



**TOWN OF WEDDINGTON
REGULAR PLANNING BOARD MEETING
MONDAY, MARCH 24, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104
AGENDA**

1. Call to Order
2. Oaths of Office
 - A. Scott Buzzard
 - B. Steve Fellmeth
3. Determination of Quorum
4. Election of Chairman/Vice Chairman
5. Conflict of Interest Statement: *In accordance with the state government ethics act, it is the duty of every Board member to avoid conflicts of interest. Does any Board member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*
6. Approval of Minutes
 - A. February 24, 2025 Planning Board Regular Meeting
7. Public Comments: *Individuals are allowed 3 minutes to speak and must only comment on current agenda items. A maximum of 30 minutes is allocated to the Public Comment Period. The time limit may be extended at the discretion of the Chairman.*
8. Old Business
9. New Business
 - A. Discussion and Possible Consideration of an entry for Abellia subdivision under Section D. 918.J. Fences and Walls Permitted Within Yard Areas
 - B. Discussion and Possible Recommendation of Text Amendment 2025-04 Section D917A.G. Private Roads and Gatehouses and Section D918.I. Screening and Landscaping
10. Update from Town Planner and Report from the March Town Council Meeting
11. Board member Comments
12. Adjournment



**TOWN OF WEDDINGTON
REGULAR PLANNING BOARD MEETING
MONDAY FEBRUARY 24, 2025 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
PAGE 1 OF 5**

1. Call to Order

Chairman Manning called the meeting to order.

2. Determination of Quorum

Quorum was determined with Chairman Travis Manning, Vice Chair Amanda Jarrell, Board members Manish Mittal, Nancy Anderson, Bill Deter, and Rusty Setzer present.

Staff present: Town Planner Greg Gordos, Town Administrator/Clerk Karen Dewey, Deputy Clerk/Admin Asst. Debbie Coram, Town Deputies Grant Wrenn and Taylor Gordon

Visitors: Anthony Brent Cowan, Ginny Shepherd, Jim Bell, Christopher Neve, Chad Emerine, Melissa Emerine, Karen Wingate

3. Conflict of Interest Statement: *In accordance with state law, it is the duty of every Board member to avoid conflicts of interest. Does any Board member have any known conflict of interest with respect to any matters on the agenda? If so, please identify the conflict and refrain from any participation in the matter involved.*

Chairman Manning read the Conflict of Interest Statement and polled the board members. No Board member had a conflict of interest.

4. Approval of Minutes

A. January 16, 2025 Planning Board Special Meeting

B. January 27, 2025 Planning Board Regular Meeting

Motion: Board member Deter made a motion to approve the January 16, 2025 Planning Board Special Meeting minutes as presented.

Second: Board member Setzer

Vote: The motion passed with a unanimous vote.

Board member Anderson brought two changes: Correct a reference to Chairman Manning as Vice Chair on page 3 and to amend her comments on page 4 to read “ashamed” instead of embarrassed.

Motion: Board member Deter made a motion to approve the January 27, 2025 Planning Board Regular Meeting minutes as amended.

Second: Board member Setzer
Vote: The motion passed with a unanimous vote.

5. Public Comments: *Individuals are allowed 3 minutes to speak and must only comment on current agenda items. A maximum of 30 minutes is allocated to the Public Comment Period. The time limit may be extended at the discretion of the Chairman.*

Chad Emerine 953 Eagle Road. Mr. Emerine commented that he believes that agenda item 6B may be missing items from the CZ application. He questioned the stormwater plan with the existing pond on the property and stated that Lochaven may be negatively impacted by excess runoff.

6. New Business

A. Discussion and Possible Recommendation of a CZ Amendment from Provident Land for an amendment to CZ-2023-02 for stormwater requirement changes

Representatives from Provident Land, Tom Waters and Kristin Dillard, and Weston Boles from WK Dickson were present.

Mr. Gordos presented the staff report. At its meeting of November 13, 2023, the Weddington Town Council, as a part of a public hearing for a major subdivision, approved conditional zoning case CZ 2023-02. This allowed for a 38-lot conventional residential project known as Beckingham to complete legislative approvals and progress to the construction document (CD) and Final Plat stages prior to land disturbance. They are requesting to vary from the required 100-year stormwater requirements. The applicant has not requested a replacement number, rather that requirements match what the State of North Carolina considers Low Impact Development (LID). On February 7, 2025 the developer of the project, Mr. Tom Waters, met with Town staff as well as two members of Town Council to express concern about one requirement of the Unified Development Ordinance.

Board member Anderson asked if the stormwater requirements were changed after the approval of the application. Mr. Gordos responded that the stormwater requirement was specific in the development standards. Board member Deter asked if the applicant would be open to the standards that were changed in the last four months. Mr. Gordos responded that any CZ application is open to negotiation with the Council.

Mr. Waters presented his amendment request to amend CZ 2023-02 to explicitly waive the requirements of "stormwater detention to control the peak stormwater runoff from the 2, 10, 25, 50 and 100 year, 24-hour storm events to pre-development rates." They are requesting a waiver of the Town of Weddington's 100-year stormwater detention requirement in order to meet the State of NC "Low Density" development standard. Currently, the site is being forced into the State's "High Density" definition which will cause clearing approximately six acres of trees by adding enlarged stormwater management ponds and significant drainage swales and storm pipe throughout the community. The high-density designation would have several negative implications, including removing a substantial number of existing trees, adding drainage ditches on the majority of lots and increasing the size of our stormwater management ponds. These changes will not represent the high-quality community envisioned and put forth to the Town with site placed homes and a focus on maximizing natural tree retention. The applicant has worked with their civil engineering team and NCDEQ to come up with environmentally friendly stormwater retention solutions and are proposing utilizing underground rainwater harvesting systems on all lots within Beckingham. These rainwater

harvesting systems will allow the homeowners to irrigate their properties. Many builders in the area already use these systems for environmentally conscious clients or to resolve drainage issues. The presentation will include slides of installation and operation of these systems. In making these systems a requirement for each of our 38 home sites and 4 of our common open space areas, the HOA will oversee compliance by each homeowner in our covenants and restrictions. These rainwater harvesting systems will allow us to remain a low-density community while providing an environmentally friendly solution for our homeowners to collect storm water and repurpose for their home irrigation needs.

Board members asked questions. The applicant responded:

Cisterns will hold 10,000 gallons of water and will be 12 feet in diameter 13 feet tall. 30 feet long 9 feet wide and 9 feet tall, capturing rain from roof and rain from other impermeable surfaces like roads driveways.

There will be sheet draining for roads and driveways. Cisterns will capture roof drains – Impervious area for entire development is 17.5 %

Cisterns will have outflow-surplus draining will not discharge at a detrimental level.

Cisterns will be required to have regular inspections as required in the HOA CCRs.

Septics will be gravity fed.

Cisterns will be the source for the irrigation systems. Several landscape groups that do this. Systems designed if water levels are too low, there are triggers for potable water to fill cistern.

During rainy season-water is distributed to nature. Systems will function 12 months out of the year City of Charlotte uses underground cisterns, but not sure which subdivisions.

Board discussed impervious surface locked in at 17.5%. they expressed concerns that 10,000 gallon cisterns may be overkill, maintenance can be concerning, Board agreed needing more information regarding what the stormwater standard will be replaced with.

Motion: Board member Deter made a motion to table recommendation of a CZ Amendment from Provident Land for an amendment to CZ-2023-02 for stormwater requirement changes until further information is formally submitted, including LaBella's recommendation of a downstream analysis.

Second: Board member Faulk

Vote: The motion passed with a unanimous vote.

B. Discussion and Possible Recommendation of an application by Ennis Investors requesting Conditioning Zoning Approval for the development of a 9-lot subdivision located on Ennis Road.

Mr. Gordos presented the staff report: The applicant is proposing the development of a nine-lot conventional development subdivision tentatively known as Arya Subdivision. The proposal contains a single entrance on Ennis with a 100' thoroughfare buffer (per current UDO) and a private gate. The property is located on the southern boundary of Weddington with Weddington Preserve directly north and Aero Plantation to the east on New Town Rd. One existing house would remain on an existing pond (to be incorporated as open space) with the remainder of the site accessed by two cul-de-sacs, measured under the previous ordinance in effect in 2024. Both cul-de-sacs have a central tear-drop shaped island as referenced in the UDO. Water will be provided by Union County as well a sewer connection to Weddington Preserve. This project will not contain private septic systems. A 15' panhandle will provide Lot 6 access to the 30' sanitary sewer easement proposed to

run along the center of the property and then south along the new road right-of-way. The development proposal does not include any changes to the Development Standards already set forth in the Unified Development Ordinance (UDO). The development shall be governed by this Plan and all applicable requirements of the UDO. It is the recommendation of staff that the request for Conditional Zoning to allow for the development of a 9-lot Conventional subdivision known as Arya Subdivision, generally located on Ennis Road, be recommended for approval with the condition that sewer alignment and capacity must be finalized with Union County Water prior to consideration by the Weddington Town Council.

Brent Cowan with Isaacs Group presented the project. Board discussed drainage and impervious surface drainage requirements. The question of concerns with the existing dam and pond. There are no concerns. The dam is not on a high hazard inventory.

Concern raised about the deck on existing house encroaches into pond buffer. It is considered an existing non-conforming structure. It won't have to be torn down, but it will have to be brought into conformance if replaced.

Sewer questions: Applicant has made two submittals to the County and received minor comments regarding the format of the plans and the plans have been resubmitted. Minor comments received included the alignment of lines on left side of pond and lot 6 does not have direct access, so the flag lot was reconfigured, and the plan resubmitted.

