

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, JANUARY 13, 2020 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD WEDDINGTON, NC 28104
AGENDA**

Prayer – Chad Meers, Worship Director, Arborbrook Christian Academy

1. Open the Meeting
2. Pledge of Allegiance
3. Determination of Quorum
4. Additions, Deletions and/or Adoption of the Agenda
5. Mayor/Councilmember Reports
6. Public Comments
7. Public Safety Report
8. Consent Agenda
9. Approval of Minutes
 - A. December 9, 2019 Regular Town Council Meeting Minutes
 - B. December 19, 2019 Special Town Council Meeting Minutes
10. Public Hearing
 - A. Discussion and Consideration of a text amendment to Section 58.606 (e) of Article 14 Soil Erosion and Sediment Control.
11. Old Business
 - A. Discussion and Consideration of the Wesley Chapel Volunteer Fire Department Construction Documents for the station located at Rea Road and Reid Dairy Road.
 - B. Discussion and Consideration of the contract for repairs to the Wesley Chapel Volunteer Fire Department Hemby Road fire station
12. New Business
 - A. Discussion and Call for a Public Hearing for text amendments to Chapter 38 Article 22 Section 38-23 Planning Board Powers and Duties, Generally- to establish Stormwater Review Board duties and to add Stormwater administration duties to the Erosion and Sediment Control Ordinance.
 - B. Discussion events in partnership with the Weddington Community Center.
13. Update from Town Planner
14. Code Enforcement Report
15. Update from Finance Officer and Tax Collector
16. Transportation Report
17. Council Comments
18. Adjournment



Union County Sheriff's Office
Events By Nature

Date of Report

1/1/2020
9:07:15AM

For the Month of: December 2019

<u>Event Type</u>	<u>Total</u>
911 HANG UP	94
911 TO TEXT NO ADDRESS	1
ABANDONED VEHICLE	2
ACCIDENT EMD	4
ACCIDENT HITRUN PD LAW	1
ACCIDENT PD COUNTY NO EMD	32
ALARMS LAW	69
ANIMAL BITE FOLLOW UP	2
ANIMAL BITE REPORT LAW	3
ANIMAL COMP SERVICE CALL LAW	9
ASSAULT	1
ASSIST EMS OR FIRE	2
ASSIST OTHER AGENCY LAW	1
BOLO	2
BURGLARY VEHICLE	6
BUSINESS CHECK	64
CARDIAC RESPIRATORY ARREST EMD	1
CARELESS AND RECKLESS	10
DISTURBANCE OR NUISANCE	5
DOMESTIC DISTURBANCE	2
ESCORT	2
FIGHT	1
FOLLOW UP INVESTIGATION	7
FOOT PATROL	2
FRAUD DECEPTION FORGERY	6
FUNERAL ESCORT	3
HARASSMENT STALKING THREATS	2
ILLEGAL DUMPING LITTERING	1

<u>Event Type</u>	<u>Total</u>
INTOXICATED DRIVER	5
INVESTIGATION	3
JURISDICTION CONFIRMATION LAW	8
LARCENY THEFT	2
MENTAL DISORDER	1
MOTORIST ASSIST	5
NOISE COMPLAINT	4
OFFICER INV ACCIDENT	1
POISONING EMD	1
PREVENTATIVE PATROL	846
PROP DAMAGE VANDALISM MISCHIEF	4
PUBLIC SERVICE	3
RADAR PATROL INCLUDING TRAINIG	11
REFERAL OR INFORMATION CALL	9
RESIDENTIAL CHECK	12
ROLLOVER ACCIDENT EMD	1
SERVE CRIMINAL CIVIL SUBPOENA	3
SERVE CRIMINAL SUMMONS	1
SERVE WARRANT	4
SHOTS FIRED	1
STRUCTURE FIRE EFD	1
SUICIDE THREAT OR ATTEMPT	4
SUSPICIOUS CIRCUMSTANCES	1
SUSPICIOUS PERSON	4
SUSPICIOUS VEHICLE	16
TEST PLEASE LIMIT THESE	1
TRAFFIC DIRECT CONTROL	1
TRAFFIC HAZARD	9
TRAFFIC STOP	108
TRESPASSING	3
WELL BEING CHECK	1

Event Type

Total

Total Calls for Month:

1,409

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, DECEMBER 9, 2019 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
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Prayer – Matt Simpkins, Pastor, Christ Lutheran Church-South

1. Open the Meeting

Mayor Callis called the meeting to order at 7:03 p.m.

2. Pledge of Allegiance

Mayor Callis led the Pledge of Allegiance.

3. Determination of Quorum

Quorum was determined with Mayor Elizabeth Callis, Mayor Pro Tem Janice Propst, Councilmembers Mike Smith and Jeff Perryman present. Councilmember Scott Buzzard was absent.

Staff present: Town Administrator/Planner Lisa Thompson, Town Clerk Karen Dewey, Finance Officer Leslie Gaylord, Town Attorney Karen Wolter

Visitors: Anne Marie Smith, Walt Hogan, Sam McNeil Jr, Sam McNeil, Rev. Matt Simpkins, Ted Watson, Treena Watson, Dwane Dixson, Wayne King, Kay King, Sharon Sanders, Mark Knowles, Steve Godfrey, Trista Jorges, Brian O’Connell, Bill Deter, Dan Barry, Hughie, Sexton, Jim Fahy, Auditya Jampani, Tim Wescott, Joanne Wescott, Tony Piciuccio, Laurie Piciuccio, Andrew Moore, Julie Moore, Nancy Anderson

4. Additions, Deletions and/or Adoption of the Agenda

Motion: Mayor Pro Tem Propst made a motion to adopt the agenda as presented.
Vote: The motion passed with a unanimous vote.

5. Mayor/Councilmember Reports

Mayor Callis commented on the outstanding singing and entertainment at the Christmas tree lighting. She thanked Ms. Lib Propst and the many volunteers from Weddington High School, the JROTC unit, Boy Scout Troop 39, and the many residents who stayed to help clean up. Mayor Callis also wanted to acknowledge the previously elected officials that are present at this meeting and recognize them and their service to the community: Former Mayors Ed Howie, Nancy Anderson, and Bill Deter, and former Councilmembers Dan Barry and Hughie Sexton.

Janice Propst also thanked the volunteers at the tree lighting, and the visiting Santa and the Weddington High School Carousel Queen. She thanked staff for decorating Town Hall and all they did to make the tree lighting a success.

Jeff Perryman commented that Weddington was recently recognized as the top suburb in the state. He stated that the former officials can take a lot of pride in that as a result of their work for our community.

6. Public Comments

Sharon Sanders: Thanked the town for the food truck events and commented on continuing their success in the coming year.

Bill Deter: Thanked everyone for giving their time, talent, and efforts in support of Weddington. He thanked all the candidates, all the elected officials, and all those who have served in the past for volunteering their time to make Weddington great.

7. Public Safety Report

Deputy Joseph Kropp gave the Public Safety Report: the incidence of car burglaries has increased. The Sheriff's office asks all residents to be vigilant. If you see something, call UCSO. Remember to lock your doors.

8. Approval of Minutes

A. November 12, 2019 Regular Town Council Meeting Minutes

Motion: Councilmember Smith made a motion to approve the November 12, 2019 Regular Town Council Meeting Minutes as presented.

Vote: The motion passed with a unanimous vote.

9. Acceptance of the Union County Board of Elections Official Results for the Municipal Election November 5, 2019

Motion: Mayor Pro Tem Propst made a motion to accept the Union County Board of Elections Official Results for the November 5, 2019 Municipal Election.

Vote: The motion passed with a unanimous vote.

10. Special Recognition

A. Councilmember Scott Buzzard – District 2

Mayor Callis gave special recognition to Councilmember Scott Buzzard for his years of service to the Town of Weddington.

11. Oath of Office

Mayor Callis introduced North Carolina Representative District 68 Craig Horn to administer the oaths of office.

A. Oath of Office for Mayor Elizabeth Callis

Representative Horn administered the Oath of Office to Mayor Elizabeth Callis

B. Oath of Office for Councilmember Janice Propst

Representative Horn administered the Oath of Office to Councilmember Janice Propst.

C. Oath of Office for Councilmember Anne Pruitt

Representative Horn administered the Oath of Office to Councilmember Anne Pruitt.

Mayor Callis called for a recess at 7:23 p.m.

Mayor Callis called the meeting back to order at 7:34 p.m.

12. Determination of Quorum

Quorum was determined with all Councilmembers present: Mayor Elizabeth Callis, Councilmembers Janice Propst, Anne Pruitt, Jeff Perryman, and Mike Smith.

13. Consent Agenda

- A. Adoption of the 2020 Council Regular Meeting Schedule**
- B. Adoption of the 2020 Town Hall Holiday Schedule**
- C. Call for Public Hearing to be held January 13, 2020 at 7 p.m. at Weddington Town Hall for Consideration of a text amendment to Section 58.606(e) of Article 14 Soil Erosion and Sediment Control**
- D. Approve Resolution R2019-07 Withdrawing Membership from Centralina Council of Governments**
- E. Release of Bond Number 0192529 in the amount of \$1,920,339.00 for Weddington Preserve**

Motion: Councilmember Smith made a motion to approve the consent agenda as presented.

Vote: The motion passed with a unanimous vote

14. Appointments

A. Appointment of Mayor Pro Tempore

Mayor Callis nominated Councilmember Janice Propst for Mayor Pro Tempore

Motion: Councilmember Smith made a motion to appoint Councilmember Janice Propst as Mayor Pro Tempore

Vote: The motion passed with a unanimous vote.

B. Appointment of Delegate and Alternate to the CRTPO

Mayor Callis appointed herself as Delegate to the CRTPO and Councilmember Pruitt as Alternate. The Council agreed.

C. Appointment of Delegate and Alternate to the CCOG

Mayor Callis appointed Councilmember Perryman as Delegate to the CCOG and Councilmember Propst as Alternate for the remainder of the membership.

Motion: Councilmember Smith made a motion to appoint Councilmember Perryman as Delegate and Mayor Pro Tem Propst as Alternate to the Centralina Council of Governments for the remainder of the membership.

Vote: The motion passed with a unanimous vote.

D. Appointment of Council Members responsible for opening and reviewing bank statements

Motion: Councilmember Smith made a motion to appoint Councilmember Pruitt responsible for opening bank statements and Councilmember Perryman responsible for reviewing bank statements.

Vote: The motion passed with a unanimous vote.

E. Appointment of Council Member as check signatory and back up signatory

Motion: Councilmember Perryman made a motion to appoint Mayor Callis as check signatory and Mayor Pro Tem Propst as back up signatory

Vote: The motion passed with a unanimous vote.

15. Old Business

A. Discussion and Consideration of Approval of Preschool Use within Existing Single-Family Home at Christ Lutheran South

Ms. Thompson presented the staff report: Staff received a change of use permit for a special needs preschool at property located at 305 Reid Dairy Road, purchased by Christ Lutheran Church for the utilization of church and ancillary uses. The property was rezoned on October 8, 2018. One of the conditions for approval was that any preschool use would need Town Council approval and a new TIA assessment. The school will not add any additional square footage to the property. The hours of operation are Monday through Thursday 9:00 a.m. to 12:30 p.m. Each day the school will have 20 students, 4 teachers and 1 director. The current driveway provides parking for parents and teachers.

Staff recommends approval of the preschool use with a maximum number of 20 students and with the hours of operation four days a week with no more than four hours per day.

