM USED: NAVD88
4. AREA BY COORDINATE METHOD. ALL DISTANCES SHOWN ARE HORIZONTAL AND IN FEET.
5. THIS PROPERTY IS LOCATED WITHIN ZONE "X" AND ZONE "AE" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3710448700J, DATED 10-16-2008.
6. NO NCGS OR USGS MONUMENTS LOCATED WITHIN 2000' OF SUBJECT PARCEL.
7. SUBJECT PROPERTY IS ZONED R-CD(WEDDINGTON) PER UNION COUNTY GIS

8. SETBACKS PER TOWN OF WEDDINGTON UDO

R-CD(CONVENTIONAL)	R-CD(CONSERVATION)
50' SETBACK	40' SETBACK
15' SIDEYARD	12' SIDEYARD***
40' REARYARD	40' REARYARD

*** A SEPARATION OF 30 FEET SHALL BE MAINTAINED BETWEEN THE SIDES OF EACH DWELLING

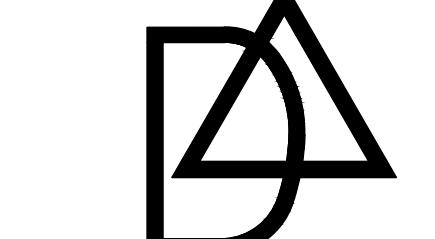
I, T. MICHAEL GREEN, JR., PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DEED DESCRIPTION AND/OR MAP BOOK SEE PAGE NOTES; THAT THE RATIO OF PRECISION AS BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS FROM INFORMATION AS SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEY IN THE STATE OF NORTH CAROLINA; THAT THE SURVEY WAS PERFORMED AT THE GLOBAL POSITIONING SYSTEM (GPS) SURVEY AND THAT THE ORIGINAL DATA WAS OBTAINED ON MARCH 4TH, 2025; THAT THE SURVEY WAS COMPLETED ON JULY 29TH, 2025; THE FOLLOWING INFORMATION

CLASS OF SURVEY: A1
POSITIONAL ACCURACY: 0.10 US.FT.
REFERENCE SYSTEM: NAD 83/2011
DATE OF SURVEY: AUGUST 1, 2025
DATUM/EPOCH: NAD 83/2011
PUBLISHED/FIXED CONTROL USED: NGS MONUMENT "NGS UNION HM71"
GEODID MODEL: GEODID 18
COMBINED GRID FACTOR: 0.99985350
UNITS: US SURVEY FOOT

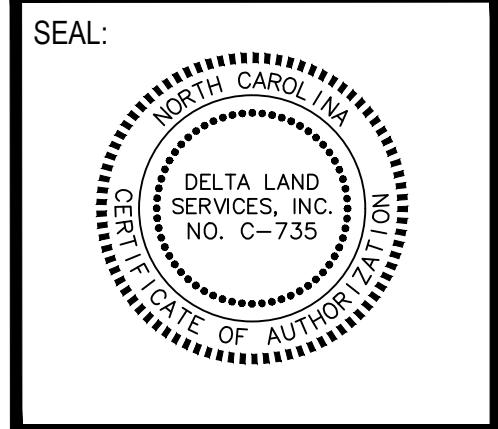
WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND
SEAL THIS ____ DAY OF _____, 2025.

PRELIMINARY
NOT FOR RECORDATION OR SALES

T. MICHAEL GREEN, JR., PLS
LICENCE NUMBER: L-4821



DELTA LAND
SERVICES, INC.
NC FIRM LICENSE #C-735
608 MATTHEWS-
MINT HILL ROAD
SUITE G
MATTHEWS, NC 28105
T 704.847.4700
www.deltalandservices.net



PREPARED FOR:
KEYSTONE CUSTOM HOMES
ADDRESS: 2030 AIRPORT FLEX DRIVE,
SUITE R
CHARLOTTE, NC 28208
OWNER(S):
HELM BRENDA PRESSLEY
HELM RICHARD WAYNE
DB 5740 PG 122
ADDRESS:
3009 FOREST LAWN DR
MATTHEWS, NC 28104

TREE SURVEY EXHIBIT
PARCEL ID#07150015
VANCE TOWNSHIP
UNION COUNTY, NORTH CAROLINA

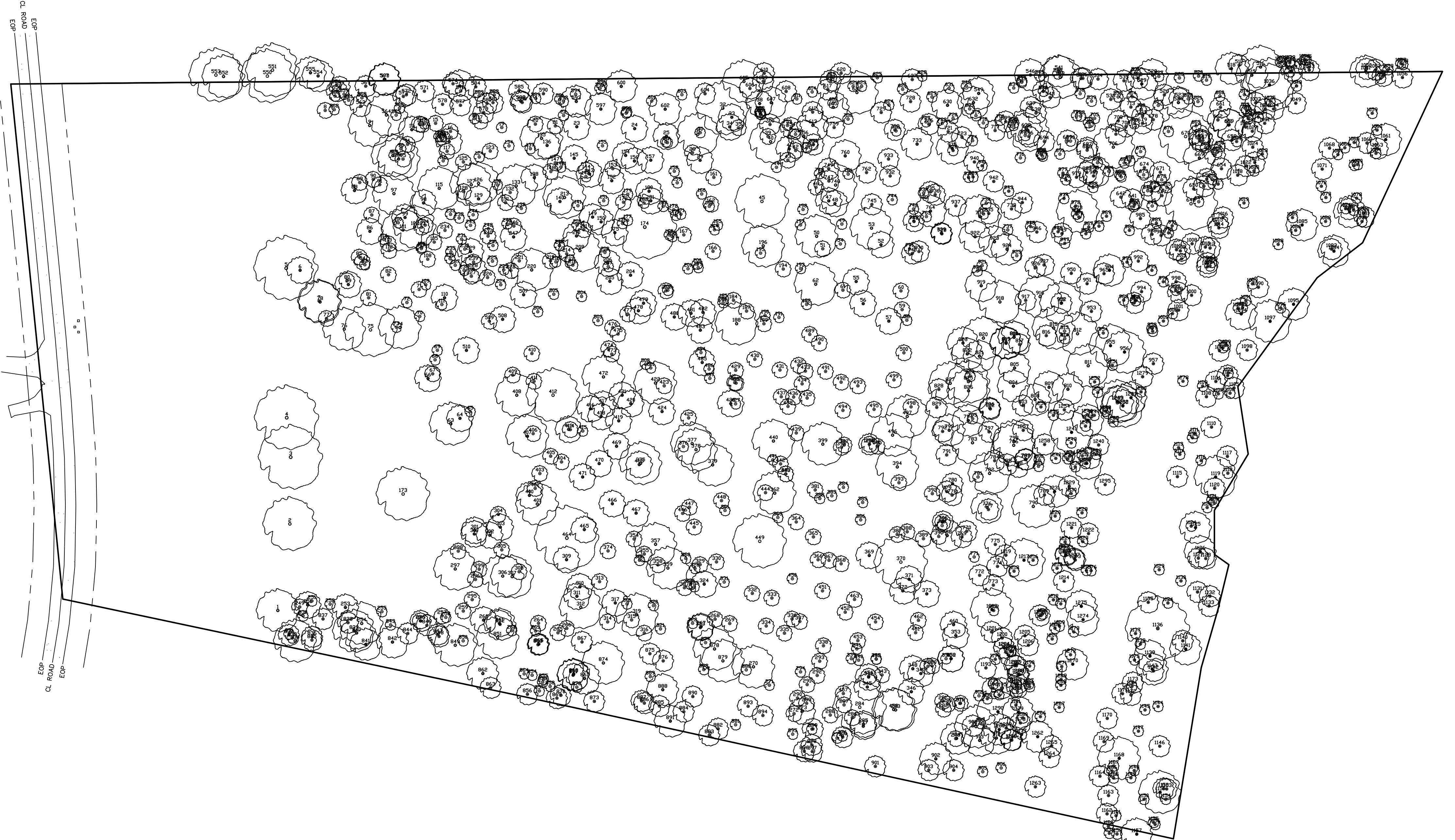
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SHEET 1 OF 2

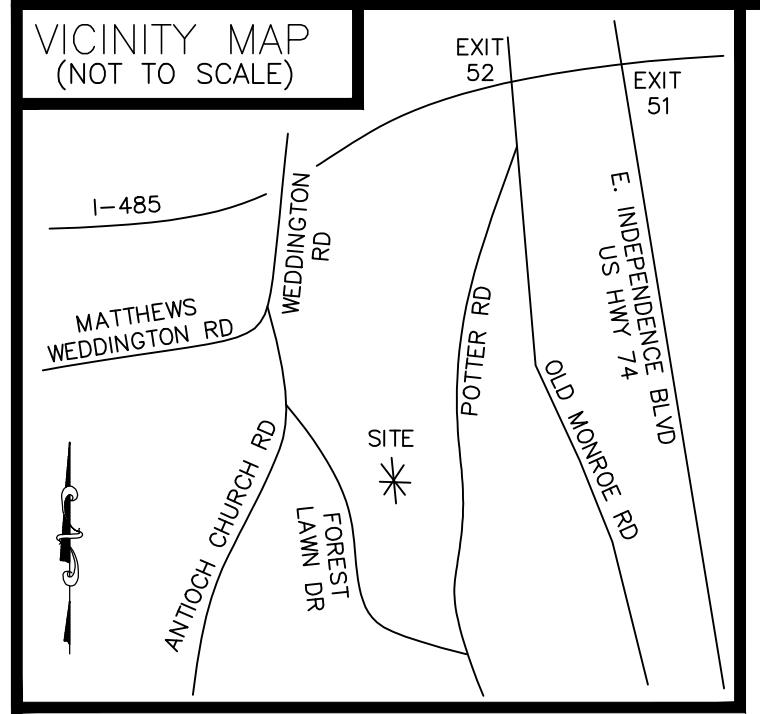
PROJECT NAME:
FOREST LAWN

DRAWN BY: CCM DATE: 08/01/2025
CHECKED BY: TMG SCALE: 1" = 60'

REVISION NO.: DATE:

DRAWING TITLE:
3009 FOREST LAWN DRIVE
TREE SURVEY EXH.DWG




SURVEYOR NOTES:

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R-CD(CONVENTIONAL)	R-CD(CONSERVATION)
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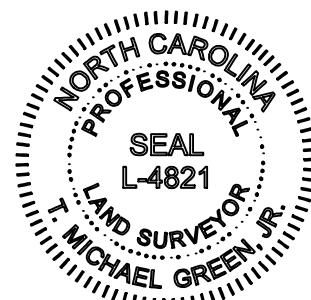
*** A SEPARATION OF 30 FEET SHALL BE MAINTAINED BETWEEN THE SIDES OF EACH DWELLING

I, MICHAEL GREEN, JR., PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DEED DESCRIPTION AND/OR MAP BOOK SEE PAGE NOTES: THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS FROM INFORMATION AS SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEY IN THE STATE OF NORTH CAROLINA; THAT THE SURVEY WAS PERFORMED IN 2025; THAT THE GLOBAL POSITIONING SYSTEM (GPS) SURVEY AND THAT THE ORIGINAL DATA WAS OBTAINED ON MARCH 4TH, 2025; THAT THE SURVEY WAS COMPLETED ON JULY 29TH, 2025; THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GPS SURVEY:

CLASS OF SURVEY: A1
POSITIONAL ACCURACY: 0.10 USFT.
SURVEYING EQUIPMENT: RTK NETWORK
DATE OF SURVEY: AUGUST 1, 2025
DATUM/EPOCH: NAD 83/2011
PUBLISHED/FIXED CONTROL USED: NGS MONUMENT "NCS UNION HM71"
GEODID MODEL: GEODID 18
COMBINED GRID FACTOR: 0.99985350
UNITS: US SURVEY FOOT

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND
SEAL THIS ____ DAY OF _____, 2025.

PRELIMINARY
NOT FOR RECORDATION OR SALES
T. MICHAEL GREEN, JR., PLS
LICENCE NUMBER: L-4821



DELTA LAND SERVICES, INC.
NC FIRM LICENSE #C-735
608 MATTHEWS-
MINT HILL ROAD
SUITE G
MATTHEWS, NC 28105
T 704.847.4700
www.deltalandservices.net



PREPARED FOR: KEYSTONE CUSTOM HOMES
ADDRESS: 2030 AIRPORT FLEX DRIVE, SUITE R
OWNER(S): HELMS BRENDA PRESSLEY
DB 5740 PG 122
CHARLOTTE, NC 28208
3009 FOREST LAWN DR
MATTHEWS, NC 28104

TREE SURVEY EXHIBIT
PARCEL ID#07150015
VANCE TOWNSHIP, UNION COUNTY, NORTH CAROLINA

SHEET NUMBER:
SHEET 2 OF 2

PROJECT NAME:
FOREST LAWN

DRAWN BY: CCM DATE: 08/01/2025
CHECKED BY: TMG SCALE: 1" = 60'

REVISION NO.: DATE:

DRAWING TITLE:
3009 FOREST LAWN DRIVE
TREE SURVEY EXH.DWG

Point #	Tree Description
1	23" OAK 101 24" OAK
2	35" OAK 102 30" SPLIT OAK
3	43" OAK 103 10" OAK
4	46" OAK 104 10" OAK
5	50" SPLIT OAK 105 10" PINE
6	19" OAK 106 8" OAK
7	28" OAK 107 6" OAK
8	15" PINE 108 11" PINE
9	22" OAK 109 8" OAK
10	12" PINE 110 16" OAK
11	12" PINE 111 7" OAK
12	8" OAK 112 10" OAK
13	17" PINE 113 10" OAK
14	14" PINE 114 8" OAK
15	14" SWEET GUM 115 22" OAK
16	14" PINE 116 6" OAK
17	9" OAK 117 10" PINE
18	7" OAK 118 16" OAK
19	8" SWEETGUM 119 6" OAK
20	12" PINE 120 6" OAK
21	11" SPLIT OAK 121 6" OAK
22	8" OAK 122 6" OAK
23	18" OAK 123 10" OAK
24	16" OAK 124 8" OAK
25	21" OAK 125 12" HICKORY
26	7" SWEETGUM 126 24" SWEETGUM
27	7" SWEETGUM 127 24" OAK
28	9" OAK 128 12" OAK
29	18" HICKORY 129 16" OAK
30	5" BEECH 130 6" OAK
31	22" HICKORY 131 12" OAK
32	36" SPLIT OAK 132 12" OAK
33	16" OAK 133 24" OAK
34	14" TULIP POPLAR 134 12" HICKORY
35	12" OAK 135 24" SPLIT OAK
36	6" BEECH 136 20" TULIP POPLAR
37	8" OAK 137 8" OAK
38	18" OAK 138 16" SPLIT OAK
39	12" OAK 139 12" OAK
40	26" OAK 140 20" OAK
41	16" SPLIT OAK 141 8" OAK
42	15" OAK 142 8" OAK
43	12" OAK 143 16" OAK
44	8" OAK 144 12" OAK
45	40" BEECH 145 16" OAK
46	8" OAK 146 12" OAK
47	12" SWEET GUM 147 12" OAK
48	14" OAK 148 12" OAK
49	6" SWEETGUM 149 16" OAK
50	22" OAK 150 16" OAK
51	14" OAK 151 8" OAK
52	20" HICKORY 152 16" OAK
53	24" TULIP POPLAR 153 10" OAK
54	8" SPLIT SWEETGUM 154 16" OAK
55	20" OAK 155 8" OAK
56	20" OAK 156 16" OAK
57	20" OAK 157 16" OAK
58	8" CEDAR 158 26" OAK
59	10" OAK 159 6" OAK
60	12" HICKORY 160 16" OAK
61	10" SWEET GUM 161 10" OAK
62	24" OAK 162 12" OAK
63	24" TULIP POPLAR 163 6" OAK
64	20" OAK 164 12" HICKORY
65	8" TULIP POPLAR 165 8" OAK
66	16" PINE 166 15" BLACK CHERRY
67	10" OAK 167 15" OAK
68	8" OAK 168 12" SWEET GUM
69	8" PINE 169 10" OAK
70	6" OAK 170 8" OAK
71	10" OAK 171 6" OAK
72	12" OAK 172 8" OAK
73	8" SWEETGUM 173 40" OAK
74	43" SPLIT HICKORY 174 12" OAK
75	40" OAK 175 16" OAK
76	24" OAK 176 8" OAK
77	12" OAK 177 6" OAK
78	24" OAK 178 12" OAK
79	16" OAK 179 8" OAK
80	10" OAK 180 16" OAK
81	10" OAK 181 16" OAK
82	10" OAK 182 6" SWEETGUM
83	8" SWEETGUM 183 26" OAK
84	14" OAK 184 16" OAK
85	14" SWEET GUM 185 6" OAK
86	18" OAK 186 8" OAK
87	12" OAK 187 12" OAK
88	20" OAK 188 24" TULIP POPLAR
89	12" OAK 189 10" OAK
90	12" OAK 190 6" OAK
91	12" OAK 191 6" OAK
92	24" SPLIT OAK 192 6" OAK
93	6" OAK 193 6" OAK
94	30" SPLIT OAK 194 14" SPLIT MAPLE
95	12" OAK 195 8" SWEETGUM
96	6" SWEETGUM 196 24" OAK
97	22" SPLIT OAK 197 6" OAK
98	16" OAK 198 28" OAK
99	8" PINE 199 14" OAK
100	7" OAK 200 6" SPLIT MAPLE
101	20" OAK 300 12" BLACK CHERRY
102	20" OAK 302 20" OAK
103	20" OAK 303 20" OAK
104	15" HICKORY 304 14" HICKORY
105	15" HICKORY 305 14" PINE
106	15" HICKORY 306 24" HICKORY
107	15" HICKORY 307 20" OAK
108	10" OAK 308 10" OAK
109	24" OAK 309 20" OAK
110	14" OAK 310 20" OAK
111	10" OAK 311 20" OAK
112	6" OAK 312 30" OAK
113	24" SPLIT SWEETGUM 313 15" OAK
114	24" OAK 314 15" OAK
115	15" HICKORY 315 15" OAK
116	15" HICKORY 316 9" OAK
117	20" OAK 317 20" OAK
118	6" OAK 318 16" SWEETGUM
119	6" OAK 319 22" HICKORY
120	20" OAK 320 8" OAK
121	12" OAK 321 8" OAK
122	12" HICKORY 322 8" OAK
123	20" OAK 323 20" OAK
124	14" OAK 324 16" OAK
125	8" OAK 325 8" OAK
126	24" SWEETGUM 326 10" OAK
127	24" OAK 327 12" PINE
128	12" OAK 328 8" OAK
129	12" OAK 329 12" OAK
130	6" OAK 330 15" OAK
131	6" OAK 331 8" OAK
132	12" OAK 332 12" OAK
133	24" OAK 333 12" OAK
134	14" TULIP POPLAR 334 12" HICKORY
135	12" OAK 335 10" OAK
136	20" TULIP POPLAR 336 8" PINE
137	8" OAK 337 10" PINE
138	18" OAK 338 10" PINE
139	6" OAK 339 12" OAK
140	20" OAK 340 6" OAK
141	8" MAPLE 341 6" OAK
142	8" OAK 342 6" OAK
143	16" OAK 343 10" OAK
144	12" OAK 344 16" OAK
145	16" OAK 345 16" OAK
146	8" OAK 346 12" OAK
147	12" SWEET GUM 347 12" OAK
148	14" MAPLE 348 16" OAK
149	14" HICKORY 349 12" OAK
150	12" OAK 350 12" BIRCH
151	6" OAK 351 8" SWEETGUM
152	16" OAK 352 20" PINE
153	10" OAK 353 20" OAK
154	16" OAK 354 10" BLACK CHERRY
155	6" OAK 355 10" OAK
156	16" OAK 356 10" OAK
157	10" OAK 357 26" OAK
158	6" MAPLE 358 12" OAK
159	6" OAK 359 24" OAK
160	12" HICKORY 360 8" OAK
161	10" BEECH 361 12" OAK
162	12" OAK 362 24" OAK
163	6" HICKORY 363 8" OAK
164	24" TULIP POPLAR 364 12" OAK
165	6" OAK 365 12" OAK
166	26" OAK 366 12" OAK
167	20" OAK 367 14" BEECH
168	8" OAK 368 12"

<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. EXISTING PROPERTY AND TOPOGRAPHIC INFORMATION IS BASED ON SURVEY INFORMATION PROVIDED BY THE CLIENT AND DATED 04/02/2025. CONTRACTOR TO VERIFY AS-BUILT CONDITIONS PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER ON RECORD IF ANY DISCREPANCIES OCCUR. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORD DATA) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ENGINEER OF ANY CONFLICTS DEDIMENTAL TO THE DESIGN INTENT. 72 HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE NC UTILITY PROTECTION SERVICES, AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF NC UNDERGROUND PROTECTION, INC. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNERS REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK. ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS. THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE TOWN OF WEDDINGTON, UNION COUNTY, AND NCDOT FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS. GENERAL CONTRACTOR TO CONTACT OWNERS ENVIRONMENTAL DEPARTMENT FOR ANY ADDITIONAL OWNER RELATED REQUIREMENTS. CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY THE TOWN OF WEDDINGTON, UNION COUNTY & NCDOT. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE AT FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE TOWN OF WEDDINGTON, UNION COUNTY REQUIREMENTS AND NCDOT EROSION CONTROL MANUAL. ITEM NUMBERS REFER TO THE NC DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND ALL CONSTRUCTION WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF UNION COUNTY. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT. THE CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEDICT ALL WORK ASSOCIATED WITH THE PROJECT. BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE MADE HARMLESS IN THE EVENT IT IS NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION. ADJUST/RECONSTRUCT ALL EXISTING CASTINGS, CLEANOUTS, ETC. WITHIN PROJECT AREA TO FINAL GRADE AS REQUIRED. CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED. ALL STANDARD PARKING PLACES ARE SIZED AS REQUIRED BY THE TOWN OF WEDDINGTON. SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE NC MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. ALL STOP BARS, CROSS WALKS, AND REGULATORY PAVEMENT MARKINGS MUST BE THERMO. <p>GENERAL LANDSCAPE NOTES:</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING NEWLY CONSTRUCTED AND EXISTING UTILITIES. HE SHALL NOTIFY THE OWNERS OF PUBLIC UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING PLANTING OPERATIONS. GENERAL CONTRACTOR SHALL ERECT TREE PROTECTION FENCING. FENCING SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO BEGINNING. CONTRACTOR SHALL MAINTAIN FENCING THROUGHOUT THE DURATION OF PROJECT. PLANT MATERIAL SHALL MEET OR EXCEED SPECIFICATIONS AND SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK BOOK. THE CONTRACTOR SHALL GUARANTEE THAT THE MATERIAL INSTALLED ON SITE IS IN FACT THE MATERIAL THAT WAS SPECIFIED BY THE LANDSCAPE ARCHITECT OR ENGINEER. ANY CHANGES IN SPECIES SPECIFIED SHALL BE SUBMITTED IN WRITING TO, AND APPROVED/REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER. IN THE EVENT ANY ERRORS ARE FOUND ON THESE DRAWINGS OR OUT IN THE FIELD THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH WORK. SHOULD THE CONTRACTOR FAIL TO CONTACT THE LANDSCAPE ARCHITECT OR ENGINEER, HE/SHE WILL BE RESPONSIBLE FOR THE COST OF ANY CORRECTION TO BE MADE. ALL WORK SHALL BE PERFORMED BY FULLY QUALIFIED PLANTSMEN. USE GOOD HORTICULTURAL PRACTICES TO KEEP ALL PLANTS AND PLANT MATERIAL INSTALLED IN A LIVING, HEALTHY CONDITION UP TO THE DATE FOR TERMINATION OF THE CONTRACTOR'S RESPONSIBILITY FOR CARE. THE PLANTS DELIVERED TO THE PROJECT SITE SHALL BE PLANTED AS SOON AS SITE CONDITIONS PERMIT. TAKE CARE IN SCHEDULING PLANT DELIVERIES AND THE SIZE OF DELIVERIES SO THAT LONG PERIODS OF STORAGE ARE AVOIDED. ADEQUATELY PROTECT PLANTS PLACED IN TEMPORARY STORAGE FROM THE SUN AND WIND. WATER PLANTS SO AS TO MAINTAIN THEIR APPEARANCE AND HEALTH. PLANTS THAT HAVE NOT BEEN PROPERLY MAINTAINED DURING TEMPORARY STORAGE MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER. THE OPTIMUM TIME FOR PLANTING IS FROM OCTOBER 1ST TO APRIL 1ST. SCHEDULING FOR PLANTING AT OTHER TIMES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL SUBMIT CUT SHEETS TO THE LANDSCAPE ARCHITECT OR ENGINEER REGARDING ALL PLANTING MATERIALS, SEEDING, SOD, STEEL EDGING, WEED CONTROL MATTING, FERTILIZERS, LIMES, CHEMICALS TO BE APPLIED ON SITE AND ANY OTHER ITEM(S) RELATED TO THE LANDSCAPE OF THE SITE FOR APPROVAL PRIOR TO INSTALLATION ON SITE. ALL CONTRACTORS APPLYING CHEMICALS ON SITES SHALL SUBMIT COPIES OF CERTIFICATION(S) AND LICENSES TO THE LANDSCAPE ARCHITECT OR ENGINEER. PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO INSTALLATION. GIVE LANDSCAPE ARCHITECT OR ENGINEER 24 HOURS NOTICE PRIOR TO INSPECTION. PLANTING BED SHALL BE CLEARED OF ROCK, GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS. FERTILIZE ALL PLANT MATERIAL AT INSTALLATION WITH PETER'S SLOW RELEASE 20-20-20 OR EQUIVALENT APPROVED BY LANDSCAPE ARCHITECT OR ENGINEER. APPLY PER MANUFACTURERS RECOMMENDATIONS OR APPLY 15 POUNDS PER 1,000 SQUARE FEET APPLY FERTILIZER BEFORE MULCHING. ALL DISTURBED AREAS NOT OTHERWISE SEEDED OR PLANTED SHALL BE SODDED AS DIRECTED BY THE LANDSCAPE ARCHITECT, OR ENGINEER. PLANTING BEDS SHALL HAVE A 4-INCH SHREDDED HARDWOOD BARK MULCH IN ENTIRE BED, UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL PLANTED AREAS SHALL BE TREATED WITH A WATER SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING. APPLY TWO POUNDS ACTUAL NITROGEN (IN SLOW RELEASE FORM) PER 1,000 SQUARE FEET TO ALL SHRUB AND TREE PLANTINGS BEFORE LAYING MULCH. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWNS UNTIL THE PROJECT IS ACCEPTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE CALENDAR YEAR FROM THE DATE THE PROJECT IS ACCEPTED. ALL TREES SHALL BE FIRST QUALITY REPRESENTATIVES OF THEIR SPECIES AND SHALL MEET ALL REQUIREMENTS OTHERWISE STIPULATED. THE LANDSCAPE ARCHITECT OR ENGINEER RESERVES THE RIGHT TO REJECT PLANTED MATERIAL IN THE FIELD, AT THE GROWING SITE, OR ON THE JOB SITE. THE CONTRACTOR SHALL TEST ALL PITS FOR DRAINAGE ANY TREE PIT THAT HOLDS WATER FOR MORE THAN 24 HOURS SHALL BE INSTALLED WITH TREE PIT DRAINAGE. DRAINAGE OF ALL PLANTING PITS AND BEDS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TREES AND SHRUBS SHALL BE INSTALLED ACCORDING TO THE DETAILS LOCATED IN THIS PLAN SET. DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE OWNER. NO CHANGES TO ANY ASPECT OF THIS DEVELOPMENT PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, ARCHITECTURAL DESIGN, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF UNION COUNTY. THE APPLICANT HEREBY OFFERS AND CONSENTS TO INCLUSION OF ALL IMPROVEMENTS AND COMMITMENTS SHOWN ON THIS DEVELOPMENT PLAN. SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS DEVELOPMENT PLAN. <p>DEMOLITION NOTES:</p> <ol style="list-style-type: none"> ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, AND WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD BY THE CONTRACTOR. NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE. TREE PROTECTION FENCING SHALL BE IN ACCORDANCE WITH THE TOWN OF WEDDINGTON STANDARDS - OR - IN ACCORDANCE WITH THE DETAILED DRAWINGS. DO NOT OPERATE OR STORE EQUIPMENT, NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF THE TREES SHOWN TO REMAIN. PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE; EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AT THE CONTRACTOR'S EXPENSE. ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED. EROSION & SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND FUNCTION PROPERLY PRIOR TO INITIATING DEMOLITION ACTIVITIES. ASBESTOS OR HAZARDOUS MATERIALS ARE NOT EXPECTED OR ANTICIPATED. IF FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH NC DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES. PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION. ALL UTILITY AND STRUCTURE RELATED TO EXISTING PAVEMENT, CAPPING AND RELOCATING, CARRYING AND REMOVING, SHALL BE COORDINATED AND PROPERLY DOCUMENTED. CERTAIN PROVISIONS WHICH APPLICABLE WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY, AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, WELLS, ASBESTOS, UNDER GROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION. RECOMMENDATIONS AND GUIDANCE AVAILABLE. ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO PHASE I, PHASE II, WETLAND AND STREAM DELINEATION, AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE IF THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE REPORT OF GEOTECHNICAL INVESTIGATION. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING. THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES. <p>PLANTING NOTES</p> <ol style="list-style-type: none"> THE QUANTITIES INDICATED ON THE PLANT MATERIALS SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE DRAWINGS SHALL GOVERN. NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER. CHANGES IN PLANT MATERIAL MAY REQUIRE RE-APPROVAL BY LOCAL AUTHORITIES. CONTRACTOR IS NOT TO SEEK RE-APPROVAL WITHOUT EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT OR ENGINEER. ALL PLANTS MUST BE NURSERY GROWN, HEALTHY, VIGOROUS, AND FREE FROM ALL PESTS AND DISEASE, BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN THE MATERIALS SCHEDULE. ALL PLANT SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK AND Z-60, LATEST EDITION FOR SIZE AND QUALITY. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. REFER TO THE WRITTEN SPECIFICATIONS. ALL PLANTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, AND OR OWNERS REPRESENTATIVE AT ANY TIME PRIOR TO FINAL ACCEPTANCE. ALL TREES 2-INCH CALIPER AND LARGER SHALL BE STAKED AND GUYED AS SPECIFIED. STAKE AND GUY MATERIALS SHALL BE REMOVED BY THE LANDSCAPE CONTRACTOR 12 MONTHS AFTER FINAL ACCEPTANCE. THE DIMENSIONS FOR HEIGHT, SPREAD, AND CALIPER AS SPECIFIED IN THE PLANT MATERIALS SCHEDULE ARE THE MINIMUM DESIRED FOR EACH PLANT. EACH PLANT SHALL BE UNIFORM AND CONSISTENT AS IT PERTAINS TO THE SPECIFICATIONS AND THE INDIVIDUAL SPECIES. ANY PLANT MATERIAL WHICH FAILS THESE SPECIFICATIONS WILL BE REJECTED. THE CONTRACTOR SHALL PROVIDE ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. CALIPER SIZE IS NOT TO BE REDUCED. TREES THAT FAIL MINIMUM CALIPER SIZE AS MEASURED IN THE FIELD WILL BE REJECTED AND REPLACEMENT SHALL BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CALIPER MEASUREMENTS SHALL BE MADE IN ACCORDANCE WITH ANSI STANDARDS. PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER. NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. FIELD ADJUST AS NECESSARY AFTER LANDSCAPE ARCHITECT'S OR ENGINEER'S APPROVAL. THE LANDSCAPE CONTRACTOR SHALL FIELD STAKE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT OR ENGINEER SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER ARE SUBJECT TO REJECTION AND/OR REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER. PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER. NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. FIELD ADJUST AS NECESSARY AFTER LANDSCAPE ARCHITECT'S OR ENGINEER'S APPROVAL. THE LANDSCAPE CONTRACTOR SHALL UTILIZE TOPSOIL AS AVAILABLE FROM THE CONTRACTOR. ALL IMPORTED TOPSOIL SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLACEMENT. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1-INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING. ALL TREE, SHRUB AND GROUND COVER BEDS (EXISTING AND NEW) TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF AGED, SHREDDED HARDWOOD BARK. NO CHANGES TO ANY ASPECT OF THIS DEVELOPMENT PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, ARCHITECTURAL DESIGN, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF UNION COUNTY. THE APPLICANT HEREBY OFFERS AND CONSENTS TO INCLUSION OF ALL IMPROVEMENTS AND COMMITMENTS SHOWN ON THIS DEVELOPMENT PLAN. SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS DEVELOPMENT PLAN. <p>LAYOUT NOTES</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING UTILITY SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES. THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN IN ACCORDANCE WITH THE SPECIFICATIONS. SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS A (3,600 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE. SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL BE UNILATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES OR UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS, AND IF DAMAGED, THEY SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND/OR OWNER'S REPRESENTATIVE. THE SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH UNION COUNTY. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS AREA, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, AND LANDSCAPING. <p>UTILITY NOTES:</p> <ol style="list-style-type: none"> CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES & GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE ACTIVITIES OCCURRING. CONTRACTOR SHALL OBTAIN & PAY FOR, PRIOR TO THE BEGINNING OF ANY WORK, ALL PERMITS AND LICENSES NECESSARY TO ACCOMPLISH WORK. PERMITS CAN INCLUDE, BUT ARE NOT LIMITED TO THE UNION COUNTY, NCDOT ENCROACHMENT PERMIT, GRADING PERMIT, AND/OR UTILITY COMPANY'S PERMIT FOR THE WORK TO BE PERFORMED ON THEIR RESPECTIVE FACILITIES. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELF WITH THE JOB SITE AND LOCATION OF ALL EXISTING FACILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION. ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR WILL BE UNILATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES OR UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS, AND IF DAMAGED, THEY SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND/OR OWNER'S REPRESENTATIVE. ALL 4" AND 6" SANITARY SEWER SHALL BE SCH-40 PVC OR APPROVED EQUAL INSTALLED AT A MINIMUM SLOPE OF ONE PERCENT (.00%) UNLESS OTHERWISE NOTED. SANITARY SERVICE SHALL BE INSTALLED AT A MINIMUM DEPTH OF THREE FEET (3') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE & STORM SEWER CROSSINGS. SANITARY SERVICE JOINTS CONFORM TO ASTM D-3212. THE CONTRACTOR SHALL RE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES, VALVE BOXES, PEDESTALS, CLEANOUTS, AND ANY OTHER UTILITY ACCESS COVERS TO FINISHED SURFACE, FINISHED GRADES OR SIDEWALK GRADE, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS. DISTANCES SHOWN FOR BOTH SANITARY SEWER AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE; CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. ROOF DRAINS, FOUNDATION DRAINS, AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM KNOWN SITE FEATURES. DRAWINGS SHALL INCLUDE HORIZONTAL AND VERTICAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED. MECHANICAL/ELECTRICAL CONTRACTORS SHALL BRING ALL UTILITIES 5' OUTSIDE BUILDING WALL. COORDINATE WITH ARCHITECT AND MEP ENGINEER. WHEN WATER MAIN IS ABOVE SEWER, BUT WITH LESS THAN 18" CLEARANCE, OR WHEN THE SEWER IS ABOVE THE WATER MAIN, BOTH WATER MAIN AND SEWER LINE SHALL BE CONSTRUCTED OF FERROUS MATERIALS WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MIN. LATERAL DISTANCE, MEASURED AT RIGHT ANGLES TO THE SEWER, OF 10' EACH SIDE OF THE CROSSING WITH FULL SECTIONS CENTERED AT THE POINT OF CROSSING. ALL UTILITIES SHALL BE INSTALLED BY A NC LICENSED UTILITY CONTRACTOR, APPROVED BY THE ENGINEER. ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, UNLESS NOTED OTHERWISE. ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE DESIGNATED, AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS. <p>STORM DRAINAGE NOTES</p> <ol style="list-style-type: none"> DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION. ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS. FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, CONTRACTOR IS TO COORDINATE WITH ARCHITECTURAL AND PLUMBING DRAWINGS. ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. ALL STORM STRUCTURES ARE PER THE TOWN OF WEDDINGTON STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE INDICATED. ALL CATCH BASINS AND MANHOLES WITH A DEPTH GREATER THAN 3.5' SHALL BE PROVIDED WITH STEPS MEETING THE REQUIREMENTS OF NCDOT SPECIFICATION. ALL STORM PIPES AND STRUCTURES SHALL BE INSTALLED PER THE TOWN OF WEDDINGTON STANDARDS AND SPECIFICATIONS. STORM SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES PER UNION COUNTY STANDARDS AND SPECIFICATIONS. <p>NDOT TRAFFIC CONTROL NOTES</p> <p>TRAFFIC CONTROL NOTES</p> <ol style="list-style-type: none"> CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPERTY OWNERS AND TENANTS ACCESS TO THEIR PROPERTY THROUGHOUT THE PROJECT LIMITS, INCLUDING REASONABLE INGRESS AND EGRESS FOR BUSINESSES. ADJACENT LANES TO CONSTRUCTION ZONES MAY REMAIN OPEN IF LATERAL CLEARANCE BETWEEN EDGE OF TRAVEL LANE AND EQUIPMENT IS EQUAL TO OR GREAT THAN 5' (INCLUDING WIDTH OF DRUM). CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON BOTH SIDES OF THE ROAD SIMULTANEOUSLY WITHIN THE SAME AREA EXCEPT WHERE THE ROADWAY IS	
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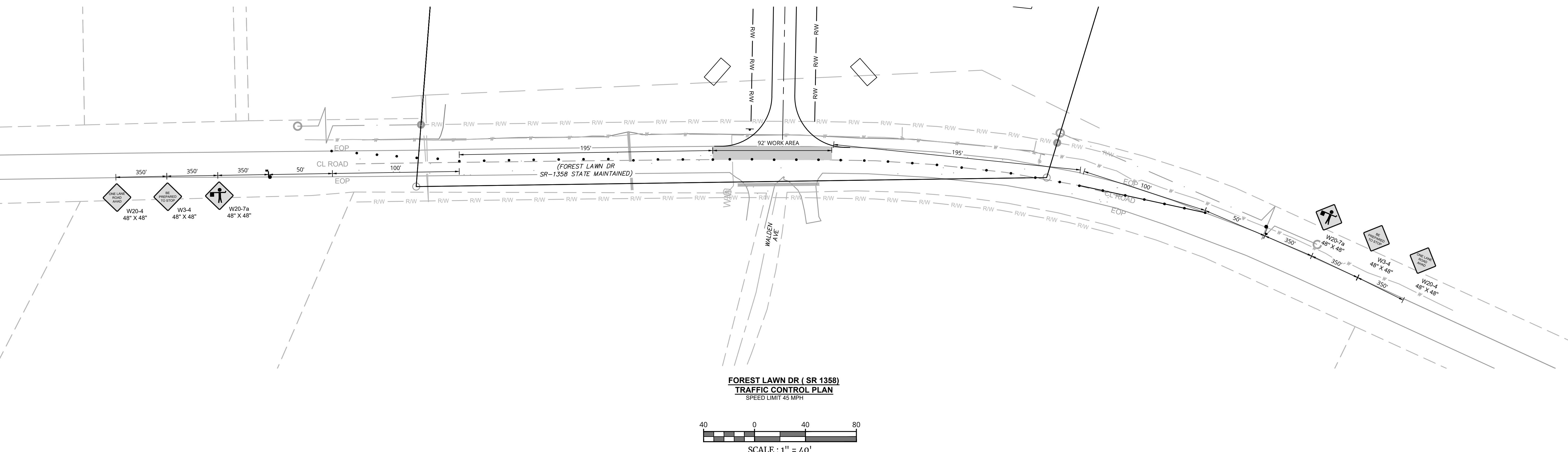
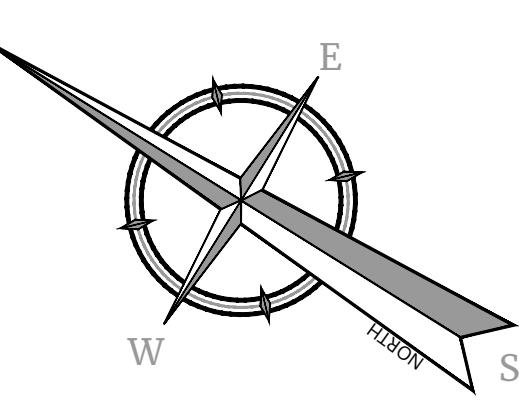
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CONDITIONAL ZONING
PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