The tree save was discussed. Karen Wingate, with Arcadia confirmed they are not clear cutting, only clearing building area. Chairman Manning requested that the applicant contacts fire department to burn existing structure to be demolished.

Board member Deter asked about the sewer capacity. The applicant responded that the County is doing a drawdown test to make sure there is capacity. If the draw down comes back with a problem, it will be up to the developer to come up with a solution to fix that problem.

Motion: Board member Deter made a motion to forward application by Ennis Investors requesting Conditioning Zoning Approval for the development of a 9-lot subdivision located on Ennis Road, with recommendation for approval with conditions that tree clearing will be limited to building envelope/road rights-of-way and sewer alignment and capacity finalized before going before Town Council for consideration.

Second: Board member Mittal

Vote: The motion passed with a unanimous vote.

7. Old Business

8. Update from Town Planner and Report from February Town Council Meeting

Mr. Gordos gave update: At the February meeting, Council adopted all three text amendments: cul-de-sac, road standards, and tree ordinance. Effective February 2025, there are much stricter development standards as a result of this board's hard work. In regard to working through the logjam of applications and development projects, Town Council will consider the Classica application on Hemby in March and Deal Lake the following month.

Mr. Gordos acknowledged Chairman Manning and Board member Mittal as this is their last meeting as members of the Planning Board. He praised their high character and they will be sorely missed.

9. Board member Comments

Board member Faulk: I want to thank Manish and Travis for their outstanding job. I appreciate their service and commitment and level of expertise and thoughtfulness. They are going to be missed. I was glad to see the ordinance was strict enough that conceptually something came through and had to come back because of the math, so it's doing its job. I look forward to warmer weather.

Board member Anderson: Thank you very much for all the contributions you guys have made over the years. It's been great working with you.

Board member Jarrell: I'll say the same, thank you very much. I've had two years with you guys, and I appreciated where I've learned. Friday is rare disease day. I'm full of all kinds of weird knowledge.

Board member Setzer: I appreciate your service to the community. Thank you very much for volunteering your time.

Board member Mittal: Thank you everybody I really enjoyed this a lot I get to serve the community and thank you to the staff for all your help.

Board member Deter: I want to thank Travis and Manish for their service on the Planning Board. I want to point out that the subcommittee is working on two projects with Greg's assistance: one is what we talked about it last time, it's a buildable land definition. I'm going to be sharing portions of this with the subcommittee and then we'll noodle on it and then we'll have a work session like we did last time to see if we can get this thing in place and then the other thing is the requirements of Appendix 2B. To clarify things and get us all on the same page. Greg, I appreciate you working with us on the subcommittee and we'll have the whole Planning Board.

Chairman Manning: I think Mr. Deter was not speaking into his microphone at that last comment! As Planning Board Chair, it's been an honor. I really appreciate working with everybody and getting to know everyone. Staff, Karen, Greg, Deb thank you so much. You're so helpful to work with and I've learned a lot from you guys, even if I'm in the industry, you opened my eyes to different perspectives and I really appreciate it, and I think that Weddington is extremely fortunate to have these three.

10. Adjournment

Motion: Board member Deter made a motion to adjourn the February 24, 2025 Planning Board Regular meeting at 8:37 p.m.
Second: Board member Setzer
Vote: The motion passed with a unanimous vote.

Approved: _____

Beth (Bailey) Johnston

From: Robert Tefft <rtefft@townofweddington.com>
Sent: Thursday, June 1, 2023 10:27 AM
To: Beth (Bailey) Johnston
Subject: Re: Abellia Drive

Beth:
Yes, Abellia Drive is a private road. No problems in being able to gate.

Let me know if you have any further questions.

Regards,



Robert G. Tefft, CNU-a

Town Planner

1924 Weddington Road
Weddington, NC 28104

rtefft@townofweddington.com

www.townofweddington.com

Rural Living Redefined

From: Beth (Bailey) Johnston <BBailey@mckimcreed.com>
Sent: Wednesday, May 31, 2023 3:38 PM
To: Robert Tefft <rtefft@townofweddington.com>
Subject: Abellia Drive

Good afternoon, Robert. I hope you're doing well.

I've been approached by the property owners on Abellia Drive to design an entry gate. Before I get too far into the process, I wanted to confirm if Abellia Drive is a private road or NCDOT-owned. I can't find it in their secondary road database, so just wanted to check with you to be sure.

Thanks for your help!
Beth



Beth (Bailey) Johnston | Senior Landscape Architect
T 704.841.2588
8020 Tower Point Drive, Charlotte, NC 28227

bbailey@mckimcreed.com | www.mckimcreed.com

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- GENERAL NOTES:**
1. BASE INFORMATION FROM UNION COUNTY GIS AND OTHER PUBLICLY AVAILABLE SOURCES. ALL BASE INFORMATION SHOULD BE FIELD-VERIFIED BEFORE WORK BEGINS.
 2. IN THE EVENT OF A SEPARATION OF RESPONSIBILITIES BETWEEN TWO CONTRACTORS, LANDSCAPE / HARDSCAPE CONTRACTOR IS REQUIRED TO COORDINATE WORK WITH THE GENERAL CONTRACTOR.
 3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO SIGN, GRADING, ZONING, BUILDING, ETC.
 4. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY, AND LOCAL MUNICIPALITIES. ALL CONSTRUCTION SHALL CONFORM OR EXCEED REGULATIONS OF THE TOWN OF WEDDINGTON, UNION COUNTY, THE STATE OF NORTH CAROLINA, THE AMERICANS WITH DISABILITIES ACT, AND OTHER APPLICABLE STANDARDS AND GOVERNING AUTHORITIES.
 5. EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE LANDSCAPE ARCHITECT OR MCKIM & CREED ASSUME NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE OWNER AND LANDSCAPE ARCHITECT OF RECORD IMMEDIATELY.

- CONSTRUCTION PRACTICES NOTES:**
1. IF INTERRUPTION OF EXISTING UTILITY SERVICES IS UNAVOIDABLE, CONTRACTOR SHALL PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY SERVICE.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION AT HIS/HER OWN EXPENSE. CONTRACTOR IS TO MAINTAIN UTILITY SERVICES, INCLUDING WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, ELECTRIC AND TELEPHONE AT ALL TIMES DURING CONSTRUCTION.
 3. CONTRACTOR IS TO KEEP ALL PARKING AREAS, ALLEYS, DRIVEWAYS, STREETS, ETC. ADJACENT TO THE CONSTRUCTION SITE CLEAN AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO ENSURE WORK AREA IS CLEAN AND CLEAR OF ALL DEBRIS AND CONSTRUCTION WASTE AT CLOSE OF EACH BUSINESS DAY. NO TOOLS OR EQUIPMENT ARE TO BE LEFT OVERNIGHT WITHOUT EXPRESS PERMISSION OF OWNER. OWNER TAKES NO RESPONSIBILITY FOR LOSS OR DAMAGE TO CONTRACTOR PROPERTY.
 4. CONTRACTOR MUST TAKE STEPS TO PREVENT DAMAGE TO EXISTING PAVEMENT OR EXCESSIVE TRACKING OF SOIL, INCLUDING BUT NOT LIMITED TO LAYING ANTI-TRACKING MEASURES DOWN ON ALL ACTIVE DRIVES AND WORK AREAS. ANY EXCESS SOIL OR DEBRIS SPILLAGE MUST BE CLEANED SAME BUSINESS DAY. CONTRACTOR RESPONSIBLE FOR REPLACING AND REPAIRING ANY EXISTING PAVEMENT AREAS DAMAGED DURING CONSTRUCTION ACTIVITY AT CONTRACTOR'S OWN EXPENSE.
 5. SIGNING OF THE CONSTRUCTION AREA SHALL COMPLY WITH THE CURRENT "FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES." ALL SIGNAGE INCLUDING REGULATORY AND WARNING SIGNS WHICH ARE OWNED AND MAINTAINED BY THE NCDOT ARE TO REMAIN THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASES. ALL SIGNS WHICH NEED TO BE REMOVED ARE TO BE RELOCATED IMMEDIATELY.
 6. CONTRACTOR TO SET UP TEMPORARY SEDIMENT CONTROL MEASURES BEFORE WORK COMMENCES. TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS SHALL BE PLACED AT ALL INLETS, PIPES, AND LIMIT OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY (MONDAY THROUGH FRIDAY) FOR EXCESSIVE SILT AND FAILURE. CONTRACTOR SHALL REMOVE EXCESSIVE SILT FROM THE DEVICES OR REPAIR MEASURES IMMEDIATELY BEFORE CONSTRUCTION COMMENCES ON THAT DAY. MAINTENANCE SHALL CONTINUE THROUGH PROJECT COMPLETION.

- SAFETY AND ACCESS NOTES:**
1. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES RESPONSIBILITY FOR SAFETY ON THE PROJECT.
 2. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS FOR THE DURATION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO NON-WORKING HOURS.
 3. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC. AS NECESSARY TO ENSURE PUBLIC SAFETY.
 4. CONTRACTOR ACCESS FOR CONSTRUCTION DIRECTED BY OWNERS REPRESENTATIVE.
 5. CONTRACTOR SHALL PREPARE A CONSTRUCTION SCHEDULE AND VEHICULAR ACCESS SCHEDULE AND COORDINATE WITH NCDOT AND OWNER FOR TRAFFIC IMPACTS.