Motion: Councilmember Smith made a motion to approve a preschool use within existing single-family home at Christ Lutheran South with the conditions that there will be a maximum number of 20 students and the hours of operation as four days a week and no more than four hours per day.

The Applicant agreed that if there are any changes to the listed conditions, a change of use permit would be brought back to Council.

Vote: The motion passed with a unanimous vote.

16. New Business

A. Discussion and Consideration of FY 2019-2020 Budget Amendment

Ms. Gaylord presented the budget amendment. It includes the revenue from the shopping center easement agreement and appropriating money for repairs to the fire station. There was a Fund balance appropriation to pay for the Tilley Morris roundabout repairs. The roundabout will not be constructed this year, so that money has been pulled from current year expenditures.

Motion: Councilmember Perryman made a motion to approve the FY 2019-2020 Budget Amendment

Vote: The motion passed with a unanimous vote.

17. Update from Town Planner

Ms. Thompson presented the update: The Planning Board meeting is next week because of the holiday. The retreat date will be Friday, February 7 and staff is looking for locations. Ms. Thompson expressed her thanks to Councilmember Buzzard for his years of service and she congratulated Councilmember Pruitt on her election to the Council and Mayor Callis and Councilmember Propst for their reelection to the Council.

18. Code Enforcement Report

No discussion

19. Update from Finance Officer and Tax Collector

Ms. Gaylord presented the update: the monthly financial statements are in the packets. The audited financial statements have been submitted to the Local Government Commission. The auditors will probably present their findings in February.

20. Transportation Report

No report

21. Council Comments

Councilmember Perryman: For an update, I reached out to the National Safety Council for the defensive driving class and left a message. I have not heard back yet, probably because of the holidays and things are busy. As soon as I have something concrete on the time that they are available, I will let Council know and we can get that set up.

Councilmember Smith: I just want to congratulate Liz and Janice on your reelections and welcome Anne. I look forward to working with you this next term. Thank you all for coming and I wish everybody a Merry Christmas.

Councilmember Pruitt: I just want to let everybody know, thank you so much for your support and I am looking forward to the next four years and serving the folks of Weddington. Thank you.

Mayor Pro Tem Propst: I can't add too much. Thank you all for coming tonight. I appreciate everyone that has come tonight to support us and taking the time out of your day, it means a lot to us to see you here and have family and friends that have stuck through the whole election process. It was a lot of fun. So, thank you.

Mayor Callis: Same as what Janice and everybody else said. We appreciate all the support. It is often a thankless job, but just know that everyone of us up here has our heart in the right place and care tremendously about this town and the welfare of this town. Agreeing with each other or not or being able to do what everybody wants us to do or not, is not for lack of wanting to do it. It's sometimes just a lack of

ability to do it. Just know that our hearts are in the right place Just doing everything we can to protect and keep this town great. So, thank you all for coming.

22. Adjournment

Motion: Councilmember Perryman made a motion to adjourn the December 9, 2019 Regular Town Council Meeting at 7:47 p.m.

Vote: The motion passed with a unanimous vote.

Approved: _____

Elizabeth Callis, Mayor

Karen Dewey, Town Clerk

DRAFT

**TOWN OF WEDDINGTON
SPECIAL TOWN COUNCIL MEETING
THURSDAY, DECEMBER 19, 2019 - 12 NOON
WESLEY CHAPEL VOLUNTEER FIRE DEPARTMENT
5025 HEMBY ROAD
MINUTES
PAGE 1 OF 1**

1. Open the Meeting

Mayor Callis called the meeting to order at 12:01 p.m.

2. Adoption of Agenda

Mayor Pro Tem Propst made a motion to adopt the agenda as presented.
The motion passed with a unanimous vote.

3. Determination of Quorum

Quorum was determined with Mayor Elizabeth Callis, Mayor Pro Tem Janice Propst, Councilmembers Anne Pruitt and Mike Smith present. Councilmember Perryman was absent.

Staff present: Town Administrator/Planner Lisa Thompson, Town Clerk Karen Dewey

Visitors: Trevor Smith, Walt Hogan, Elton Hardy

4. Discussion of Repairs needed at Wesley Chapel Volunteer Fire Department at 5025 Hemby Road

Ms. Thompson introduced Wesley Croskrey, the contractor who provided the estimates for the repairs. The Council toured the fire station and inspected damage. They reviewed the scope of work and options for repairs and upgrades.

5. Adjournment

Mayor Pro Tem Propst made a motion to adjourn the December 19, 2019 Special Town Council meeting at 12:55 p.m.

The motion passed with a unanimous vote.

Adopted: _____

Elizabeth Callis, Mayor

Karen Dewey, Town Clerk

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: January 13, 2020

SUBJECT: Text Amendments to the Soil Erosion and Sedimentation Control Ordinance

The Town received conditional approval for delegation from the State Sediment and Erosion Control Commission on November 4, 2019. The requirement for plans to be reviewed by the Union County Soil and Water Conservation District were removed but a correlating section regarding their plan review was erroneously left in the document. This text amendment removes that section. In addition, a section was added to delegate staff to administer the ordinance.

Upon the ordinance approval by the Town, the State will sign off on the Memorandum of Understanding in January.

The Planning Board reviewed the text on November 25, 2019 and unanimously recommended approval.

Because this is an amendment to the zoning section of our ordinances the town is required to approve a statement of Land Use Plan Consistency. A draft statement has been provided below:

The text amendment is consistent with the town land use plan in that it helps the town manage natural resources. It maintains standards for development on steep slopes to reduce environmental impacts and hazards to residents. It is reasonable to regulate land-disturbing activity to control accelerated erosion and sedimentation in order to prevent the pollution of water and other damage to lakes, watercourses, and other public and private property by sedimentation

Staff recommends approval of the drafted Land Use Plan Consistency statement and the text amendment for the Soil Erosion and Sedimentation Control Ordinance.

ORDINANCE NO. 2019-06

AN ORDINANCE TO PROVIDE FOR THE CONTROL OF SOIL EROSION AND SEDIMENTATION. ~~THIS ORDINANCE SUPERCEDES PREVIOUS ORDINANCE 2019-05 APPROVED BY UNANIMOUS VOTE OF THE WEDDINGTON TOWN COUNCIL ON OCTOBER 14, 2019.~~

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Weddington, hereby adopts the following ordinance.

58.601 Title

This ordinance may be cited as the Weddington Soil Erosion and Sedimentation Control Ordinance.

58.602 Purpose

This ordinance is adopted for the purposes of:

- (a) regulating certain land-disturbing activity to control accelerated erosion and sedimentation in order to prevent the pollution of water and other damage to lakes, watercourses, and other public and private property by sedimentation; and
- (b) establishing procedures through which these purposes can be fulfilled.

58.603 Stormwater Administer

The town council shall appoint a stormwater administrator to administer the provisions of this chapter and to undertake other duties as provided for under this chapter.

58.604 Definitions

As used in this ordinance, unless the context clearly indicates otherwise, the following definitions apply:

- (a) Accelerated Erosion - means any increase over the rate of natural erosion as a result of land-disturbing activity.
- (b) Act - means the North Carolina Sedimentation Pollution Control Act of 1973 and all rules and orders adopted pursuant to it as amended from time to time.

North Carolina agent must be designated in the statement for the purpose of receiving notice of compliance or non-compliance with the Plan, the Act, this ordinance, or rules or orders adopted or issued pursuant to this ordinance. Except as provided in subsections (b1) or (j) of this section, if the applicant is not the owner of the land to be disturbed, the draft erosion and sedimentation control plan must include the owner's written consent for the applicant to submit a draft erosion and sedimentation control plan and to conduct the anticipated land-disturbing activity.

- (b1) If the applicant is not the owner of the land to be disturbed and the anticipated land-disturbing activity involves the construction of utility lines for the provision of water, sewer, gas, telecommunications, or electrical service, the draft erosion and sedimentation control plan may be submitted without the written consent of the owner of the land, so long as the owner of the land has been provided prior notice of the project.
- (c) Environmental Policy Act Document. Any Plan submitted for a land-disturbing activity for which an environmental document is required by the North Carolina Environment Policy Act (G.S. 113A-1, et seq.) shall be deemed incomplete until a complete environmental document is available for review. The Town of Weddington shall promptly notify the person submitting the Plan that the 30-day time limit for review of the Plan pursuant to this ordinance shall not begin until a complete environmental document is available for review.
- (d) Content. The Plan required by this section shall contain architectural or engineering drawings, maps, assumptions, calculations, and narrative statements as needed to adequately describe the proposed development of the tract and the measures planned to comply with the requirements of this ordinance. Plan content may vary to meet the needs of specific site requirements. Detailed guidelines for Plan preparation may be obtained from the Town of Weddington on request.
- ~~(e) Soil and Water Conservation District Comments. The District shall review the Plan and submit any comments and recommendations to Town of Weddington within 20 days after the District received the Plan, or within any shorter period of time as may be agreed upon by the District and the Town of Weddington. Failure of the District to submit its comments and recommendations within 20 days or within any agreed upon shorter period of time shall not delay final action on the Plan.~~
- ⊕ (e) Timeline for Decisions on Plans. The Town of Weddington will review each complete Plan submitted and within 30 days of receipt thereof will notify the person submitting the Plan that it has been approved, approved with modifications, or disapproved. Failure to approve, approve with modifications, or

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TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: January 13, 2020

SUBJECT: Wesley Chapel VFD Station Construction Plan Review

Weddington Code of Ordinances Section 58-271(i) requires building schematics, landscape plans and the signage proportion of the construction drawings be approved by the Design Review Board (DRB). The function of the DRB shall be performed by the Planning Board. Attached please find the entrance sign, landscaping plan, and elevation documents for the proposed Wesley Chapel Volunteer Fire Department located at the northeast corner of Rea Rd. and Reid Dairy Rd.

Sign Plan

The freestanding ground sign will be located at the entrance, perpendicular to Reid Dairy Rd. The specifications for the monument sign are as follows:

- Sign face total area is approximately 17.11 square feet and will not exceed 20 square feet. The stone monument will be larger as Code allows.
- The maximum height of monument is 7'. They are proposing 4'.
- The monument is clear of the site triangle, 5' from edge of pavement and out of State right-of-way.
- The applicant proposes a masonry veneer with cast stone coping and the sign copy will surrounded by heavy timber stain to match the building

Landscaping Plan

The applicant is proposing plants and shrubs as depicted on Sheet L100 with details on L101. The required buffer is 18'; however, the applicant is proposing a privacy fence that allows the buffer to be reduced by 20%. The buffer shown is 14.5'. The fence is 6' in height which is the required minimum height.

Four trees and 20 shrubs are required per 100 linear feet. 40% of the trees shall be large mature trees however most of the buffer is within 18' of overhead power lines. The ordinance specifies only shrubs with a mature height less than 20' shall be within 18'. Staff will work with the Union Power arborist to see if there are any trees acceptable to be planted in these areas. Staff is seeking an exception to our tree buffer requirement if there is no alternative.

Off-street parking, loading facilities and dumpsters shall be screened. Dwarf hollies are proposed around the front parking area and generator pad; a 6' masonry wall surrounded by savannah hollies are proposed around the dumpster.

Elevations

The architectural design standards are regulated in Section 14 of the Weddington Code of Ordinances. This Section applies to all nonresidential buildings.

The elevations depict a fiber cement siding, with a 4- 9' stone veneer and capstone. The roof is a 6"/12" gable roof with asphalt shingles. All rooftop utilities are concealed.