CHARLOTTE
5275 Parkway Plaza Boulevard
Charlotte, NC 28217
Phone: 980.245.3161
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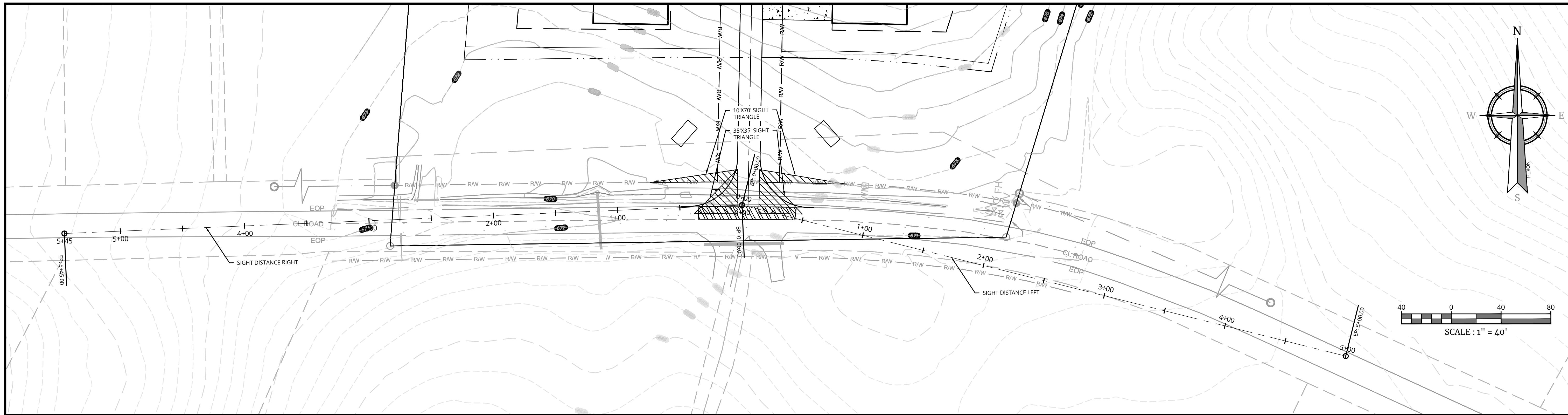
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25003536A C-LAYT

SHEET TITLE:
TRAFFIC CONTROL PLAN

SHEET NUMBER:
C-202

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

LEGEND	
EXISTING	PROPOSED
	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)
12+00	12+00
13+00	13+00
RIGHT OF WAY LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
CURB	
FACE	
BACK	
DEPRESSED CURB	
SIDEWALK	
FENCES	
TREELINE	
ROADWAY SIGNS	
WETLAND LINE	
MUNICIPAL BOUNDARY LINE	
STALL COUNT	
ADA ACCESSIBLE STALL	
DEPRESSED CURB AND ADA RAMP	
HC	
V	
FLOODWAY LIMITS	



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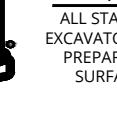
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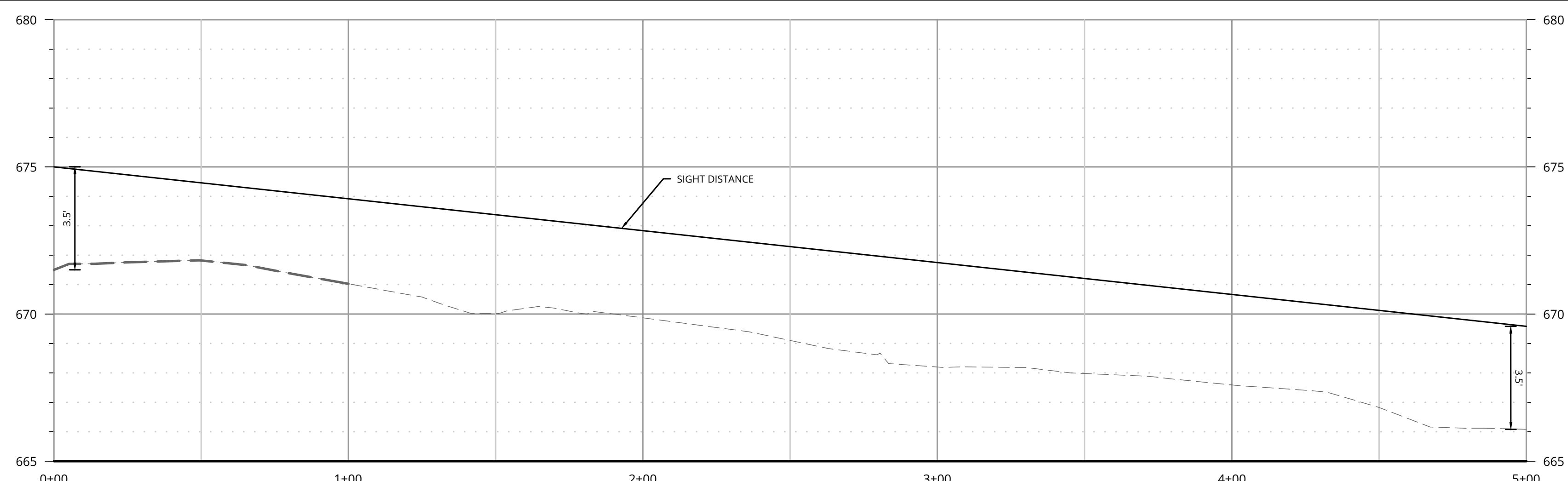


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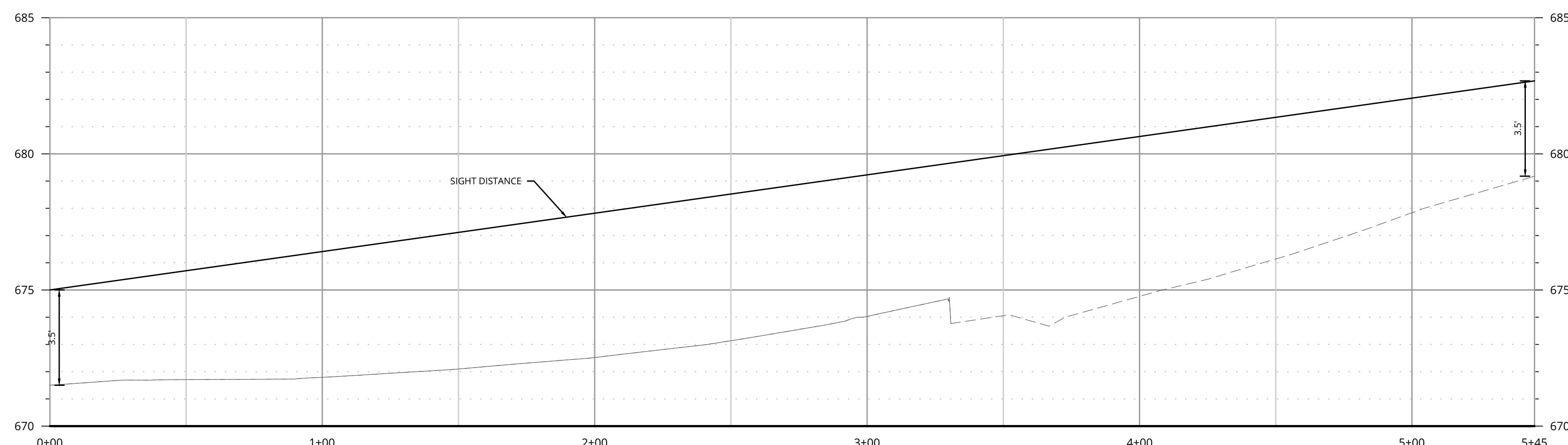
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SCALE : 1" = 40'



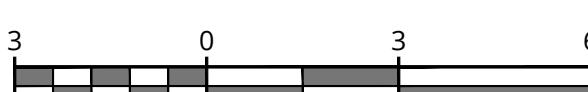
PROFILE OF SIGHT DISTANCE LEFT

HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



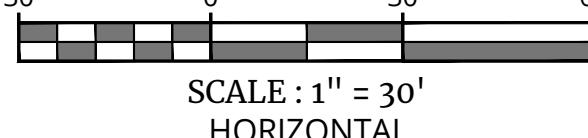
PROFILE OF SIGHT DISTANCE RIGHT

HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



SCALE : 1" = 3'

VERTICAL



SCALE : 1" = 30'

HORIZONTAL

Casey R. Whiteman

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CONDITIONAL ZONING
PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

CHARLOTTE

5275 Parkway Plaza Boulevard,
Charlotte, NC 28217

Phone: 980.245.3161

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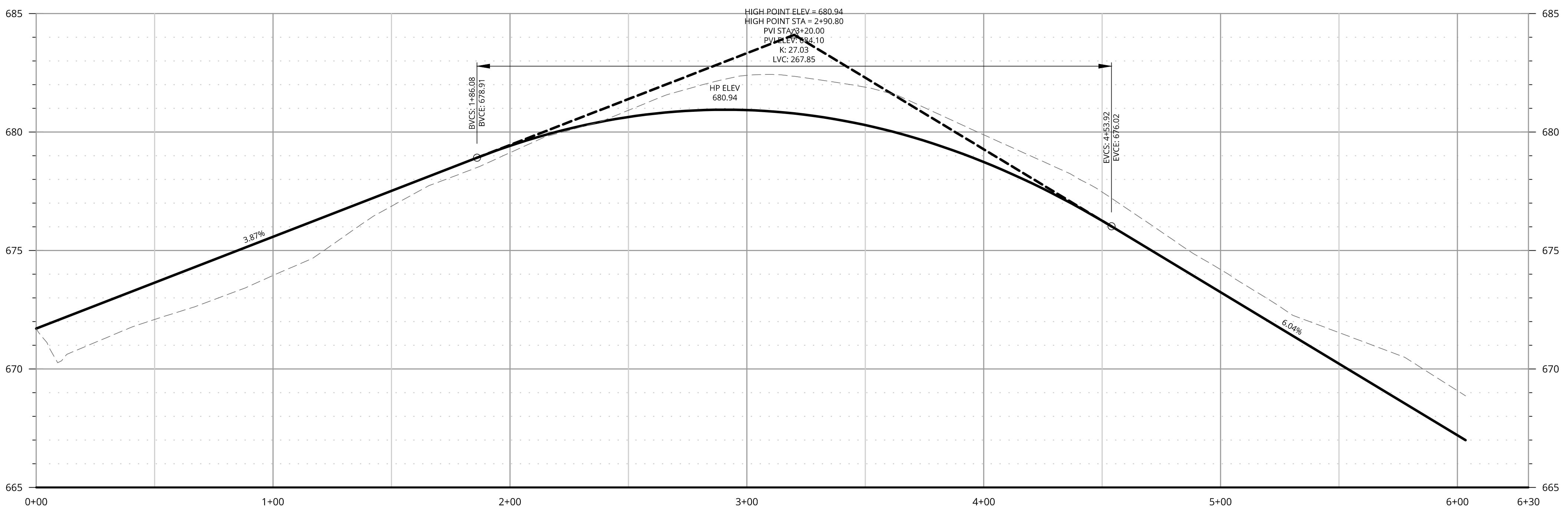
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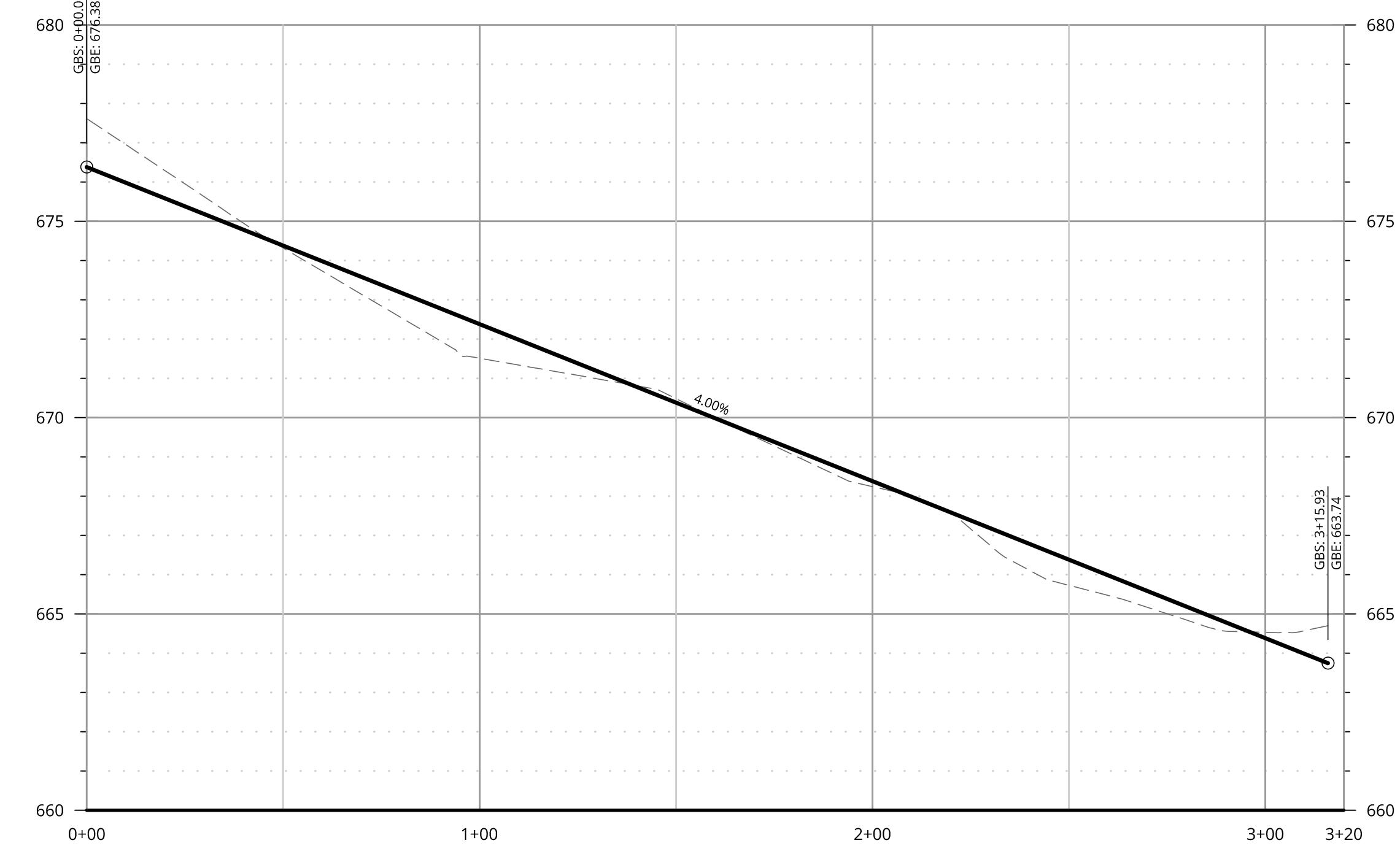
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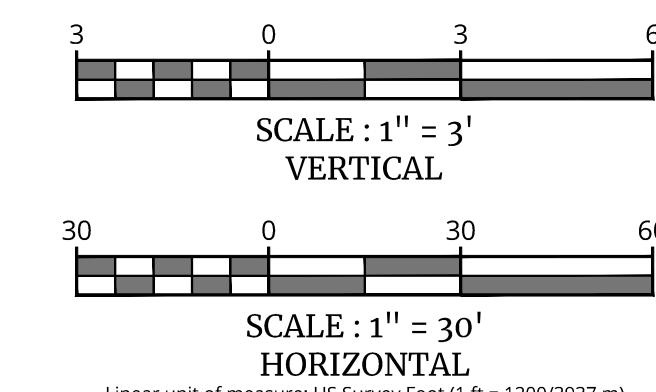
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PROFILE OF ROAD A
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF ROAD B
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

Casey R. Whiteman
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N.C. #: C-4746

CONDITIONAL ZONING PLAN
FOR
KEYSTONE CUSTOM HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

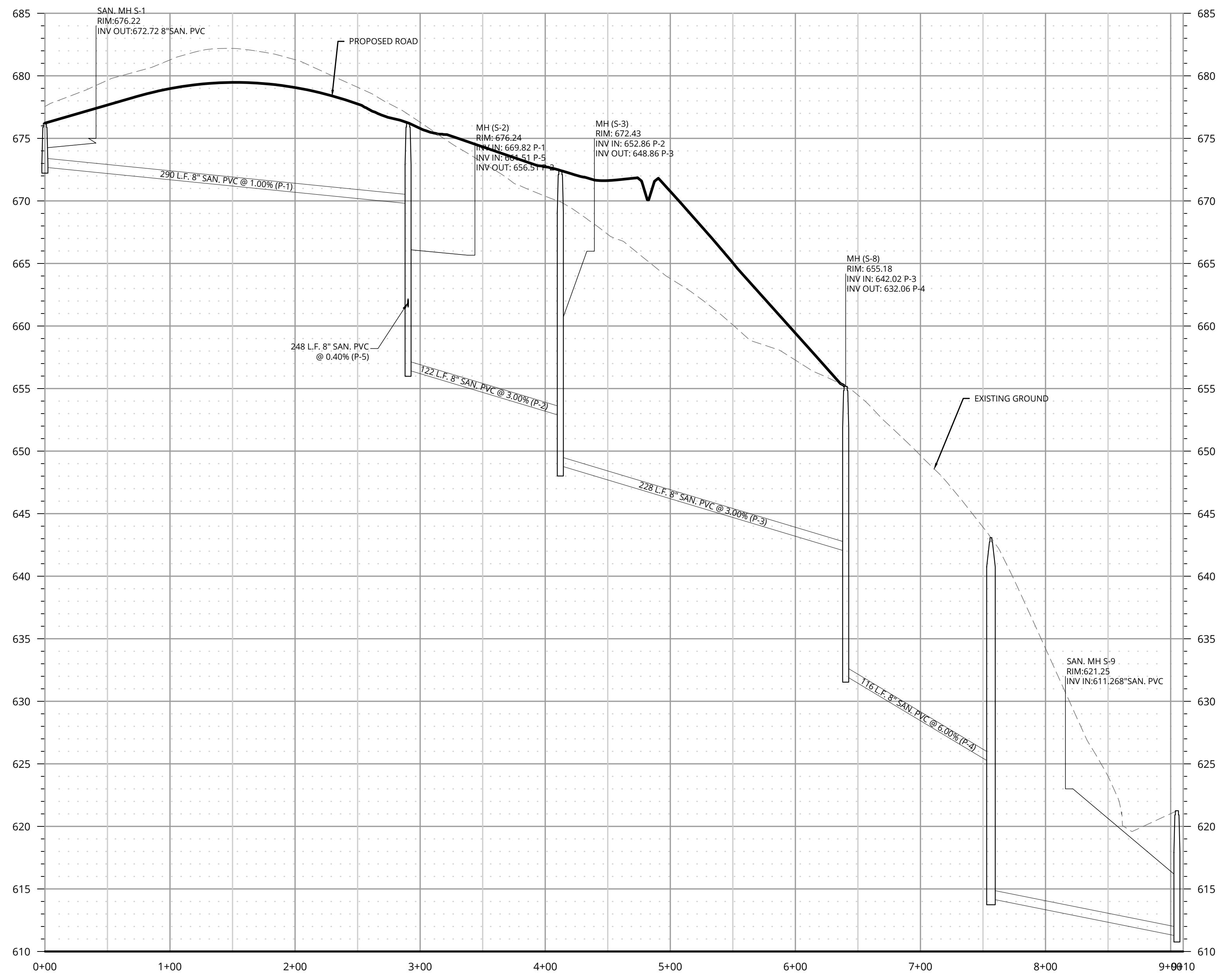
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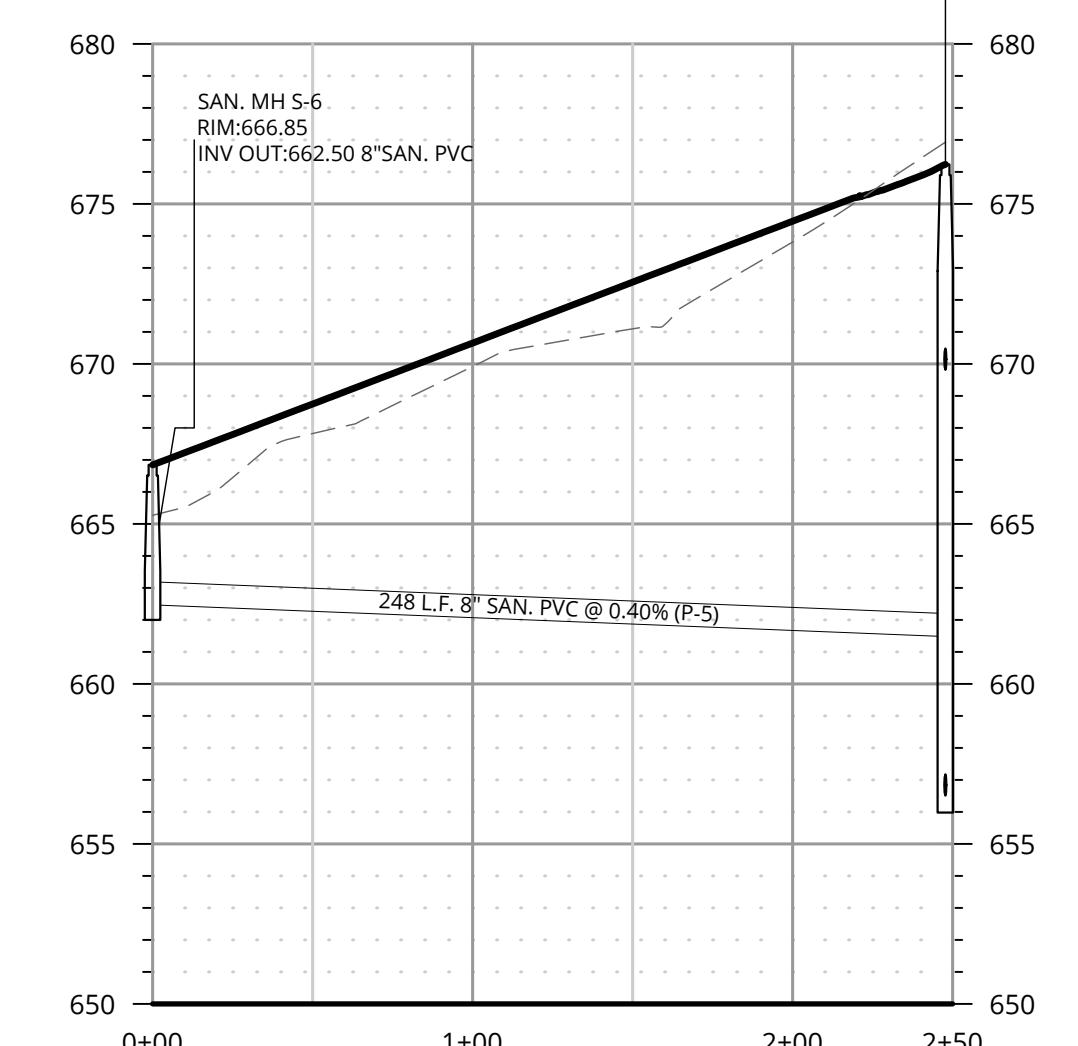
ROAD PROFILES

SHEET NUMBER:
C-304



PROFILE OF SEWER A
HORIZONTAL : 1" = 60'
VERTICAL : 1" = 6'

MH (S-3)
RIM:676.24
INV IN:669.82 P-1
INV IN:669.51 P-5
INV OUT:656.51 P-2



PROFILE OF SEWER B
HORIZONTAL : 1" = 60'
VERTICAL : 1" = 6'

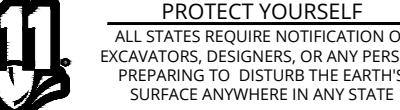


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DESCRIPTION

DRAWN BY

DATE

REV

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NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

UTILITIES SKETCH PLAN

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

CHARLOTTE
5275 Parkway Plaza Boulevard
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Phone: 980.245.3161
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SCALE: 1" = 60'
AS SHOWN DATE: 04/07/2025 DRAWN BY: NWB
PROJECT NUMBER: DRAWING NUMBER: C-UTIL
CHECKED BY: CW

SCALE: 1" = 6'
VERTICAL
6 0 6 12

60 0 60 120

SCALE: 1" = 60'
HORIZONTAL
60 0 60 120

Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

SHEET NUMBER: C-401

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



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Engineering & Design,
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Call 811

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FOR STATE SPECIFIC DIRECT PHONE NUMBERS
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EXISTING SITE SOIL TYPES

SOIL SYMBOL: Cha - CHEWACLA SILT LOAM
SOIL SYMBOL: GSE - GOLDSTON-BADIN COMPLEX
SOIL SYMBOL: Sca - SECRET-CID COMPLEX
SOIL SYMBOL: TaD - STARRUS GRAVELLY SILTY CLAY LOAM
SOIL SYMBOL: TbB2 - TARRUS GRAVELLY SILTY CLAY LOAM
SOIL SYMBOL: Tbc2 - TARRUS GRAVELLY SILTY CLAY LOAM

REFERENCE: USDA NATIONAL RESOURCES CONSERVATION WEB SOIL SURVEY

OWNER'S MAINTENANCE

MAINTENANCE OF ALL EROSION CONTROL MEASURES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION SEQUENCE:

PHASE I

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE TOWN OF WEDDINGTON ENGINEERING DEPARTMENT.
2. SET UP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE TOWN ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 17 OF THE TOWN CODE.
3. INSTALL SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.

PHASE II

6. INSTALL UTILITIES AND STORMWATER CONVEYANCE FACILITIES AS APPROPRIATE WHILE GRADING ACTIVITIES OCCUR. AS STORMWATER CONVEYANCE FACILITIES ARE INSTALLED, INSTALL INLET PROTECTION AS SHOWN ON THE PLANS. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
7. BEGIN TO BRING SITE UP TO FINISHED GRADE OR SUBGRADE AS APPROPRIATE. AREAS TO BE STABILIZED AS THEY REACH FINISHED GRADE.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE ENVIRONMENTAL ENGINEERING DEPARTMENT.
10. INSTALL THE CURB AND GUTTER, SIDEWALK, ASPHALT CONCRETE PADS AND BUILDING FOUNDATIONS AS SITE IS BROUGHT TO SUBGRADE.
11. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND THE TOWN OF WEDDINGTON LAND DEVELOPMENT STANDARDS MANUAL.

EROSION CONTROL NOTES

1. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
2. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE TOWN'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE TOWN'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE TOWN OF WEDDINGTON ENGINEERING DIVISION.

NOTES

1. SEE SHEET C-001 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
3. CONTRACTOR TO VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ANY CONFLICTS DETERMINAL TO THE DESIGN INTENT.
4. CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.