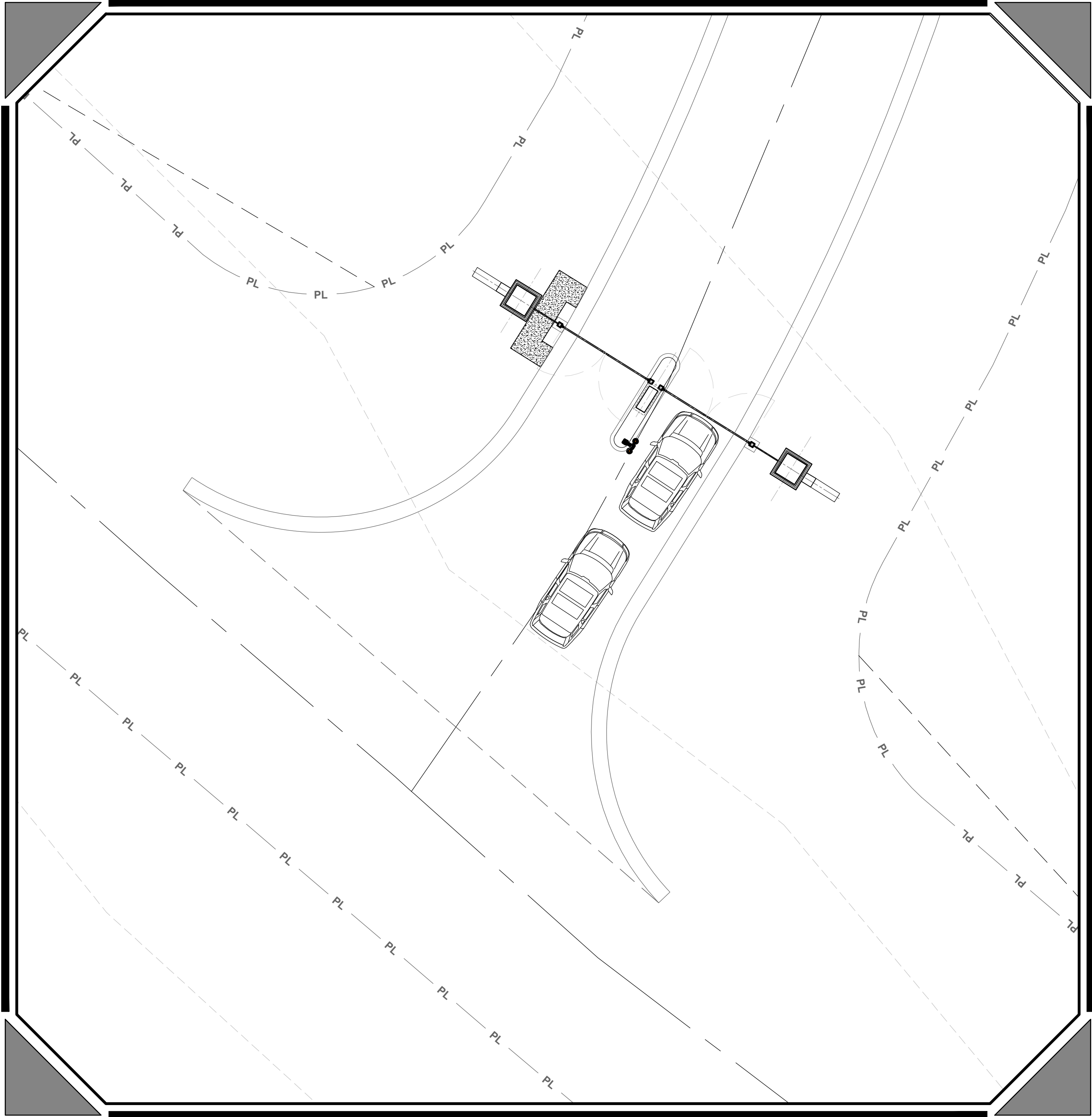
- LAYOUT NOTES:**
1. CONTRACTOR RESPONSIBLE FOR LOCATING ALL SIGHT TRIANGLES AND SIGHT DISTANCE LINES PRIOR TO INSTALLATION.
 2. LOCATION OF UTILITIES REPRESENTED ON THESE PLANS HAVE BEEN PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES (BOTH PUBLIC & PRIVATE) PRIOR TO START OF WORK ON THIS SITE.
 3. CONTRACTOR SHALL STAKE ALL WORK (INCLUDING MONUMENT LOCATIONS, FENCE LOCATIONS, PLANT LOCATIONS, AND SIDEWALK LOCATIONS) AND OBTAIN APPROVAL FROM OWNER PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.
 4. CONTRACTOR SHALL INSTALL ALL STRUCTURES (INCLUDING ASSOCIATED FOOTERS) AND PLANTINGS OUTSIDE OF SIGHT TRIANGLES, SIGHT DISTANCE LINES, AND UTILITY EASEMENTS.
 5. COLUMN LOCATIONS HAVE BEEN DIMENSIONED TO THE CENTER OF THE COLUMN.
 6. CONTRACTOR TO PROTECT AND PRESERVE EXISTING VEGETATION TO THE GREATEST EXTENT POSSIBLE. COORDINATE WITH OWNER & APPROPRIATE AGENCIES PRIOR TO REMOVAL OF EXISTING TREES/VEGETATION.
 7. CONTRACTOR SHALL NOT PERFORM ANY WORK OFFSITE. IF EXTENUATING CIRCUMSTANCES REQUIRE WORK TO BE PERFORMED OFFSITE CONTRACTOR SHALL SUBMIT WRITTEN NOTICE TO OWNERS REPRESENTATIVE AS SOON AS POSSIBLE. CONTRACTOR SHALL NOT PROCEED WITH WORK OFFSITE UNTIL WRITTEN APPROVAL IS OBTAINED FROM OWNER OR OWNERS REPRESENTATIVE. ANY OFF SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.

- SITE PREPARATION/GRADING:**
1. GRADING AND SITE PREPARATION IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
 2. MONUMENT FINISHED ELEVATION TO BE SET A MINIMUM OF 6" BUT NO HIGHER THAN 12" ABOVE ADJACENT BACK OF CURB ELEVATION. CONTRACTOR TO PREPARE AND GRADE MONUMENT AREAS AND OBTAIN APPROVAL FROM OWNER ON ELEVATIONS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL ADJUST THE ELEVATION OF THE RINGS AND COVERS OF ALL EXISTING UTILITIES WHICH ARE TO REMAIN AND SHALL MATCH PROPOSED FINAL GRADES. CONTRACTOR SHALL MATCH AT GRADE UTILITIES TO FINAL PROJECT GRADES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL ADJUST ANY UNDERGROUND UTILITIES WHICH BASED ON PROPOSED GRADES WILL NO LONGER HAVE MINIMUM COVER ACCORDING TO AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL ADJUST THESE UTILITIES TO MINIMUM REQUIRED COVER AND MAKE ANY ADJUSTMENTS NEEDED TO AVOID CONFLICTS WITH OTHER EXISTING OR PROPOSED INFRASTRUCTURE.
 4. ALL DEBRIS FROM DEMOLITION OPERATIONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

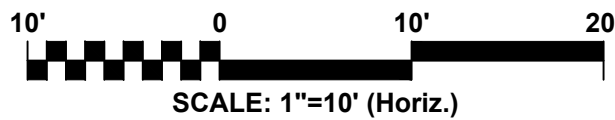
- HARDSCAPE INSTALLATION NOTES:**
1. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS, INCLUDING PRECAST, STONE, CEDAR, SIGN PANEL, GROUT, MORTAR, LIGHTS, DECORATIVE HARDWARE, SOIL MIX, ETC., AND OBTAIN APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL CREATE A MOCK-UP OF BRICK COLUMN/WALL, CAP, SIGN LETTERING, AND INSIGNIA, AND OBTAIN APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT PRIOR TO FABRICATION AND INSTALLATION.

ABELLIA ESTATES

ENTRY GATE & MONUMENT



OVERALL SITE



SITE STATISTICS

PARCEL (PIDs): 06153089 & 06153092
ZONING: R-CD
PROPOSED USE: ENTRY GATE

Sheet List Table		ORIGINAL	REVISION	REVISION
Sheet Number	Sheet Title	ISSUE DATE	DATE	NUMBER
C0.0	COVER	03/03/2025	03/19/2025	A
C1.0	PLAN	03/03/2025		
C2.0	ELEVATION	03/03/2025	03/19/2025	A
C3.0	SIDE COLUMN & GATE DETAILS	03/03/2025		
C3.1	CENTER COLUMN DETAILS	03/03/2025	03/19/2025	A

NAME: ABELLIA ESTATES HOA
ADDRESS: 328 ABELLIA DRIVE
WAXHAW, NC 28173
CONTACT: HARRIS DOULAVERIS
PHONE NUMBER: 704-258-8686
EMAIL: harrisdoulaaveris@gmail.com

CIVIL ENGINEER

MCKIM & CREED
8020 Tower Point Drive
Charlotte, North Carolina 28227
Phone: (704) 841-2588, Fax: (704) 841-2567
NC License# F-1222
www.mckimcreed.com