The elevations meet the overall design and appearance standards given the scale of the building, roofline, windows and landscaping along the front façade to prevent massing, and high-quality materials.

Planning Board Review

The Planning Board reviewed the plans on November 21, 2019. The Board unanimously recommended approval of the plans with the condition that the buffer and street trees be reviewed by Union Power arborist to find an acceptable alternative to the requirement.

Staff Recommendation

Staff recommends approval of the signage plan, landscape plan and elevations with the condition that the buffer and street trees be reviewed by the Union Power arborist to find an acceptable alternative to the requirement.

WESLEY CHAPEL VOLUNTEER FIRE DEPARTMENT STATION NO. 44

Weddington, North Carolina

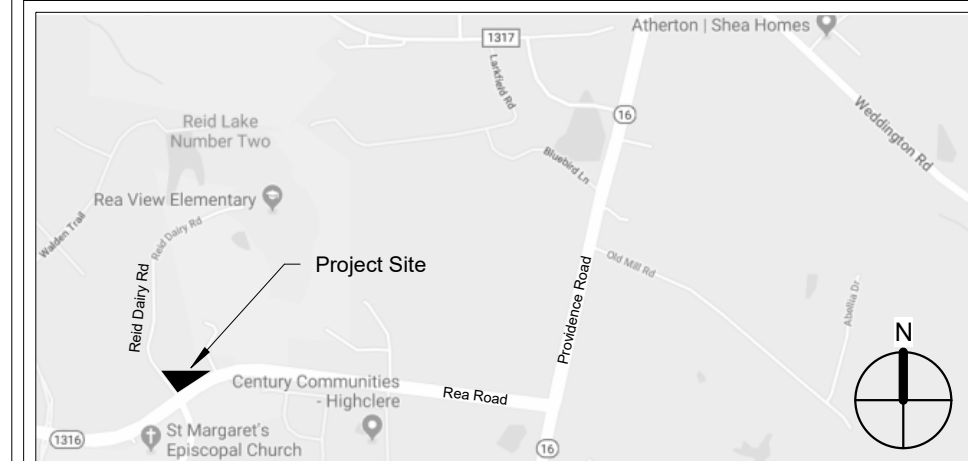
ARCHITECTURAL ABBREVIATIONS

<p>A ABOVE</p> <p>AFV ABOVE FINISHED FLOOR</p> <p>AFP ACCESS PANEL</p> <p>ADU ADJUSTABLE</p> <p>ADM ADMINISTRATIVE</p> <p>ADJ ADJUSTABLE</p> <p>AGG AGGREGATE</p> <p>AIR AIR CONDITIONING</p> <p>AHU AIR HANDLING UNIT</p> <p>ALT ALTERNATE</p> <p>ALST ALUMINUM STOREFRONT</p> <p>ALUM ALUMINUM</p> <p>A.M.P. AMPERES</p> <p>AB ANCHOR BOLT</p> <p>ANCO ANCOURED</p> <p>APPROX APPROXIMATELY</p> <p>ARCH ARCHITECTURAL</p> <p>AIN ARCHITECTURAL IRONWORK INSTITUTE</p> <p>ASSY ASSEMBLY</p> <p>AT AT</p> <p>ATS AUTOMATIC TRANSFER SWITCH</p> <p>AUX AUXILIARY</p> <p>B BEAM</p> <p>BM BLOCK</p> <p>BKG BLOCKING</p> <p>BD BOARD</p> <p>BDL BOLLARD</p> <p>B BTM BOTTOM</p> <p>BOS BOTTOM OF STEEL</p> <p>BTU BRITISH THERMAL UNIT</p> <p>BRZ BRONZE</p> <p>BLDG BUILDING</p> <p>BO BY OWNER</p> <p>C CABINET</p> <p>CAN CARD READER</p>	<p>CPT CARPET TILE</p> <p>CFM CUBIC FEET PER MINUTE</p> <p>CLG CEILING</p> <p>CSB CEMENTITIOUS BACKER BOARD</p> <p>CWP CEMENTITIOUS WOOD FIBER PLANK</p> <p>CT CERAMIC TILE</p> <p>CTE CENTIGRADE</p> <p>CHB CHALHUBARD</p> <p>CLR CLEAR</p> <p>CLO CLOSET</p> <p>CH COAT HOOK</p> <p>CMF COLOR-FORMED METAL FRAMING</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CONV CONVEYOR</p> <p>CONST CONSTRUCTION</p> <p>CONT CONTINUOUS</p> <p>CONTJ CONTROL JOINT</p> <p>CS CORNER STRIP</p> <p>CSB CORNER GUARD</p> <p>CSB CORNER</p> <p>CRS CURS</p> <p>CTK CURTAIN TRACK</p> <p>CUST CUSTOM</p> <p>D DAMPPROOFING</p> <p>DEF DETAIL</p> <p>DTL DETAIL</p> <p>DWG DIAGRAM</p> <p>DA DIAMETER</p> <p>DLG DOUBLE</p> <p>DISP DISPENSER</p> <p>DIV DIVISION</p> <p>DR DOOR</p> <p>DRS DOUBLE</p> <p>DN DOWN</p>	<p>DWS DOWNSPOUT</p> <p>DWR DRAWER</p> <p>DWG DRAWING</p> <p>EA EACH</p> <p>EACH EACH WAY</p> <p>EWC ELECTRIC WATER COOLER</p> <p>ELECT ELECTRICAL</p> <p>EQ EQUAL</p> <p>ELEV ELEVATION</p> <p>EQM EQUIPMENT</p> <p>ETG ETGETERA</p> <p>EXH EXHAUST</p> <p>EXH EXHAUST FAN</p> <p>EX EXISTING</p> <p>EXGR EXISTING GRADE</p> <p>EXP EXPANSION</p> <p>EXP EXPANSION JOINT</p> <p>EXD EXPANDED</p> <p>EXT EXTERIOR</p> <p>EGSS EXTERIOR GYPSUM SOFFIT BOARD</p> <p>EFS EXTERIOR INSULATION FINISH SYSTEM</p> <p>F FACE OF CONCRETE</p> <p>FC FACE OF MASONRY</p> <p>FAM FASSEMBLY</p> <p>FT FEET</p> <p>FRP FIBER REINFORCED PLASTIC</p> <p>FV FEEL VERIFY</p> <p>FIN FINISH</p> <p>FF FINISHED FLOOR</p> <p>FGD FINISHED GRADE</p> <p>FA FIRE ALARM</p> <p>FC FIRE CODE</p> <p>HG FIRE EXTINGUISHER</p> <p>FE FIRE EXTINGUISHER CABINET</p> <p>HC FIRE HOSE CABINET</p> <p>FRV FIRE RETARDANT TREATED WOOD</p> <p>FLASH FLASHING</p>	<p>FLR FLOOR</p> <p>FD FLOOR DRAIN</p> <p>FOLD FOLDING PARTITION</p> <p>FUR FURRING</p> <p>FY YIELD STRESS</p> <p>GA GALVANIZED</p> <p>GEN GENERAL</p> <p>GC GENERAL CONTRACTOR</p> <p>GMU GLASS MESH MORTAR UNITS</p> <p>GLS GLASS GLAZING</p> <p>GSFT GIBBS STRUCTURAL FACING TILE</p> <p>GBR GIBBS BAR</p> <p>GRA GRADE</p> <p>GRD GROUND</p> <p>GA GAUGE</p> <p>GYP GYPSUM BOARD</p> <p>GYP GYPSUM BOARD</p> <p>GOW GYPSUM DRYWALL</p> <p>GWB GYPSUM WALL BOARD</p> <p>HEVC HANDICAPPED ELECTRIC WATER COOLER</p> <p>HC HANDICAPPED, HOLLOW CORE</p> <p>HDR HARDWARE</p> <p>HD HEAD, HEADED, HEAVY DUTY</p> <p>HGT HEIGHT</p> <p>HOL HOLLOW CORE FINISHED VENEER</p> <p>HM HOLLOW METAL</p> <p>H HORIZONTAL</p> <p>HLS HORIZONTAL LOUVER BLINDS</p> <p>HB HOLE BUB</p> <p>HG HOT-DIPPED GALVANIZED</p> <p>HR HOUR, HOURS</p> <p>IWS IN ACCORDANCE WITH</p> <p>INC INCANDESCENT</p>	<p>INCH INCH</p> <p>INCL INCLINED</p> <p>ID INSIDE DIAMETER</p> <p>INSUL INSULATED</p> <p>INT INTERIOR</p> <p>INT INTERNATIONAL BUILDING CODE</p> <p>IECC INTERNATIONAL ENERGY CONSERVATION CODE</p> <p>J JANITOR</p> <p>JOINT JOINT</p> <p>ANGLE ANGLE SHAPE</p> <p>LAM LAMINATE</p> <p>LAV LAVATORY</p> <p>LG LENGTH</p> <p>LIB LIBRARY</p> <p>LF LIGHTFEET</p> <p>LINEAR LINEAR FOOT</p> <p>OPH OPPOSITE HAND</p> <p>OPPOSITE OPPOSITE DIAMETER</p> <p>ORD OVERHEAD ROOF DRAIN</p> <p>OVERHEAD OVERHEAD</p> <p>OC OVERHEAD COILING DOOR</p> <p>OC OVERHEAD COILING DRILLE</p> <p>OC OWNER FURNISHED CONTRACTOR INSTALLED</p> <p>OVN OWNER FURNISHED VENDOR INSTALLED</p> <p>PKGR PAINT GRADE</p> <p>PNT PAINT, PAINTED</p> <p>PAR PANEL</p> <p>PTD PAPER TOWEL DISPENSER</p> <p>SWN SWAN JOINT</p> <p>PAR PARALLEL</p> <p>PTN PARTITION</p> <p>SMT SEALANT</p> <p>BLD SEALD</p> <p>SEC SECONDARY</p>	<p>PERP PERPENDICULAR</p> <p>PLAS PLASTER</p> <p>PLT PLATE</p> <p>PLM PLASTIC LAMINATE</p> <p>PLG PLATE GLASS</p> <p>PC POLYWOOD</p> <p>PVC POLYVINYL CHLORIDE</p> <p>PPF PORTLAND CEMENT PLASTER</p> <p>POS POSITIVE</p> <p>PREFAB PREFABRICATED</p> <p>PREFENG PRE-FINISHED</p> <p>PREFAB PREFABRICATED</p> <p>PT PUBLIC ADDRESS</p> <p>QA QUALITY ASSURANCE</p> <p>QC QUALITY CONTROL</p> <p>QU QUARRY TILE</p> <p>R RADIUS</p> <p>REF REFERENCE</p> <p>REF REINFORCED CONCRETE PIPE</p> <p>REF REINFORCED, REINFORCEMENT</p> <p>REF REINFORCEMENT</p> <p>REQ REQUIRED</p> <p>RESIL RESILIENT ATHLETIC FLOORING</p> <p>RWR ROOF DRAIN</p> <p>RV ROOF VENT</p> <p>ROO ROOF</p> <p>ROU ROUGH OPENING</p> <p>S SANITARY NAPIN DISPOSAL UNIT</p> <p>SAN SANITARY NAPIN VENDOR</p> <p>SWN SWAN JOINT</p> <p>SCH SCHEDULE</p> <p>SMT SEALANT</p> <p>BLD SEALD</p> <p>SEC SECONDARY</p>	<p>SHM SERVICE SHAK</p> <p>SHT SHEET</p> <p>SHR SHOWER</p> <p>SHR SHOWER ROD</p> <p>SM SMALLER</p> <p>SM SINGLE</p> <p>SD SMOKE DETECTOR</p> <p>SOLID SOLID CORE</p> <p>SCF SOLID CORE FLUSH VENEER</p> <p>SPR SOLID SURFACE</p> <p>SPR SPLASH BLOCK</p> <p>SQL SQUARE</p> <p>SQL SQUARE FEET</p> <p>STL STAINLESS STEEL</p> <p>STF STAIR</p> <p>STL STEEL</p> <p>STL STRUCTURAL GLAZED FACING TILE</p> <p>STL STRUCTURE, STRUCTURAL</p> <p>SUS SUSPENDED</p> <p>STR SYSTEM</p> <p>TACK TACK STRIP</p> <p>TACK TACK SURFACE</p> <p>TACK TACKBOARD</p> <p>TC TEACHER CABINET</p> <p>TECH TECHNICAL</p> <p>T TEL TELEPHONE</p> <p>TEMP TEMPERATURE</p> <p>TEXT TEXTILE WALL COVERING</p> <p>TLT TOILET</p> <p>TP TOILET PARTITION</p> <p>TTD TOILET TISSUE DISPENSER</p> <p>TOP TOP OF</p> <p>TOC TOP OF CURB</p> <p>TOP TOP OF DRAIN</p> <p>TOM TOP OF MASONRY</p>	<p>TOS TOP OF STEEL</p> <p>TYP TYPICAL</p> <p>URC UNIFORM BUILDING CODE</p> <p>UNR UNRUL SCREEN</p> <p>UTIL UTILITY</p> <p>V VENDING</p> <p>VTR VENT THROUGH ROOF</p> <p>VERT VERTICAL</p> <p>VEST VESTIBULE</p> <p>VCT VINYL COMPOSITION TILE</p> <p>VWC VINYL WALL COVERING</p> <p>V VOLTS</p> <p>WR WASTE RECEPTACLE</p> <p>WC WATER CLOSET</p> <p>WH WATER HEATER</p> <p>WRWB WATER-RESISTANT GYPSUM BOARD</p> <p>WRWB WATER-RESISTIVE TREATED WOOD</p> <p>WPG WATERPROOFING</p> <p>WPG WEATHER STRIP</p> <p>WPG WEATHERPROOF</p> <p>WT WEIGHT</p> <p>WWF WELDED WIRE FABRIC</p> <p>WWM WELDED WIRE MESH</p> <p>WB WIND BRACE</p> <p>WBRF WIND BRACE BASE PLATE</p> <p>WIND WINDOW</p> <p>WITH WITH</p> <p>WO WITHOUT</p> <p>WOM WOMAN</p> <p>WD WOOD</p>
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STATE MAP