EROSION LEGEND

— LOD	LIMITS OF DISTURBANCE
— X — X	SILT FENCE
□	TEMPORARY INLET PROTECTION
△	DUST CONTROL
[Hatched Pattern]	TEMPORARY GRAVEL CONST. ENTRANCE/ EXIT
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING

SCALE: 1" = 60'
Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

SOIL EROSION & SEDIMENT CONTROL PLAN PHASE II

SHEET NUMBER: C-502

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING PLAN

KEYSTONE CUSTOM HOMES WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON UNION COUNTY NORTH CAROLINA

CHARLOTTE
5275 Parkway Plaza Boulevard,
Charlotte, NC 28217
Phone: 980-245-3161
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ARCHITECTURE, LANDSCAPE ARCHITECTURE,
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CONSULTING

SCALE: DATE: DRAWN BY: CHECKED BY:
AS SHOWN 09/25/25 NWB CW

PROJECT NUMBER: DRAWING NAME:
25003536A C-SESC

SHEET NUMBER:

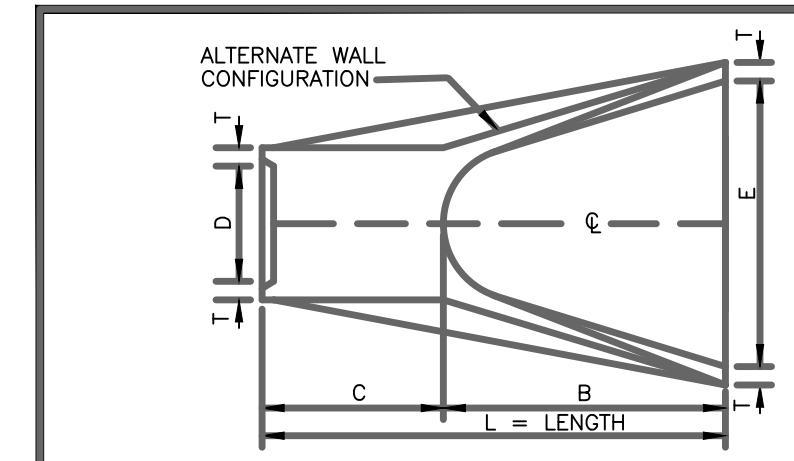
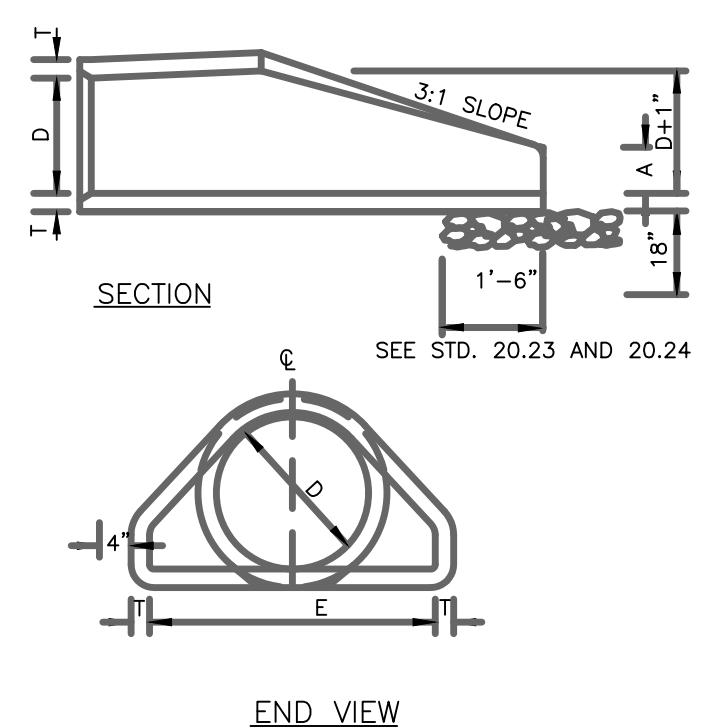
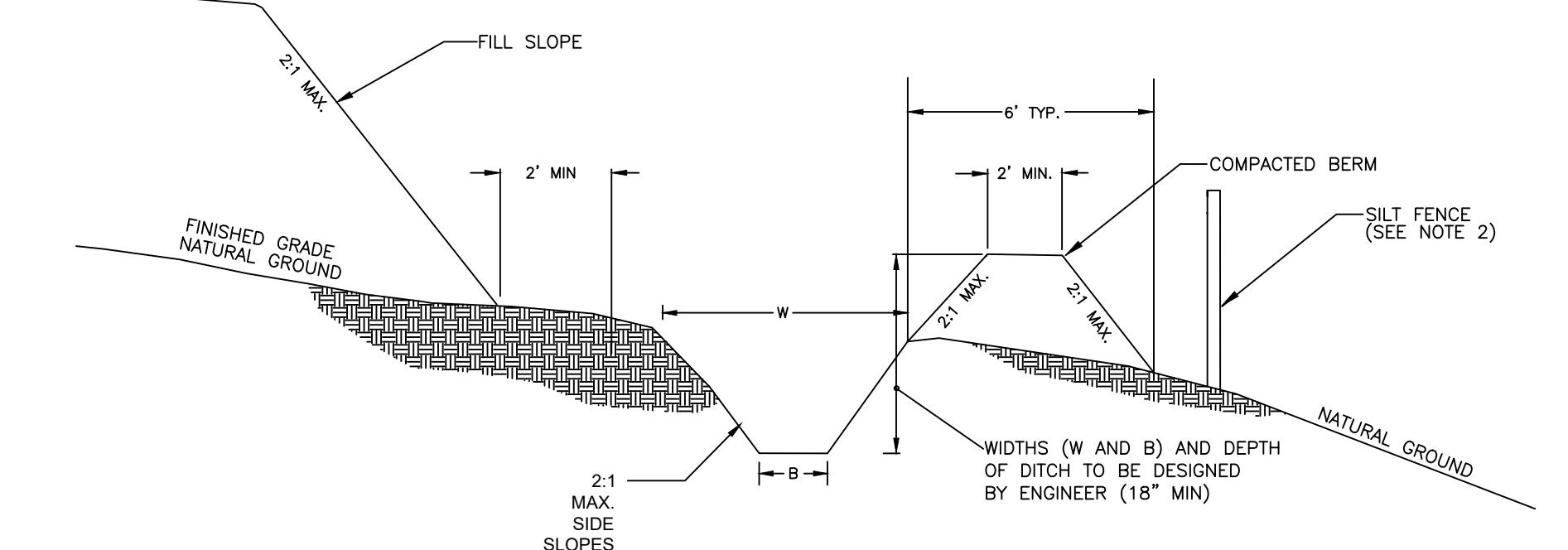


TABLE OF DIMENSIONS						
D	T	A	B	C	E	L
12"	2-1/4"	4"	2'-0"	4'-1"	2'-0"	6'-1"
15"	2-1/4"	6"	2'-3"	3'-10"	2'-0"	6'-1"
18"	2-1/2"	9"	2'-6"	3'-10"	3'-0"	6'-1"
24"	3-1/2"	12"	2'-6"	4'-6"	5'-0"	6'-2"
30"	4"	13"	5'-3"	2'-11"	6'-0"	8'-2"
36"	4-1/2"	13"	5'-3"	2'-11"	6'-0"	8'-2"
42"	5"	2'-0"	6'-0"	2'-2"	7'-0"	8'-2"
48"	5-1/2"	2'-3"	5'-6"	2'-10"	7'-6"	8'-4"
54"	6"	2'-6"	5'-0"	3'-3"	8'-0"	8'-3"
60"	6-1/2"	3'-0"	6'-0"	2'-3"	8'-6"	8'-3"
66"	7"	3'-0"	6'-6"	1'-9"	9'-0"	8'-3"
72"	7"	3'-0"	6'-6"	1'-9"	9'-0"	8'-3"



FLARED END SECTION
12" THRU 72" PIPE

NOT TO SCALE



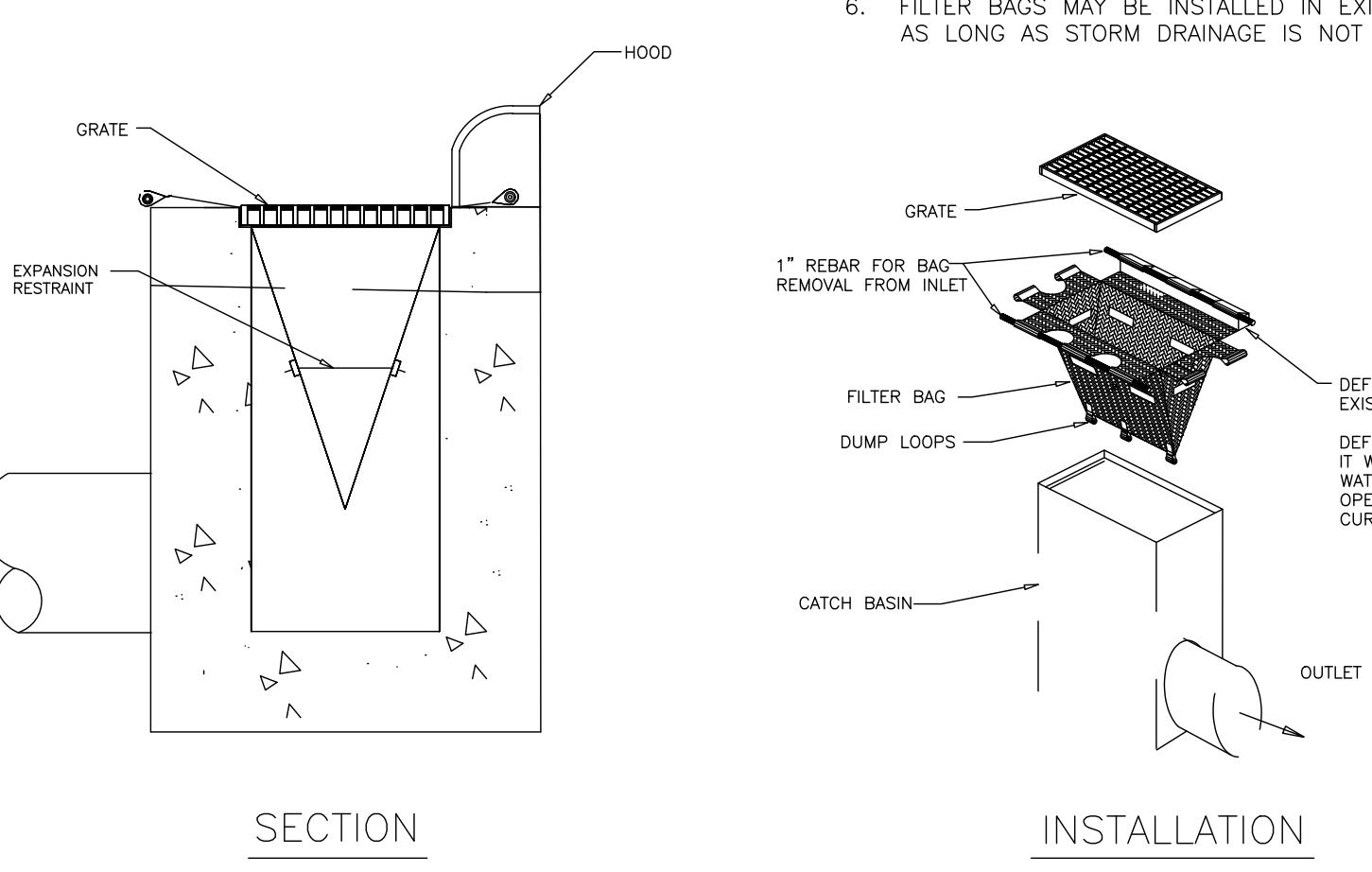
NOTES:

1. DITCH SHOULD HAVE LONGITUDINAL SLOPE OF 1%.
2. SILT FENCE MAY BE REQUIRED BEHIND BERM.
3. DITCHES SHOULD BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION REQUIREMENTS OF THE NC001000 PERMIT.
4. WHERE DESIGN VELOCITIES EXCEED 2 FT/SEC, A CHANNEL LINER IS NECESSARY TO PREVENT DITCH EROSION.

TEMPORARY SILT DITCH

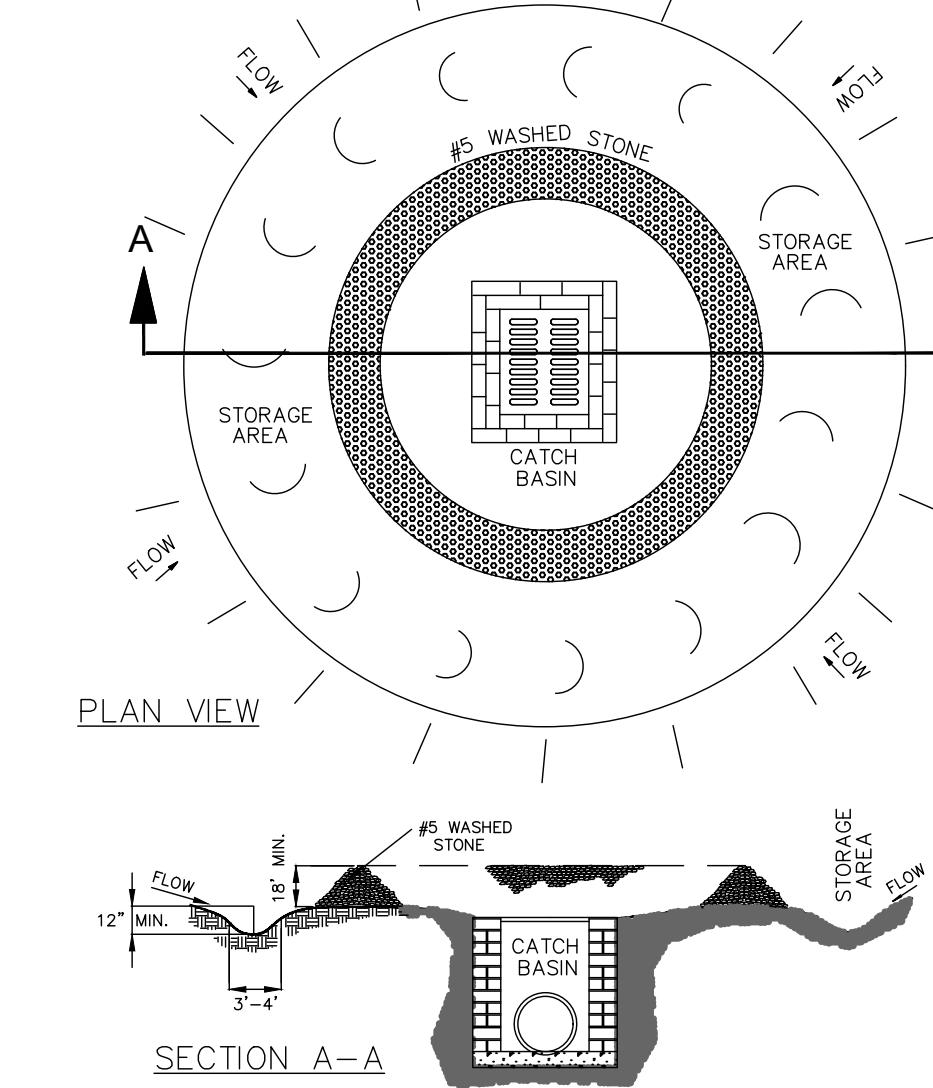
NOT TO SCALE

CATCH BASIN INLET PROTECTION
NOT TO SCALE

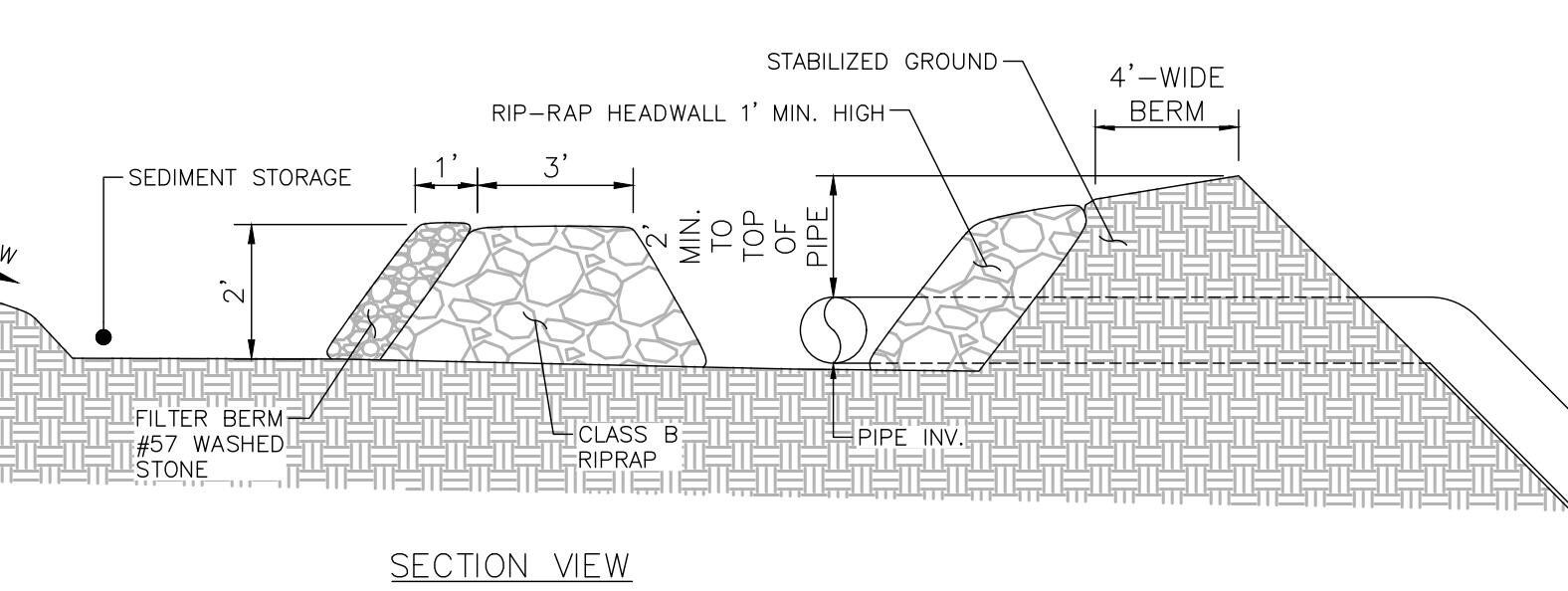
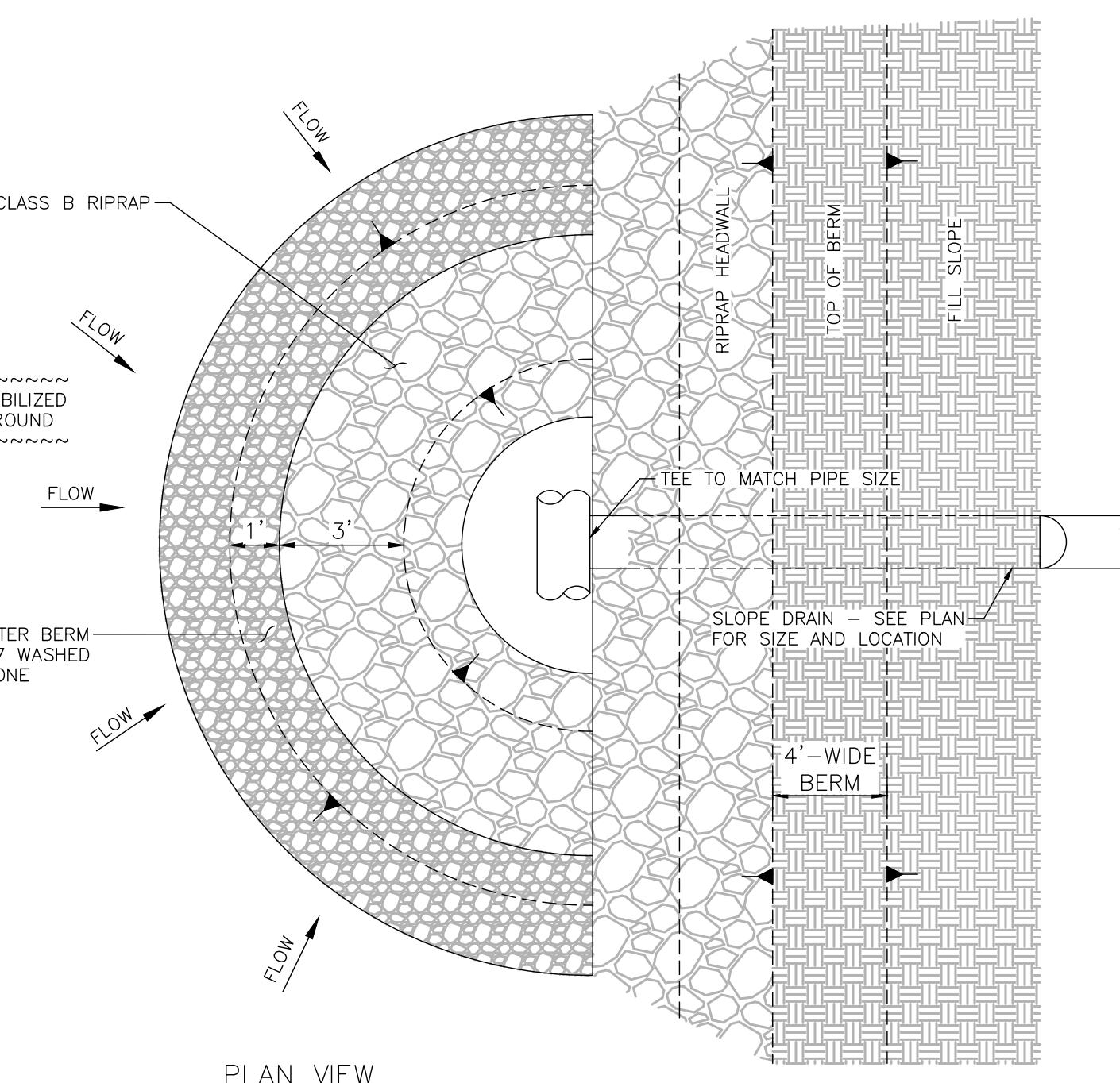


SECTION

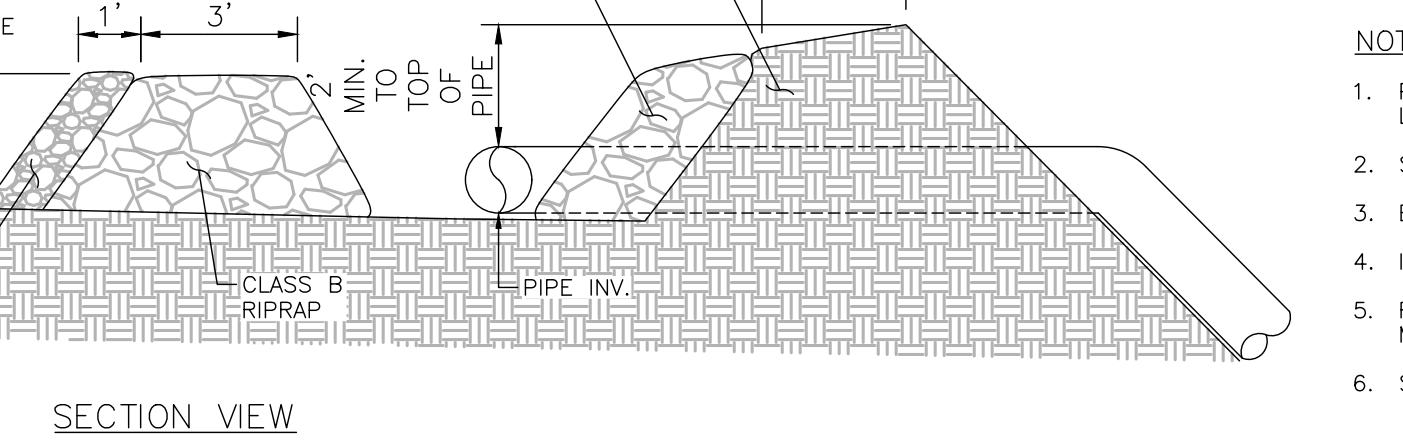
INSTALLATION



STONE INLET PROTECTION
NOT TO SCALE



TEMPORARY SLOPE DRAIN
NOT TO SCALE



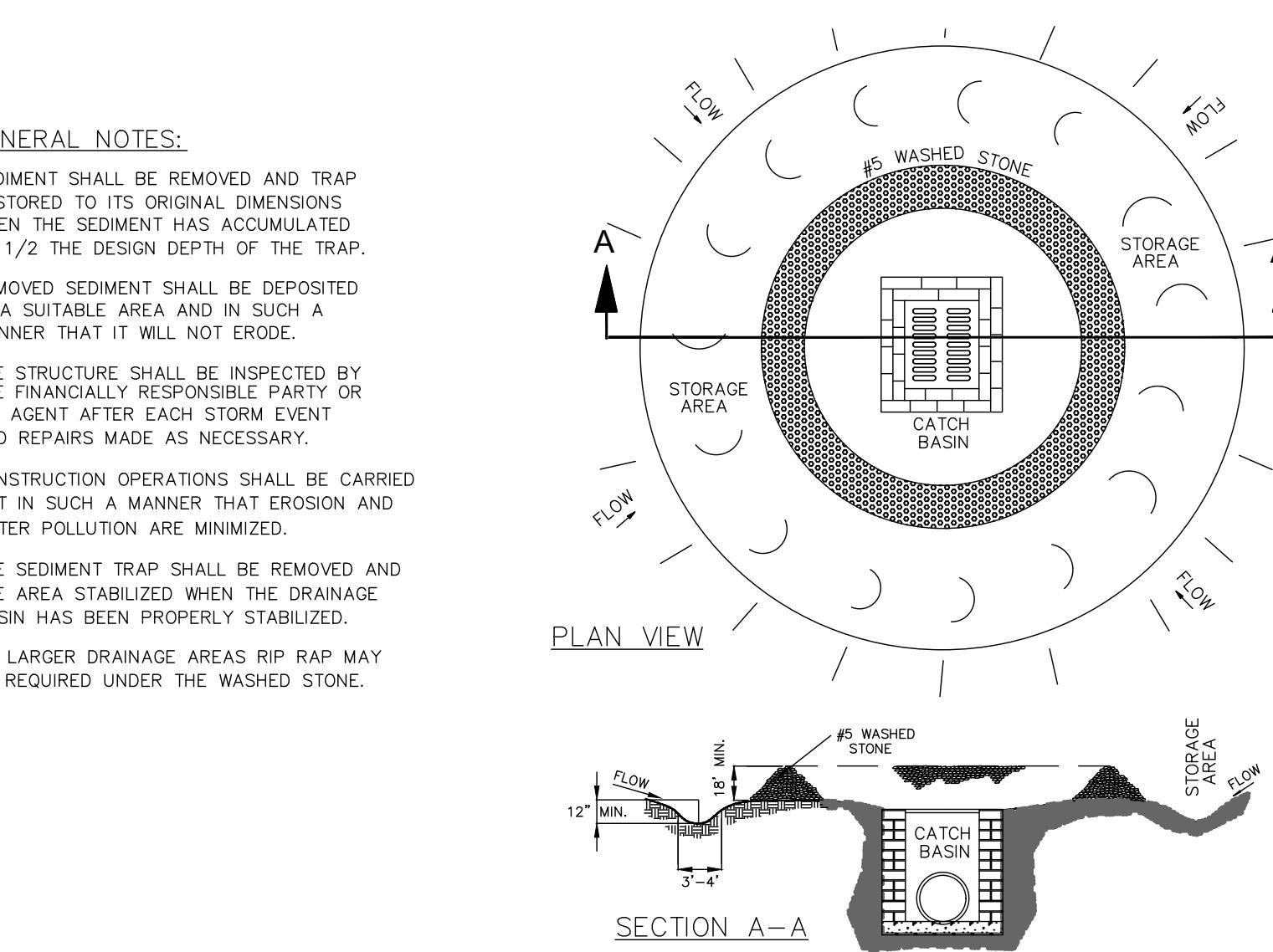
SECTION

NOTES:

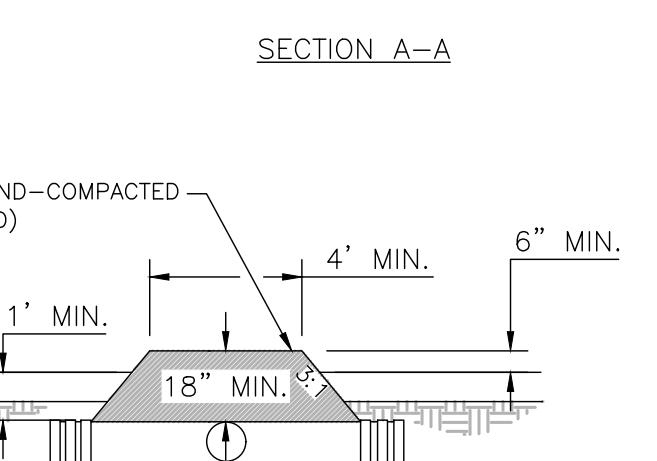
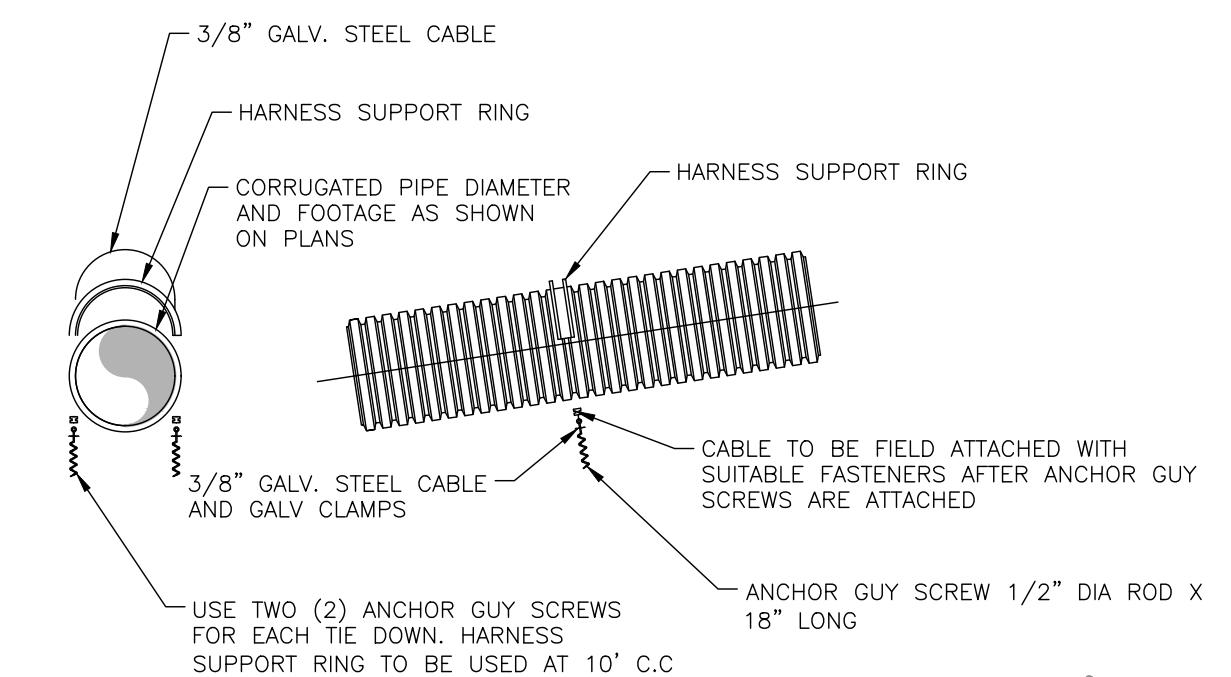
1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
2. FILTER TYPE SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO INSTALLATION.
3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE AND/OR CLOSE OUT OF GRADING PERMIT.
5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
6. FILTER BAGS MAY BE INSTALLED IN EXISTING CITY OR NC DOT ROADS AS LONG AS STORM DRAINAGE IS NOT IMPEDED.

GENERAL NOTES:

1. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
2. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. THE STRUCTURE SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT AFTER EACH STORM EVENT AND REPAIRS MADE AS NECESSARY.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE BASIN HAS BEEN PROPERLY STABILIZED.
6. ON LARGER DRAINAGE AREAS RIP RAP MAY BE REQUIRED UNDER THE WASHED STONE.



STONE INLET PROTECTION
NOT TO SCALE



SECTION A-A

SECTION B-B

SECTION C-C

SECTION D-D

SECTION E-E

SECTION F-F

SECTION G-G

SECTION H-H

SECTION I-I

SECTION J-J

SECTION K-K

SECTION L-L

SECTION M-M

SECTION N-N

SECTION O-O

SECTION P-P

SECTION Q-Q

SECTION R-R

SECTION S-S

SECTION T-T

SECTION U-U

SECTION V-V

SECTION W-W

SECTION X-X

SECTION Y-Y

SECTION Z-Z

SECTION AA-AA

SECTION BB-BB

SECTION CC-CC

SECTION DD-DD

SECTION EE-EE

SECTION FF-FF

SECTION GG-GG

SECTION HH-HH

SECTION II-II

SECTION JJ-JJ

SECTION KK-KK

SECTION LL-LL

SECTION MM-MM

SECTION NN-NN

SECTION OO-OO

SECTION PP-PP

SECTION QQ-QQ

SECTION RR-RR

SECTION SS-SS

SECTION TT-TT

SECTION UU-UU

SECTION VV-VV

SECTION WW-WW

SECTION XX-XX

SECTION YY-YY

SECTION ZZ-ZZ

SECTION AA-AA

SECTION BB-BB

SECTION CC-CC

SECTION DD-DD

SECTION EE-EE

SECTION FF-FF

SECTION GG-GG

SECTION HH-HH

SECTION II-II

SECTION JJ-JJ

SECTION KK-KK

SECTION LL-LL

SECTION MM-MM

SECTION NN-NN

SECTION OO-OO

SECTION PP-PP

SECTION QQ-QQ

SECTION RR-RR

SECTION SS-SS

SECTION TT-TT

SECTION UU-UU

SECTION VV-VV

SECTION WW-WW

SECTION XX-XX

SECTION YY-YY

SECTION ZZ-ZZ

SECTION AA-AA

SECTION BB-BB

SECTION CC-CC

SECTION DD-DD

SECTION EE-EE

SECTION FF-FF

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SECTION PP-PP

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SECTION AA-AA

SECTION BB-BB

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SECTION PP-PP

SECTION QQ-QQ

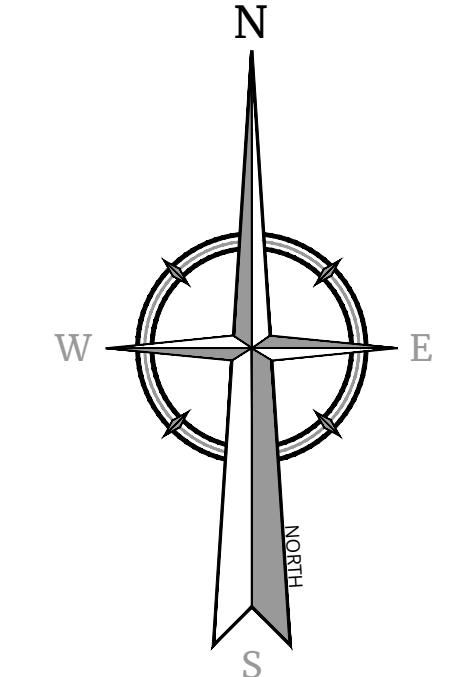
SECTION RR-RR

SECTION SS-SS

SECTION TT-TT

SECTION UU-UU

SECTION VV-VV



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STATE SPECIFIC DIRECT PHONE NUMBERS
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A blank 10x10 grid for a multiplication table. The grid consists of 100 empty cells arranged in 10 rows and 10 columns. The columns are labeled with the numbers 1 through 10, and the rows are labeled with the numbers 1 through 10. The grid is enclosed in a black border.

NOTES

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2. CONTRACTOR SHALL REFER TO OTHERS PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
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4. CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND COMPLY TO THE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
6. SITE TO BE FULLY PERMANENTLY STABILIZED, WITH NO AREAS LEFT AS BARE SOILS.

HERITAGE TREE REMOVAL

HERITAGE TREES INSIDE BUILDABLE AREA= 123 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMOVED = 107 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMAINING = 16 TREES

Casey R. Whiteman
ORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
LLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING PLAN

FOR
**KEYSTONE CUSTOM
HOMES
WEDDINGTON**

PIN 07150015
9 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

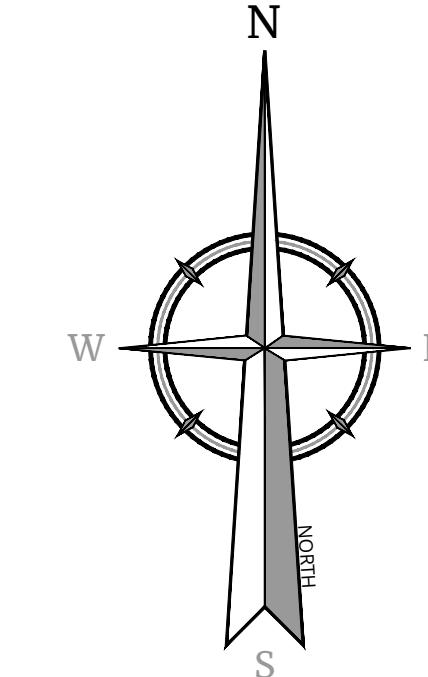
EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	HC
	DIRECTION OF TRAFFIC FLOW	

SCALE : 1" = 60'

Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

C-600

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A blank 10x10 grid for a multiplication table. The grid consists of 100 empty cells arranged in 10 rows and 10 columns. The columns are labeled with the numbers 1 through 10, and the rows are labeled with the numbers 1 through 10. The grid is enclosed in a black border.