REVIEW/PRICING DRAWINGS
NOT FOR CONSTRUCTION
02/28/2025

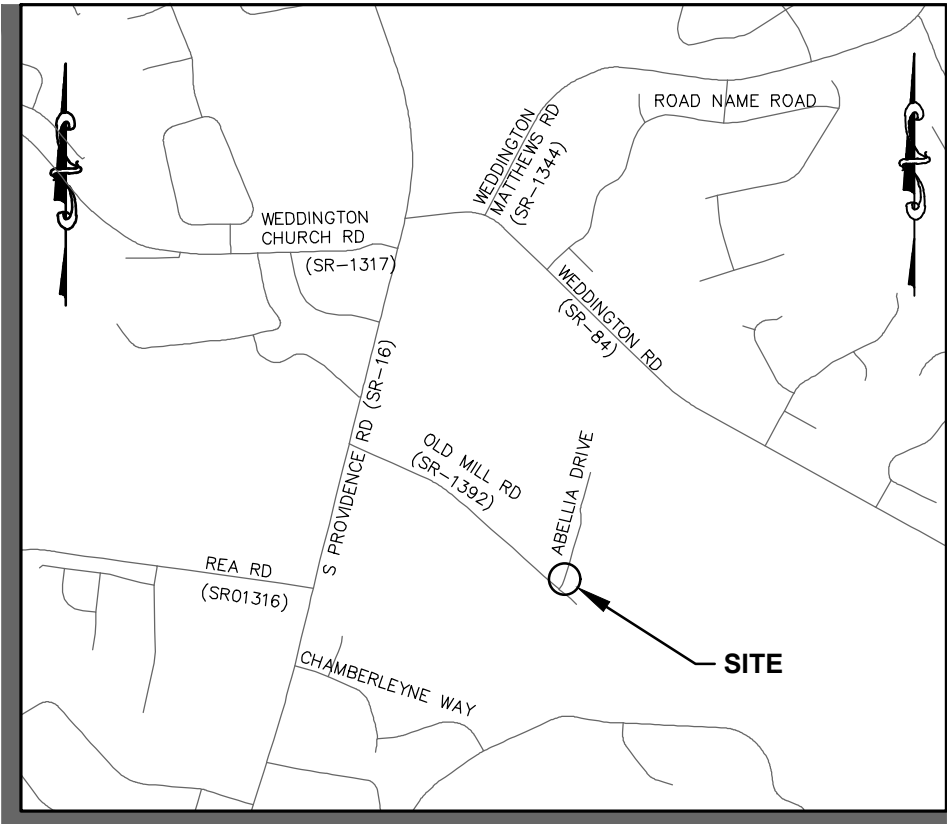
REV. NO.	DESCRIPTIONS	DATE
A	ADDED SIGN DETAIL & CALCULATIONS PER AGENCY COMMENTS	03/19/2025



Know what's below.
Call before you dig.

TOWN OF WEDDINGTON, UNION CO., NC
FEBRUARY 2025

VICINITY MAP



VICINITY MAP N.T.S.

N.T.S.

ABELLIA DRIVE ENTRY GATE

09817-0001

ABELLIA DRIVE & OLD MILL ROAD, WEDDINGTON, NC

N.T.S.



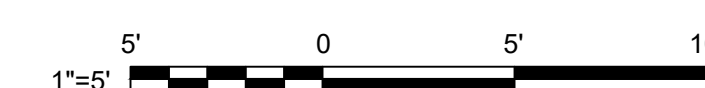
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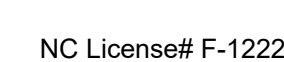
PARCEL (PID)s:
ZONING:
PROPOSED USE:

06153089 & 06153092
R-CD
ENTRY GATE

1. BASE INFORMATION FROM GIS AND OTHER PUBLICLY AVAILABLE SOURCES. DATA SHOULD BE FIELD-SURVEYED BEFORE ANY WORK BEGINS.
2. ALL IMPROVEMENTS TO BE FIELD-LOCATED BEFORE CONSTRUCTION BEGINS.
3. UTILITIES TO BE LOCATED BEFORE CONSTRUCTION BEGINS.
4. LAYOUT MAY CHANGE BASED ON LOCATION OF EXISTING UTILITIES.

[illegible]

DO NOT REMOVE FROM
ELECTRONIC FILE



LAYOUT PLAN

DATE:	FEBRUARY 202
MCE PROJ. #	09817-000
DRAWN	BE
DESIGNED	BE
CHECKED	
PROJ. MGR.	BE

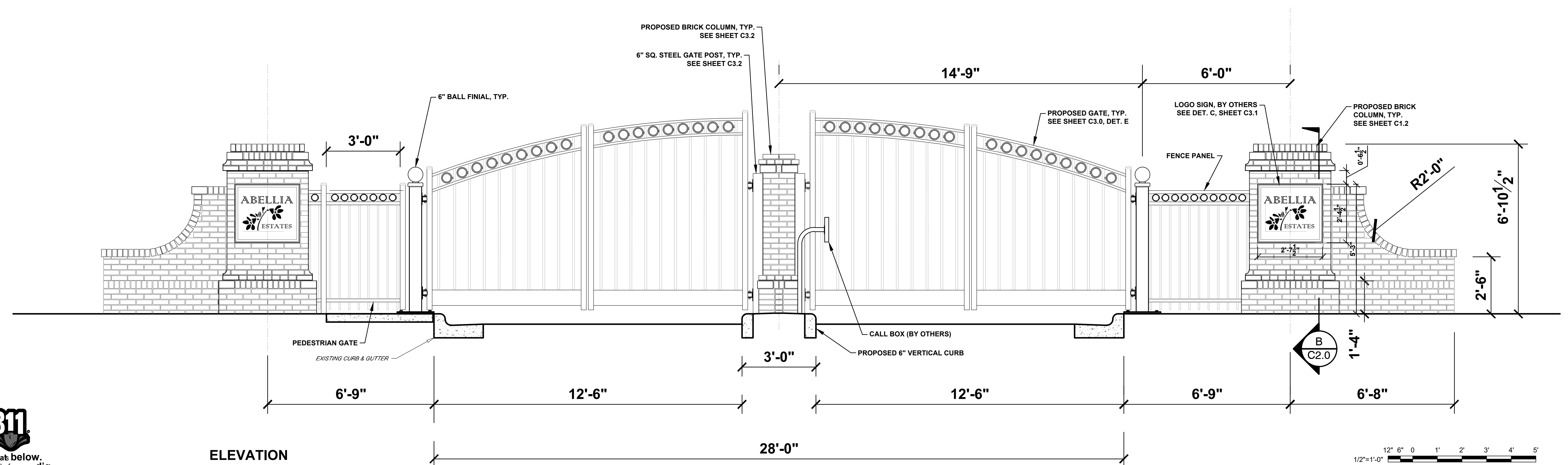
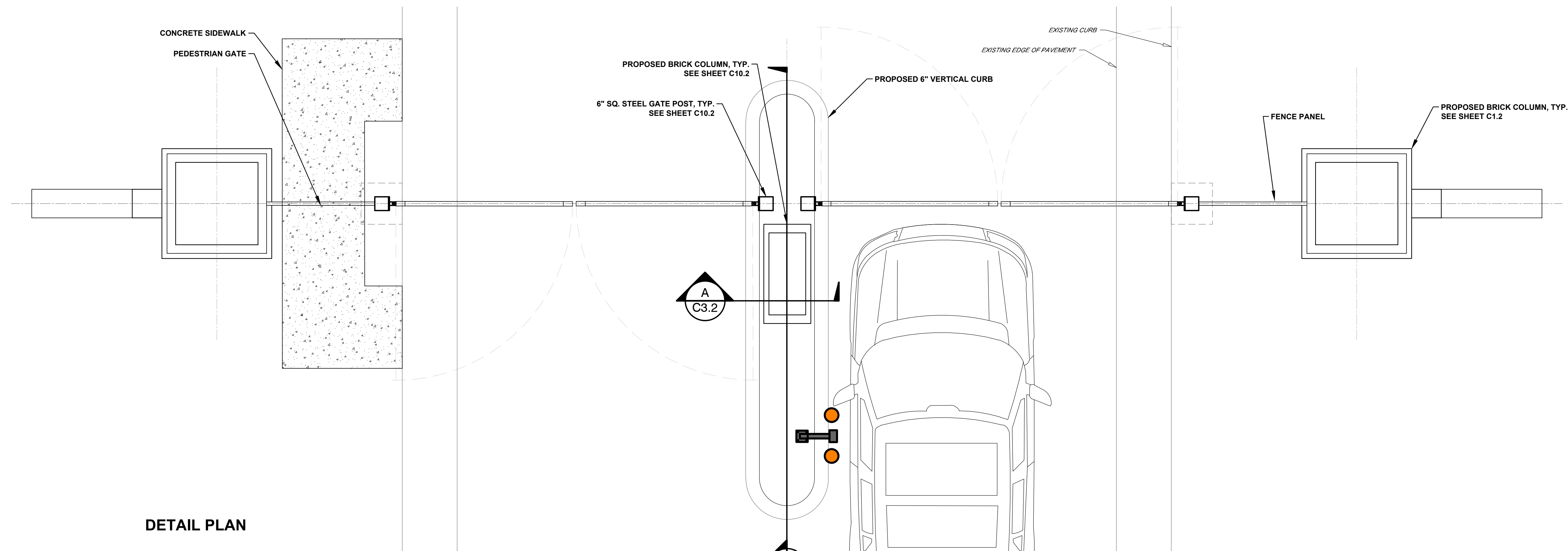
SCALE

HORIZONTAL:
1' = 5'

VERTICAL:
N/A

DRAWING NUMBER	N/A
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STATUS: **REVIEW DRAWINGS ONLY**
NOT FOR CONSTRUCTION



Know **what's below.**
Call before you **dig.**

[illegible]

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Charlotte, North Carolina 28227
Phone: (704) 841-2588, Fax: (704) 841-2567
NC License# F-1222