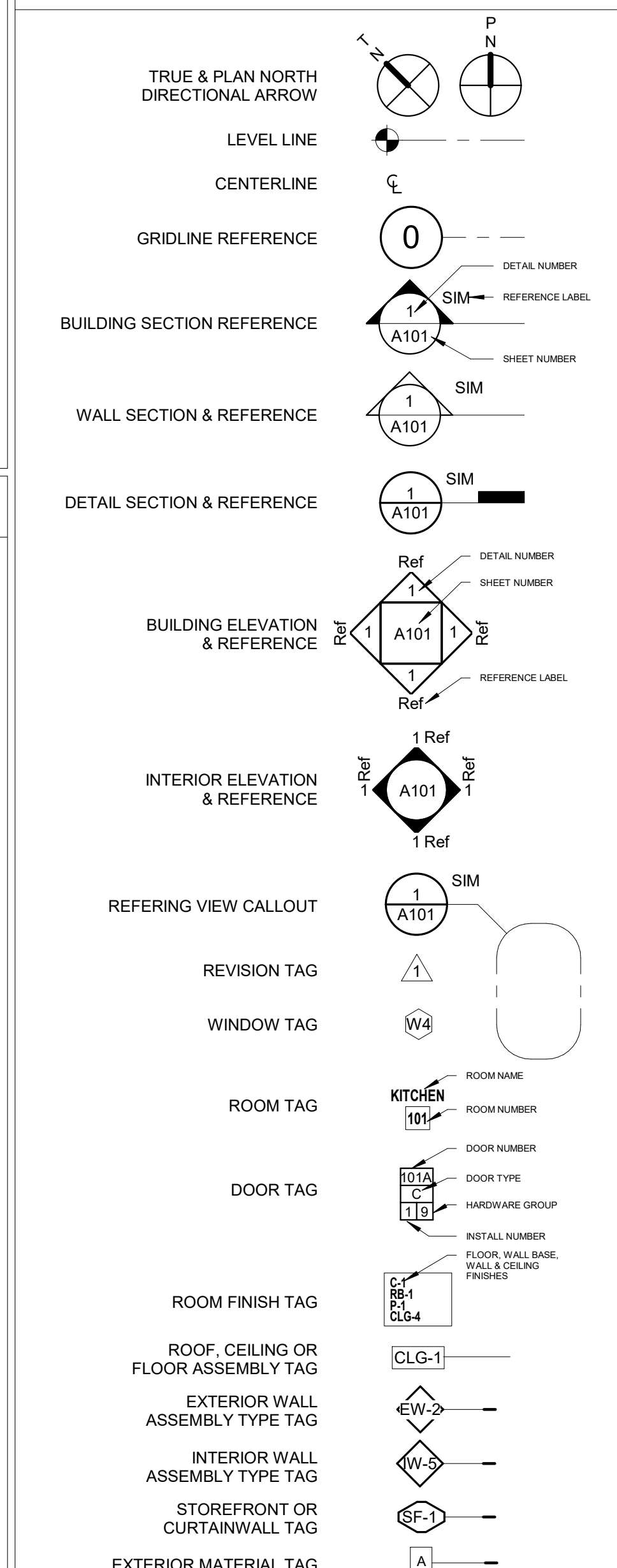
VICINITY MAP



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ARCHITECTURAL SYMBOLS

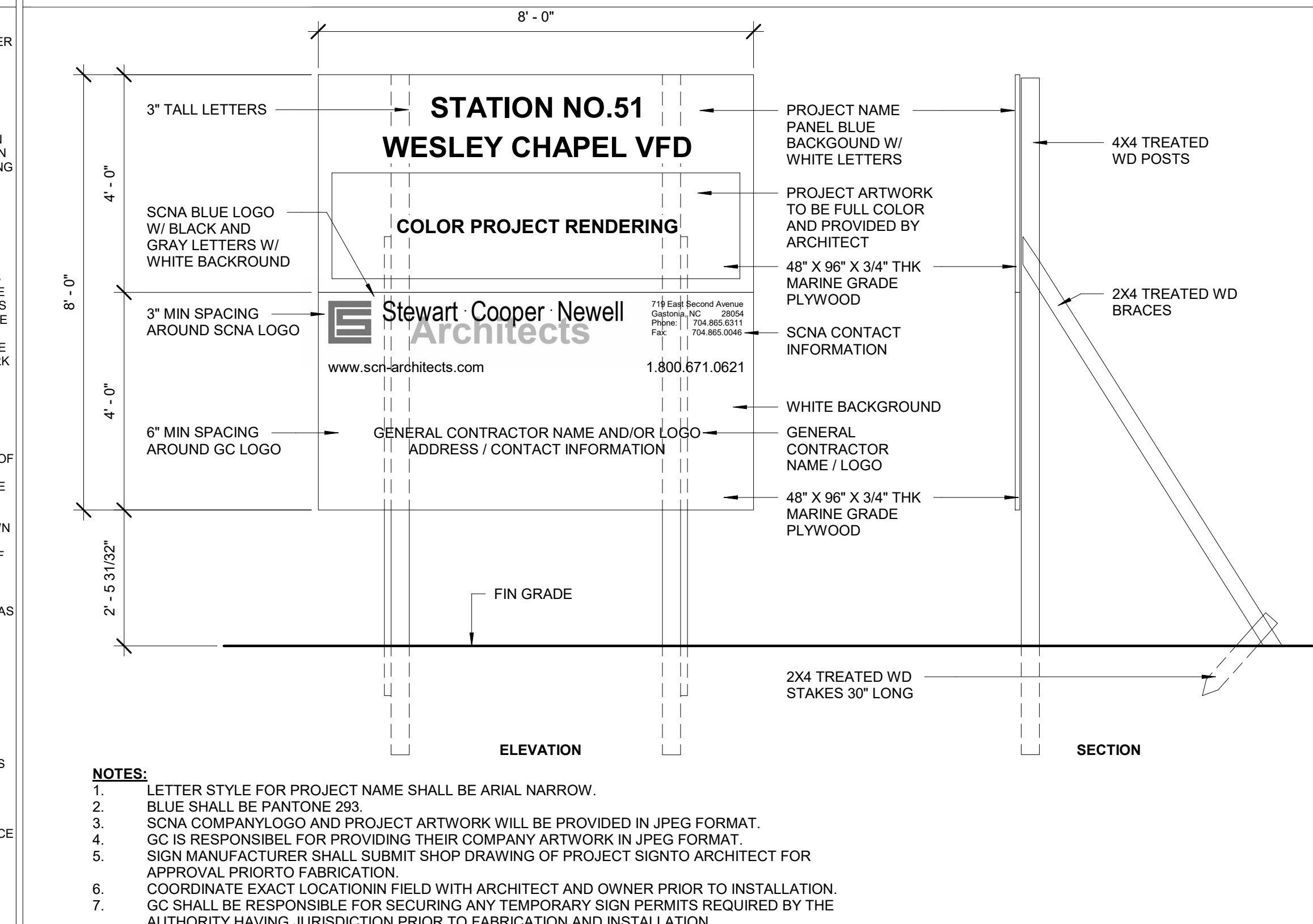


NOTE:
ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS ON SITE FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