NOTES

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6. SITE TO BE FULLY PERMANENTLY STABILIZED, WITH NO AREAS LEFT AS BARE SOILS.

TREE PLANTING PLAN:

BUFFER TREES REQUIRED = 39 TREES 
 BUFFER TREES PROVIDED = 39 TREES 
 LOT TREES REQUIRED = 48 TREES 
 LOT TREES PROVIDED = 48 TREES 
 STREET TREES REQUIRED = 24 TREES 
 STREET TREES PROVIDED = 24 TREES 
 TOTAL HERITAGE TREES= 192 TREES
 TOTAL HERITAGE TREES REMOVED = 111 TREES
 TOTAL HERITAGE TREES REMAINING = 81 TREES

HERITAGE TREES INSIDE BUILDABLE AREA= 123 TREES
 HERITAGE TREES INSIDE BUILDABLE AREA REMOVED =

Casey R. Whiteman
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LLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING PLAN

FOR
**KEYSTONE CUSTOM
HOMES
WEDDINGTON**

PIN 07150015
9 FOREST LAWN DRIVE

<u>EXISTING</u>		<u>LEGEND</u>	<u>PROPOSED</u>	
		TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00	Tl PL 13+00
— — — — —		RIGHT OF WAY LINE	— — — — —	
— — — — —		PROPERTY LINE	— — — — —	
— — — — —		EDGE OF PAVEMENT	— — — — —	
FACE		CURB	FACE	
BACK		DEPRESSED CURB	BACK	
— — — — —		SIDEWALK	— — — — —	
— — — — —		FENCES	— — — — —	
— — — — —		TREELINE	— — — — —	
— — — — —		ROADWAY SIGNS	— — — — —	
— — — — —		WETLAND LINE	— — — — —	
— — — — —		MUNICIPAL BOUNDARY LINE	— — — — —	
— — — — —		STALL COUNT	— — — — —	(10)
— — — — —		ADA ACCESSIBLE STALL	— — — — —	P
— — — — —		DEPRESSED CURB AND ADA RAMP	— — — — —	V
— — — — —		DIRECTION OF TRAFFIC FLOW	— — — — —	→

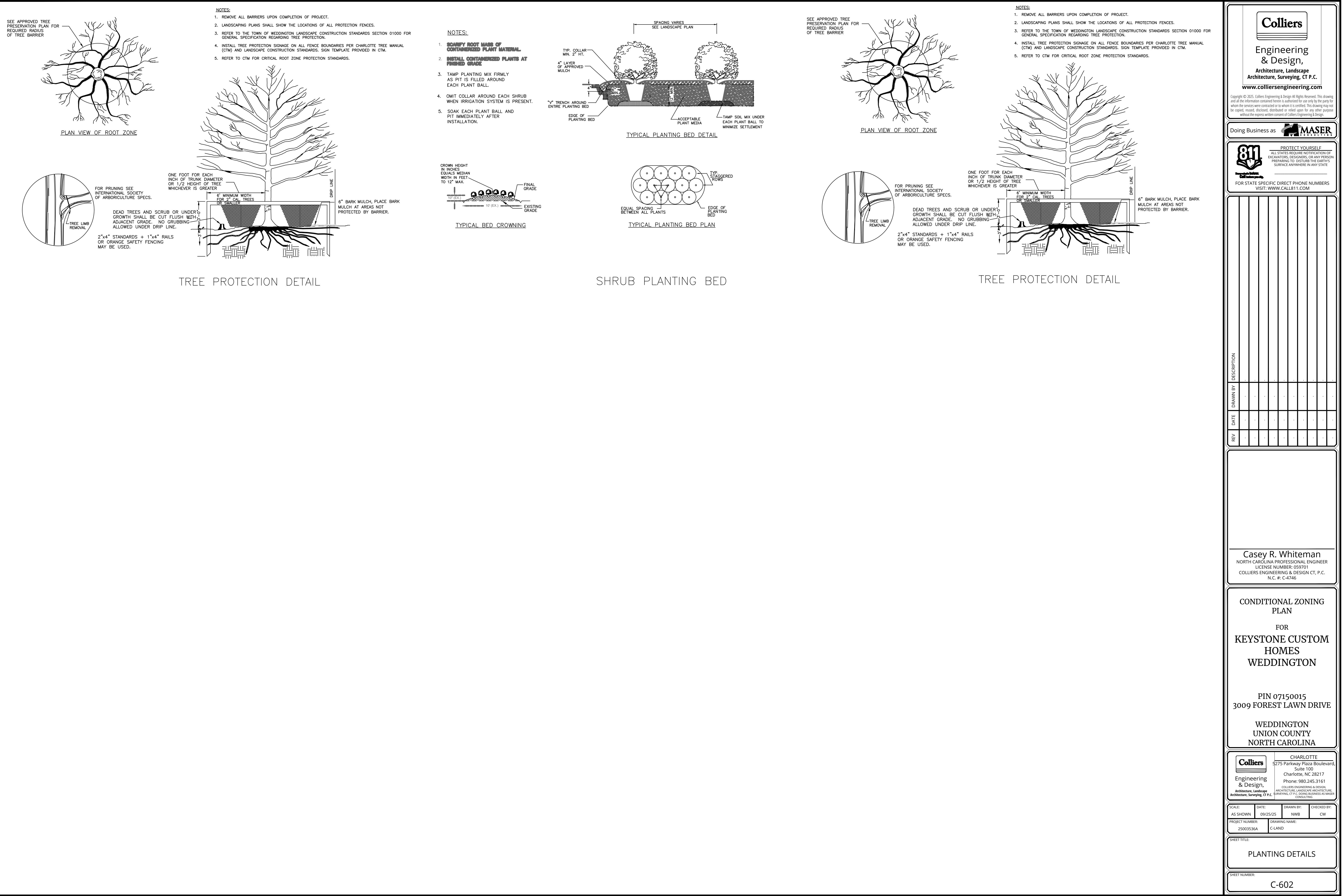
60 0 60 120

SCALE : 1" = 60'

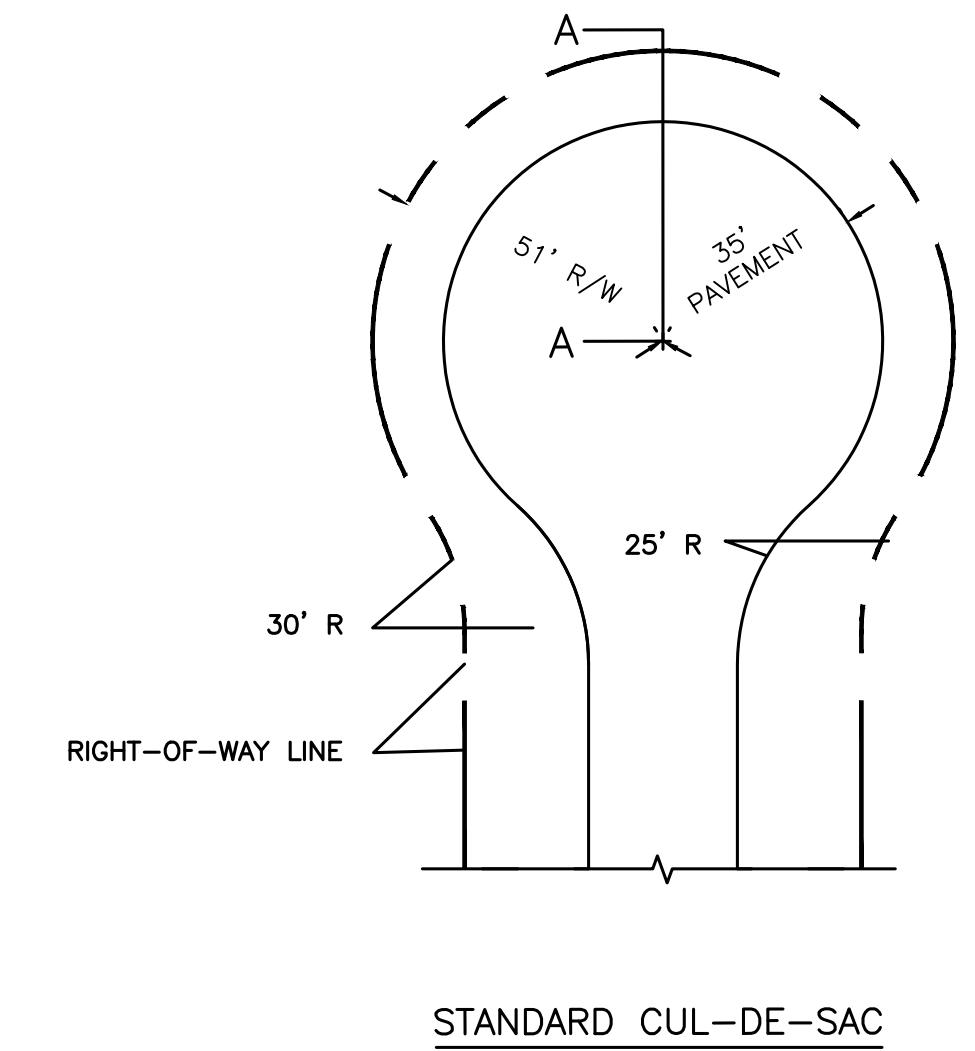
Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

C-601

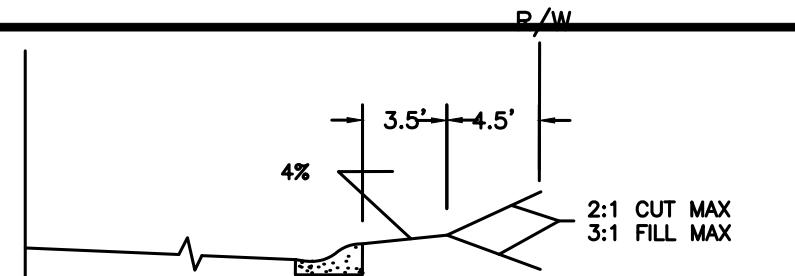
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STANDARD CUL-DE-SAC



SECTION A-A

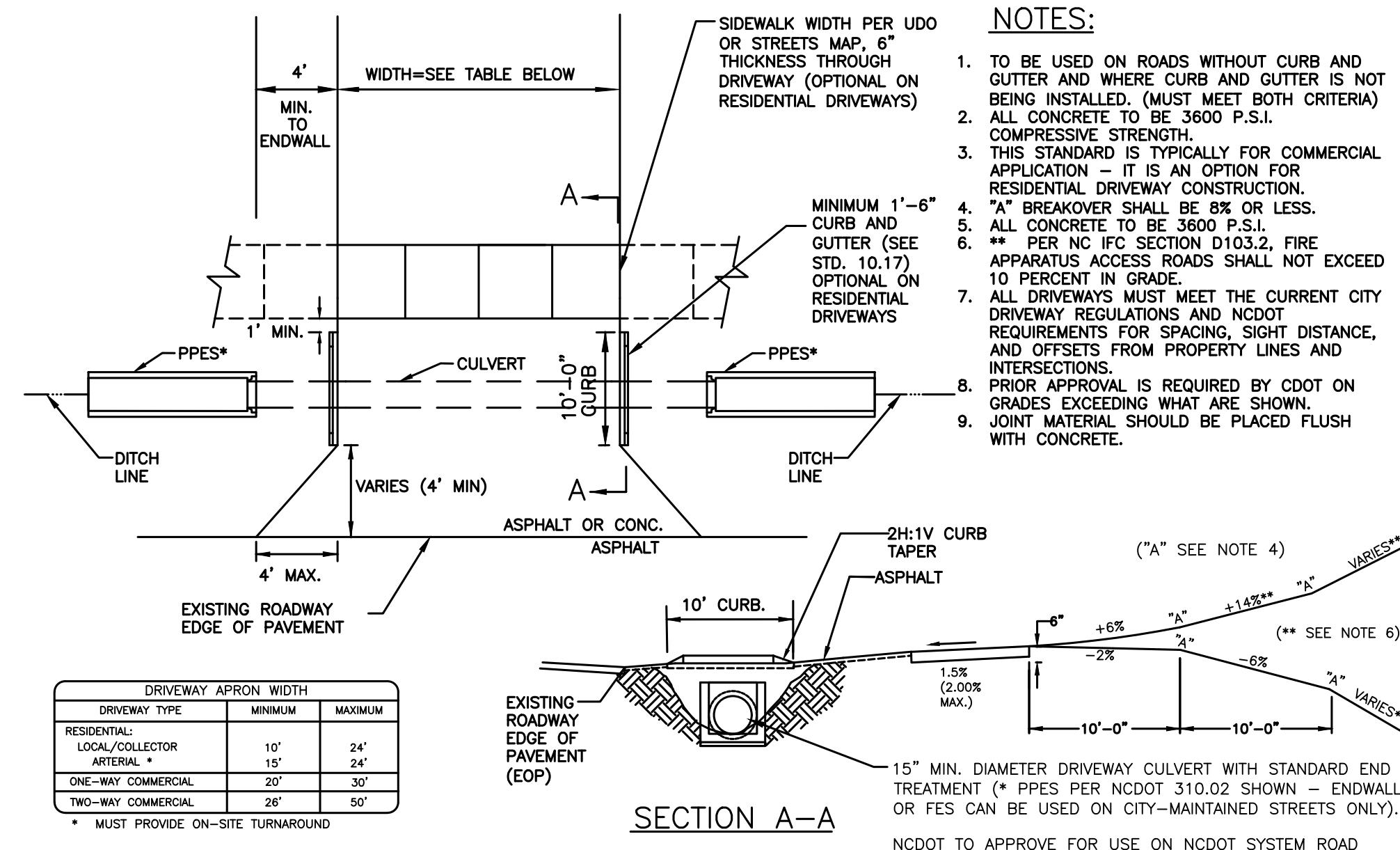
APPLICABLE WHEN NO SIDEWALK PRESENT.
PLEASE NOTE: DRIVEWAY STANDARD
MAX. SLOPES AND BREAKOVERS APPLY

NOTES:

1. ALTERNATIVE CUL-DE-SAC DESIGNS, INCLUDING ISLANDS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
2. THE CROWN FOR PAVEMENT SHALL BE 1/4" PER FT FROM THE CENTER OF THE CUL-DE-SAC.
3. REFER TO NCDOT STANDARDS FOR DITCH TYPE STREETS IN ETJ.
4. SIDEWALK MAY BE REQUIRED TO EXTEND AROUND CUL-DE-SAC BULB WHERE PARKS OR SCHOOLS HAVE FRONTAGE TO THE END OF THE CUL-DE-SAC.

NOTE: THIS DETAIL IS NOT FOR USE IN ETJ,
ORION, NOT-MAINTAINED STREETS. REFER TO
NCDOT SUBDIVISION ROADS MINIMUM
CONSTRUCTION STANDARDS MANUAL.

DRIVEWAY APRON WIDTH	MINIMUM	MAXIMUM
RESIDENTIAL LOCAL/COLLECTOR ARTERIAL *	10'	24'
ONE-WAY COMMERCIAL	20'	30'
TWO-WAY COMMERCIAL	26'	50'
* MUST PROVIDE ON-SITE TURNAROUND		



SECTION A-A

NCDOT TO APPROVE FOR USE ON NCDOT SYSTEM ROAD

CUL-DE-SAC DETAIL
NOT TO SCALE

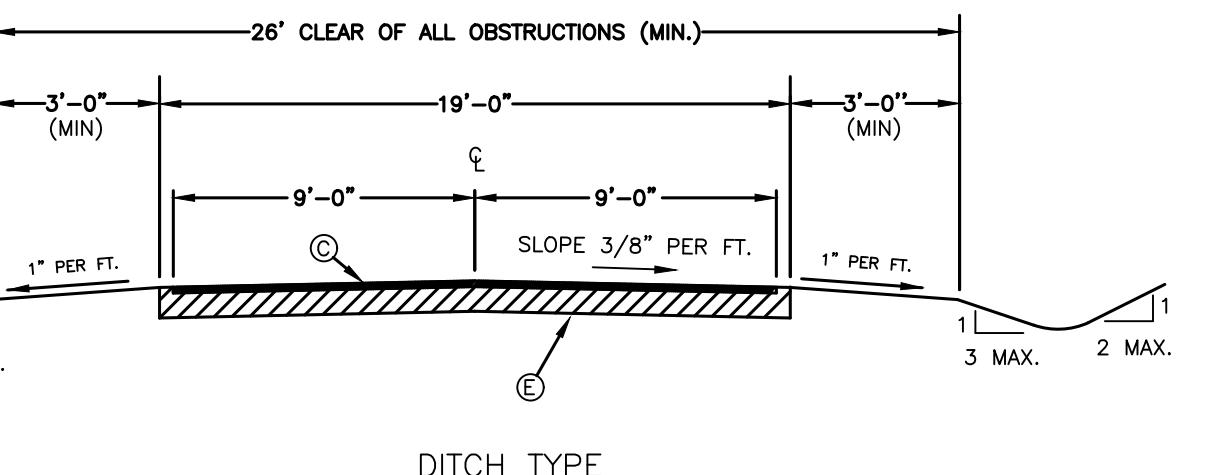
NOTES:
1. DETAILS SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS.
2. DITCH TYPE STREET REQUIRES APPROVAL OF CITY.
3. MINIMUM CURB RADIUS IN INTERIOR DRIVES AND PARKING AREAS IS 10'
4. THIS DETAIL IS NOT TO BE USED TO MEET INTERNAL/EXTERNAL CONNECTIVITY REQUIREMENTS OF THE SUBDIVISION ORDINANCE AND ZONING ORDINANCE.

GUIDELINES FOR PRIVATE STREET DESIGN:

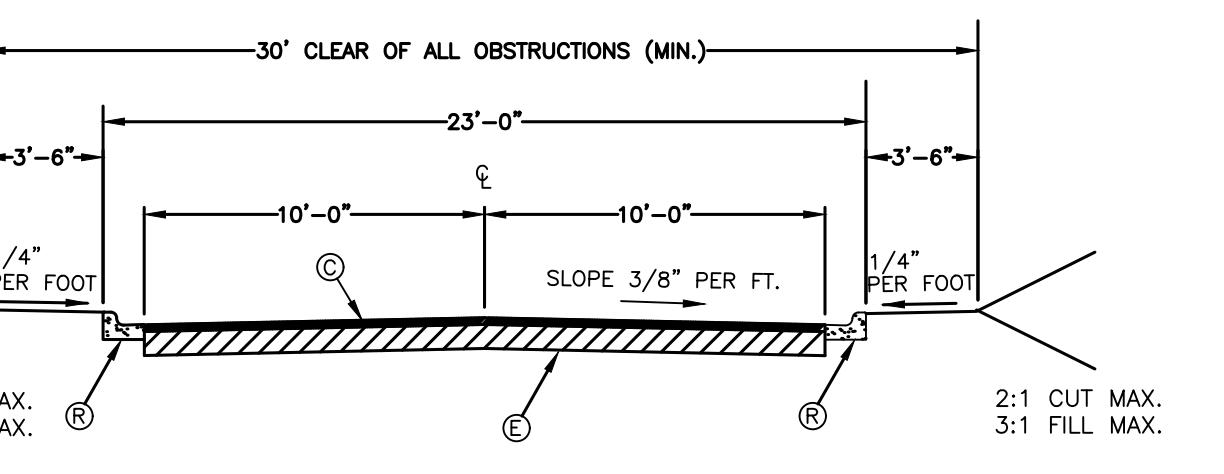
1. INTERNAL STREET ALIGNMENT: MAXIMUM GRADE: 10% MINIMUM VERTICAL CURVE "K" VALUES: 10/20 (CREST/SAG) MINIMUM HORIZONTAL CURVE CENTERLINE RADIUS: 50 FT.
2. INTERSECTION WITH PUBLIC STREET: SAME AS FOR PUBLIC STREET. SEE GENERAL NOTES, SECTION 1.B.2.

NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY STAFF.

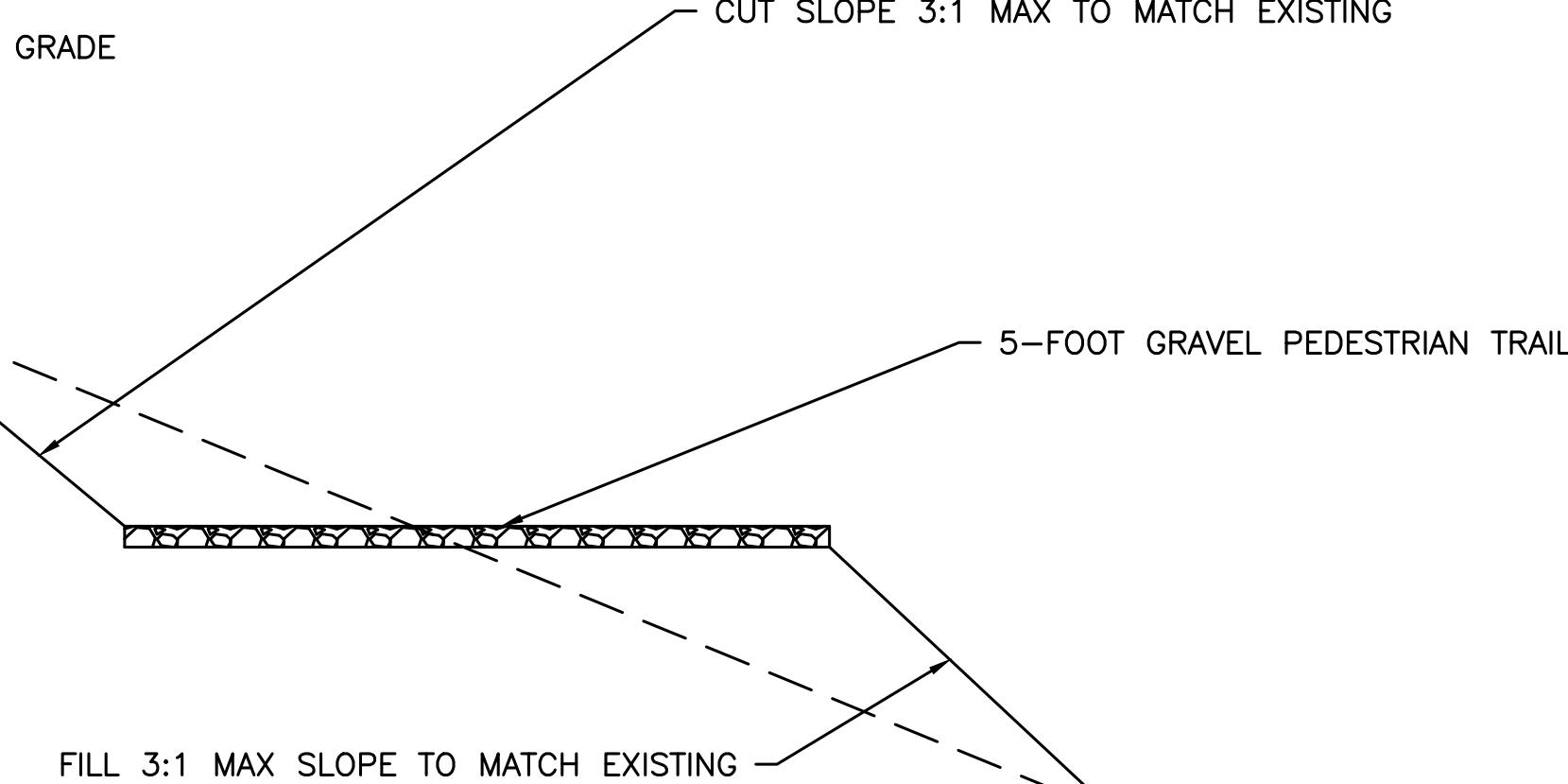
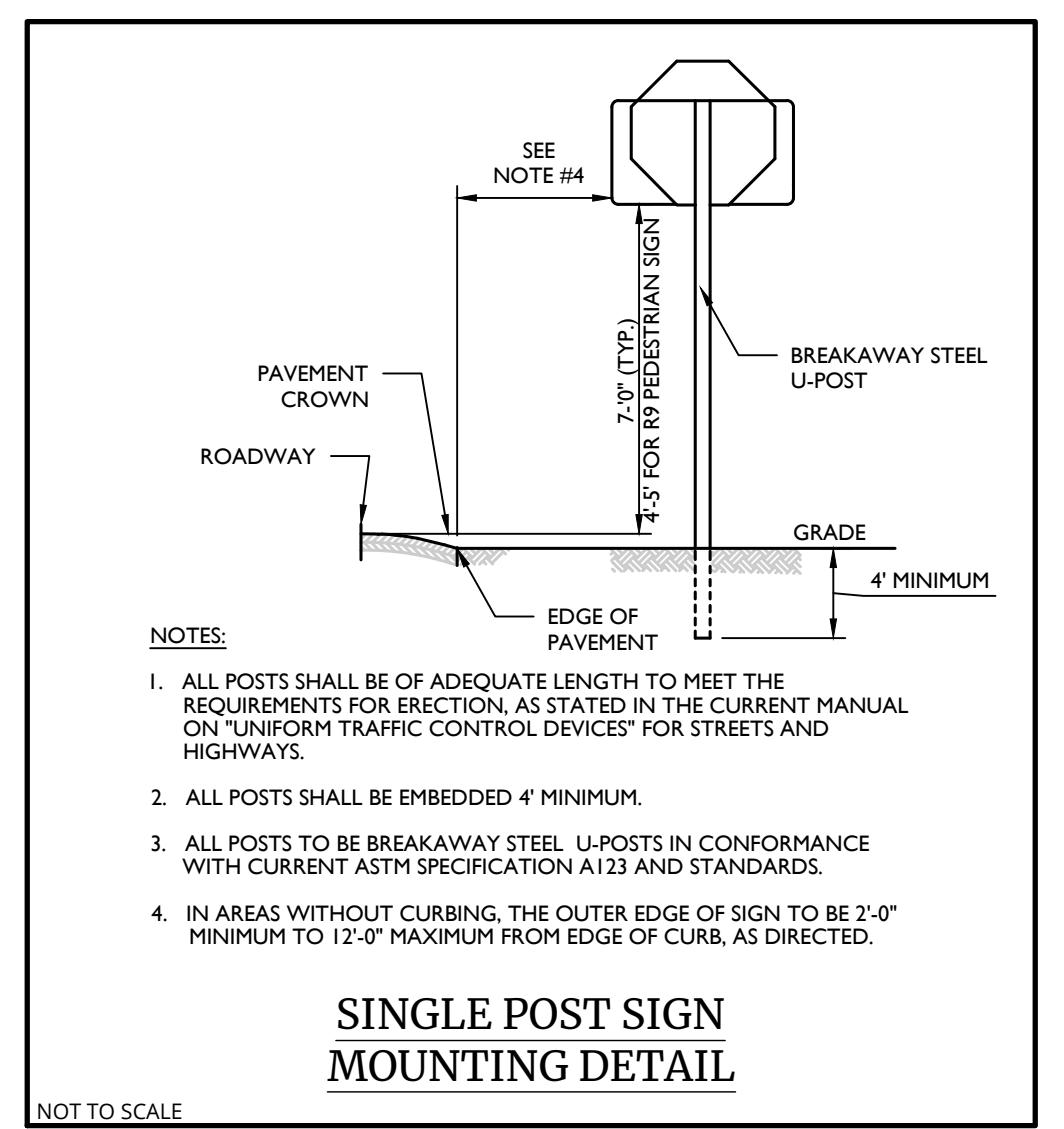
PAVEMENT SCHEDULE
① 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B
② 6" COMPACTED AGGREGATE BASE COURSE OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0C
③ CURB AND GUTTER (REFERENCE 10.17A AND B)



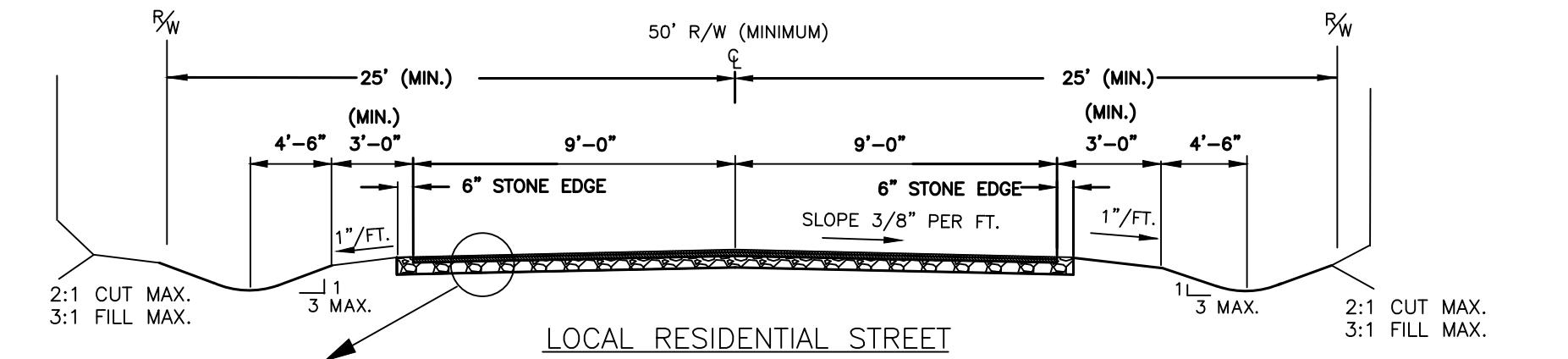
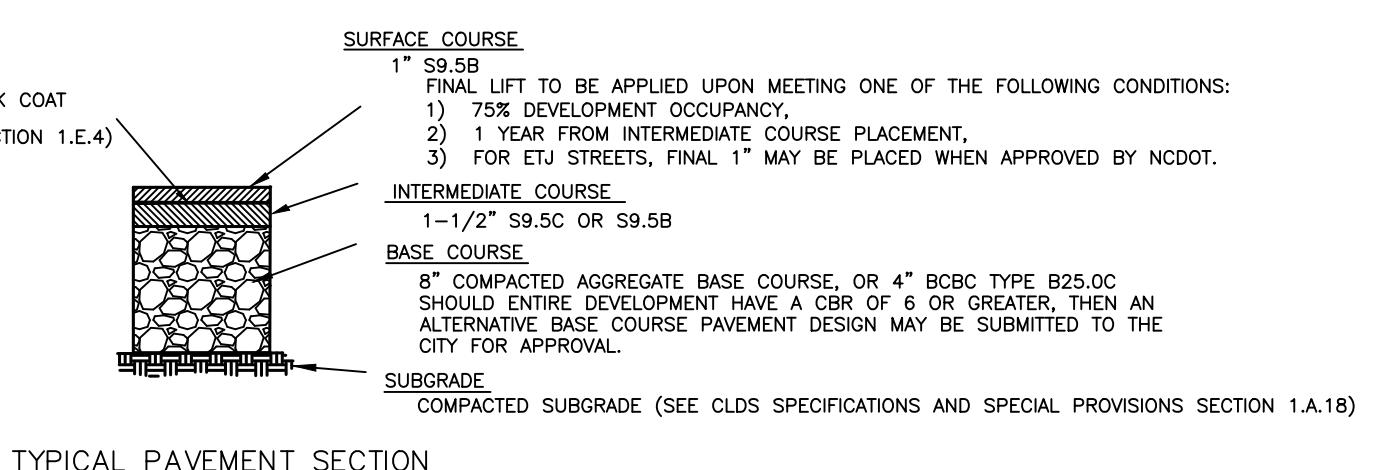
DITCH TYPE



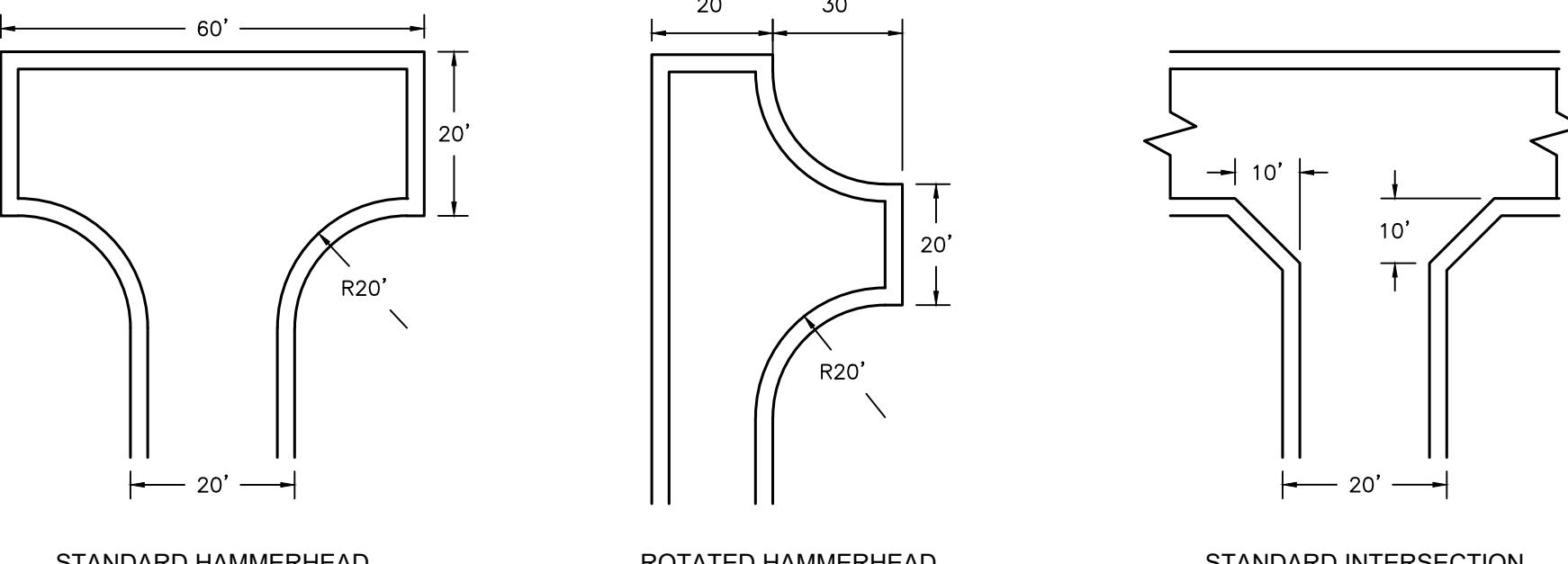
CURB AND GUTTER

PRIVATE STREET TYPICAL SECTIONS
NOT TO SCALE5-FOOT PEDESTRIAN TRAIL DETAIL
NOT TO SCALESINGLE POST SIGN
MOUNTING DETAIL

NOT TO SCALE

TYPE IV DRIVEWAY
NOT TO SCALELOCAL RESIDENTIAL
STREET (DITCH TYPE)

TYPICAL PAVEMENT SECTION

LOCAL RESIDENTIAL
TYPICAL DITCH TYPE STREET SECTION
NOT TO SCALE

NOTES:

1. SEE DETAILS 11.19A-B FOR ALLEY DESIGN STANDARDS.
2. ALL POSTS SHALL BE EMBEDDED 4' MINIMUM.
3. ALL POSTS TO BE BREAKAWAY STEEL U-POSTS IN CONFORMANCE WITH CURRENT ASTM SPECIFICATION A123 AND STANDARDS.
4. IN AREAS WITHOUT CURBING, THE OUTER EDGE OF SIGN TO BE 2'-0" MINIMUM TO 12'-0" MAXIMUM FROM EDGE OF CURB, AS DIRECTED.
5. THIS DETAIL DOES NOT ACCOMMODATE COMMERCIAL VEHICLES OR CHARLOTTE FIRE DEPARTMENT DESIGN FIRE TRUCK.
6. FOR INTERSECTIONS WITH A LEAST ONE (1) ONE-WAY ALLEY, THE BACK-OF-CURB TO BACK-OF-CURB WIDTH CAN BE 16 FEET ON THE APPROPRIATE LEG(S) INSTEAD OF THE 20 FEET SHOWN.