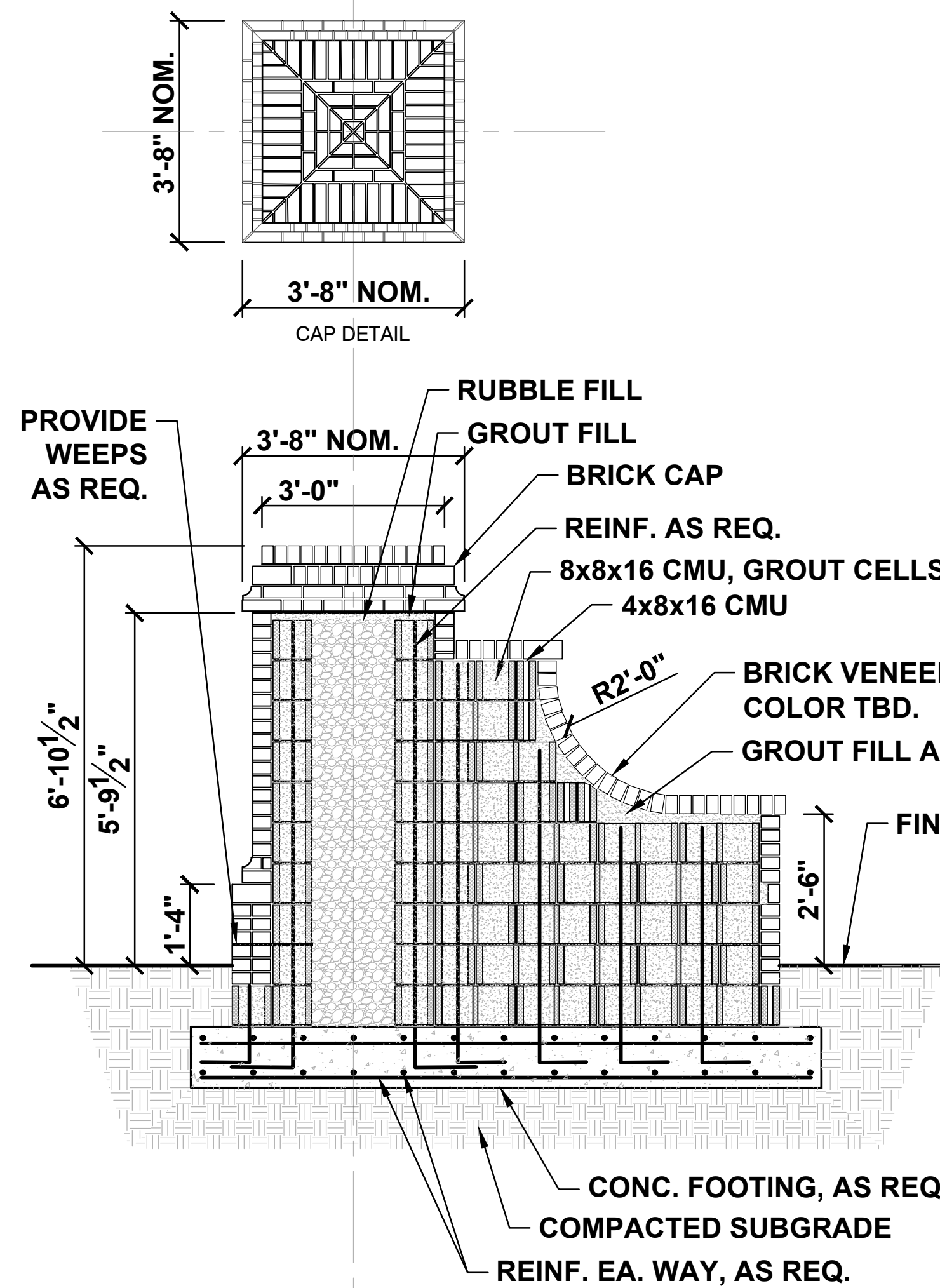
**ABELLIA ESTATES ENTRY GATE
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA**

FRONT ELEVATION

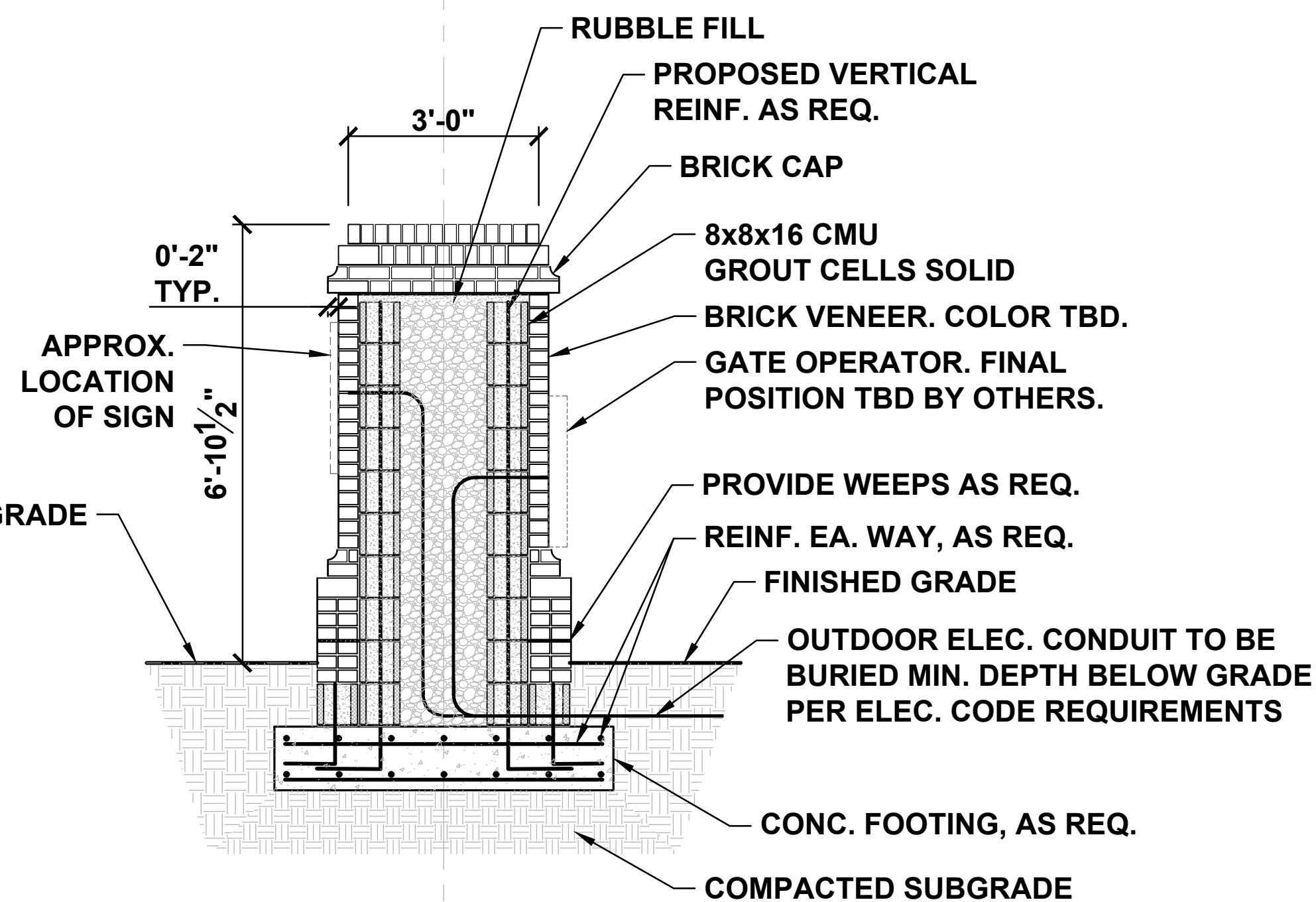
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DESIGNED	BBJ	1/2" = 1'-0"	
CHECKED		N/A	
PROJ. MGR.	BBJ		

STATUS:

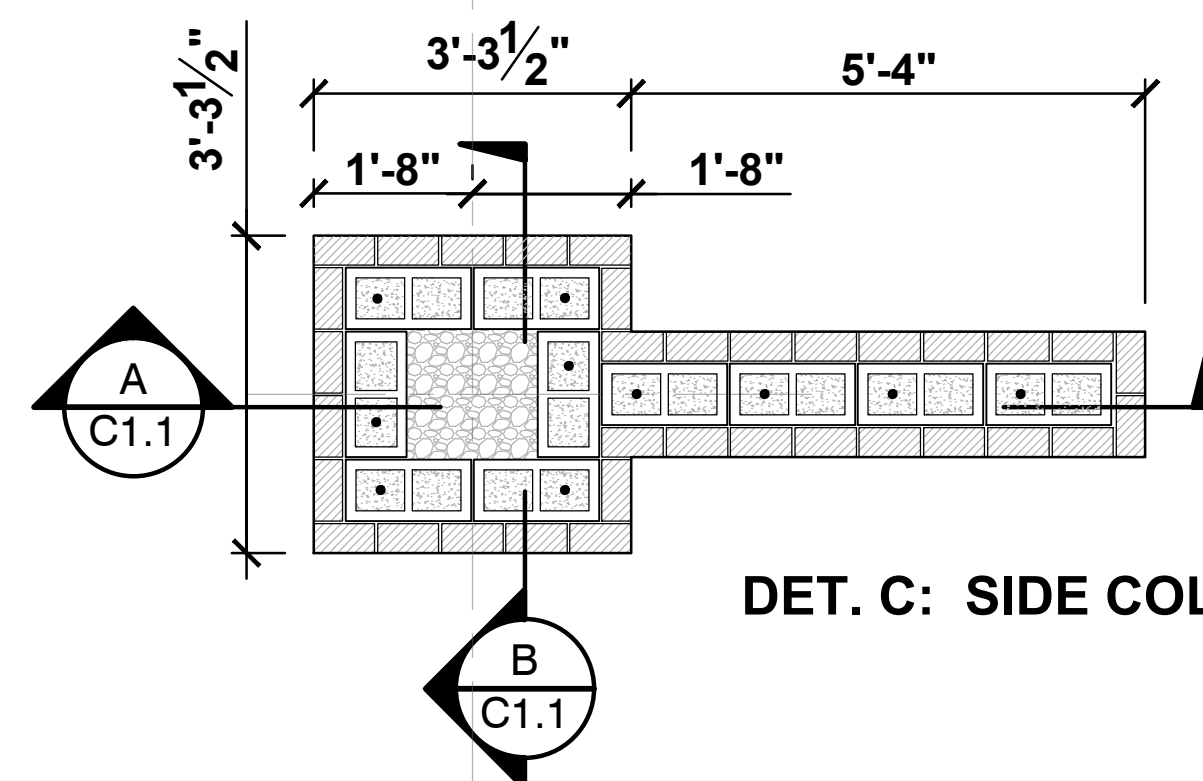
REVIEW DRAWINGS ONLY
NOT FOR CONSTRUCTION