GENERAL PROJECT NOTES

- EXISTING CONDITIONS: DRAWINGS OF EXISTING CONDITIONS WERE TAKEN FROM DRAWINGS FURNISHED BY OTHERS WHICH MAY OR MAY NOT BE CORRECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND/OR OTHER CONDITIONS DESCRIBED IN THE CONTRACT DOCUMENTS. DISCREPANCIES OR VARIATIONS BETWEEN THE CONTRACTOR VERIFIED EXISTING CONDITIONS AND CONDITIONS DESCRIBED IN THE DRAWINGS OR IN THE SPECIFICATIONS AND CHARACTERIZED AS EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- DRAWING SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED. HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THE PLANS, SECTION OR DETAILS. IF THERE ARE ANY QUESTIONS ABOUT THE DETAILS OR DIMENSIONS IN THESE DRAWINGS, CONTACT THE ARCHITECT FOR INFORMATION PRIOR TO STARTING WORK.
- COORDINATION: ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- COMPLEMENTARY DOCUMENTS: THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO ONE ANOTHER AND EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR AND TRADE IS REQUIRED TO MAINTAIN FULL SIZE AND COMPLETE SETS OF THE CONTRACT DOCUMENTS ON-SITE FOR HIS EMPLOYEES USE ON THE PROJECT FOR THE PURPOSE OF COORDINATING THEIR WORK WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
- CONTRACTOR SHALL MEET WITH THE ARCHITECT PRIOR TO BEGINNING WORK OF THE PROJECT AND REVIEW EXISTING CONDITIONS AS WELL AS THE SCOPE OF THE WORK TO BE COMPLETED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE AND ALL OTHER APPLICABLE LOCAL CODES, REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION AT THE PROJECT SITE THAT IS NOT SCHEDULED FOR REMOVAL OR DEMOLITION AND NEW CONSTRUCTION THAT IS PART OF THE SCOPE OF WORK FOR THIS PROJECT. DAMAGES TO EXISTING OR NEW CONSTRUCTION SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
- SLOPE ALL EXTERIOR LANDINGS, WALKS, PORCHES, STEPS, ETC. 1/8" : 1'-0" TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING UNLESS NOTED OR SHOWN OTHERWISE.
- SLOPE ALL EXTERIOR GRADES FOR POSITIVE DRAINAGE AWAY FROM BUILDING. REF CIVIL GRADING PLAN FOR ADDITIONAL REQUIREMENTS.
- FRAMING LUMBER IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESERVATIVE TREATED.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS STEEL LINTELS AS REQUIRED WHERE MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT PASS THROUGH MASONRY WALLS OR OVER ANY BUILT-IN ITEMS LOCATED WITHIN MASONRY WALLS.
- SLOPE FLOOR TO FLOOR DRAINS AS INDICATED. COORDINATE ALL FLOOR DRAINS WITH PLUMBING CONTRACTOR AND FLOOR FINISH REQUIREMENTS.
- PROVIDE OPEN HEAD JOINT WEEPS @ 16" OC OVER ALL MASONRY OPENINGS. PROVIDE FIRE RETARDANT TREATED LUMBER IN LOCATIONS AS REQUIRED BY THE CURRENT EDITION OF THE APPLICABLE BUILDING CODE.
- FIRE RATED PENETRATION NOTES APPLY TO ALL TRADES.
- BLOCKING AND BACKING: PROVIDE BLOCKING AND BACKING AS REQUIRED TO SECURE ALL WALL MOUNTED OR CEILING SUSPENDED ITEMS AND/OR ACCESSORIES IN ACCORDANCE WITH THE PRODUCT OR ITEM MANUFACTURER'S REQUIREMENTS. DO NOT CUT ANY LAY-IN ACOUSTICAL CEILING PANELS LESS THAN 8 INCHES WIDE UNLESS INSTRUCTED BY ARCHITECT. LAY-IN CEILING PANELS TO BE EQUALLY SPACED IN AREA ROOM.
- DIMENSIONS SHOWN ON FLOOR PLANS ARE SHOWN TO FACE OF MASONRY AND FACE OF FRAMING UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE NOTED, ALL FIRE RATED WALLS AND PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF FIRE-RESISTIVE RATED CEILING/ROOF ASSEMBLY ABOVE.
- NO CORE OF BRICK VENEER SHOULD BE EXPUSED. USE SOLID BRICK WHERE REQUIRED TO KEEP CORES FROM BEING VISIBLY EXPOSED.
- CMU WYTHES ARE DIMENSIONED NOMINALLY UNLESS OTHERWISE NOTED.

PROJECT SIGN



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Revisions:

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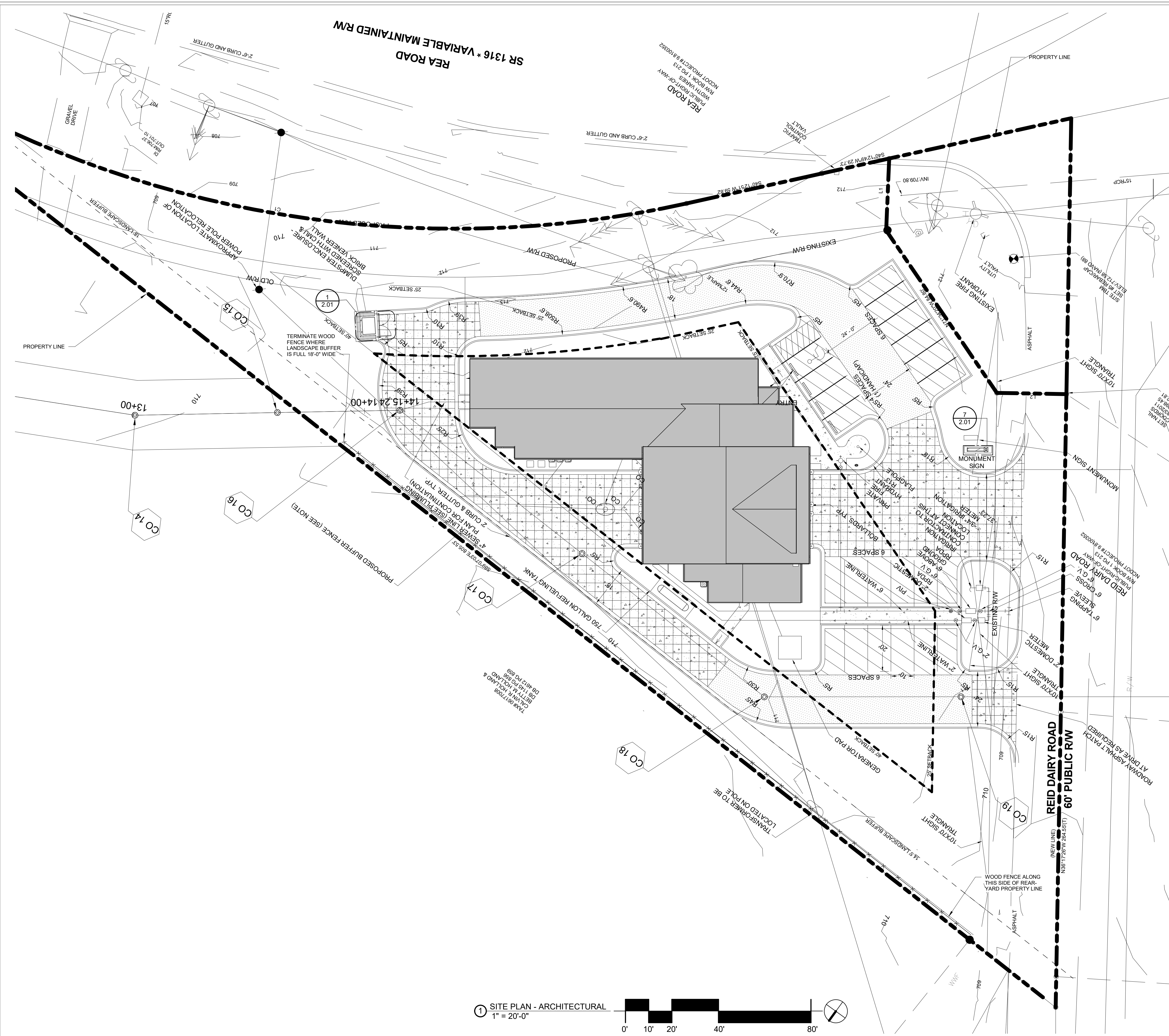
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11/8/19

WESLEY CHAPEL VFD
STATION NO. 44
Weddington, North Carolina

COVER SHEET

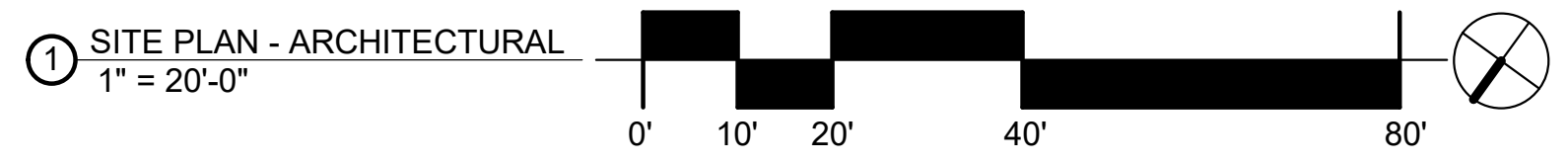
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WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR. SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.



Project No.
1619

Date:
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Author

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Checker

Revisions:

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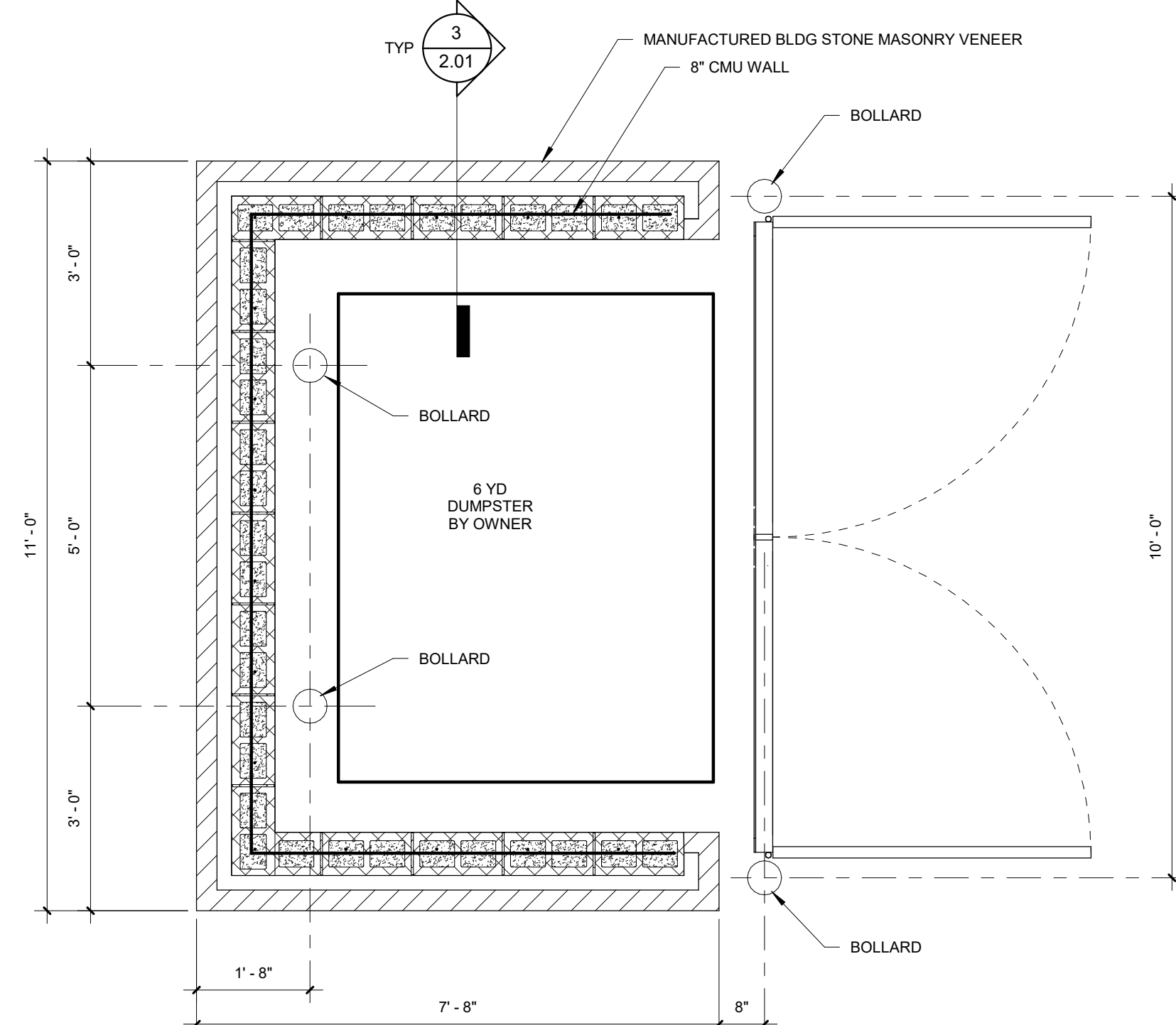
Preliminary
Review Set