RESIDENTIAL ALLEY HAMMERHEADS
AND INTERSECTIONS

Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING
PLANFOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

CHARLOTTE
5275 Parkway Plaza Boulevard,
Charlotte, NC 28217
Phone: 980-245-3161
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING, CT P.C.
CONSULTING

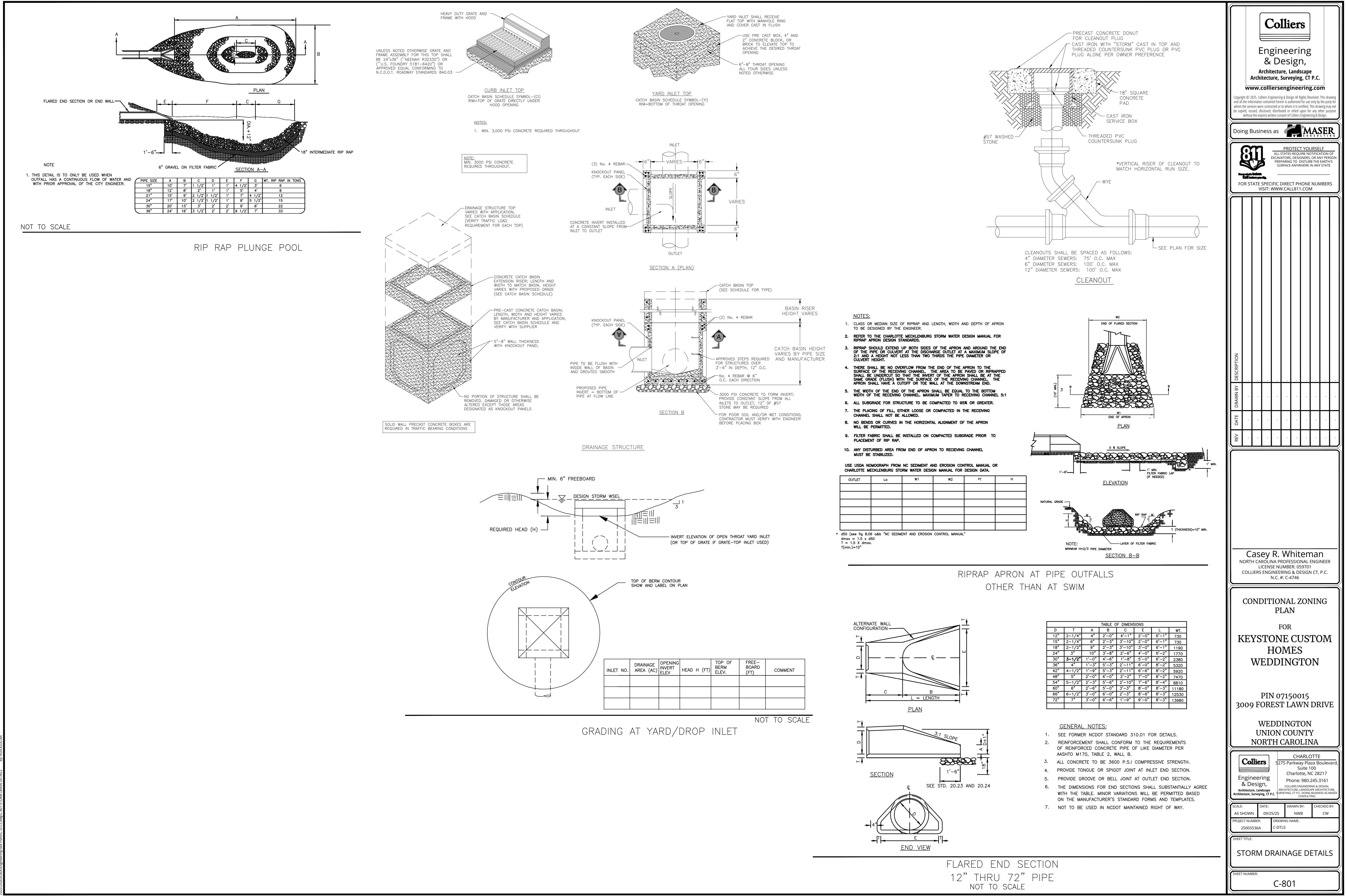
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AS SHOWN 09/25/25 NWB CW

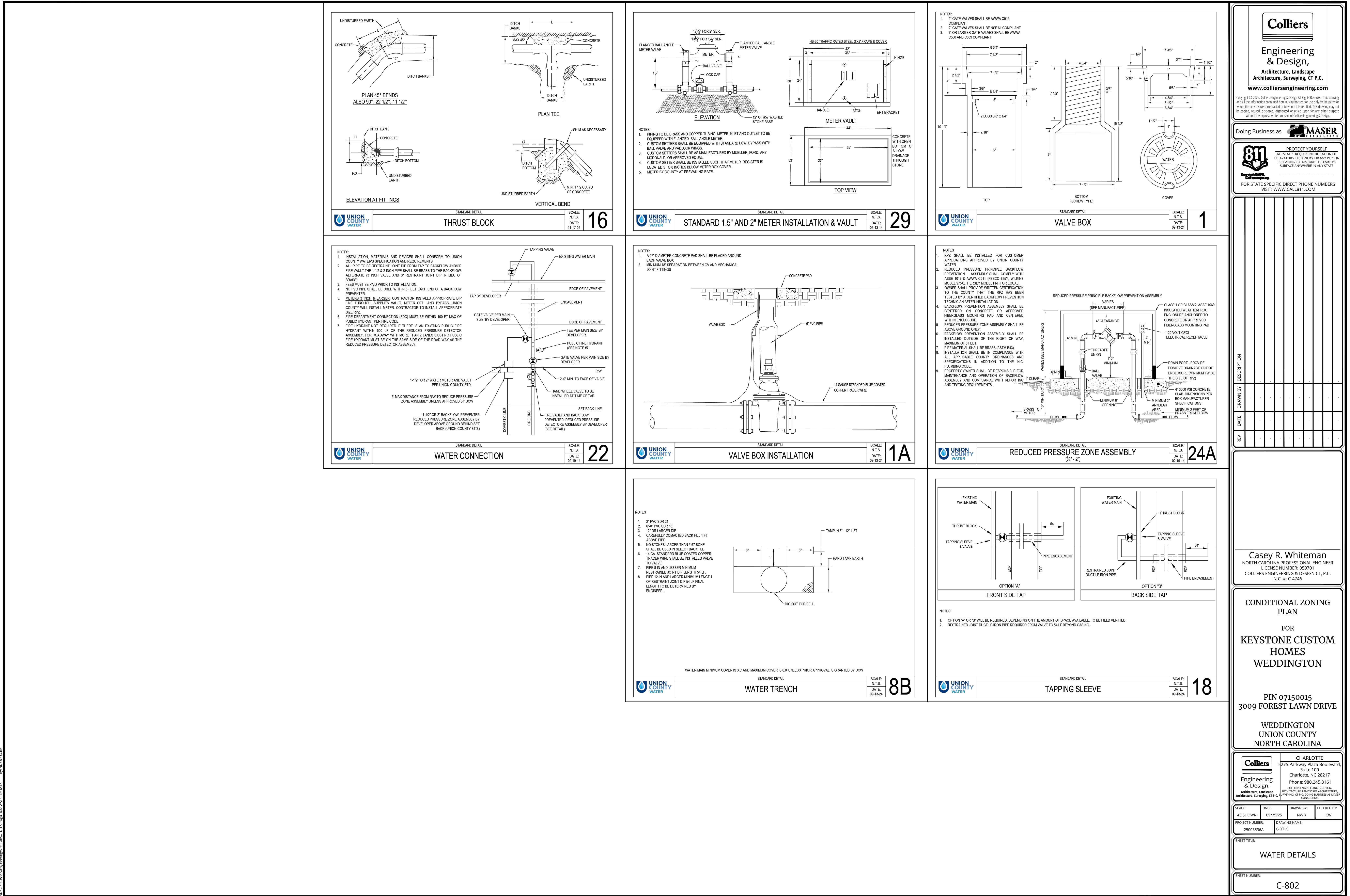
PROJECT NUMBER: DRAWING NAME:
2500536A C-DTLS

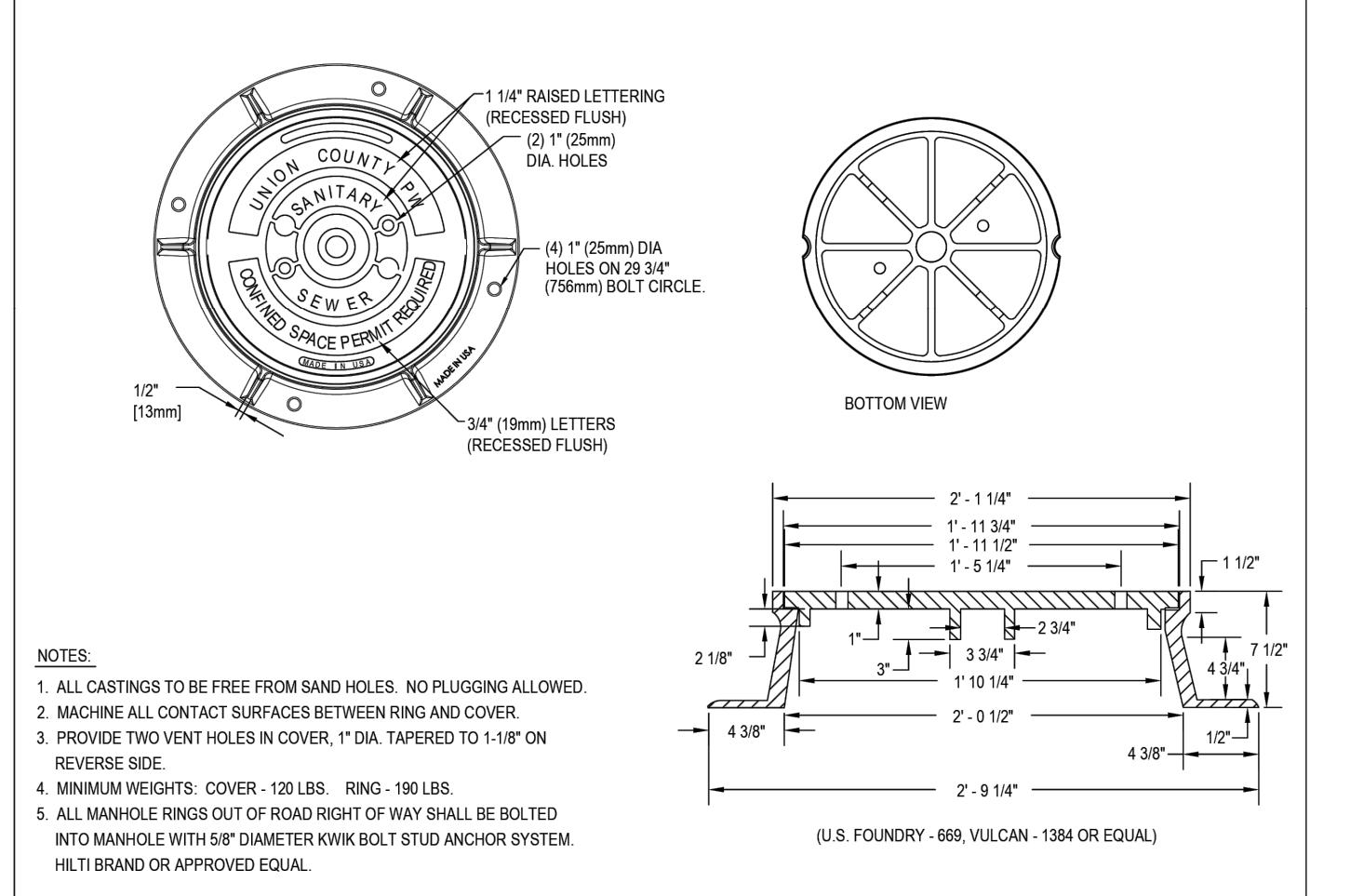
SHEET TITLE: SITE DETAILS

SHEET NUMBER: C-800

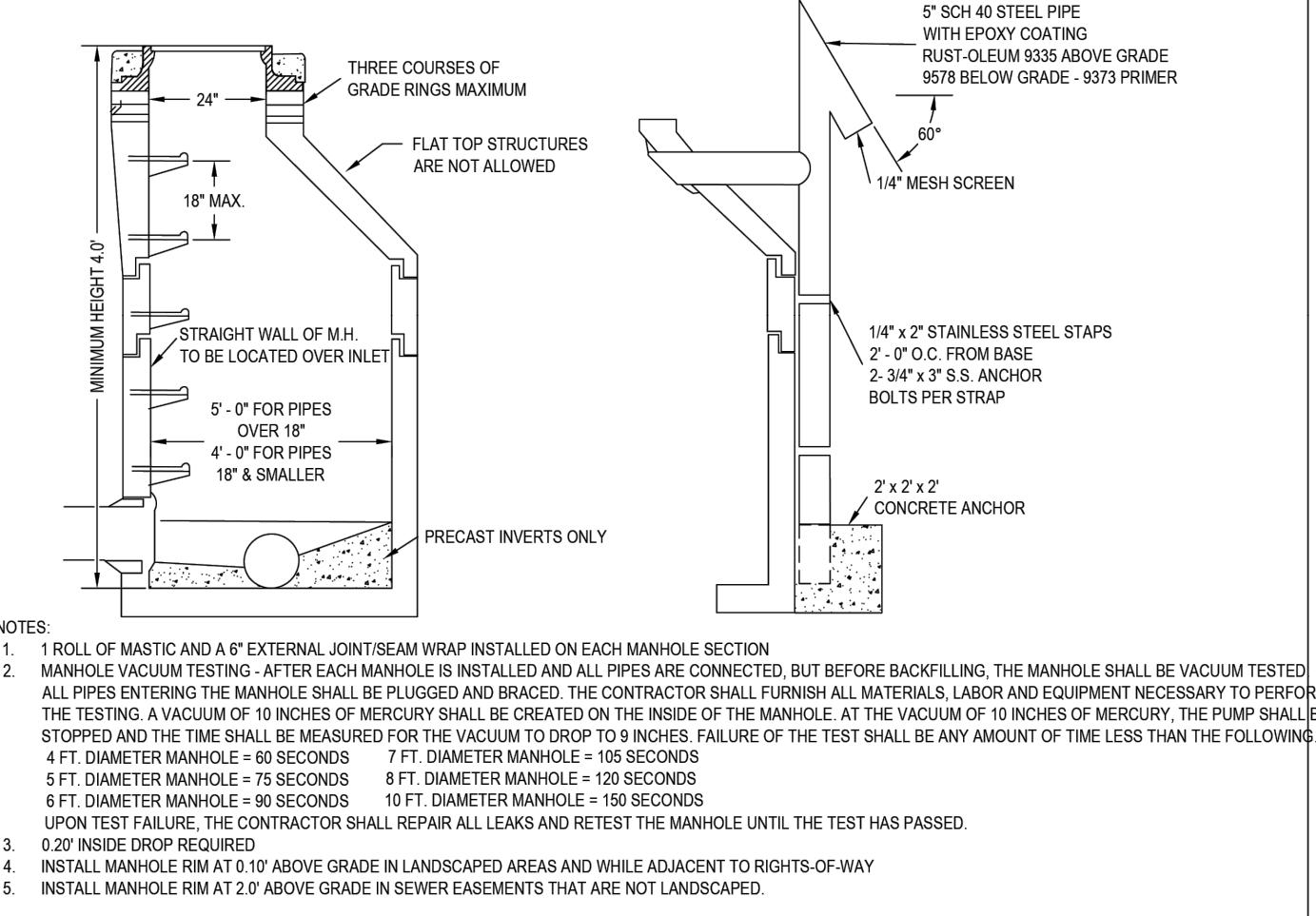
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



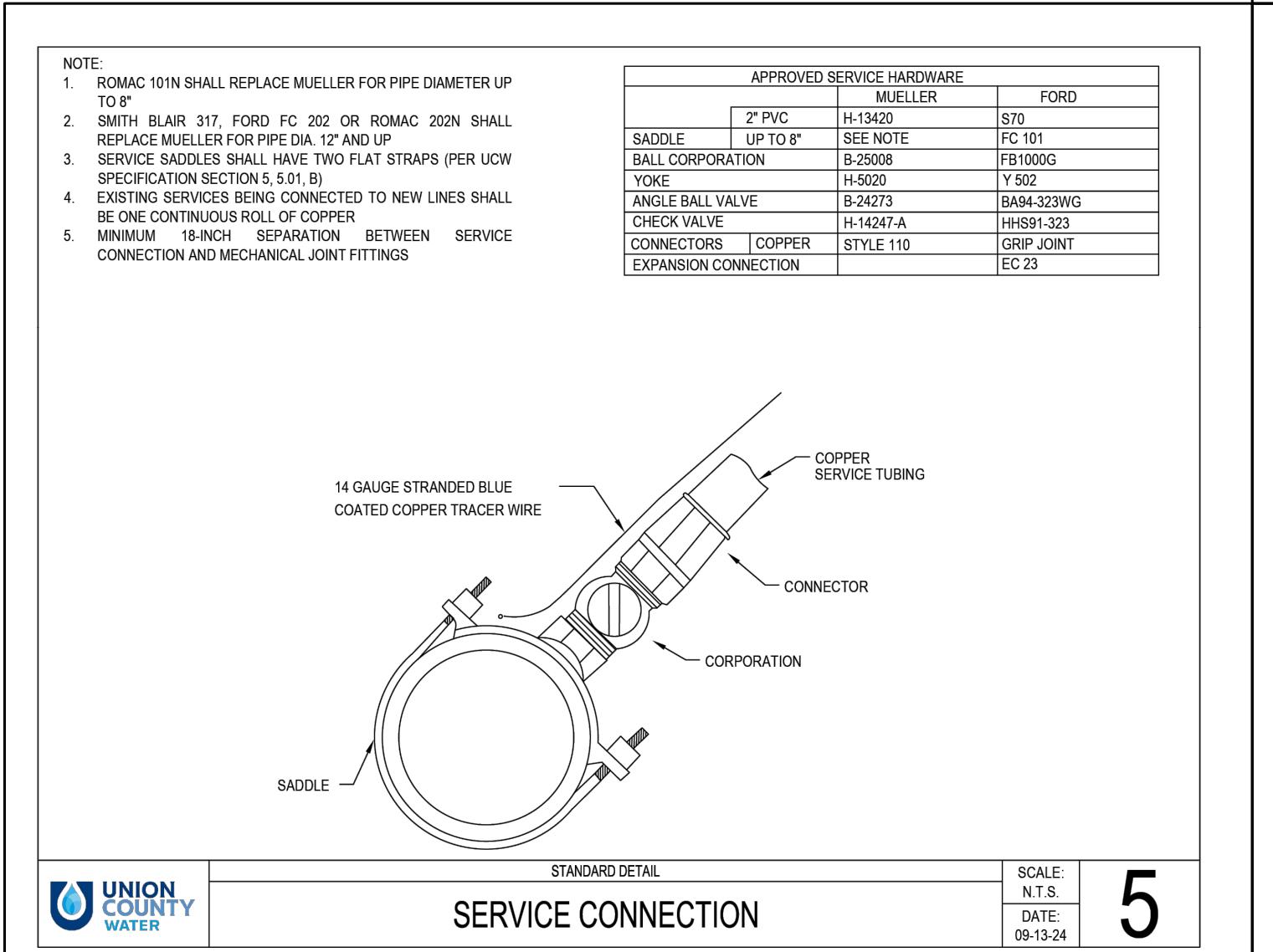




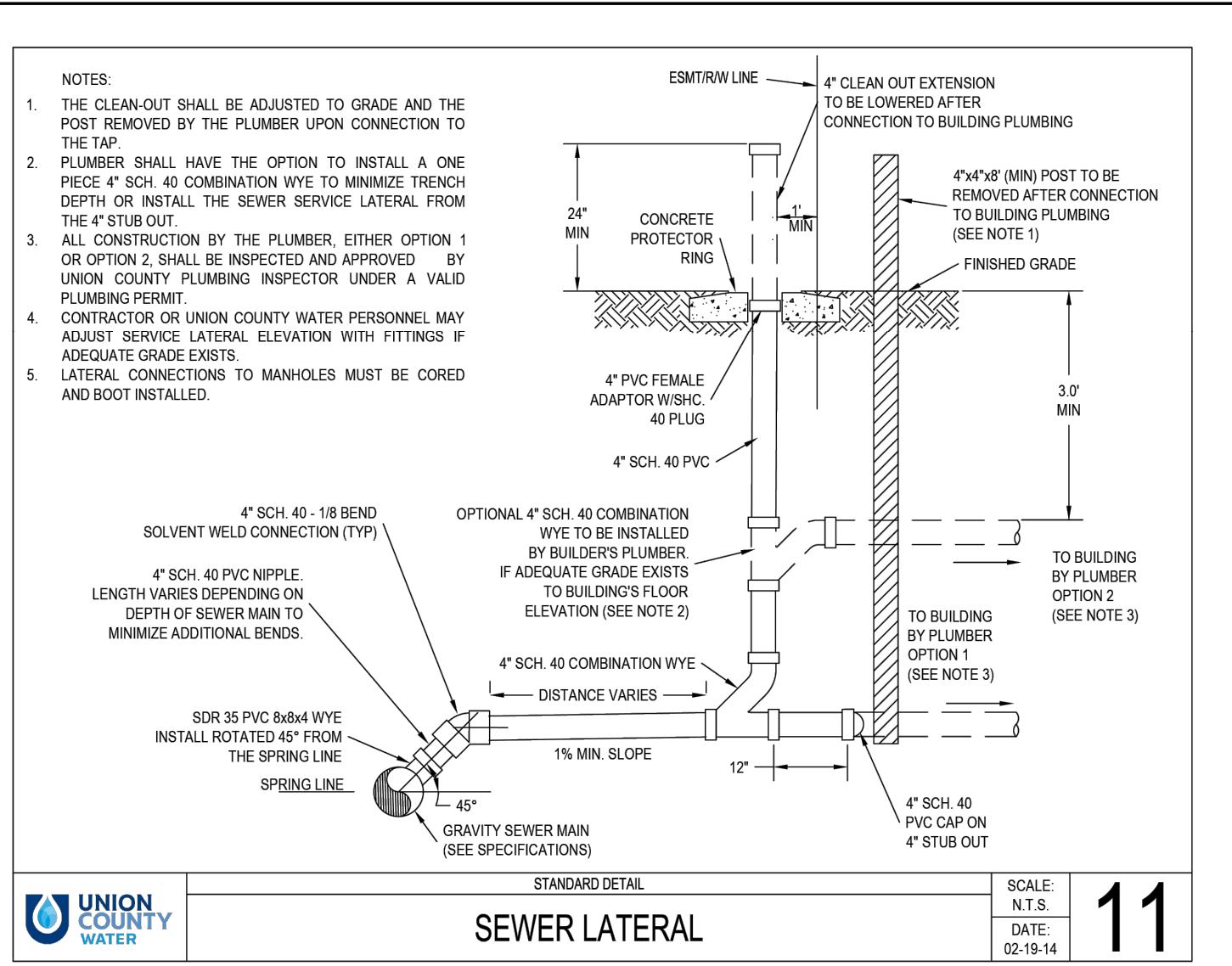
UNION COUNTY WATER	STANDARD DETAIL	SCALE: N.T.S.	9
	RING AND COVER	DATE: 09-09-11	



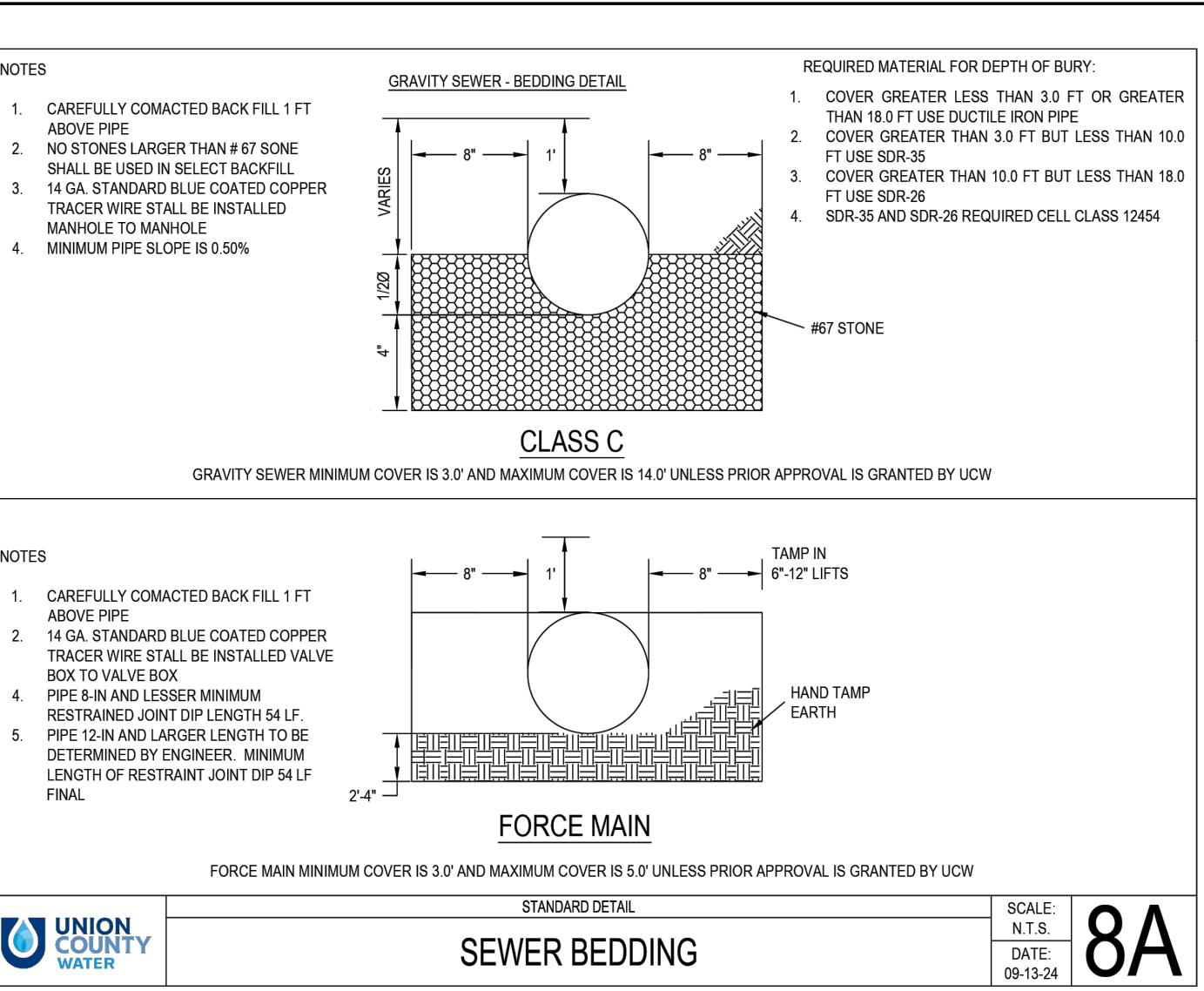
UNION COUNTY WATER	STANDARD DETAIL	SCALE: N.T.S.	10
	MANHOLE	DATE: 09-09-24	



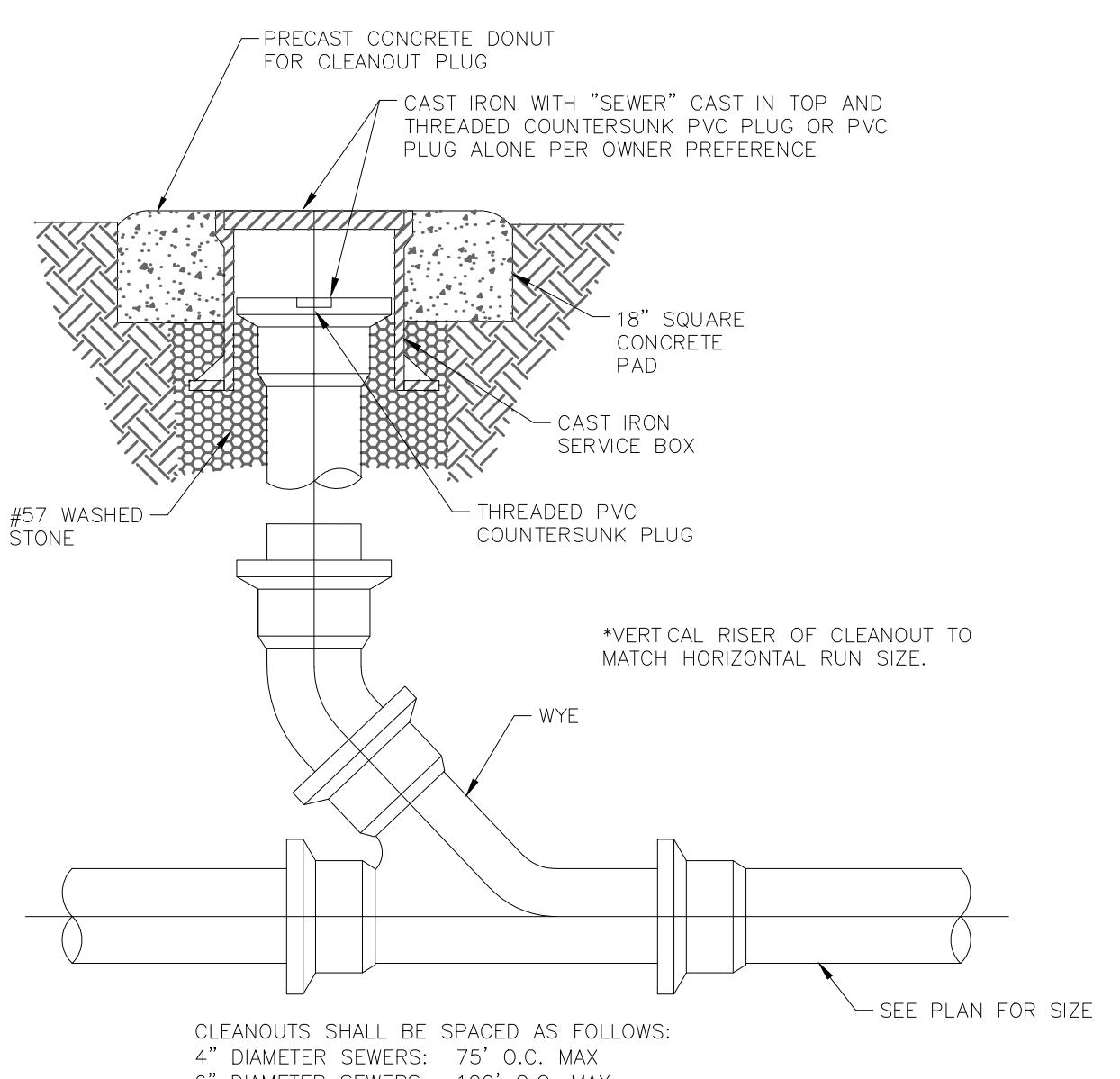
UNION COUNTY WATER	STANDARD DETAIL	SCALE: N.T.S.	5
	SERVICE CONNECTION	DATE: 09-12-24	



UNION COUNTY WATER	STANDARD DETAIL	SCALE: N.T.S.	11
	SEWER LATERAL	DATE: 09-19-14	



UNION COUNTY WATER	STANDARD DETAIL	SCALE: N.T.S.	8A
	SEWER BEDDING	DATE: 09-12-24	



CLEANOUTS SHALL BE SPACED AS FOLLOWS:
4" DIAMETER SEWERS: 75' O.C. MAX
6" DIAMETER SEWERS: 100' O.C. MAX

SANITARY SEWER CLEANOUT DETAIL

Casey R. Whiteman
NORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.C. #: C-4746

CONDITIONAL ZONING
PLAN
FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
3009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA

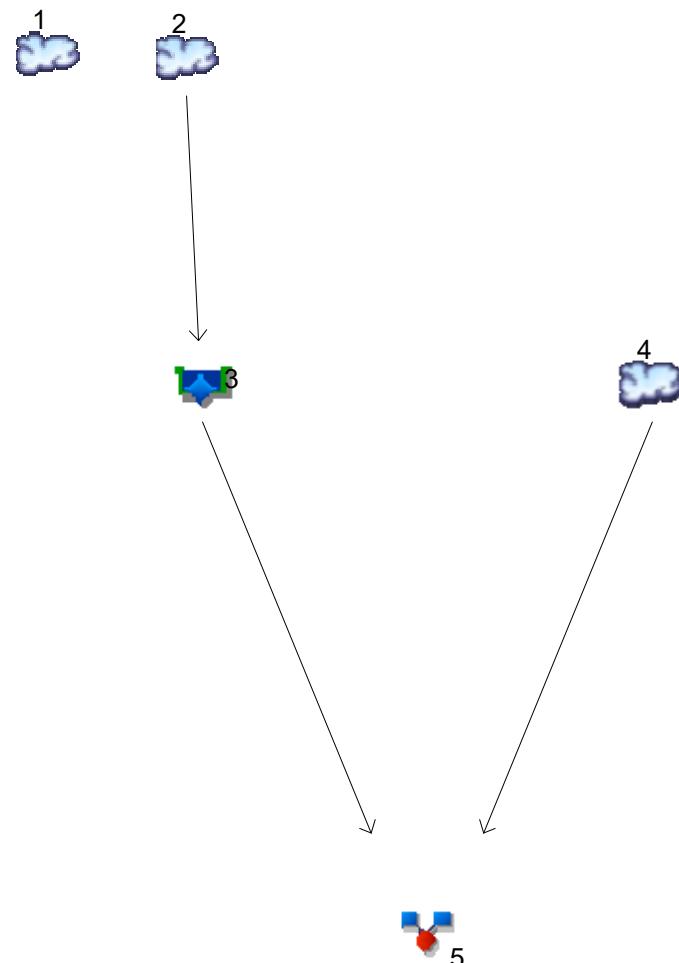
CHARLOTTE
5275 Parkway Plaza Boulevard
Charlotte, NC 28217
Phone: 980-245-3161
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
ENGINEERING, CT P.C.
CONSULTING