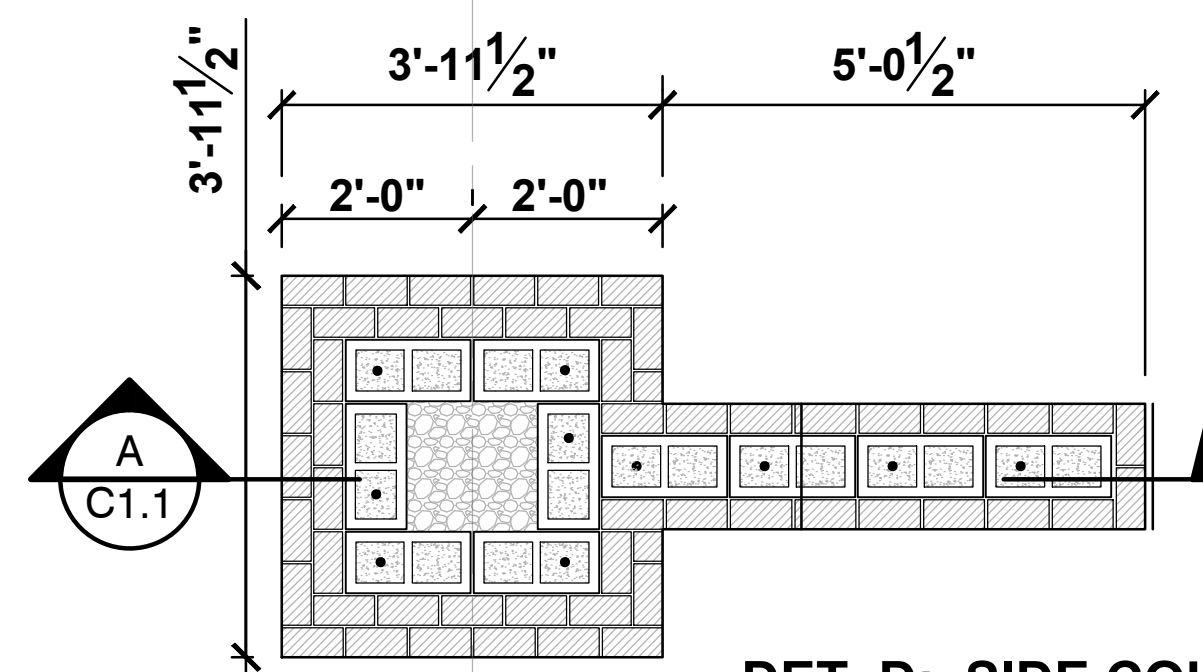
DET. A: SIDE COLUMN SECTION



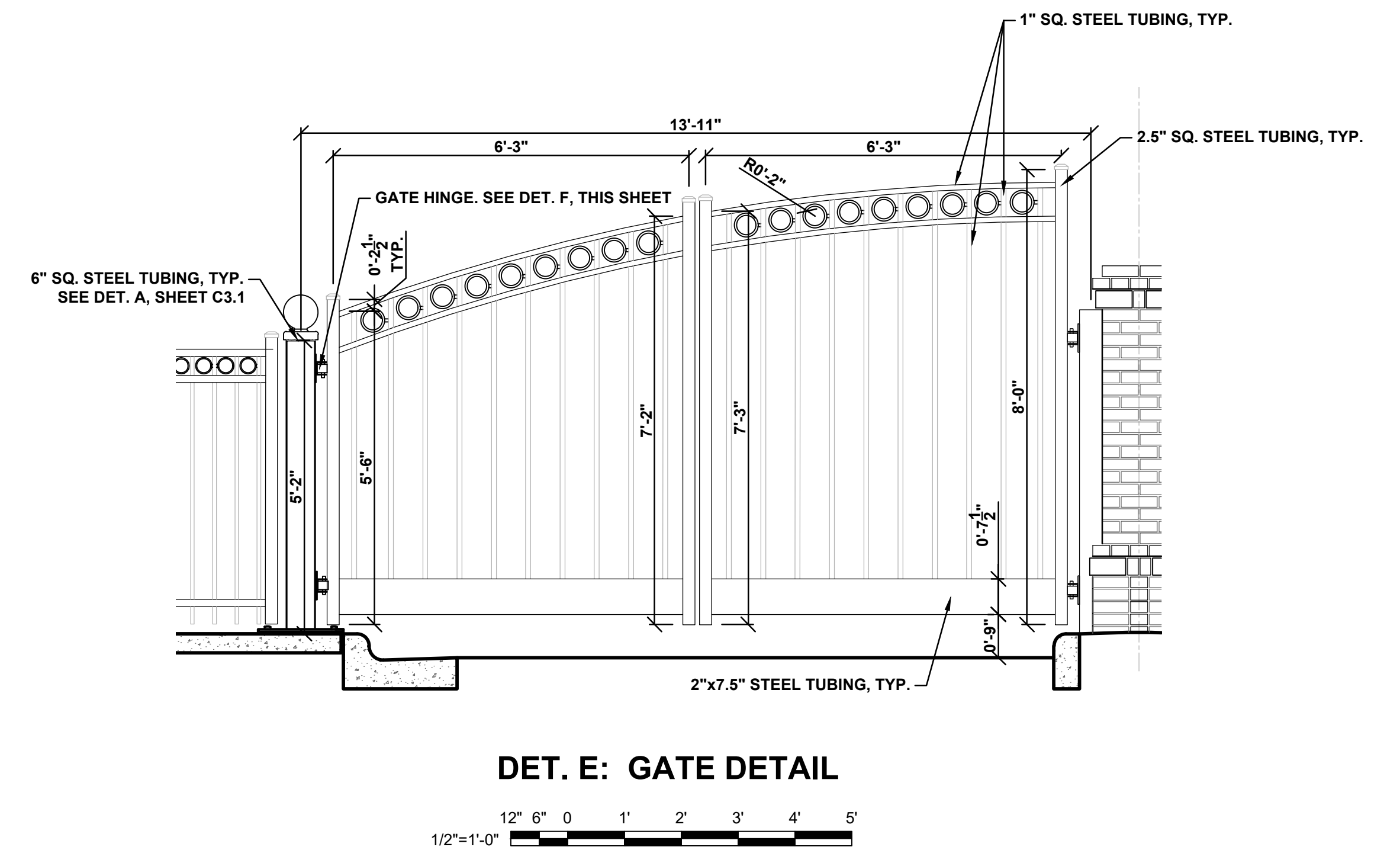
DET. B: SIDE COLUMN SECTION



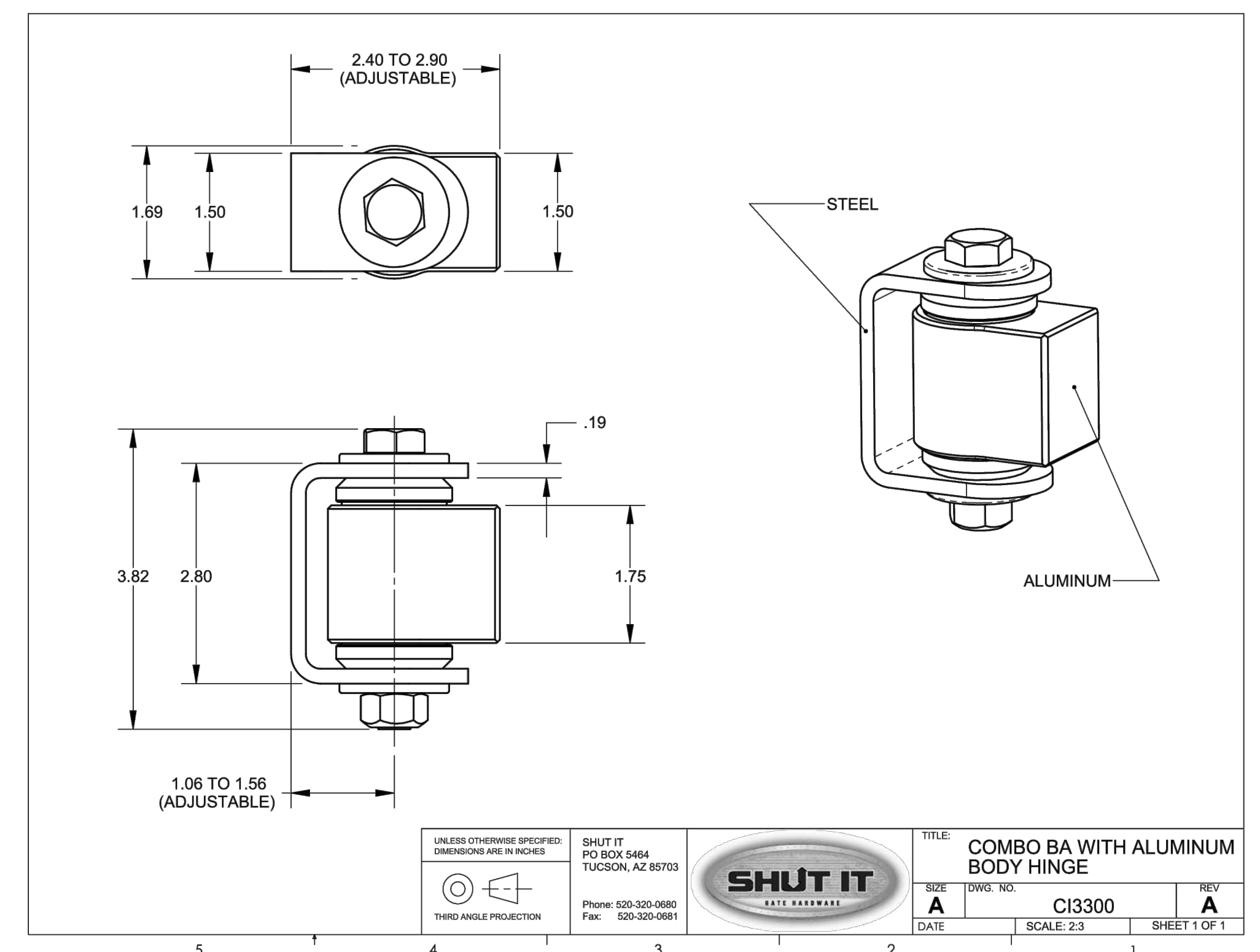
DET. C: SIDE COLUMN SECTION



DET. D: SIDE COLUMN SECTION



DET. E: GATE DETAIL



DET. F: GATE HINGE
SCALE: AS SHOWN

REV. NO.	DESCRIPTION	DATE
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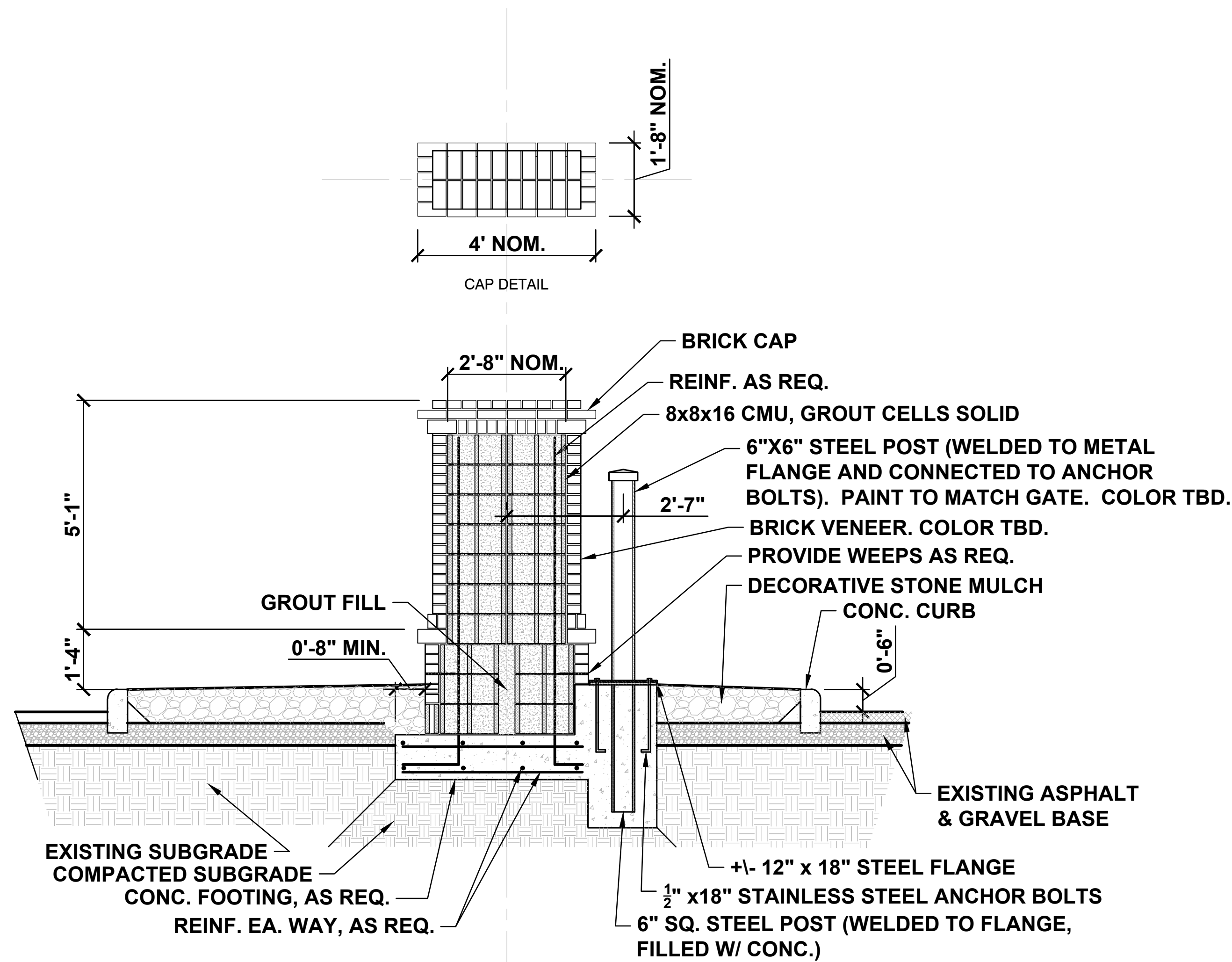
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ABELLIA ESTATES ENTRY GATE
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