WESLEY CHAPEL VFD
STATION NO. 44
Weddington, North Carolina

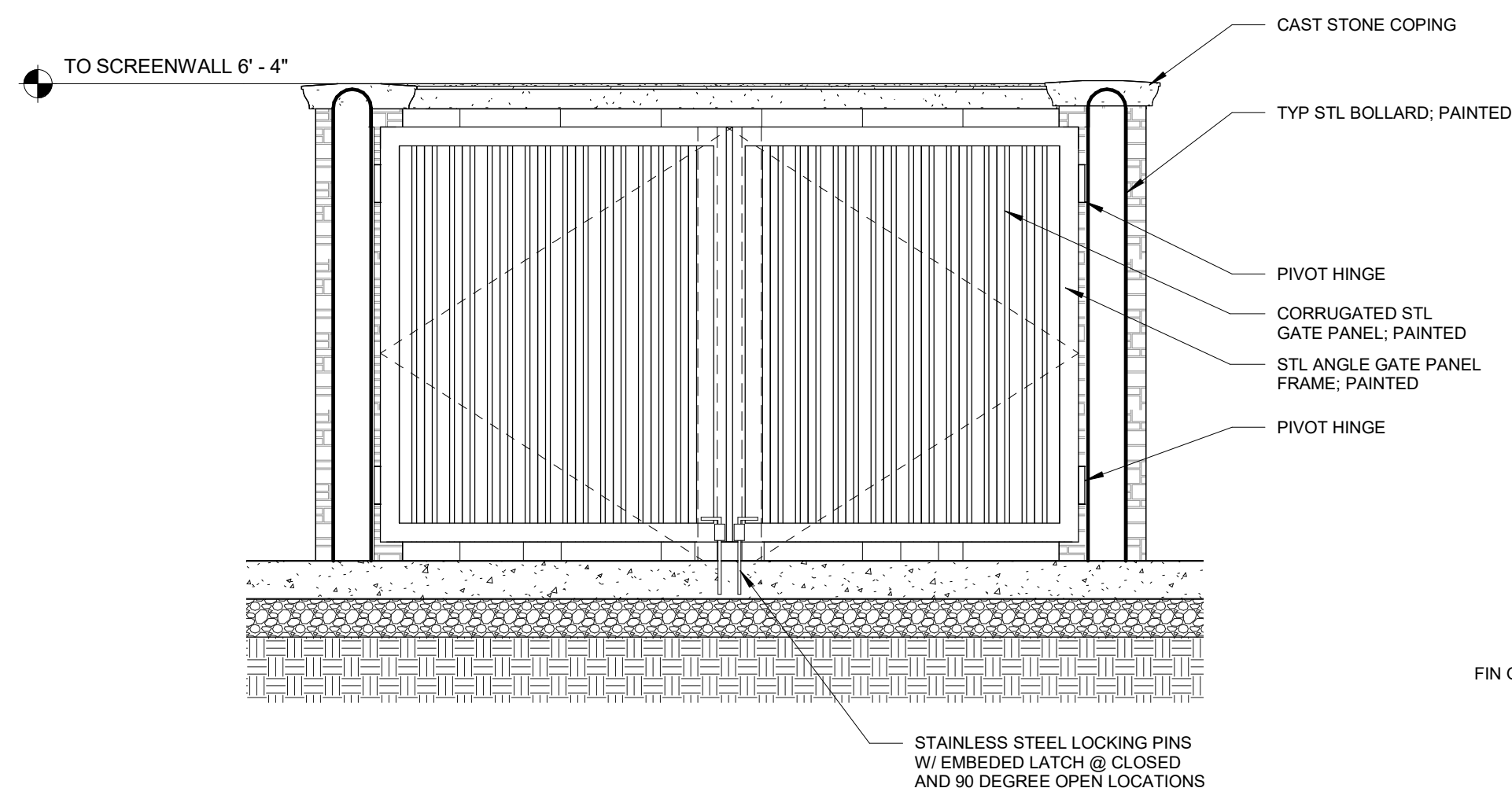
SITE PLAN - ARCHITECTURAL

11/8/19

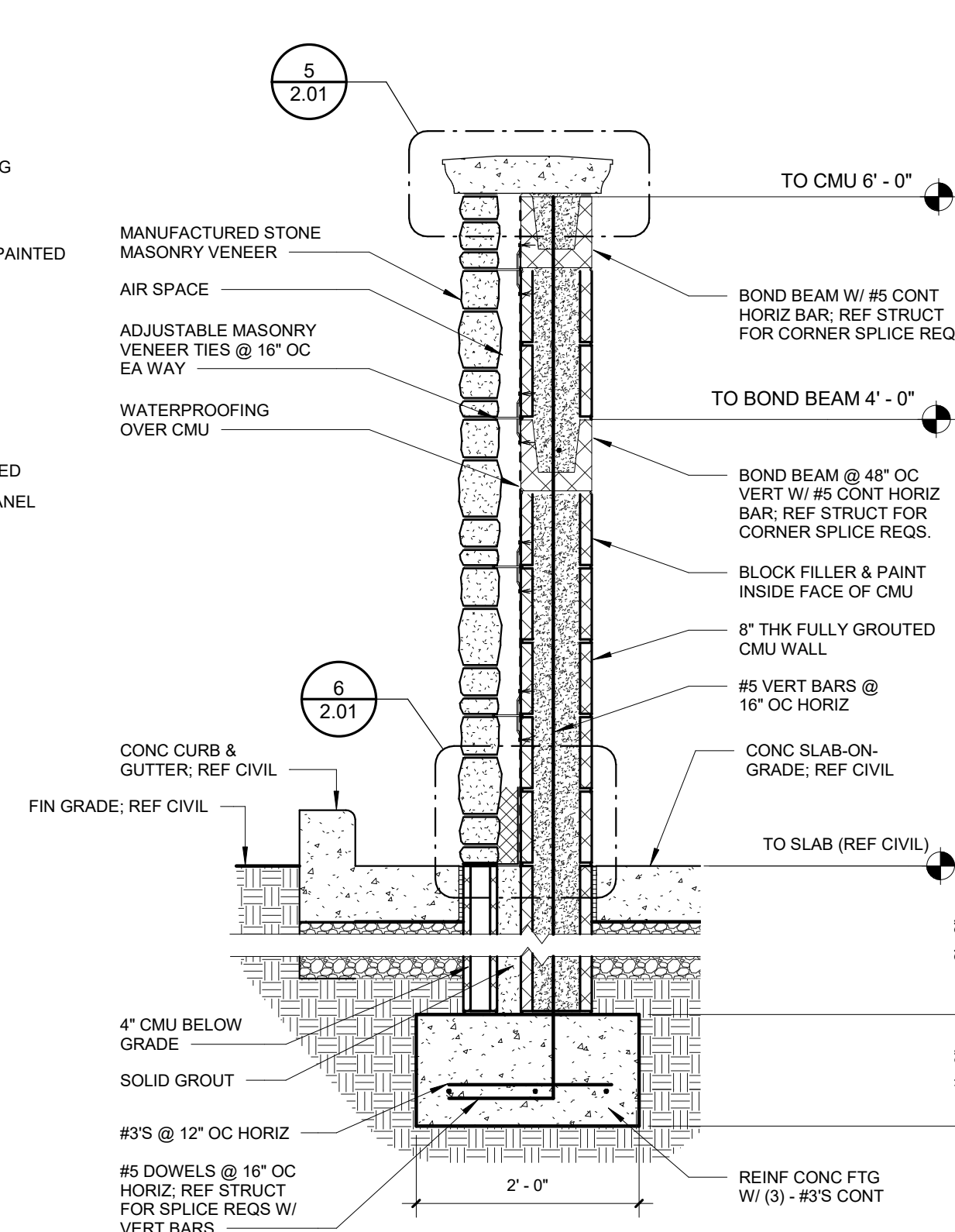
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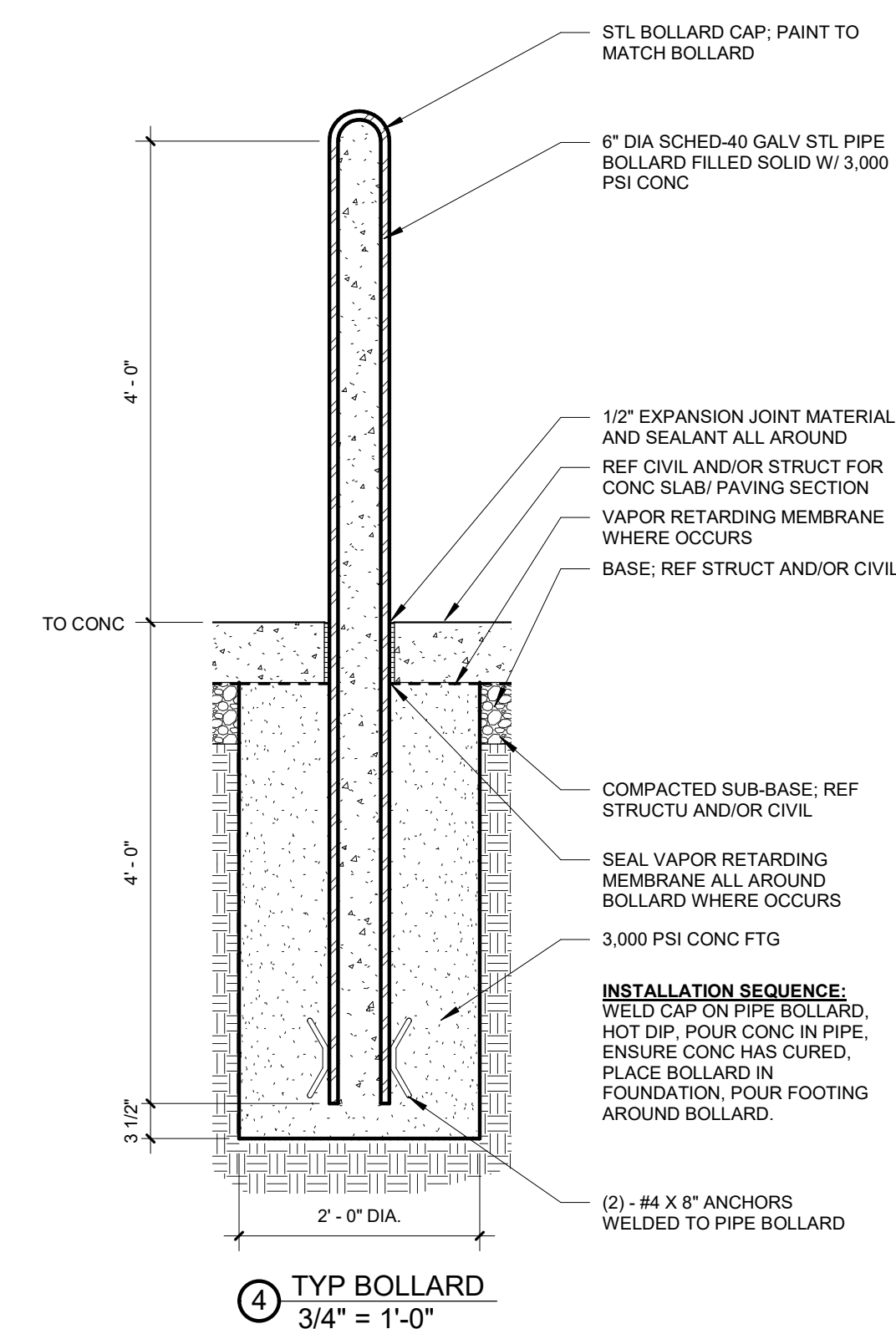
1 PLAN - TRASH ENCLOSURE
1/2" = 1'-0"