SCALE: DATE: DRAWN BY: CHECKED BY:
AS SHOWN 09/25/25 NWB CW
PROJECT NUMBER: DRAWING NAME:
25003536A C-DTLS

SHEET TITLE:
SANITARY SEWER DETAILS
SHEET NUMBER:
C-803

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025



Legend

Hyd. Origin Description

1	SCS Runoff	Existing DA
2	SCS Runoff	Proposed DA
3	Reservoir	Wet Pond
4	SCS Runoff	Bypass
5	Combine	<no description>

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	3.912	2	722	13,400	-----	-----	-----	Existing DA
2	SCS Runoff	10.31	2	718	20,642	-----	-----	-----	Proposed DA
3	Reservoir	0.390	2	838	19,866	2	630.81	11,768	Wet Pond
4	SCS Runoff	0.686	2	718	1,972	-----	-----	-----	Bypass
5	Combine	0.732	2	718	21,838	3, 4	-----	-----	<no description>
Keystone Wet Pond Hydrographs.gpw				Return Period: 1 Year				Monday, 08 / 18 / 2025	

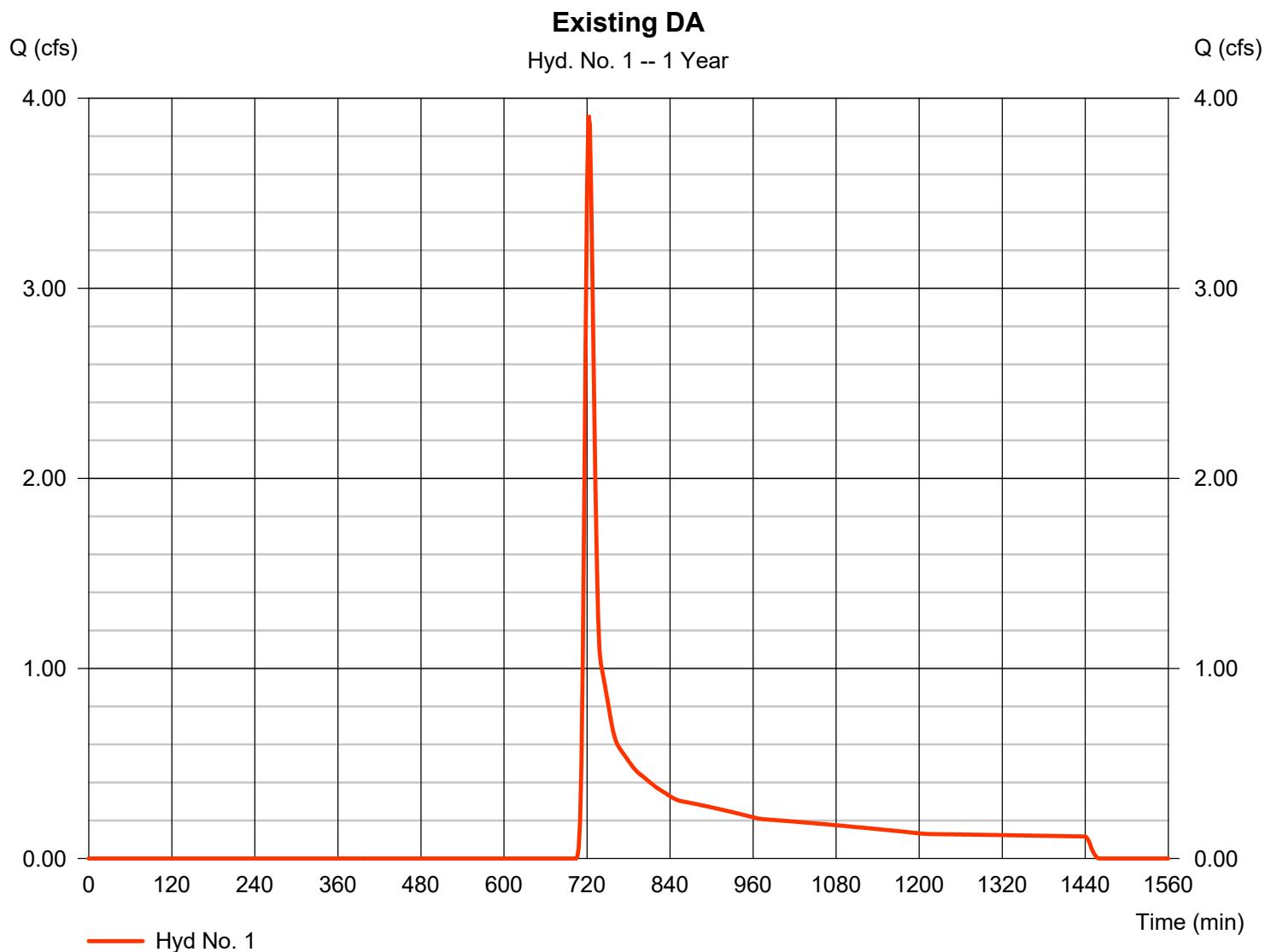
Hydrograph Report

Hyd. No. 1

Existing DA

Hydrograph type	= SCS Runoff	Peak discharge	= 3.912 cfs
Storm frequency	= 1 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 13,400 cuft
Drainage area	= 8.070 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 2.86 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



TR55 Tc Worksheet

Hyd. No. 1

Existing DA

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.150	0.400	0.011	
Flow length (ft)	= 30.9	69.2	0.0	
Two-year 24-hr precip. (in)	= 3.53	3.53	0.00	
Land slope (%)	= 3.95	7.25	0.00	
Travel Time (min)	= 2.77	+ 9.09	+ 0.00	= 11.87
Shallow Concentrated Flow				
Flow length (ft)	= 137.00	129.00	75.00	
Watercourse slope (%)	= 10.27	13.19	7.98	
Surface description	= Unpaved	Unpaved	Paved	
Average velocity (ft/s)	= 5.17	5.86	5.74	
Travel Time (min)	= 0.44	+ 0.37	+ 0.22	= 1.03
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	= 0.00	0.00	0.00	
Flow length (ft)	({0}) 0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				12.90 min

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	7.439	2	722	21,928	-----	-----	-----	Existing DA
2	SCS Runoff	14.73	2	718	29,496	-----	-----	-----	Proposed DA
3	Reservoir	0.978	2	768	28,701	2	631.09	14,476	Wet Pond
4	SCS Runoff	1.518	2	718	3,465	-----	-----	-----	Bypass
5	Combine	1.577	2	718	32,166	3, 4	-----	-----	<no description>
Keystone Wet Pond Hydrographs.gpw				Return Period: 2 Year				Monday, 08 / 18 / 2025	

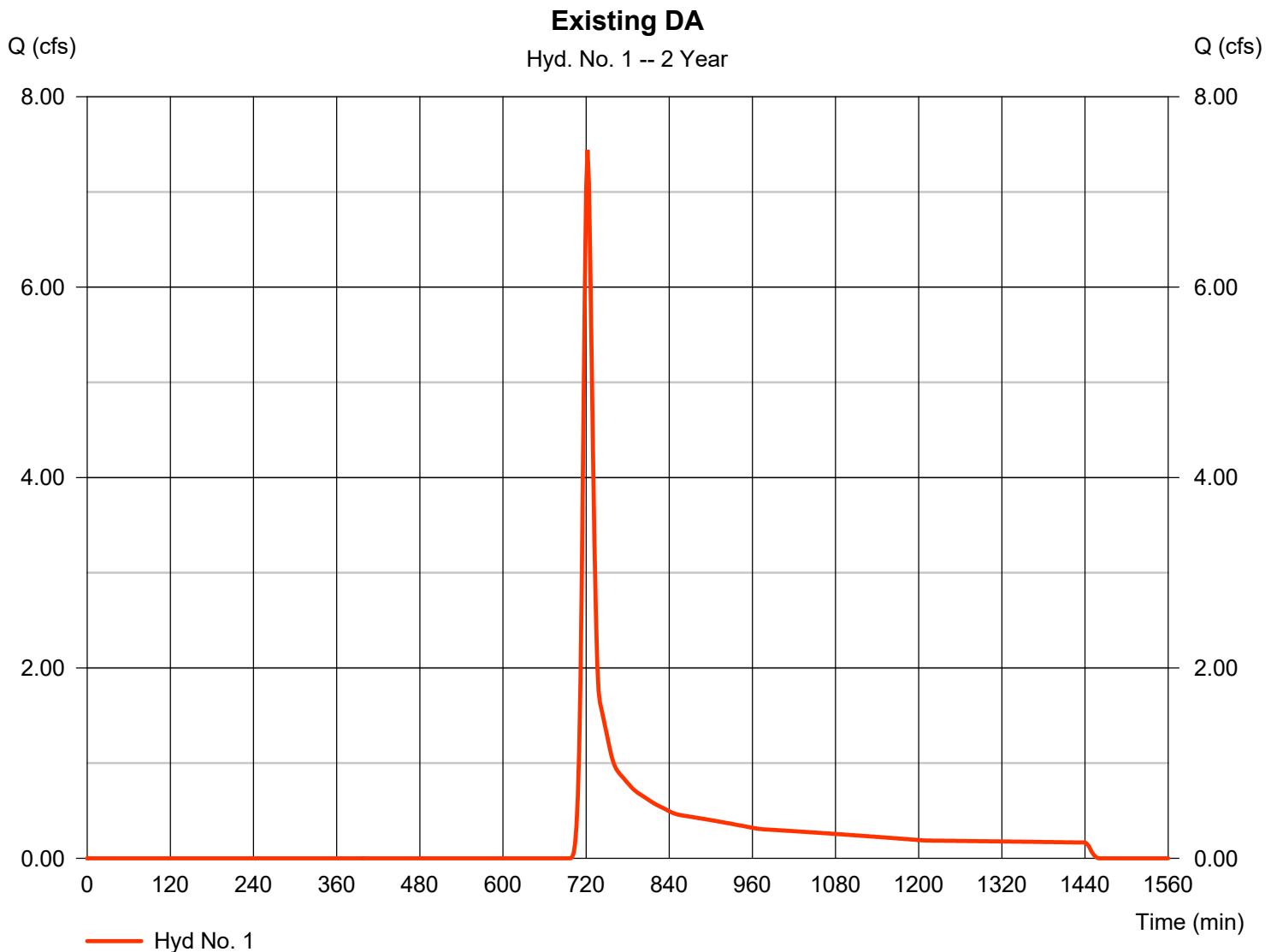
Hydrograph Report

Hyd. No. 1

Existing DA

Hydrograph type	= SCS Runoff	Peak discharge	= 7.439 cfs
Storm frequency	= 2 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 21,928 cuft
Drainage area	= 8.070 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 3.45 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	19.05	2	722	50,758	-----	-----	-----	Existing DA
2	SCS Runoff	27.80	2	716	56,231	-----	-----	-----	Proposed DA
3	Reservoir	5.669	2	726	55,410	2	632.16	26,036	Wet Pond
4	SCS Runoff	4.332	2	718	8,771	-----	-----	-----	Bypass
5	Combine	6.760	2	724	64,181	3, 4	-----	-----	<no description>
Keystone Wet Pond Hydrographs.gpw				Return Period: 10 Year				Monday, 08 / 18 / 2025	

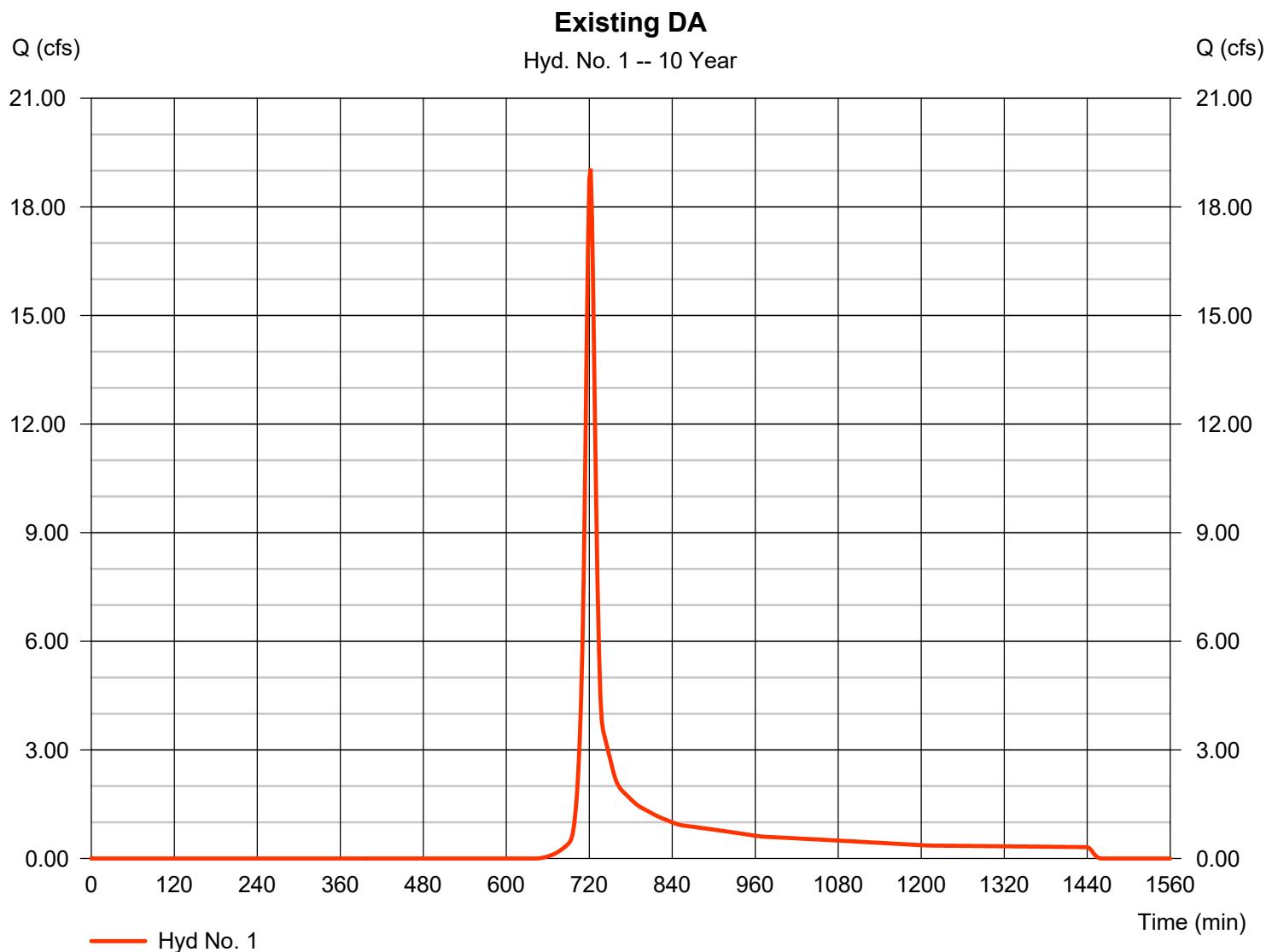
Hydrograph Report

Hyd. No. 1

Existing DA

Hydrograph type	= SCS Runoff	Peak discharge	= 19.05 cfs
Storm frequency	= 10 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 50,758 cuft
Drainage area	= 8.070 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 5.04 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	26.87	2	722	70,593	-----	-----	-----	Existing DA
2	SCS Runoff	36.02	2	716	73,274	-----	-----	-----	Proposed DA
3	Reservoir	20.92	2	722	72,441	2	632.50	29,938	Wet Pond
4	SCS Runoff	6.263	2	718	12,542	-----	-----	-----	Bypass
5	Combine	24.43	2	720	84,984	3, 4	-----	-----	<no description>
Keystone Wet Pond Hydrographs.gpw				Return Period: 25 Year				Monday, 08 / 18 / 2025	

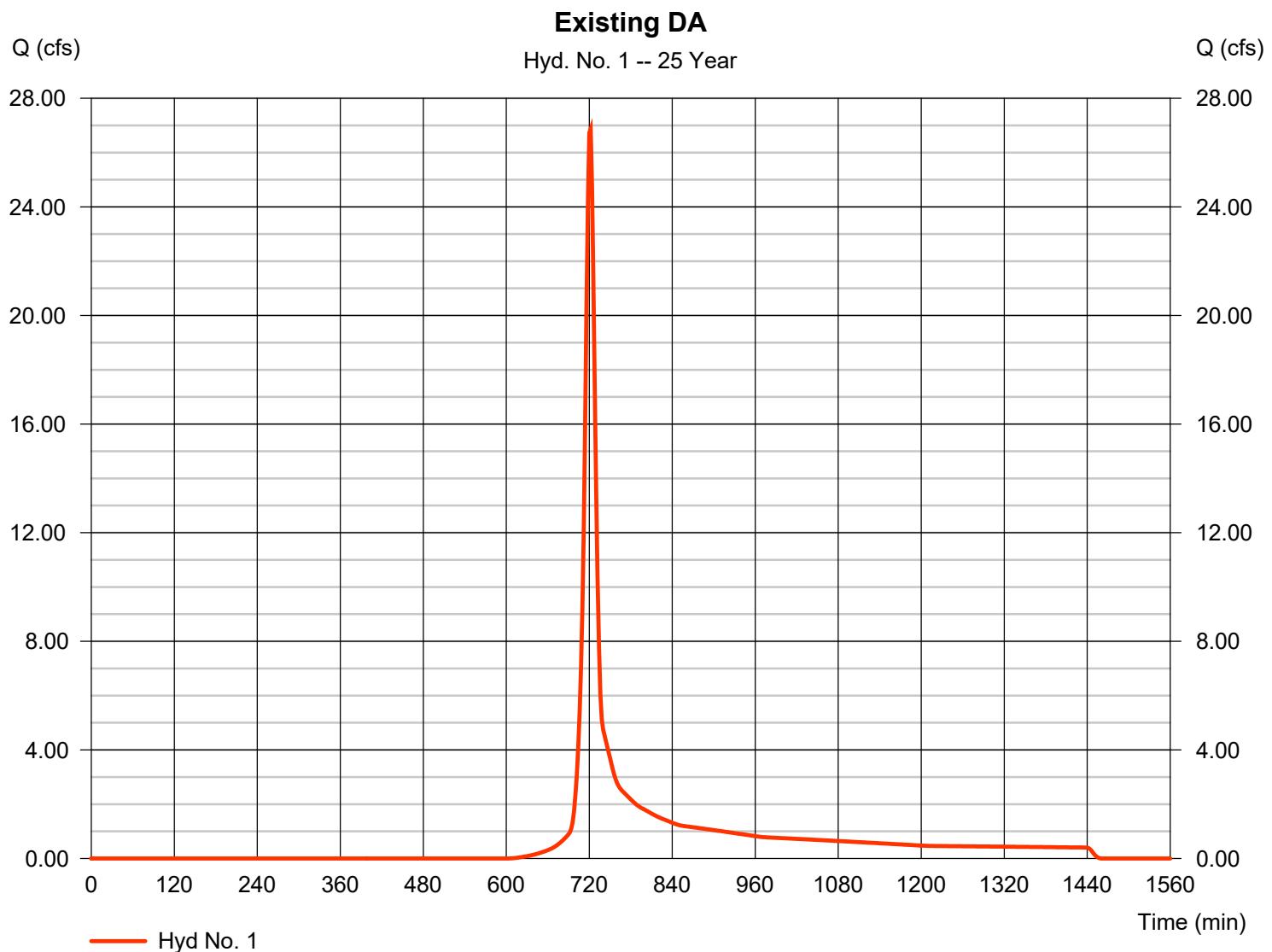
Hydrograph Report

Hyd. No. 1

Existing DA

Hydrograph type	= SCS Runoff	Peak discharge	= 26.87 cfs
Storm frequency	= 25 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 70,593 cuft
Drainage area	= 8.070 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 5.98 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	33.52	2	720	87,696	-----	-----	-----	Existing DA
2	SCS Runoff	42.76	2	716	87,482	-----	-----	-----	Proposed DA
3	Reservoir	32.57	2	720	86,644	2	632.69	32,135	Wet Pond
4	SCS Runoff	7.921	2	718	15,840	-----	-----	-----	Bypass
5	Combine	39.04	2	720	102,484	3, 4	-----	-----	<no description>
Keystone Wet Pond Hydrographs.gpw				Return Period: 50 Year				Monday, 08 / 18 / 2025	

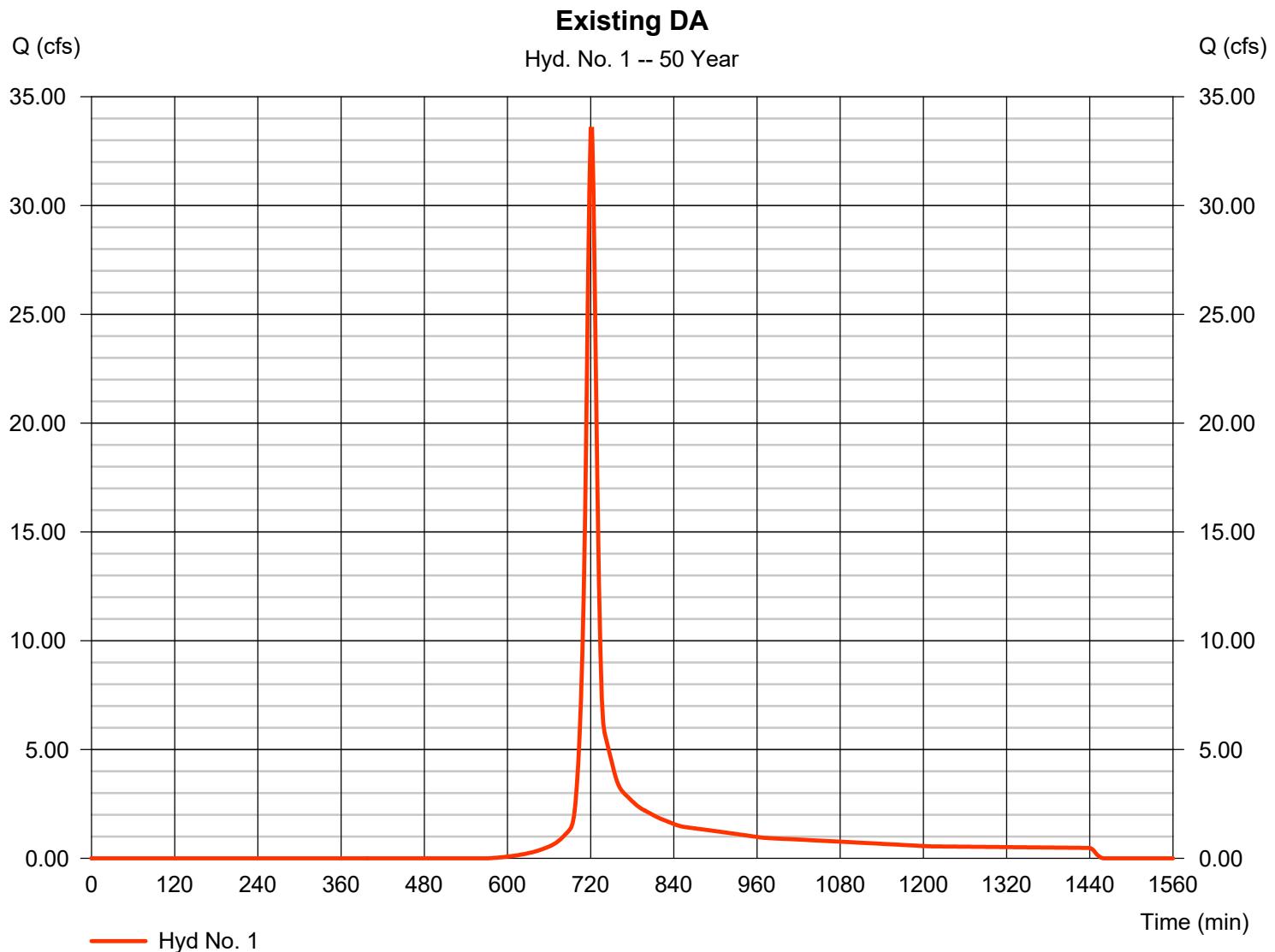
Hydrograph Report

Hyd. No. 1

Existing DA

Hydrograph type	= SCS Runoff	Peak discharge	= 33.52 cfs
Storm frequency	= 50 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 87,696 cuft
Drainage area	= 8.070 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 6.74 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2025

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	40.66	2	720	105,791	-----	-----	-----	Existing DA
2	SCS Runoff	49.65	2	716	102,172	-----	-----	-----	Proposed DA
3	Reservoir	41.98	2	720	101,329	2	632.82	33,712	Wet Pond
4	SCS Runoff	9.667	2	718	19,364	-----	-----	-----	Bypass
5	Combine	49.89	2	718	120,692	3, 4	-----	-----	<no description>
Keystone Wet Pond Hydrographs.gpw				Return Period: 100 Year				Monday, 08 / 18 / 2025	

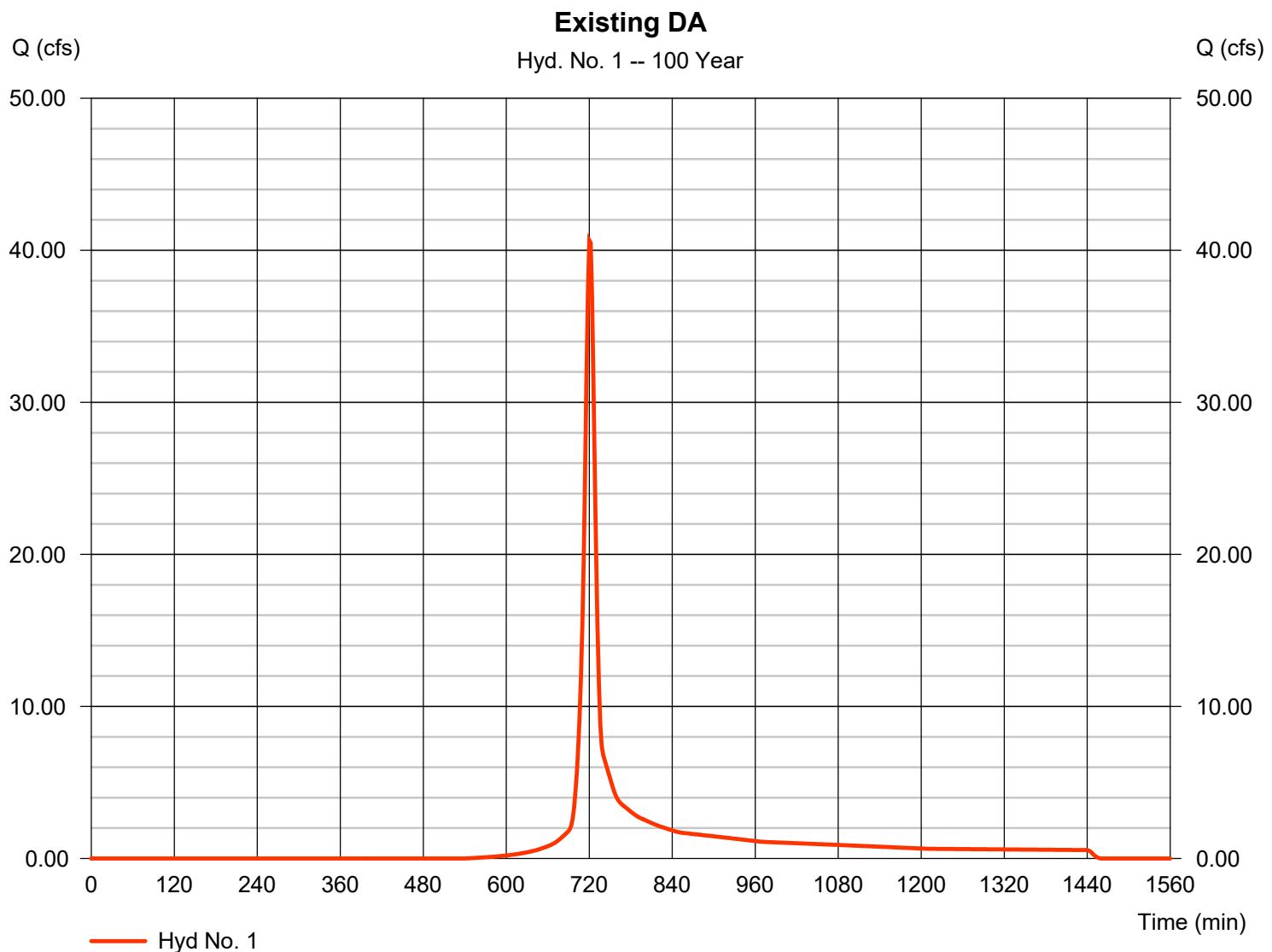
Hydrograph Report

Hyd. No. 1

Existing DA

Hydrograph type	= SCS Runoff	Peak discharge	= 40.66 cfs
Storm frequency	= 100 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 105,791 cuft
Drainage area	= 8.070 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 7.51 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(1.930 \times 69) + (5.630 \times 60) + (0.510 \times 98)] / 8.070$



Hydraflow Rainfall Report

Return Period (Yrs)	Intensity-Duration-Frequency Equation Coefficients (FHA)			
	B	D	E	(N/A)
1	0.0000	0.0000	0.0000	-----
2	74.0559	13.3000	0.8788	-----
3	0.0000	0.0000	0.0000	-----
5	83.5115	14.8000	0.8514	-----
10	105.7041	16.8000	0.8710	-----
25	118.9249	17.6000	0.8582	-----
50	137.0265	18.6000	0.8630	-----
100	157.1766	19.6000	0.8692	-----

File name: Raleigh IDF.IDF

$$\text{Intensity} = B / (T_c + D)^E$$

Return Period (Yrs)	Intensity Values (in/hr)											
	5 min	10	15	20	25	30	35	40	45	50	55	60
1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	5.76	4.65	3.92	3.40	3.01	2.70	2.45	2.25	2.08	1.93	1.81	1.70
3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	6.57	5.43	4.64	4.07	3.63	3.28	3.00	2.76	2.57	2.40	2.25	2.12
10	7.22	6.03	5.19	4.57	4.09	3.71	3.40	3.13	2.91	2.72	2.56	2.41
25	8.19	6.90	5.98	5.29	4.75	4.32	3.97	3.67	3.41	3.20	3.01	2.84
50	8.95	7.59	6.60	5.86	5.27	4.80	4.41	4.08	3.81	3.57	3.36	3.17
100	9.71	8.27	7.22	6.42	5.79	5.28	4.86	4.50	4.20	3.93	3.70	3.50

Tc = time in minutes. Values may exceed 60.

cip. file name: C:\Users\erik.messina\OneDrive - Colliers Engineering & Design\Desktop\Hydrographs\Raleigh PCP.pcp

COMPOSITE CURVE NUMBERS (CN)

Project Area Soil Types =

CcB2 - Cecil Sandy Clay Loam
 CuD2 - Cullen Clay Loam
 EnD - Enon Sandy Loam

Input
Calculated

Pre-Construction Conditions:

Pre-Drainage Area #1

Cover Type/Condition	Soil Classification	CN	Area (SF)	Area (AC)
Brush - Fair Condition	B	56	0	0.00
Grass - Fair Condition	B	69	84,231	1.93
Woods - Fair Condition	B	60	0	0.00
Woods - Fair Condition	B	60	245,281	5.63
Impervious	B	98	22,247	0.51
TOTAL:		64.6	351,759	8.08

*NCDEQ Table 4: HSGs for NC Soil Types - Urban Areas Runoff Curve Numbers for SCS Method

NCDEQ Stormwater Design Manual Revised 3-15-2017

Post-Construction Conditions:

Post-Drainage Area #1

Cover Type/Condition	Soil Classification	CN	Area (SF)	Area (AC)
Brush - Fair Condition	B	56	0	0.00
Woods - Fair Condition	B	60	0	0.00
Meadow	B	58	0	0.00
Grass - Good Condition	B	61	157,409	3.61
Impervious	B	98	113,705	2.61
TOTAL:		76.5	271,113	6.22

Water Quality Calculations

Input
Calculated

Drainage Area	6.22	ac
Impervious Area	2.61	ac
Impervious %	42%	
Estimated Avg. Depth	3.00	ft
SA/DA Ratio	1.74	%
SA Required	0.11	ac
SA Required	4,706	sf

SA/DA Ratio			
% Impervious Cover	Permanent Pool Average Depth (ft)		
	2.50	3.00	3.50
40%	FALSE	1.51	1.38
42%	0.00	1.74	1.60
50%	FALSE	1.79	1.65

*C-3 Table 1 (Piedmont and Mountain Region)
(NCDEQ BMP Design Manual revised 11-23-2020)

Main Pool Calculations

* Average Depth calculations are based on Equation 3 of Wet Pond MDC 2 of the NCDEQ Stormwater Design Manual

Main Pool Provided Depth	3.50	ft
Calc Avg. Depth	3.07	ft (PROCEED)
SA Provided	7,815	sf (PROCEED)
SA Provided	0.18	ac

D _{MAX}	0.50	ft
Perimeter _{PP}	337.87	ft
Width _{SUBMERG}	3.00	ft
V _{SHELF}	253.40	cf

Volume Calculation (Average End Method)

Stage (ft)	Elevation (ft)	Area (sf)	Inc. Vol. (cf)	Acc Vol. (cf)	
	626.00				Bottom of Sediment Removal
0.00	626.00	3,255	0	0	Top of Sediment Removal
1.00	627.00	3,795	3,525	3,525	
2.00	628.00	4,360	4,078	7,603	
3.00	629.00	4,950	4,655	12,258	
3.50	629.50	7,815	3,191	15,449	PERMANENT POOL

Temporary Pool Calculations

$$Rv = 0.05 + 0.9 * I_A$$

SIMPLE METHOD PER NCDEQ BMP MANUAL SECTION 3.3.1

$$WQv = 3630 * R_D * R_V * A$$

R_V = Runoff coefficient [storm runoff (in)/storm rainfall (in)], unitless

I_A = Impervious fraction [impervious portion of drainage area (ac)/drainage area (ac)], unitless

**V = Volume of runoff that must be controlled for the design storm (ft^3)

R_D = Design storm rainfall depth (in) (*Typically, 1.0" or 1.5"*)

A = Watershed area (ac)

Rv	0.43	(Design Storm = 1 inch)
WQv required	9,657	cfs
WQv provided	9,680	cfs (PROCEED)

Temp. Pool Provided Depth **4.50** ft

Volume Calculation (Average End Method)

Stage (ft)	Elevation (ft)	Area (sf)	Inc. Vol. (cf)	Acc Vol. (cf)	
0.00	629.50	7,815	0	0	Permanent Pool
0.50	630.00	8,857	4,168	4,168	Top of Shelf
1.50	631.00	9,955	9,406	13,574	
2.50	632.00	11,110	10,533	24,107	
3.50	633.00	12,322	11,716	35,823	
4.50	634.00	13,590	12,956	48,779	Top of Berm

Assumed Stage Interval for Treatment of WQv

630.00

Interpolate 0.10 area between even stages at WQv stage

Volume Calculation (Average End Method)

Stage (ft)	Elevation (ft)	Area (sf)	Inc. Vol. (cf)	Acc Vol. (cf)
0.00	630.00	8,857	4,168	4,168
0.10	630.10	8,967	891	5,059
0.20	630.20	9,077	902	5,961
0.30	630.30	9,186	913	6,875
0.40	630.40	9,296	924	7,799
0.50	630.50	9,406	935	8,734
0.60	630.60	9,516	946	9,680
0.70	630.70	9,626	957	10,637
0.80	630.80	9,735	968	11,605
0.90	630.90	9,845	979	12,584
1.00	631.00	9,955	990	13,574

Calc WQV Elevation **630.60**

Water Quality Orifice Size Calculation

Treatment Vol	9,680	CF	9,680	(NCDEQ required time frame)
Draw Down Time	2	DAYS	5	
Draw Down Time	172,800	sec	432,000	
Flow (Q)	0.056	CFS	0.022	
Cd	0.6		0.6	
H/3	0.367	ft	0.367	
Area of orifice	0.019	sf	0.008	
Max orifice diameter	1.88	in	1.19	Min orifice diameter
Orifice Size Used (Dia.)	1.50	in	PROCEED	
Draw Down Time	3.08	DAYS	PROCEED	

Forebay Volume Calculation

Forbay Provided Depth 3.00 ft

Volume Calculation (Average End Method)

Stage (ft)	Elevation (ft)	Area (sf)	Inc. Vol. (cf)	Acc Vol. (cf)	
	626.00				Bottom of Sediment Removal
0.00	626.00	577	0	0	Top of Sediment Removal
1.00	627.00	782	680	680	
2.00	628.00	1,011	897	1,576	
3.00	629.00	1,265	1,138	2,714	

15% Permanent Pool Volume	2,317	
20% Permanent Pool Volume	3,090	
Forebay Volume Provided	2,714	Proceed
	18%	

From: Sara Hymel <Sara.Hymel@ucps.k12.nc.us>
Sent: Monday, August 18, 2025 4:15 PM
To: Keith Fenn; Jimmy Bention
Cc: Gregory Gordos; Casey Whiteman
Subject: Re: Letter of Notification of Development in Weddington

This Message originated outside your organization.