SIDE COLUMN & GATE DETAILS

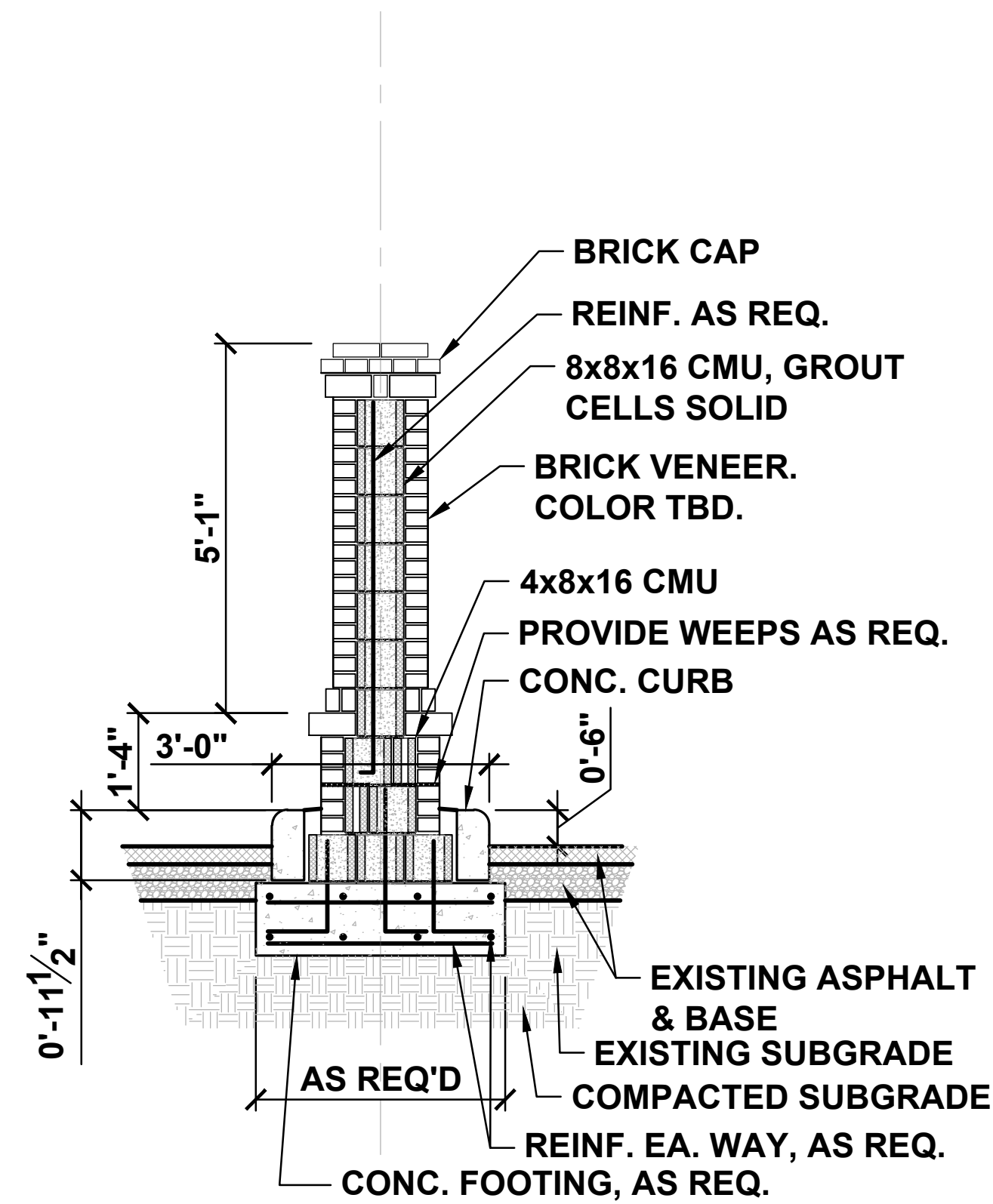
DATE: FEBRUARY 2025
MCE PROJ. # 09817-0001
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DESIGNED: BBJ
CHECKED: BBJ
PROJ. MGR: BBJ
STATUS: REVIEW DRAWINGS ONLY
NOT FOR CONSTRUCTION
SCALE: 1/2" = 1'-0"
DRAWING NUMBER: C3.0
REVISION: N/A



DET. A: CENTER COLUMN SECTION

12" 6" 0 1' 2' 3' 4' 5'

1/2"=1'-0"



DET. B: CENTER COLUMN SECTION

12" 6" 0 1' 2' 3' 4' 5'

1/2"=1'-0"



DET. C: SIGN DETAIL

12" 9" 6" 3" 0 1' 2'

1"=1'-0"



Know what below.
Call before you dig.