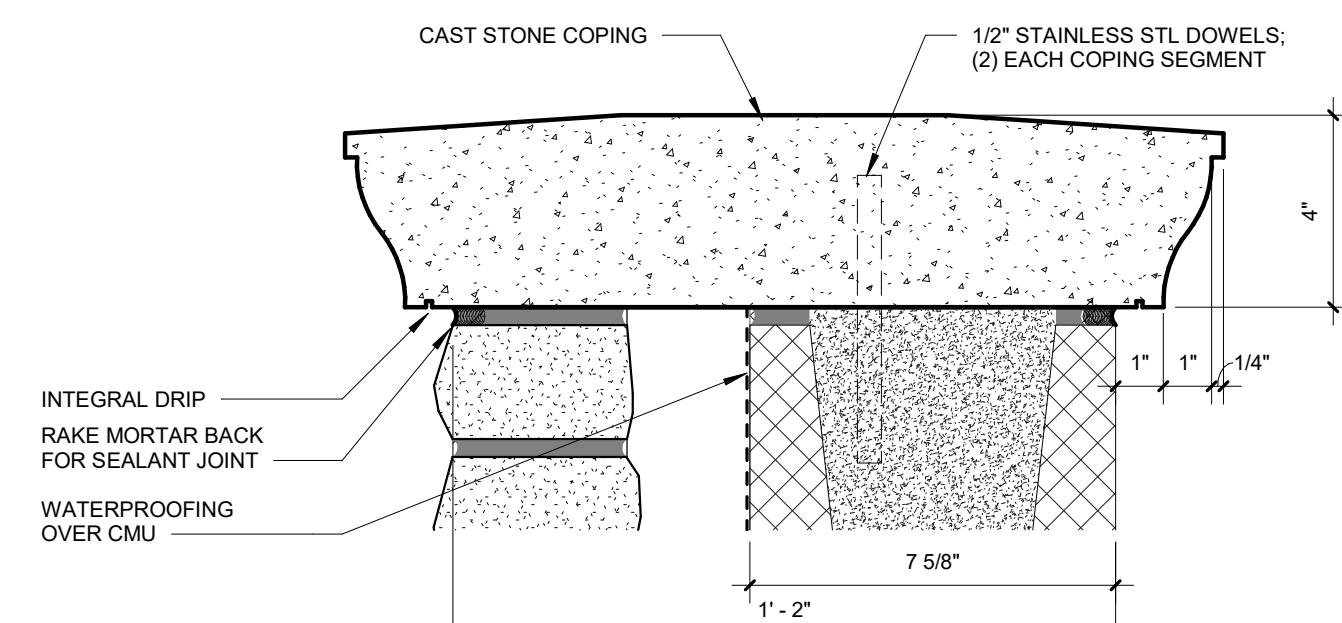
2 ELEVATION - TRASH ENCLOSURE GATE
1/2" = 1'-0"



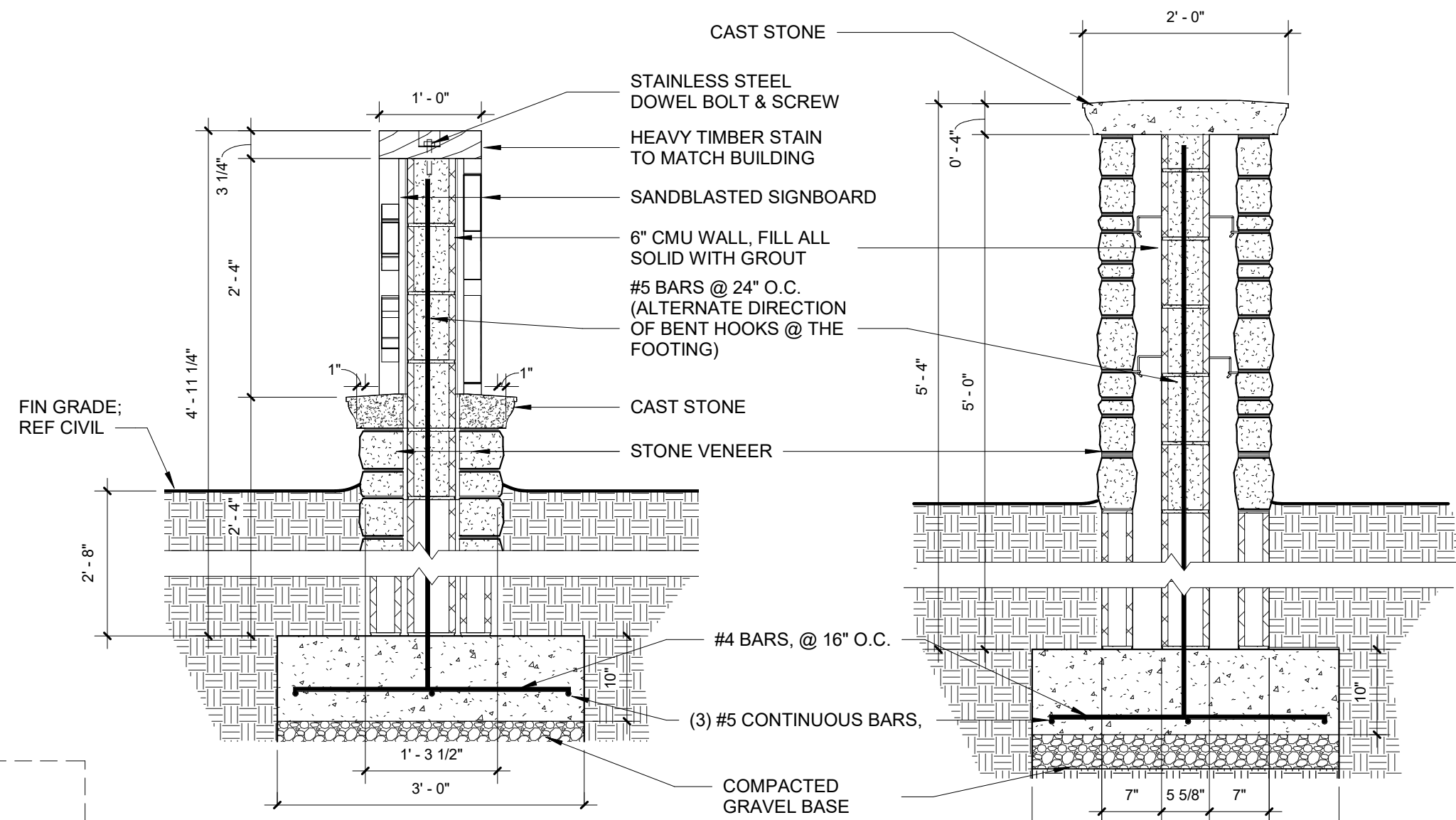
3 WALL SECTION - TRASH ENCLOSURE
3/4" = 1'-0"