Received.

Thank you,

Sara

Sara Hymel
Director of Planning and Construction

Union County Public Schools
201 Venus Street Monroe, NC 28112
Telephone: 704-296-3160 - D (internal ext. 6766)
Cell Phone: 980-722-5762
Email: sara.hymel@ucps.k12.nc.us

www.ucps.k12.nc.us

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From: Keith Fenn <kfenn@keystonecustomhome.com>
Sent: Monday, August 18, 2025 3:47 PM
To: Sara Hymel <Sara.Hymel@ucps.k12.nc.us>; Jimmy Bention <Jimmy.Bention@ucps.k12.nc.us>
Cc: Gregory Gordos <ggordos@townofweddington.com>; Casey Whiteman <casey.whiteman@collierseng.com>
Subject: Letter of Notification of Development in Weddington

WARNING: This email originated outside of our organization.

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Please find attached a notification letter as required and requested by Town of Weddington.

Keith Fenn, PE

Carolinas Director of Land Entitlement and Development | Keystone Custom Homes

CELL [980-269-6609](tel:980-269-6609)

EMAIL kfenn@keystonecustomhome.com

WEBSITE KeystoneCustomHome.com

MEETING SIGN IN SHEET

Second Community Meeting

Location: Weddington Town Hall, 1924 Weddington Road

Date: Thursday, June 19, 2025 at 5:30 p.m.

Applicant: Keystone Custom Homes

Project Location: 3009 Forest Lawn (parcel number 07150015).

Keystone

Note: Also in attendance
Keith Fenn, Keystone Homes
Alan Banks, Keystone Homes
Casey Whiteman, Colliers Engineering and Design
Greg Gordos, Town of Weddington



Keystone - 3009 Forest Lawn

From Casey Whiteman <Casey.Whiteman@collierseng.com>

Date Fri 2025-06-20 4:48 PM

To Gregory Gordos <ggordos@townofweddington.com>

Cc Alan Banks <abanks@keystonecustomhome.com>; Keith Fenn <kfenn@keystonecustomhome.com>

1 attachment (1 MB)

0026_001.pdf;

Greg,

Attached is the sign-in sheet for last night's community meeting. We noted three topics of discussion listed below:

1. Question was raised on the Yield Plan – Clarified that the Yield Plan does include 12 Lots and Greg, Town Planner, acknowledged receipt of it.
2. Location of Heritage Trees was brought up – Discussed that we are saving as many as possible but not all, but that we will have this displayed and shared with/for Council to review.
3. Discussed that the Stormwater Basin was general on this plan submitted and that Town Council may request more detailed layout. Will provide the actual grading of pond for Council and verify calcs were considered in design per Weddington/State specs.

Please let us know if you need anything else or if you have any questions about the meeting.

Casey Whiteman, PE

Geographical Discipline Leader | Civil Site

casey.whiteman@collierseng.com

Cell: 480 298 7229 | Main: 980 245 3161

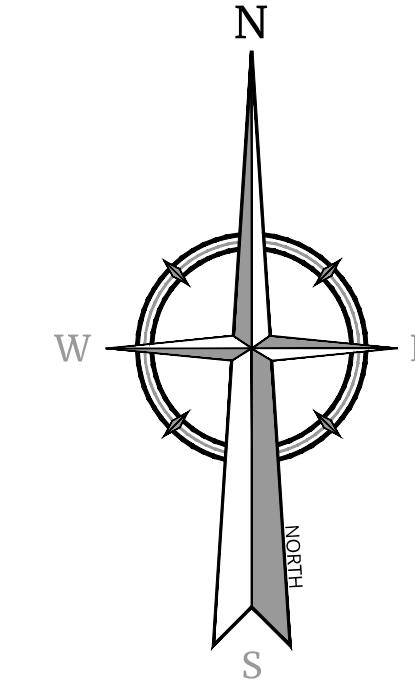
5275 Parkway Plaza Blvd, Ste 100, Charlotte, NC 28217



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Building for Our Future**See our 2023 Impact Report**

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Colliers

Engineering & Design, Architecture, Landscape Architecture Surveying, CT P.C.

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SURFACE ANYWHERE IN ANY STATE

FOR SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM

10 of 10

NOTES

- I. SEE SHEET C-001 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHERS PLANS WITHIN THIS PLAN SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
3. CONTRACTOR TO VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
4. CONTRACTOR SHALL CONTACT NC 811 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND COMPLY TO THE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
6. SITE TO BE FULLY PERMANENTLY STABILIZED, WITH NO AREAS LEFT AS BARE SOILS.

HERITAGE TREE REMOVAL

HERITAGE TREES INSIDE BUILDABLE AREA= 142 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMOVED = 123 TREES
HERITAGE TREES INSIDE BUILDABLE AREA REMAINING = 19 TREES

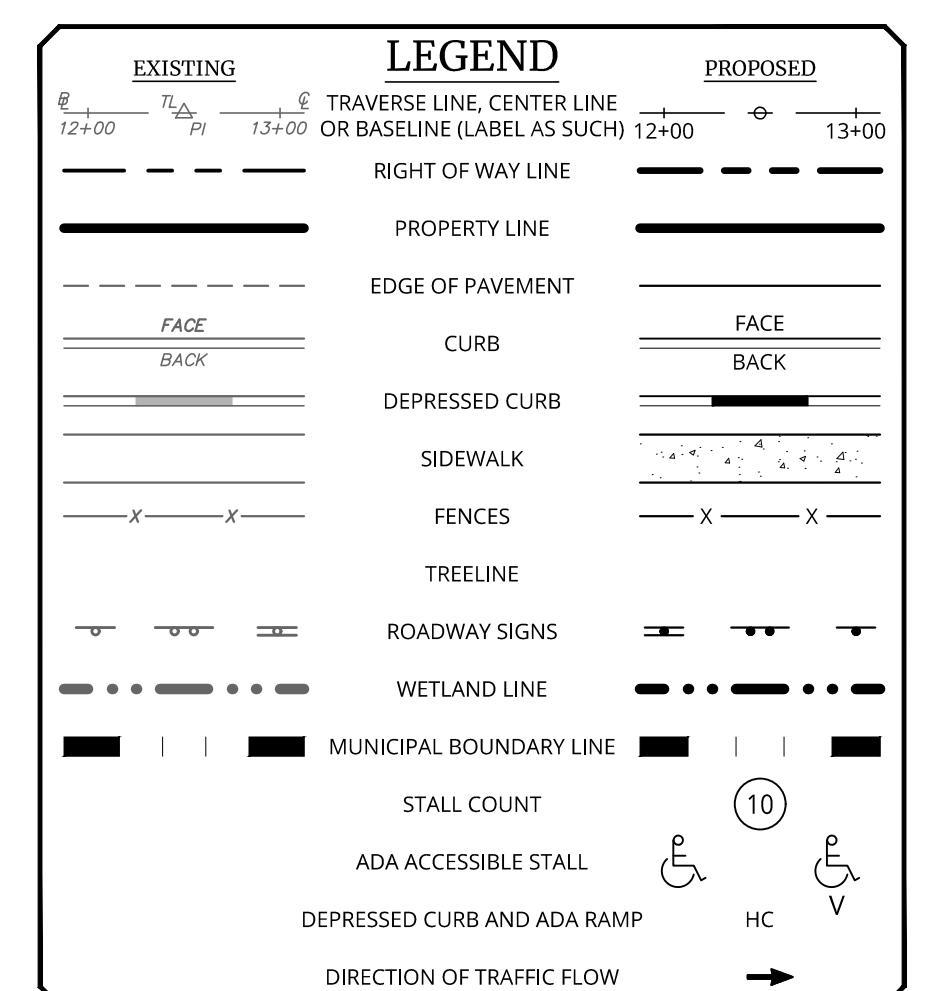
Casey R. Whiteman
ORTH CAROLINA PROFESSIONAL ENGINEER
LICENSE NUMBER: 059701
COLLIERS ENGINEERING & DESIGN CT, P.C.
N C #: C-4746

SITE DEVELOPMENT PLANS

FOR
KEYSTONE CUSTOM
HOMES
WEDDINGTON

PIN 07150015
009 FOREST LAWN DRIVE

WEDDINGTON
UNION COUNTY
NORTH CAROLINA



60 0 60 120

SCALE : 1" = 60'

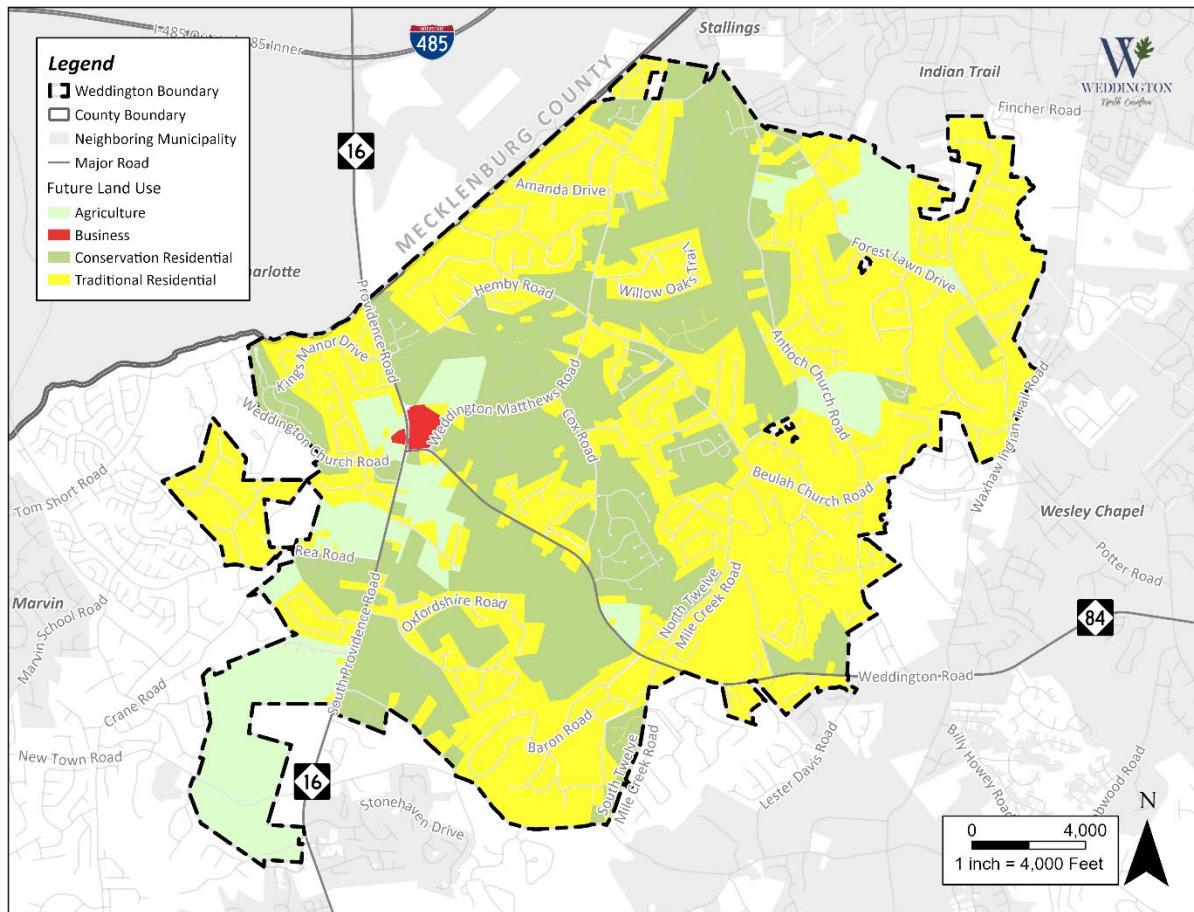
Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

TREE REMOVAL PLAN

SHEET NUMBER: C-600

DRAWINGS FOR CONSTRUCTION

Map 4 Future Land Use Map



From: [Keith O'Herrin](#)
To: [Casey Whiteman](#); [Keith Fenn](#)
Cc: [Ndiogou Ba](#); [Karen Dewey](#)
Subject: Re: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap
Date: Tuesday, November 4, 2025 3:11:07 PM

Hello all,

Thanks for the opportunity to provide comments early:

Do you intend to engage in mass grading, or would you leave undisturbed areas between each building pad? I see many trees on your survey that should be preserved between pads as they are over 8 inches DBH and they are outside of buildable areas. At a glance, this looks like more clearing, scraping, and grading than I would expect. Note there is a desire to return to the old way of building homes, where the only areas that were cleared from wooded lots were the driveway and the pad, maybe a small yard. Or if not all the way back to the 1980s, at least some trees and natural areas left undisturbed which may require working with the natural contours of the land/less grading.

Do you stockpile topsoil on site to replace at the end of construction for yards and landscaping? Or is it removed from site?

The tree survey needs to be accompanied by an inventory of all existing trees DBH 6 or greater, and dogwood 5 inches or greater DBH. Heritage trees should be called out especially:

- Oak and Tuliptree 20 inches +
- Hickory and Pecan 18 inches +
- Southern magnolia and other magnolia 10 inches +
- Red maple, sugar maple, and elms 10 inches +
- Dogwoods 5 inches +

Knowing how modern construction goes, I am not sure this tree you called out will actually be preserved. Builders expect to be able to drive a 4 wheel drive forklift around the entire home, and approach from any direction, meaning a 25-30ft approach distance to lift trusses, man lift, etc 30ft into the air. And orange plastic mesh fence designating tree protection zones is insufficient to keep equipment out. So as currently drawn, this tree doesn't have a very good chance of being preserved. Red oaks and willow oaks are not very tolerant of root loss or soil compaction. Driven-post chain link fence would keep equipment out.

- The ordinance requires that 'All buildings, building additions, and other structures (including but not limited to driveways) shall be located upon a lot or parcel of land in such a way as to minimize damage to or removal of Heritage trees."
- Also, that all "reasonable efforts have been undertaken in the architectural layout and design of the proposed development" such as building placement, driveways, walkways, and parking areas. Drainage, and more.
- So, I'd expect to be asked these questions:
 - How have you altered or changed your plans to accommodate heritage trees on site?
 - How is this different than a plan drawn in a town with no tree ordinance?

Keith O'Herrin, Ph.D.

NCRF #1941

T 704.283.3510

Keith.O'Herrin@unioncountync.gov

unioncountync.gov

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From: Casey Whiteman <casey.whiteman@collierseng.com>
Sent: Tuesday, November 4, 2025 10:43 AM
To: Keith Fenn <kfenn@keystonecustomhome.com>; Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Cc: Ndiogou Ba <ndiogou.ba@collierseng.com>
Subject: RE: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

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Keith,

Attached are our current preliminary landscape plans. As Keith mentioned, we are trying to make every effort to save one of the bigger trees up front. I have provided a blow up of the two lots to give you an idea of where we are at with this. We kept 30 feet from the pads.

Let us know if you would like to discuss it.

Casey Whiteman

Geographical Discipline Leader | Civil Site
Charlotte, North Carolina

Colliers Engineering & Design

casey.whiteman@collierseng.com

Cell: 480 298 7229 | Main: 877 627 3772

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From: Keith Fenn <kfenn@keystonecustomhome.com>
Sent: Tuesday, November 4, 2025 10:19 AM
To: Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Cc: Casey Whiteman <casey.whiteman@collierseng.com>
Subject: RE: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

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Casey,
Can you send Keith the latest Landscape plan you uploaded and submitted to Weddington?

Thanks.

Keith Fenn, PE
Carolinas Director of Land Entitlement and Development | Keystone Custom Homes
CELL [980-269-6609](tel:980-269-6609)
EMAIL kfenn@keystonecustomhome.com
WEBSITE KeystoneCustomHome.com

From: Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Sent: Tuesday, November 4, 2025 10:14 AM
To: Keith Fenn <kfenn@keystonecustomhome.com>
Cc: Casey Whiteman <casey.whiteman@collierseng.com>
Subject: Re: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

I'd be happy to look now. I may see something others don't.

Keith O'Herrin, Ph.D.

NCRF #1941
Urban Forester | County Extension

T 704.283.3510

Keith.O'Herrin@unioncountync.gov
unioncountync.gov

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From: Keith Fenn <kfenn@keystonecustomhome.com>
Sent: Tuesday, November 4, 2025 8:53 AM
To: Keith O'Herrin <Keith.O'Herrin@unioncountync.gov>
Cc: Casey Whiteman <casey.whiteman@collierseng.com>
Subject: 3009 Forest Lawn, Weddington (Matthews)-heritage tree recap

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Keith,

Thank you again for taking my call and for visiting the site we've been working through the zoning process with the Town of Weddington. I especially appreciate your time and expertise in inspecting the four heritage trees on the lot back in July.

As we discussed, we've made every effort to interpret and apply the adopted tree ordinances—ordinances you helped shape for Weddington—and have worked diligently with both Planning Staff and the Planning Board throughout this process. One key area of focus for all parties has been the four heritage trees you inspected.

You noted that these trees appear to be approximately 70 years old, with a potential lifespan of 90 to 120 years. You also confirmed they are healthy and show no signs of distress, and recommended preserving them if feasible. Additionally, you advised using a 30-foot radius around each tree to protect the canopy and root systems from grading impacts.

As we've progressed through multiple design iterations for the site, I wanted to make you aware that the internal street alignment—based on NCDOT criteria—will unfortunately impact a few of these trees. Despite our best efforts, avoiding this conflict has proven unworkable.

I share this information to ensure you're aware of our deliberate and thoughtful approach to preserving as many heritage trees as possible.

Please let me know if you'd prefer to review our tree preservation and removal plan in advance of a formal submission to Weddington, or if you'd rather wait until the official review request is initiated. Thank you again for your time and guidance.

Keith Fenn, PE

Carolinas Director of Land Entitlement and Development | Keystone Custom Homes

CELL [980-269-6609](tel:980-269-6609)

EMAIL kfenn@keystonecustomhome.com

WEBSITE KeystoneCustomHome.com



MEMORANDUM

TO: Town Council
FROM: Gregory Gordos, Town Planner
DATE: November 10, 2025
SUBJECT: Discussion and Possible Recommendation of Text Amendment 2025-04
Section D917A.G. Private Roads and Gatehouses and Section D918.I.
Screening and Landscaping

BACKGROUND:

In January of 2025 the Weddington Planning Board, as a part of a discussions regarding changes to the Unified Development Ordinance (“UDO”), recommended several text amendments to the Weddington Town Council. These text changes ranged from a comprehensive update to the Tree Protection portion of the UDO to a one sentence clarification on the jurisdiction of the North Carolina Department of Transportation and the town’s up-to-date adoption of their street design standards. All text amendments were adopted by the Town Council as recommended at their February 10, 2025 public hearings as Text Amendment 2025-01, 2025-02, and 2025-03.

In late February 2025 a Planning Board member contacted staff about the possible omission of changes agreed upon by consensus (but not within the text of the ordinance) during these Planning Board discussions.

For instance, it was agreed upon that *berms* should be reinstated in UDO Section D-917 A.O. Buffering (Text Amendment 2024-05), but *berms* are also referenced in another portion of the code, Section D-918-I. Screening and Landscaping. It is understood that the intent was to change the code in all relevant areas.

Text Amendment 2025-02 addressed cul-de-sacs and the gating of these roads, but gate maintenance is also mentioned in Section D917A.G. Private Roads and Gatehouses and this text was intended to be removed.

PROPOSAL:

To clerically amend Section D917A.G. Private Roads and Gatehouses and Section D918.I. Screening and Landscaping to reflect the previous consensus of this Planning Board and to clarify all intended text changes. Staff feels that these changes reflect the Board’s intention in previous discussions, but because they are found in UDO Sections not previously mentioned in the previous ordinances, we humbly ask to review this exact amendment for accuracy.

WEDDINGTON

Rural Living Redefined

704-846-2709 | www.townofweddington.com | 1924 Weddington Rd. Weddington, NC 28104

OUTLINE OF TEXT AMENDMENT:

The following sections of the UDO are proposed to be amended:

Section D-917A.

G: Private Roads and Gatehouses

3. Neighborhoods which have an entrance gate are subject to the following regulations:

a. The homeowner's association will provide the access code to the gate and an emergency contact number to the fire department, the Union County Sheriff and other emergency services and will be responsible for maintenance, testing and repairs of all functions of the gate.

b. An annual inspection and test of the gate system shall be performed, and the results submitted to Town hall during the renewal window prescribed in the Town of Weddington Annual Enforcement Manual.

c. Should there be a problem with the operation of the entrance gate, the gate shall remain open and accessible until the gate is repaired and tested.

d. Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year round maintenance and to submit a copy of the service agreement to Town Hall.

e.b. The maintenance and upkeep of any guardhouses or entry structures, and subdivision walls, fences, or berms located at the external periphery of the development, shall be the sole responsibility of the developer and/or any duly incorporated and active homeowners' association.

* * * * *

Section D-918.

I: Screening and Landscaping

7. Berms may be used as screening (for non-residential uses only), provided such berms are at least six feet in height with a maximum slope of 4:1, as measured from the exterior property line. Berms shall be stabilized to prevent erosion and landscaped. If a berm is constructed, shrubs are required but the number may be reduced by 25 percent. However, constructing a berm does not modify the number of trees required.

* * * * *

Staff offers the modification above for the Town Council's consideration and approval, as recommended by the Planning Board. Staff had recommended no text amendment to the Board. For ease of reference, new text is referenced in red/underlined font, while deletions are referenced in ~~strikethrough~~ font.

LAND USE PLAN CONSISTENCY:

State Statutes requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. Accordingly, staff provides the following Land Use Plan Consistency Statement for consideration:

The proposed amendments to the Unified Development Ordinance are found to be generally consistent with the adopted Land Use Plan (Plan). However, while these amendments do not further any specific Goal or Policy of the Plan, they also do not act contrary to any specific Goal or Policy of the Plan, nor would they prevent the administration and implementation of the Plan, or preclude the fulfilment of the community vision as set forth in the Plan. Additionally, the proposed amendments are found to be reasonable in that they continue to improve upon the organization of existing ordinances and provide additional clarity for staff, appointed and elected officials, and residents.

RECOMMENDATION:

Staff recommends approval of the proposed text amendment.

Attachments:

- Ordinance 2025-04

b. A yield plan designed to be density neutral (i.e., allow for the same number of lots as could be platted under applicable subdivision requirements as a conventional subdivision, with a minimum lot size of 40,000 square feet). Yield plans must show all proposed lots, streets, rights-of-way, and other pertinent features that would be required for a schematic plan for major conventional subdivisions as identified in Appendix 2. Although the yield plan must be drawn to scale, it need not be based on a field survey. However, the yield plan must be a realistic layout reflecting a development pattern that could reasonably be expected to be implemented, considering the presence of wetlands, floodplains, steep slopes, existing easements or encumbrances and, if unsewered, the suitability of soils for subsurface sewage disposal. (O-2025-06)

3. *On Site Visit and Charette Process (Conservation Residential Development Only).*

a. **On-Site Visit/Charrette.** After preparing the existing resources and site analysis map and prior to the submission of the site plan, the Applicant shall schedule time to walk the property with the Administrator, Planning Board members, and adjacent property owners. The purpose of this visit is to familiarize staff and Planning Board members with the property's special features, and to provide them an informal opportunity to offer guidance to the applicant regarding the tentative location of secondary conservation areas, potential house locations and street alignments. A notice giving the date, time and purpose of the meeting shall be sent by the Town to adjacent property owners at least ten days prior to the site walk. The Applicant shall distribute copies of the existing resources and site analysis plan at the on-site meeting. Applicants, their site designers, and the landowner shall participate to show the Town the property's special features. Comments made by town officials or staff and consultants shall be interpreted as being only suggestive and advisory. It shall be understood by all parties that no formal recommendations can be offered, and no official decisions can be made during this on-site visit. It is a work session of the Planning Board and is duly noticed in the standard manner for all public meetings.

b. **Design Charrette.** Immediately following the site visit the applicant shall sit down with the Administrator and on-site visit attendees to review the findings and begin the four-step process below. **Sketch plans** shall be prepared as "overlay sheets" to be lain on top of the existing resources and site analysis plan, both prepared at the same scale, to facilitate cross-comparison.

- i. **Step One: Designation of Conservation Lands.** During the first step, all potential conservation areas, both primary and secondary, shall be identified, using the existing features/site analysis map. Primary conservation areas shall consist of those features described in section D-901(c)(20). Secondary conservation areas shall comprise at least half of the remaining land and shall include the most sensitive and noteworthy natural, scenic, and cultural resources as described in section D-901(c)(20). Guidance as to which parts of the remaining land to classify secondary conservation areas shall be based upon discussions at the on-site meeting plus the design standards and specific conservation standards in section D-901(c)(20). An overall goal is to minimize fragmentation of the conservation lands and to maximize connectivity among its parts, and with conservation lands on adjoining properties.
- ii. **Step Two: House Site Location.** During the second step, potential house sites are tentatively located. Generally, house sites should be located no closer than 100 feet from primary conservation areas. Such sites may be situated 50 feet from secondary conservation areas to permit the enjoyment of scenic views without negatively impacting primary conservation areas.
- iii. **Step Three: Street Alignment and Trail Networks.** The third step consists of aligning proposed streets to provide vehicular access to each house in the most reasonable and economical manner, and in laying out a network of informal trails connecting neighborhood areas with open space features within the conservation lands. When lots and access streets are laid out, they shall be located in such a way that avoids or at least minimizes impacts on both primary and secondary conservation areas.
- iv. **Step Four: Drawing in the Lot Lines.** The fourth step consists of drawing in lot lines around potential house sites. Each lot must contain a buildable area of sufficient size to accommodate a single-family detached dwelling and customary accessory uses, including, but not limited to, storage buildings and garages, patios and decks, lawns, and driveways. Individual wells and septic systems, where these are to be provided, may be located within the undivided conservation lands if sufficient space is not available on the lots.

4. *Application, Including Site Plan.* See Appendix 2 for requirements.

5. *Community Meeting.*

- a. The applicant shall submit an application with a sketch plan showing the proposed easement lots for approval to proceed further as specified in this section.
- b. All access easements shall be at least 45 feet in width and shall meet or exceed the state department of transportation minimum standards for subdivision road width where possible. The travel surface of said easement shall be at least 16 feet in width. The travel surface need not be paved. The easement shall be maintained at all times in a condition that is passable for service and emergency vehicles.
- c. The creation of easement lots shall follow the procedures of a minor subdivision as outlined in Article 8. In addition, a statement shall be placed on the subdivision plat acknowledging that said lots were being created upon a privately maintained and recorded easement, and a statement indicating the parties responsible for maintaining the easement.
- d. Creation of such easement lots and access easements shall not impair future extension of an adequate system of public streets to serve such lots.
- e. Easement lots shall not be further subdivided unless the newly created lots abut a public road. Any additional subdivision of easement lots shall be a major subdivision and shall be reviewed using the major subdivision plat approval process.
- f. If public road access becomes available to easement lots, all affected lot owners shall have the easement terminated of record.

G. Private Roads and Gatehouses. New residential neighborhoods may be developed with private roads and gatehouses are permitted in accordance with the following standards:

1. With the exception of the placement of the gate and/or guardhouse in a private street, any private road shall be built to state standards and shall meet all applicable minimum right-of-way, pavement, and construction standards for public roads as established by the state department of transportation.
 - a. A certified engineer shall verify that all private roads within residential neighborhood conform to all required state department of transportation standards for roadway and storm drainage design.
 - b. The NCDOT Built-To Standards Checklist (available at Town Hall upon request) will be required to be submitted to the Town zoning staff for review and approval.
 - c. The Town reserves the right to have streets inspected during the construction phase to ensure that they are being built in accordance with all applicable state DOT standards.
 - d. The developer shall bear all costs borne by the Town in association with such inspections.
2. Before the approval of a final plat, the developer shall submit to the Town the design and layout of any gatehouse, external fence, and walls. Berms shall be located outside any public street right-of-way and shall be designed to blend in, to the greatest degree feasible, with the proposed development and shall be attractive to motorists and pedestrians from adjoining public streets.
3. Neighborhoods which have an entrance gate are subject to the following regulations:
 - a. The homeowner's association will provide the access code to the gate and an emergency contact number to the fire department, the Union County Sheriff and other emergency services and will be responsible for maintenance, testing and repairs of all functions of the gate.
 - b. An annual inspection and test of the gate system shall be performed, and the results submitted to Town hall during the renewal window prescribed in the Town of Weddington Annual Enforcement Manual.
 - c. Should there be a problem with the operation of the entrance gate, the gate shall remain open and accessible until the gate is repaired and tested.
 - d. Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year-round maintenance and to submit a copy of the service agreement to Town Hall.
 - e. The maintenance and upkeep of any guardhouses or entry structures, and subdivision walls, fences, or berms located at the external periphery of the development, shall be the sole responsibility of the developer and/or any duly incorporated and active homeowners' association.

- b. Failure to install and maintain tree protective devices shall be a civil penalty of five hundred dollars (\$500.00) per tree per day beginning with the date the citation is issued and ending when the site is in compliance.
- c. Failure to install required landscape material or to replace dead landscape material shall be a civil penalty of five hundred dollars (\$500.00) per day beginning with the date the citation is issued and ending when the site is in compliance.
- d. Removal of a tree 8-inches DBH or greater without permission from the administrator will result in a civil penalty of one thousand dollars (\$1,000.00) per tree.
- e. Removal of a Heritage tree without permission from the Administrator shall be a civil penalty of eight hundred dollars (\$800.00) per inch for each tree.
- f. The maximum civil penalty for each tree shall not exceed fifty thousand dollars (\$50,000).

12. In accordance with N.C.G.S. 160D-921, the town administrator may deny a building permit or refuse to approve a site or subdivision plan for either a period of up to:

- a. Three years after the completion of a timber harvest if the harvest results in the removal of all or substantially all of the trees that were protected under local government regulations governing development from the tract of land for which the permit or approval is sought.
- b. Five years after the completion of a timber harvest if the harvest results in the removal of all or substantially all of the trees that were protected under local government regulations governing development from the tract of land for which the permit or approval is sought and the harvest was a willful violation of the local government regulations.

(O-2025-01)

Section D-917B. Additional Specific Requirements for Conservation Residential Development.

A. Minimum Total Acreage. The minimum total acreage for a Conservation Residential Development is six (6) acres.

B. Minimum Open Space.

1. At a minimum, fifty percent (50%) of the net acreage of the tract will be required to be retained as Conservation Land. Not more than zero percent (0%) of the minimum required area of Conservation Lands shall be comprised of wetlands, submerged lands, steep slopes, floodways, or land under high voltage electrical transmission lines (conducting 69 kilovolts or more).
2. When a proposed conservation residential development project lies on both sides of a major or minor thoroughfare, all attempts should be made to have 50 percent (50%) of each side's gross acreage designated as Conservation Land. However, the Town may allow flexibility on the distribution of Conservation Land in situations where there is greater logic to preserving special features on one side of the road, or due to locating homes on the other side due to the relative absence of special site features with greater conservation value.
3. The minimum percentage and acreage of required Conservation Lands shall be calculated by the applicant and submitted as part of the sketch plan.

C. Priority for Conservation Lands. In delineating conservation areas, the applicant shall use the following tier system as a guide, with those lands included in tier A having the highest priority for preservation; provided, however, that in certain portions of the Town, the priorities defined may be altered by the Town in order to maximize achievement of the goals and objectives of maintaining open space through conservation residential development projects:

1. Tier A, Highest Priority.
 - a. Forestlands.
 - b. Steep slopes (greater than twenty five percent (25%)).
 - c. Viewsheds from thoroughfares.

2. Tier B, Medium Priority.
 - a. Farmlands, meadows, pastures, and grasslands.
 - b. Historic sites.
3. Tier C, Lowest Priority.
 - a. Moderate steep slopes (fifteen to twenty five percent (15% to 25%).
 - b. Rock formations.
 - c. Lands adjacent to parks.

D. Consistency with Town Plans. Conservation Lands shall be located in a manner that is consistent with the Town's land use plan and any Conservation Land audit, which identifies an interconnected network of Conservation Lands.

E. Stream Valleys, Swales, Springs, and Other Lowland Areas. Stream valleys, swales, springs and other lowland areas are resources that warrant restrictive land use controls because of flooding hazards to human life and property, their groundwater recharge functions, their importance to water quality and the health of aquatic communities, and their wildlife habitats. They are generally poorly suited for on-site subsurface sewage disposal systems. Accordingly, the following activities shall be minimized in such areas:

1. Disturbance to streams and drainage swales.
2. Disturbance to year-round wetlands, areas with seasonally high-water tables and areas of surface water concentration.
3. Because of their extreme limitations, stream valleys, swales and other lowland areas may warrant designation as Conservation Lands. They may also require adjoining buffer lands to be included as Conservation Lands, to be determined by an analysis of the protection requirements of such areas as determined by the Town Council on a case-by-case basis upon finding that designation of such areas as Conservation Land would have significant and positive long-term environmental impact on the Conservation Lands.