REV. NO.	DESCRIPTIONS REVISIONS	DATE

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ABELLIA ESTATES ENTRY GATE
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

CENTER COLUMN DETAILS

DATE: FEBRUARY 2025
MCE PROJ. # 09817-0001
DRAWN BBJ
DESIGNED BBJ
CHECKED BBJ
PROJ. MGR. BBJ

SCALE
HORIZONTAL: AS NOTED
VERTICAL: N/A

C3.1
DRAWING NUMBER
A
REVISION

STATUS: **REVIEW DRAWINGS ONLY
NOT FOR CONSTRUCTION**



MEMORANDUM

TO: Planning Board
FROM: Gregory Gordos, Town Planner
DATE: March 24, 2025
SUBJECT: Discussion and Possible Recommendation of Text Amendment 2025-04
Section D917A.G. Private Roads and Gatehouses and Section D918.I.
Screening and Landscaping

BACKGROUND:

In January of 2025 the Weddington Planning Board, as a part of a discussions regarding changes to the Unified Development Ordinance (“UDO”), recommended several text amendments to the Weddington Town Council. These text changes ranged from a comprehensive update to the Tree Protection portion of the UDO to a one sentence clarification on the jurisdiction of the North Carolina Department of Transportation and the town’s up-to-date adoption of their street design standards. All text amendments were adopted by the Town Council as recommended at their February 10, 2025 public hearings as Text Amendment 2025-01, 2025-02, and 2025-03.

In late February 2025 a Planning Board member contacted staff about the possible omission of changes agreed upon by consensus (but not within the text of the ordinance) during these Planning Board discussions.

For instance, it was agreed upon that *berms* should be reinstated in UDO Section D-917 A.O. Buffering (Text Amendment 2024-05), but *berms* are also referenced in another portion of the code, Section D-918-I. Screening and Landscaping. It is understood that the intent was to change the code in all relevant areas.

Text Amendment 2025-02 addressed cul-de-sacs and the gating of these roads, but gate maintenance is also mentioned in Section D917A.G. Private Roads and Gatehouses and this text was intended to be removed.

PROPOSAL:

To clerically amend Section D917A.G. Private Roads and Gatehouses and Section D918.I. Screening and Landscaping to reflect the previous consensus of this Planning Board and to clarify all intended text changes. Staff feels that these changes reflect the Board’s intention in previous discussions, but because they are found in UDO Sections not previously mentioned in the previous ordinances, we humbly ask to review this exact amendment for accuracy.

OUTLINE OF TEXT AMENDMENT:

The following sections of the UDO are proposed to be amended:

Section D-917A.

G: Private Roads and Gatehouses

3. *Neighborhoods which have an entrance gate are subject to the following regulations:*

a. *The homeowner's association will provide the access code to the gate and an emergency contact number to the fire department, the Union County Sheriff and other emergency services and will be responsible for maintenance, testing and repairs of all functions of the gate.*

~~b. *An annual inspection and test of the gate system shall be performed, and the results submitted to Town hall during the renewal window prescribed in the Town of Weddington Annual Enforcement Manual.*~~

~~c. *Should there be a problem with the operation of the entrance gate, the gate shall remain open and accessible until the gate is repaired and tested.*~~

~~d. *Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year round maintenance and to submit a copy of the service agreement to Town Hall.*~~

~~e.b.~~ *The maintenance and upkeep of any guardhouses or entry structures, and subdivision walls, fences, or berms located at the external periphery of the development, shall be the sole responsibility of the developer and/or any duly incorporated and active homeowners' association.*

Section D-918.

I: Screening and Landscaping

7. *Berms may be used as screening ~~(for non-residential uses only)~~, provided such berms are at least six feet in height with a maximum slope of 4:1, as measured from the exterior property line. Berms shall be stabilized to prevent erosion and landscaped. If a berm is constructed, shrubs are required but the number may be reduced by 25 percent. However, constructing a berm does not modify the number of trees required.*

Staff offers the modification above for the Town Council's consideration and approval, as recommended by the Planning Board. Staff had recommended no text amendment to the Board. For ease of reference, new text is referenced in red/underlined font, while deletions are referenced in ~~striketrough~~ font.

LAND USE PLAN CONSISTENCY:

State Statutes requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. Accordingly, staff provides the following Land Use Plan Consistency Statement for consideration:

The proposed amendments to the Unified Development Ordinance are found to be generally consistent with the adopted Land Use Plan (Plan). However, while these amendments do not further any specific Goal or Policy of the Plan, they also do not act contrary to any specific Goal or Policy of the Plan, nor would they prevent the administration and implementation of the Plan, or preclude the fulfilment of the community vision as set forth in the Plan. Additionally, the proposed amendments are found to be reasonable in that they continue to improve upon the organization of existing ordinances and provide additional clarity for staff, appointed and elected officials, and residents.

RECOMMENDATION:

Staff recommends approval of the proposed text amendment.

Attachments:

- Ordinance 2025-04



ORDINANCE NO. 2025-04

AN ORDINANCE OF THE TOWN OF WEDDINGTON, NORTH CAROLINA MAKING AMENDMENTS TO THE UNIFIED DEVELOPMENT ORDINANCE BY AMENDING ARTICLE 9, REGULATION OF PARTICULAR USES AND AREAS, SECTION D-917A, SPECIFIC REQUIREMENTS FOR ALL RESIDENTIAL DEVELOPMENT – REQUIRED IMPROVEMENTS, DEDICATION, RESERVATION, AND MINIMUM STANDARDS FOR RESIDENTIAL DEVELOPMENT (APPLICABLE TO BOTH TRADITIONAL RESIDENTIAL DEVELOPMENT AND CONSERVATION RESIDENTIAL DEVELOPMENT) SUBSECTION G. PRIVATE ROADS and SECTION D-918 GENERAL REQUIREMENTS SUBSECTION I SCREENING AND LANDSCAPING; CERTIFYING CONSISTENCY WITH THE TOWN'S LAND USE PLAN AND PROPER ADVERTISEMENT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Weddington adopted the Unified Development Ordinance on April 12, 2021 to comply with North Carolina General Statute 160D and to improve the organization of existing ordinances; and

WHEREAS, the adopted Unified Development Ordinance took effect on April 12, 2021; and

WHEREAS, the Town of Weddington desires for the Unified Development Ordinance to function effectively and equitably throughout the Town; and

WHEREAS, the Town of Weddington has determined where the Unified Development Ordinance needs clarification and revision; and

WHEREAS, the existing ordinance prescribes requirements or standards made moot by O-2025-02 and O-2024-5;

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WEDDINGTON, NORTH CAROLINA:

Section 1A. That Unified Development Ordinance, Article 9, Regulation of Particular Uses and Areas, Section D-917A. Specific Requirements for All Residential Development - Required Improvements, Dedication, Reservation and Minimum Standards for Residential Development (applicable to both Traditional Residential Development and Conservation Residential Development), Subsection G. Private Roads:

Section D-917A.

G: Private Roads and Gatehouses

3. Neighborhoods which have an entrance gate are subject to the following regulations:

a. The homeowner's association will provide the access code to the gate and an emergency contact number to the fire department, the Union County Sheriff and other emergency services and will be responsible for maintenance, testing and repairs of all functions of the gate.

~~b. An annual inspection and test of the gate system shall be performed, and the results submitted to Town hall during the renewal window prescribed in the Town of Weddington Annual Enforcement Manual.~~

~~c. Should there be a problem with the operation of the entrance gate, the gate shall remain open and accessible until the gate is repaired and tested.~~

~~d. Any homeowners' association that is found to be in violation shall be required to maintain a service agreement with a qualified contractor to ensure year round maintenance and to submit a copy of the service agreement to Town Hall.~~

~~e.b.~~ The maintenance and upkeep of any guardhouses or entry structures, and subdivision walls, fences, or berms located at the external periphery of the development, shall be the sole responsibility of the developer and/or any duly incorporated and active homeowners' association.

Section 1.B. That Unified Development Ordinance, Article 9, Regulation of Particular Uses and Areas, Section D-918. General Requirements., Subsection I. Screening and Landscaping

Section D-918.

I: Screening and Landscaping

7. Berms may be used as screening ~~(for non-residential uses only)~~, provided such berms are at least six feet in height with a maximum slope of 4:1, as measured from the exterior property line. Berms shall be stabilized to prevent erosion and landscaped. If a berm is constructed, shrubs are required but the number may be reduced by 25 percent. However, constructing a berm does not modify the number of trees required.

Section 2. Amendments to the Unified Development Ordinance of the Town of Weddington (as originally adopted by Ordinance No. 2025-04) are hereby adopted to read as set forth in this Ordinance.

Section 3. The Town of Weddington does hereby certify that the amendments contained herein, as well as the provisions of this Ordinance, are consistent with and in conformance with the Town's Land Use Plan.

Section 4. Should any part or provision of this Ordinance be declared by a court of competent jurisdiction to be invalid, the same shall not affect the validity of the Ordinance as a whole, or any part thereof other than the part declared to be invalid.

Section 5. Notice of the proposed enactment of this Ordinance has been properly advertised in a newspaper of general circulation in accordance with applicable law.

Section 6. This ordinance shall take effect immediately upon adoption.

PASSED ON FIRST AND FINAL
READING AND ADOPTED

Honorable Jim Bell
Mayor

Attest:

Karen Dewey
Town Administrator/Clerk