F. Forestlands.

1. Forestlands often occur in association with stream valleys and wet areas, poor and erodible agricultural soils, and moderate to steep slopes. Forestlands serve many functions, including soil stabilizers, particularly on moderate to steep slopes, a means of ameliorating harsh microclimatic conditions in both summer and winter, a source of wood products, natural wildlife habitats, and visual buffers.
2. Because of their resource values, all forestlands on any tract proposed for a conservation subdivision shall be evaluated to determine the extent to which they should be designated partly or entirely as Conservation Lands. Evaluation criteria include: configuration and size, present conditions, site potential (i.e., the site's capabilities to support forestlands, based upon its topographic, soil and hydrologic characteristics), ecological functions (i.e., in protecting steep slopes, erodible soils, maintaining stream quality and providing for wildlife habitats), relationship to forestlands on adjoining properties and the potential for maintaining continuous forestland areas.
3. The evaluation of the tract's forestlands shall be undertaken consistent with the Town's land audit. This evaluation shall be submitted as a report and made a part of the application for a sketch plan. At a minimum, that report shall include one or more maps indicating boundaries and conditions of forestland areas.
4. In designing a conservation residential development, the applicant shall be guided by the following standards:
 - a. Proposed site improvements shall be located, designed and constructed to minimize the loss or degradation of forestland areas.
 - b. Disturbance or removal of forestlands occupying environmentally sensitive areas shall be undertaken on a limited, selective, as needed basis. In particular, areas to be designed around and conserved, whenever possible, include the following: areas with a high diversity of tree species and tree ages; areas without invasive species; and individual trees of significant diameter. Because different tree species have different growth characteristics, certain species become significant at different diameters. For example, fast-growing species such as conifers become significant at 15 inches dbh. Relatively fast-growing hardwoods such as sweet gum and sycamore become significant at 12 inches dbh. Other hardwoods such as oaks and maples become significant at 12 inches dbh. Understory trees such as dogwood, redbud, waterbeech, and holly become significant at eight inches dbh.

1. *Single-Family and Two-Family Dwellings.* All Zoning Permit submittals for single-family and two-family dwellings, as well as any additions thereto, shall consist of the following items:
 - a. A completed application, as provided by the Town.
 - b. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 - c. A plot plan, prepared by a licensed surveyor or engineer, depicting the following:
 - North arrow, scale, location map and date prepared;
 - All adjacent rights-of-way with indication of centerline and width, and paved width;
 - Dimensions of existing lot lines, streets, drives, building lines, setbacks, structural overhangs, and building separations;
 - Identification and description of watercourses, wetlands, tree masses, and other environmentally sensitive areas;
 - Location, footprint and size of all existing and proposed buildings; and
 - Location of all existing and proposed water lines, sanitary sewer lines, septic fields, and any proposed utility easements.
 - d. Architectural details including the following:
 - Floor plans of the proposed structure (only where the dwelling includes an elevator shaft, or an accessory dwelling is associated with the proposal); and
 - Building elevation drawings depicting proposed height and building materials.
 - e. *Exception.* If the proposed dwelling is to be located on a lot of ten acres or greater and is not to be located closer than 200 feet from any property line, then a plot plan sketch document may be provided in-lieu of a plot plan prepared by a licensed surveyor or engineer.
2. *Principal Uses Other Than Single-Family and Two-Family Dwellings.* All Zoning Permit submittals for a principal use other than single-family and two-family dwellings, as well as any additions thereto, shall consist of the following items:
 - a. A completed application, as provided by the Town.
 - b. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 - c. A survey of the subject parcel as prepared by a licensed surveyor.
 - d. Civil plans, prepared by a licensed engineer, consisting of the following:
 - Cover sheet with site data table;
 - Demolition plan, if applicable;
 - Site plan;
 - Paving, grading and drainage plan;
 - Utility plan;
 - Lighting plan; and
 - Landscape plan.
 - e. Architectural details including the following:
 - A floor plan of the proposed structure; and
 - Building elevations drawings depicting proposed height and building materials.
 - f. Traffic Impact Analysis (TIA), if applicable, prepared consistent with the most recent version of the Town's TIA Procedures Manual.
3. *Accessory Buildings, Decks, and Patios on Residential Property.*
 - a. All Zoning Permit submittals for an accessory building, deck or patio that is less than or equal to 200 square feet on residential property shall be accompanied by the following items:
 1. A completed application, as provided by the Town.
 2. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 3. A plot plan sketch depicting the following:
 - Lot boundary;

- Location and square footage of all existing principal and accessory structures;
- Location, square footage, and dimensions of proposed structures; and
- Distance of the proposed structure from the front, side, and rear lot lines.

4. Building elevations drawings depicting proposed height and building materials, or manufacturers specification sheet/details.
- b. All Zoning Permit submittals for an accessory building, deck or patio that is greater than 200 square feet on residential property shall be accompanied by the following items:
 1. A completed application, as provided by the Town.
 2. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 3. A plot plan, prepared by a licensed surveyor or engineer, depicting the following:
 - North arrow, scale, location map and date prepared;
 - All adjacent rights-of-way with indication of centerline and width, and paved width;
 - Dimensions of existing lot lines, streets, drives, building lines, setbacks, structural overhangs, and building separations;
 - Identification and description of watercourses, wetlands, tree masses, and other environmentally sensitive areas;
 - Location, footprint and size of all existing and proposed buildings; and
 - Location of all existing and proposed water lines, sanitary sewer lines, septic fields, and any proposed utility easements.
 4. Architectural details including the following:
 - A floor plan of the proposed structure; and
 - Building elevation drawings depicting proposed height and building materials.
 5. Exception. If the proposed accessory structure is to be located on a lot of ten acres or greater and is not to be located closer than 200 feet from any property line, then a plot plan sketch document may be provided in-lieu of a plot plan prepared by a licensed surveyor or engineer.
- c. All Zoning Permit submittals for buildings for agricultural purposes shall be accompanied by the following items:
 1. A completed application, as provided by the Town.
 2. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 3. A plot plan sketch depicting the following:
 - Lot boundary;
 - Location and square footage of all existing principal and accessory structures;
 - Location, square footage, and dimensions of proposed structures; and
 - Distance of the proposed structure from the front, side, and rear lot lines.
 4. Building elevations drawings depicting proposed height and building materials, or manufacturers specification sheet/details.
4. *Upfits*. All Zoning Permit submittals for an upfit of an existing residential or non-residential building, as well as any associated accessory structures or decks, shall be accompanied by the following items:
 - a. A completed application, as provided by the Town.
 - b. Application fee as set forth in the Fee Schedule having most recently been adopted by Town Council.
 - c. A floor plan depicting the existing and proposed improvements.

(Ord. No. 2022-03, 2022 10-10; Ord. No. 2023-01, 2023 02-13)

CERTIFICATE OF COMPLIANCE.

- Application provided by the Town. Initiated by the owner of the property or authorized agent.
- Fee

- A physical survey certified* as accurate by a surveyor or engineer registered with the state including:
 - the lot boundary;
 - dimensions of the proposed structure;
 - setbacks; and
 - the distance the structure is from the front, sides and rear lot lines of the lot labeled on the plan.

*for residential properties, that if the tract that the residence is constructed on contains ten acres or more, then the person applying for the certificate of compliance shall be allowed to present a **noncertified sketch** in lieu thereof, provided that the residence is not to be located closer than 200 feet from any of the boundaries of the tract. If the proposed residence is to be located closer than 200 feet from any of the boundaries of the tract, then the applicant shall submit a certified survey of the improvements with respect to those boundaries only. The **sketch** submitted shall in all other respects comply to the requirements set forth above.

SIGN PERMIT

- Application provided by the Town.
- Fee.
- Elevation showing the linear feet of the facade from side to side, existing signs and square feet and the proposed sign and square feet.
- Site plan (for free standing signs).

TEMPORARY STRUCTURES INCLUDING MOBILE HOMES, CONSTRUCTION TRAILERS, AND SUBDIVISION SALES OFFICES

- Application provided by the Town.
- Fee
- Site plan depicting the following:
 - Size of temporary structures including dimensions
 - Location of structure including all setbacks & buffers
 - Parking for temporary use

TEMPORARY USES INCLUDING EVENTS

- A site plan showing parking and the layout of event area, temporary structures and sign locations
- Narrative including:
 - Nature of use
 - Duration of use
 - Hours of operation
 - Lighting
 - Projected attendance
 - Waste/trash disposal
- Other Submittal Requirements (if applicable):
 - Proof of adequate insurance to cover the event
 - Review from Union County Sheriff's Department regarding traffic and crowd control
 - Union County mass gathering permit
 - Department of Revenue weekend Temp Sales and Use ID# for retail sales

- (1) No conditional use, vested rights, rezoning, or zoning application for nonresidential uses or preliminary subdivision plat for residential or nonresidential uses will be considered as complete unless it includes a stormwater management plan detailing in concept how runoff resulting from the development will be controlled or managed. Preliminary informational meetings with the town zoning administrator or the planning board may be allowed without a complete stormwater management concept plan.
- (2) No zoning permit or final plat approval shall be issued until a satisfactory final stormwater management plan has been reviewed and approved by the town upon determination that the plan is consistent with the requirements of this division.
- (3) All costs for the town's engineering review of the stormwater management concept plans and final plans shall be borne by the owner/developer.

(b) *Stormwater management concept plan requirements.* A stormwater management concept plan shall be required with all permit applications and will include sufficient information to evaluate the environmental characteristics of the project site, the potential impacts of all proposed development of the site on water resources, and the effectiveness and acceptability of the measures proposed for managing stormwater generated at the project site. The information provided shall meet the design requirements of the Stormwater Manual. The following items are required to be submitted for review of the stormwater management concept plan:

- (1) Existing conditions and proposed site layout **sketch plans** which illustrate at a minimum: existing and proposed topography; perennial and intermittent streams; mapping of predominant soils from soil surveys; boundaries of existing predominant vegetation and proposed limits of clearing and grading; proposed open space area; and location of existing and proposed roads, buildings, parking areas and other impervious surfaces.
- (2) A written or graphic inventory of the natural resources at the site and surrounding area as it exists prior to the commencement of the project and a description of the watershed and its relation to the project site. This description should include a discussion of soil conditions, forest cover, topography, wetlands, and other native vegetative areas on the site, as well as the location and boundaries of other natural feature protection and conservation areas such as lakes, ponds, floodplains, stream buffers, and other setbacks. Particular attention should be paid to environmentally sensitive features that provide particular opportunities or constraints for development.
- (3) A written or graphic concept plan of the proposed post-construction stormwater management system including: preliminary selection and location of proposed structural stormwater controls; low impact design elements; location of existing and proposed conveyance systems such as grass channels, swales, and storm drains; flow paths; location of proposed open space areas; location of all floodplain/floodway limits; relationship of the site to upstream and downstream properties and drainages; and preliminary location of proposed stream channel modifications, such as bridge or culvert crossings.
- (4) Preliminary selection and rationale for any structural stormwater management practices along with sufficient engineering analysis to show that the proposed stormwater management measures are capable of controlling runoff from the site in compliance with the Town of Weddington Stormwater Management Ordinance and the specifications of the Stormwater Manual.
- (5) A note acknowledging responsibility for the operation and maintenance of any stormwater management facility, and that such obligation shall be disclosed to future owners.

(c) *Final stormwater management plan requirements.* After review of the stormwater management concept plan and modifications to that plan as deemed necessary by the town, a final stormwater management plan shall be submitted for approval. The final stormwater management plan shall detail how post-construction runoff will be controlled, managed and maintained in perpetuity, and how the proposed project will meet the requirements of this division. All such plans shall conform to the design requirements of the Stormwater Manual and shall be prepared by a North Carolina licensed professional engineer. The plan submittal shall include all of the information required in the submittal checklist established by the zoning administrator.

(d) *Performance bond/security.*

- (1) The Town of Weddington may, at its discretion, require the submittal of a performance security or bond prior to issuance of a permit in order to insure that the stormwater management facilities are installed by the permit holder as required by the approved stormwater management plan. The amount of the installation performance security shall be the total estimated construction cost of the stormwater management practices approved under



Code Enforcement Report

October 31, 2025

What was accomplished this week?

- Meeting held with staff to discuss code enforcement cases.
- Inspection at 2015 Wedgewood.

What will be accomplished next week?

- The Code Enforcement Team will discuss ongoing and new cases.
- Inspections at 101 Amanada, 6939 Tree Hill, and 4000 Ambassador.

Schedule Status:

- 4500 Homestead (Construction Debris): Abatement needs scheduled
- 109 Foxton: Scheduled to come off as soon as permit is pulled.
- 416 Gatewood: Property owner is attempting to apply for a permit which would negate any minimum housing issue so long as it's active.
- 4000 Ambassador: Next Inspection Nov 7th 2025
- 6939 Tree Hill: Next inspection Nov 7th 2025
- 101 Amanada: Next inspection Nov 7th 2025

Input Needed from Weddington:

- 4500 Homestead: Town needs to find a contractor for cleanup in case property owner does not comply with final notice. The property has been issued two violations this year. If one more is issued, any subsequent violations can move straight to abatement.

Other Issues or Concerns:

- New code enforcement officer will be beginning in next few months. Matthew will still be on for transition and will be overseeing the contract post transition.

- Invoice for Q1 2026 was submitted to Centralina and should be coming to Weddington soon.

Matthew Rea, AICP, NCCZO

(330) 885-0937

mrea@ibts.org

2026 2025

Assets

10-1120-000	SOUTH STATE CHECKING ACCOUNT	734,948.45	735,558.48
10-1120-001	TRINITY MONEY MARKET	0.00	0.00
10-1120-002	CITIZENS SOUTH CD'S	0.00	0.00
10-1130-000	BB&T/TRUIST CHECKING	635,237.75	492,051.80
10-1130-001	BB&T/TRUIST MONEY MARKET	1,853,132.09	2,336,152.82
10-1140-000	NC CLASS INVESTMENT ACCOUNT	264,278.55	260,501.59
10-1170-000	NC CASH MGMT TRUST	5,204,045.55	5,131,607.54
10-1205-000	DUE FROM OTHER FUNDS (SCIF/PARK)	79,676.32	54,932.32
10-1210-000	A/R SOLID WASTE FEES	17,457.31	24,175.84
10-1210-001	A/R SOLID WASTE FEES PRIOR YR	0.00	0.00
10-1210-002	A/R SOLID WASTE FEES NEXT 8 PY	51,874.31	51,874.31
10-1211-001	A/R PROPERTY TAX	1,407,860.93	13,279.34
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	9,489.32	9,149.43
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	11,181.98	5,019.66
10-1213-000	A/R PROPERTY TAX INTEREST RECEIVABL	914.79	1,632.50
10-1214-000	PREPAID ASSETS	0.00	36,575.14
10-1215-000	A/R INTERGOVT-LOCAL OPTION SALES TX	0.00	91,453.12
10-1216-000	A/R INTERGOVT - MOTOR VEHICLE TAXES	0.00	7,790.24
10-1217-000	A/R INTERGOVT - UTILITY/SOLID WASTE	0.00	105,899.33
10-1220-000	AR OTHER	0.00	16,375.60
10-1232-000	SALES TAX RECEIVABLE	670.89	670.89
10-1240-000	INVESTMENT INCOME RECEIVABLE	0.00	0.00
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	2,513,697.44	2,513,697.44
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	9,651.96	9,651.96
10-1610-003	FIXED ASSETS - EQUIPMENT	32,076.19	32,076.19
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.00	26,851.00
10-1610-005	FIXED ASSETS - COMPUTERS	9,539.00	9,539.00
10-1610-006	FIXED ASSETS - COMPUTER SOFTWARE	182,994.00	182,994.00
	Total Assets	13,045,577.83	12,149,509.54

Liabilities & Fund Balance

10-2110-000	ACCOUNTS PAYABLE	0.00	39,644.26
10-2115-000	ACCOUNTS PAYABLE ACCRUAL	387.00	387.00
10-2116-000	CUSTOMER REFUNDS	7,900.60	8,765.30
10-2120-000	BOND DEPOSIT PAYABLE	47,896.25	47,896.25
10-2151-000	FICA TAXES PAYABLE	1,617.08	0.00
10-2152-000	FEDERAL TAXES PAYABLE	675.07	0.00
10-2153-000	STATE W/H TAXES PAYABLE	573.00	305.00-
10-2154-001	NC RETIREMENT PAYABLE	2,361.76	0.00
10-2155-000	HEALTH INSURANCE PAYABLE	4,091.33-	0.00
10-2156-000	LIFE INSURANCE PAYABLE	315.73	0.00
10-2157-000	401K PAYABLE	776.16	0.00
10-2200-000	ENCUMBRANCES	0.00	0.00
10-2210-000	RESERVE FOR ENCUMBRANCES	0.00	0.00
10-2605-000	DEFERRED REVENUES- TAX INTEREST	914.79	1,632.50
10-2610-000	DEFERRED REVENUE SOLID WASTE FEES	17,457.31	24,175.84
10-2610-001	DEFERRED REVENUE SOLID WASTE PY	0.00	0.00
10-2610-002	DEFERRED REVENUE SOLID WASTE N8 PY	51,874.31	51,874.31
10-2620-000	DEFERRED REVENUE - DELQ TAXES	9,489.32	9,149.43
10-2625-000	DEFERRED REVENUE - Curr YR TAX	1,407,860.93	13,279.34
10-2630-000	DEFERRED REVENUE-NEXT 8	11,181.98	5,019.66
10-2635-000	DEFERRED REVENUE - PREPAID TAXES	0.00	0.00

		2026	2025
	Total Liabilities	1,557,189.96	201,518.89
10-2640-001	FUND BALANCE - UNASSIGNED	4,011,564.15	4,011,564.15
10-2640-002	FUND BALANCE - RESERVE WATER/SEWER	0.00	0.00
10-2640-003	FUND BALANCE-ASSIGNED	820,000.00	820,000.00
10-2640-004	FUND BALANCE-INVEST IN FIXED ASSETS	2,774,809.59	2,774,809.59
10-2640-005	CURRENT YEAR EQUITY YTD	0.00	0.00
	Total	7,606,373.74	7,606,373.74
	Revenue	566,881.36	1,054,301.79
	Less Expenses	1,026,484.14	458,632.60
	Net	459,602.78	1,512,934.39
	Total Fund Balance	7,146,770.96	9,119,308.13
	Total Liabilities & Fund Balance	8,703,960.92	9,320,827.02

Revenue Account Range: First to zz-zzzz-zzz**Expend Account Range:** First to zz-zzzz-zzz**Print Zero YTD Activity:** No**Include Non-Anticipated:** Yes**Include Non-Budget:** No**Year To Date As Of:** 10/31/25**Current Period:** 10/01/25 to 10/31/25**Prior Year:** 10/01/24 to 10/31/24

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
10-3101-110	AD VALOREM TAX - CURRENT	40,737.62	1,595,000.00	89,232.58	364,202.13	1,230,797.87-	23
10-3102-110	AD VALOREM TAX - 1ST PRIOR YR	744.79	7,500.00	395.23	3,790.02	3,709.98-	51
10-3103-110	AD VALOREM TAX - NEXT 8 YRS PRIOR	79.59	500.00	0.00	4.45	495.55-	1
10-3110-121	AD VALOREM TAX - MOTOR VEH CURRENT	24,968.97	110,000.00	7,924.89	16,110.26	93,889.74-	15
10-3115-180	TAX INTEREST	36.46	3,000.00	412.16	3,159.80	159.80	105
10-3120-000	SOLID WASTE FEE REVENUES	58,592.15	0.00	916.59	6,792.15	6,792.15	0
10-3231-220	LOCAL OPTION SALES TAX REV - ART 39	57,214.48	625,000.00	33,617.66	68,440.56	556,559.44-	11
10-3322-220	BEER & WINE TAX	0.00	65,000.00	0.00	0.00	65,000.00-	0
10-3324-220	UTILITY FRANCHISE TAX	0.00	475,000.00	0.00	0.00	475,000.00-	0
10-3333-220	SOLID WASTE DISP TAX	0.00	3,000.00	0.00	2,616.84	383.16-	87
10-3340-400	ZONING & PERMIT FEES	1,165.00	10,000.00	3,187.50	7,710.00	2,290.00-	77
10-3350-400	SUBDIVISION FEES	0.00	10,000.00	330.00	440.00	9,560.00-	4

WEDDINGTON
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
	STORMWATER EROSION CONTROL FEES	0.00	500.00	0.00	0.00	500.00-	0
10-3360-400							
10-3830-891	MISCELLANEOUS REVENUES	0.00	2,500.00	870.14	132.14	2,367.86-	5
10-3831-491	INVESTMENT INCOME	25,214.62	250,000.00	22,679.28	93,483.01	156,516.99-	37
	General Fund Revenue Totals	208,753.68	3,157,000.00	159,566.03	566,881.36	2,590,118.64-	17
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expend	Unexpended	% Expd
	GENERAL GOVERNMENT	0.00	0.00	0.00	0.00	0.00	0
10-4110-000	SOLID WASTE	0.00	0.00	0.00	0.00	0.00	0
10-4110-110	SOLID WASTE	84,334.48	1,082,950.00	89,298.88	357,195.52	725,754.48	33
10-4110-115	POLICE	0.00	0.00	0.00	0.00	0.00	0
10-4110-150	POLICE PROTECTION	98,110.15	691,645.00	163,481.70	326,963.40	364,681.60	47
10-4110-155	EVENT PUBLIC SAFETY	0.00	5,000.00	0.00	0.00	5,000.00	0
10-4110-160	GOVERNING BOARD	0.00	0.00	0.00	0.00	0.00	0
10-4110-180	LEGAL	0.00	0.00	0.00	0.00	0.00	0
10-4110-190	ATTORNEY FEES - GENERAL	5,000.00	72,500.00	5,750.00	15,750.00	56,750.00	22
10-4110-192	ATTORNEY FEES - LITIGATION	0.00	5,000.00	0.00	0.00	5,000.00	0
10-4110-193	OTHER GENERAL GOVERNMENT	0.00	0.00	0.00	0.00	0.00	0
10-4110-320	ELECTION EXPENSE	0.00	20,000.00	0.00	0.00	20,000.00	0
10-4110-330	PUBLICATIONS	0.00	10,000.00	0.00	0.00	10,000.00	0
10-4110-340	HOLIDAY/TREE LIGHTING	0.00	10,000.00	0.00	2,846.22	7,153.78	28
10-4110-342	SPRING EVENT	0.00	8,550.00	0.00	0.00	8,550.00	0
10-4110-343	OTHER COMMUNITY EVENTS	0.00	1,500.00	0.00	0.00	1,500.00	0
10-4110-344	4110 GENERAL GOVERNMENT	187,444.63	1,907,145.00	258,530.58	702,755.14	1,204,389.86	37

Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
		0.00	0.00	0.00	0.00	0.00	0
10-4120-000	ADMINISTRATIVE						
10-4120-120	SALARIES & EMPLOYEE BENEFITS	0.00	0.00	0.00	0.00	0.00	0
10-4120-121	SALARIES - ADMINISTRATOR/CLERK	5,687.50	74,250.00	8,957.82	26,873.46	47,376.54	36
10-4120-123	SALARIES - TAX COLLECTOR	4,739.70	64,500.00	7,478.91	22,069.05	42,430.95	34
10-4120-124	SALARIES - FINANCE OFFICER	870.40	21,615.00	1,935.36	5,147.52	16,467.48	24
10-4120-125	SALARIES - MAYOR & TOWN COUNCIL	2,100.00	32,500.00	2,100.00	8,400.00	24,100.00	26
10-4120-181	FICA EXPENSE	1,024.89	15,500.00	1,566.14	4,780.57	10,719.43	31
10-4120-182	EMPLOYEE RETIREMENT	2,263.74	29,575.00	3,694.96	11,002.24	18,572.76	37
10-4120-183	EMPLOYEE INSURANCE	2,748.00	37,975.00	2,300.14	9,200.56	28,774.44	24
10-4120-184	EMPLOYEE LIFE INSURANCE	16.64	500.00	83.66	334.64	165.36	67
10-4120-185	EMPLOYEE S-T DISABILITY	28.00	375.00	45.79	183.16	191.84	49
10-4120-190	PROFESSIONAL SERVICES	0.00	0.00	0.00	0.00	0.00	0
10-4120-191	AUDIT FEES	0.00	25,000.00	0.00	0.00	25,000.00	0
10-4120-193	CONTRACT LABOR	0.00	9,000.00	0.00	6,930.96	2,069.04	77
10-4120-200	OTHER ADMINISTRATIVE	0.00	0.00	0.00	0.00	0.00	0
10-4120-205	OFFICE SUPPLIES - ADMIN	273.17	12,500.00	134.24	513.03	11,986.97	4
10-4120-210	PLANNING CONFERENCE	0.00	2,000.00	0.00	0.00	2,000.00	0
10-4120-321	TELEPHONE - ADMIN	155.49	2,000.00	169.21	845.96	1,154.04	42
10-4120-325	POSTAGE - ADMIN	0.00	2,500.00	0.00	768.36	1,731.64	31
10-4120-331	UTILITIES - ADMIN	636.36	5,000.00	536.18	1,013.30	3,986.70	20
10-4120-351	REPAIRS & MAINTENANCE - BUILDING	73,352.50-	35,000.00	0.00	0.00	35,000.00	0
10-4120-352	REPAIRS & MAINTENANCE - EQUIPMENT	3,158.11	86,000.00	4,055.36	38,859.98	47,140.02	45
10-4120-354	REPAIRS & MAINTENANCE - GROUNDS	2,701.40	105,000.00	5,650.00	20,557.00	84,443.00	20
10-4120-355	REPAIRS & MAINTENANCE - PEST CONTRL	473.36	1,500.00	0.00	562.50	937.50	38
10-4120-356	REPAIRS & MAINTENANCE - CUSTODIAL	600.00	6,500.00	600.00	1,560.00	4,940.00	24
10-4120-370	ADVERTISING - ADMIN	25.50	500.00	0.00	45.15	454.85	9
10-4120-397	TAX LISTING & TAX COLLECTION FEES	0.00	500.00	0.00	396.99	103.01	79

WEDDINGTON

Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd		Budgeted		YTD Expended		Unexpended		% Expd
		382.00	6,500.00	1,350.00	144.34	3,610.00	966.33	28,036.61	23,846.57	
10-4120-400	ADMINISTRATIVE: TRAINING	500.29	5,000.00	0.00	28,350.00	0.00	28,036.61	313.39	4,033.67	19
10-4120-410	ADMINISTRATIVE: TRAVEL	0.00	29,925.00	25.00	1,500.00	0.00	29.58	1,470.42	2	99
10-4120-450	INSURANCE	0.00	15,000.00	4,321.01	15,000.00	0.00	2,606.54	12,393.46	17	80
10-4120-491	DUES & SUBSCRIPTIONS	0.00	42,183.56	40,621.94-	656,065.00	42,183.56	219,140.06	436,924.94	33	56
10-4120-498	GIFTS & AWARDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
10-4120-499	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
4120 ADMINISTRATIVE										
10-4130-000	ECONOMIC & PHYSICAL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
10-4130-120	SALARIES & EMPLOYEE BENEFITS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
10-4130-121	SALARIES - ZONING ADMINISTRATOR	6,666.66	85,200.00	0.00	10,500.00	0.00	31,500.00	53,700.00	24,529.00	37
10-4130-122	SALARIES - ASST ZONING ADMINISTRATOR	0.00	27,450.00	1,964.17	26,250.00	0.00	8,741.06	17,508.94	11	11
10-4130-123	SALARIES - ADMINISTRATIVE ASSISTANT	200.00	6,300.00	200.00	3,600.00	0.00	1,250.00	5,050.00	5,050.00	20
10-4130-124	SALARIES - PLANNING BOARD	264.60	3,600.00	695.83	11,765.00	0.00	1,190.70	2,409.30	2,409.30	33
10-4130-125	SALARIES - SIGN REMOVAL	1,114.00	30,050.00	1,114.00	30,050.00	0.00	1,235.40	3,262.54	8,502.46	28
10-4130-181	FICA EXPENSE - P&Z	1,374.00	19,350.00	1,374.00	19,350.00	0.00	1,150.07	4,600.28	14,749.72	24
10-4130-182	EMPLOYEE RETIREMENT - P&Z	25.60	375.00	25.60	375.00	0.00	47.00	188.00	187.00	50
10-4130-183	EMPLOYEE INSURANCE	14.00	200.00	14.00	200.00	0.00	30.46	121.84	78.16	61
10-4130-184	EMPLOYEE LIFE INSURANCE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
10-4130-185	EMPLOYEE S-T DISABILITY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
10-4130-190	CONTRACTED SERVICES	7,686.41	95,000.00	5,840.00	75,000.00	0.00	782.00	8,747.70	86,252.30	9
10-4130-192	CONSULTING STORMWATER CONTROL	0.00	15,000.00	0.00	15,000.00	0.00	5,026.93	9,973.07	34	37
10-4130-193	CONSULTING - COG	0.00	150,500.00	0.00	150,500.00	0.00	0.00	150,500.00	0.00	0
10-4130-194	OTHER CONSULTING CONTRACTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0
10-4130-195	OTHER PLANNING	273.16	7,500.00	0.00	0.00	0.00	134.24	513.02	6,986.98	7

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
10-4130-215	HISTORIC PRESERVATION	0.00	250.00	0.00	0.00	250.00	0
10-4130-321	TELEPHONE - PLANNING & ZONING	155.49	2,000.00	169.20	845.93	1,154.07	42
10-4130-325	POSTAGE - PLANNING & ZONING	0.00	2,500.00	0.00	768.37	1,731.63	31
10-4130-331	UTILITIES - PLANNING & ZONING	455.73	5,000.00	480.28	1,291.21	3,708.79	26
10-4130-370	ADVERTISING - PLANNING & ZONING	0.00	500.00	0.00	45.16	454.84	9
10-4130-500	CAPITAL EXPENDITURES - P&Z	0.00	30,000.00	0.00	0.00	30,000.00	0
4130 ECONOMIC & PHYSICAL DEVELOPMENT		26,729.65	593,790.00	31,878.41	104,588.94	489,201.06	18
General Fund Expenditure Totals		173,552.34	3,157,000.00	332,592.55	1,026,484.14	2,130,515.86	33

10 General Fund	Prior	Current	YTD
Revenues:	203,753.68	159,566.03	566,881.36
Expenditures:	173,552.34	332,592.55	1,026,484.14
Net Income:	35,201.34	173,026.52-	459,602.78-

Grand Totals	Prior	Current	YTD
Revenues:	203,753.68	159,566.03	566,881.36
Expenditures:	173,552.34	332,592.55	1,026,484.14
Net Income:	35,201.34	173,026.52-	459,602.78-

**TOWN OF
W E D D I N G T O N
MEMORANDUM**

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: November 10, 2025

SUBJECT: **Tax Report– October 2025**

Transactions:	
Utility Tax Charges	\$9893.95
Discoveries	\$224.93
Refunds	\$389.87
Balance Adjustments	1.76
Refunds	\$(2284.84)
Taxes Collected:	
2022	\$(197.18)
2023	\$(452.14)
2024	\$(1074.66)
2025	\$(89,232.58)
As of October 31, 2025; the following taxes remain Outstanding:	
2014	\$136.06
2015	\$187.26
2016	\$251.29
2017	\$421.72
2018	\$139.46
2019	\$390.77
2020	\$285.81
2021	\$408.89
2022	\$1986.01
2023	\$11,902.38
2024	\$22,933.75

2025	\$1,407,860.93
Total Outstanding:	\$1,446,904.33

**TOWN OF WEDDINGTON
ARPA QUARTERLY UPDATE
AS OF 9/30/25**

BEGINNING ARPA BALANCE	\$ 1,635,187.50
SPENT 10/1/21-6/30/23	(799,944.67)
SPENT 7/1/23-6/30/24	(639,273.64)
SPENT 7/1/24-12/31/24	(195,969.19)
BALANCE AT 7/1/25	<u>\$ -</u>
SPENT 7/1/25-9/30/25	-
BALANCE AT 9/30/25	<u>\$ -</u>

**TOWN OF WEDDINGTON
SCIF QUARTERLY SUMMARY REPORT
AS OF 9/30/2025**

	OUTBUILDING				LANDSCAPING,				CONSULTING &				
	TOWN HALL REPAIR & RENOVATIONS	RENOVATION & SIDEWALK CONSTRUCTION		TOWN PARK AMPITHEATER & PICNIC TABLES		LIGHTING, GRADING & IRRIGATION		INTERSECTION IMPROVEMENTS		AUDIO-VISUAL ENHANCEMENTS		PROJECT MANAGEMENT	
		PARK PLAZA CONSTRUCTION										ESTIMATED COST OVERRUNS	INTEREST EARNED
SCIF PROJECT ORDINANCE BUDGET	\$ -	\$ 175,000.00	\$ 150,000.00	\$ 105,000.00	\$ 75,000.00	\$ 35,000.00	\$ 65,000.00	\$ 20,000.00	\$ 75,000.00	\$ 150,000.00	\$ -	\$ -	\$ -
RECEIPT OF FUNDS 8/25/23	\$ 850,000.00												
INTEREST EARNED AS OF 6/30/2025	\$ 58,364.74												\$ 58,364.74
TRANSFER TO GENERAL FUND	\$ (153,081.57)	\$ (42,555.57)	\$ -	\$ (102,034.00)	\$ -	\$ (8,492.00)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
SCIF CASH BALANCE AT 6/30/25	\$ 755,283.17	\$ 132,444.43	\$ 150,000.00	\$ 2,966.00	\$ 75,000.00	\$ 26,508.00	\$ 65,000.00	\$ 20,000.00	\$ 75,000.00	\$ 150,000.00	\$ 58,364.74		

DUE TO GENERAL FUND FY2025

DEHAAN PAINTING	Nov-23	\$ 10,320.00	\$ 10,320.00				
DEHAAN PAINTING	Dec-23	\$ 3,945.63	\$ 3,945.63				
DEHAAN PAINTING DEPOSIT A	Sep-23	\$ (10.00)	\$ (10.00)				
WD SMITH GRADING ADJ		\$ (337.36)		\$ (337.36)			
XL MEDIWORKS	Jul-24	\$ 14,329.05			\$ 14,329.05		
LABELLA CONSULTING	Jun-25	\$ 26,685.00			\$ 26,685.00		

DUE TO GENERAL FUND FY2025

DUE TO GENERAL FUND FY2026

LABELLA CONSULTING	Jul-25	\$ 13,710.00	\$ 13,710.00
LABELLA CONSULTING	Sept-25	\$ 11,931.00	\$ 11,931.00

DUE TO GENERAL FUND EX2036

SCIE BALANCE REMAINING AT 9/30/25

**TOWN OF WEDDINGTON
SPECIAL REVENUE - OSBM PARK FUNDS
AS OF 9/30/25**

BEGINNING BALANCE	\$ 250,000.00
FY2025 INTEREST EARNED	7,872.20
BALANCE AT 7/1/25	<u>\$ 257,872.20</u>
INTEREST EARNED 7/1/25-9/30/25	2,810.72
BALANCE AT 9/30/25	<u>\$ 260,682.92</u>