4 TYP BOLLARD
3/4" = 1'-0"

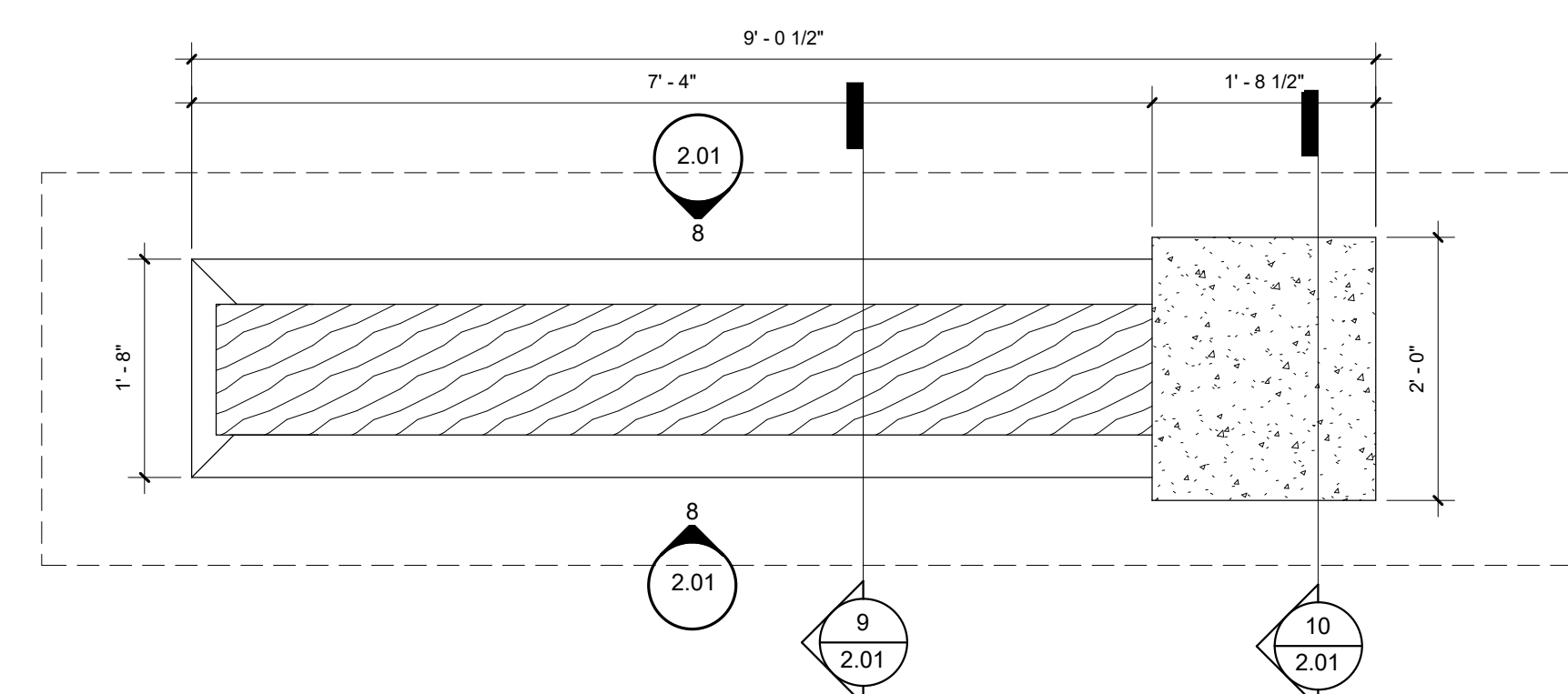


5 COPING (TRASH ENCLOSURE)
3" = 1'-0"

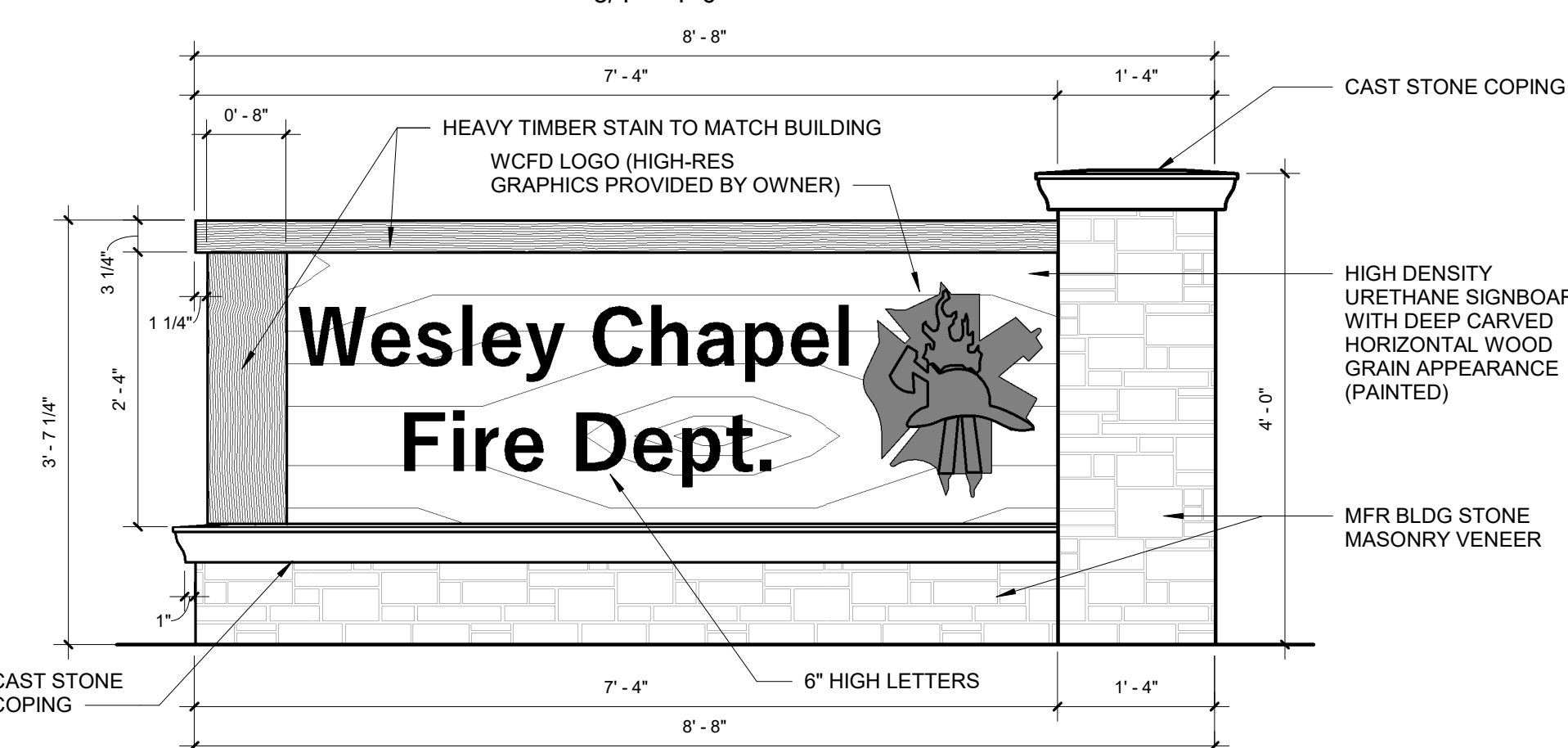


9 SECTION DETAIL
3/4" = 1'-0"

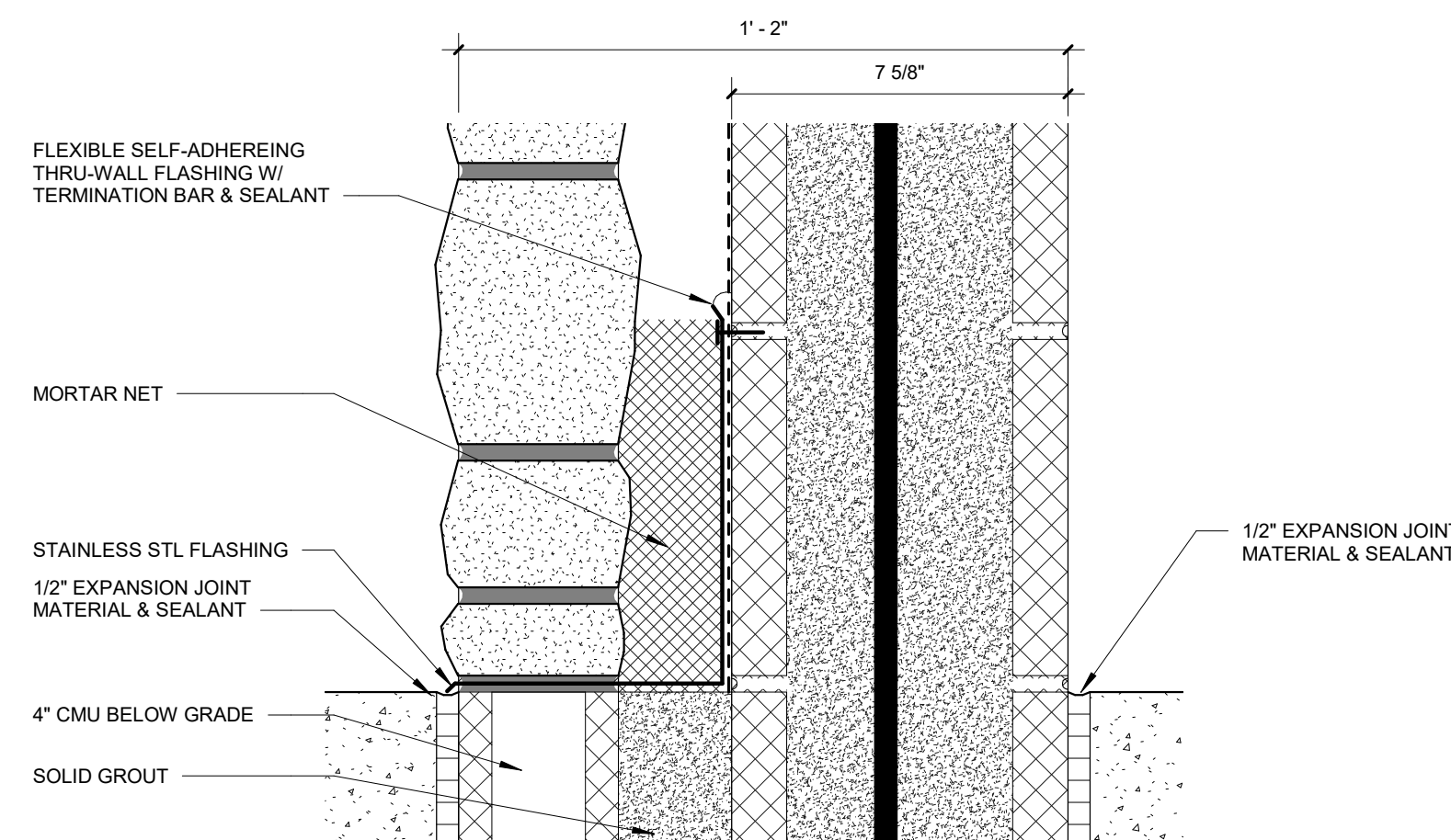
10 SECTION DETAIL
3/4" = 1'-0"



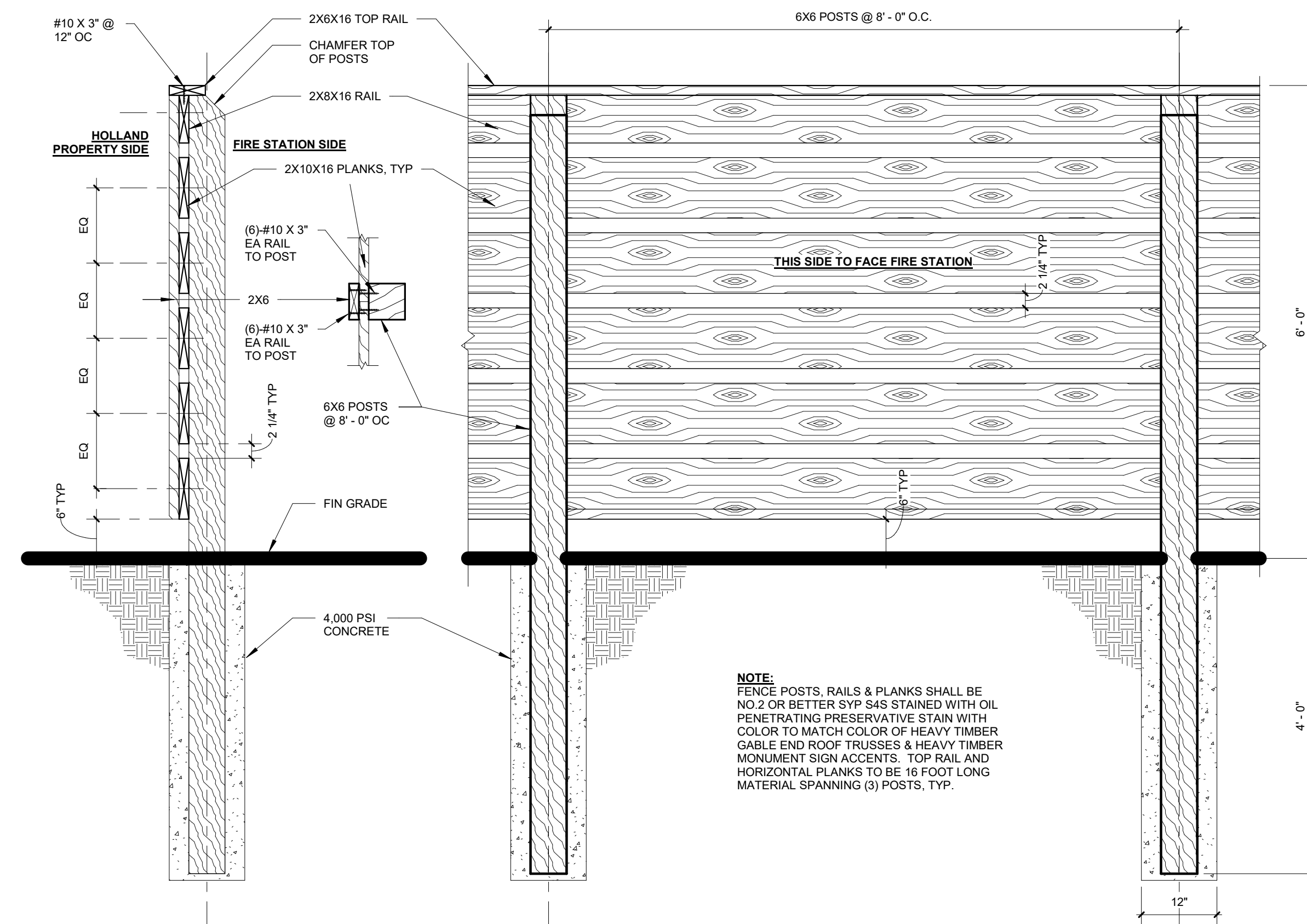
7 MONUMENT SIGN PLAN
3/4" = 1'-0"



8 ELEVATION @ DOUBLE SIDED MONUMENT SIGN
3/4" = 1'-0"



6 BASE FLASHING (TRASH ENCLOSURE)
3" = 1'-0"



11 WOOD FENCE
3/4" = 1'-0"

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PLANTING NOTES

- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GIRDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2" INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (PLDS #40.09).
- SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
- ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.

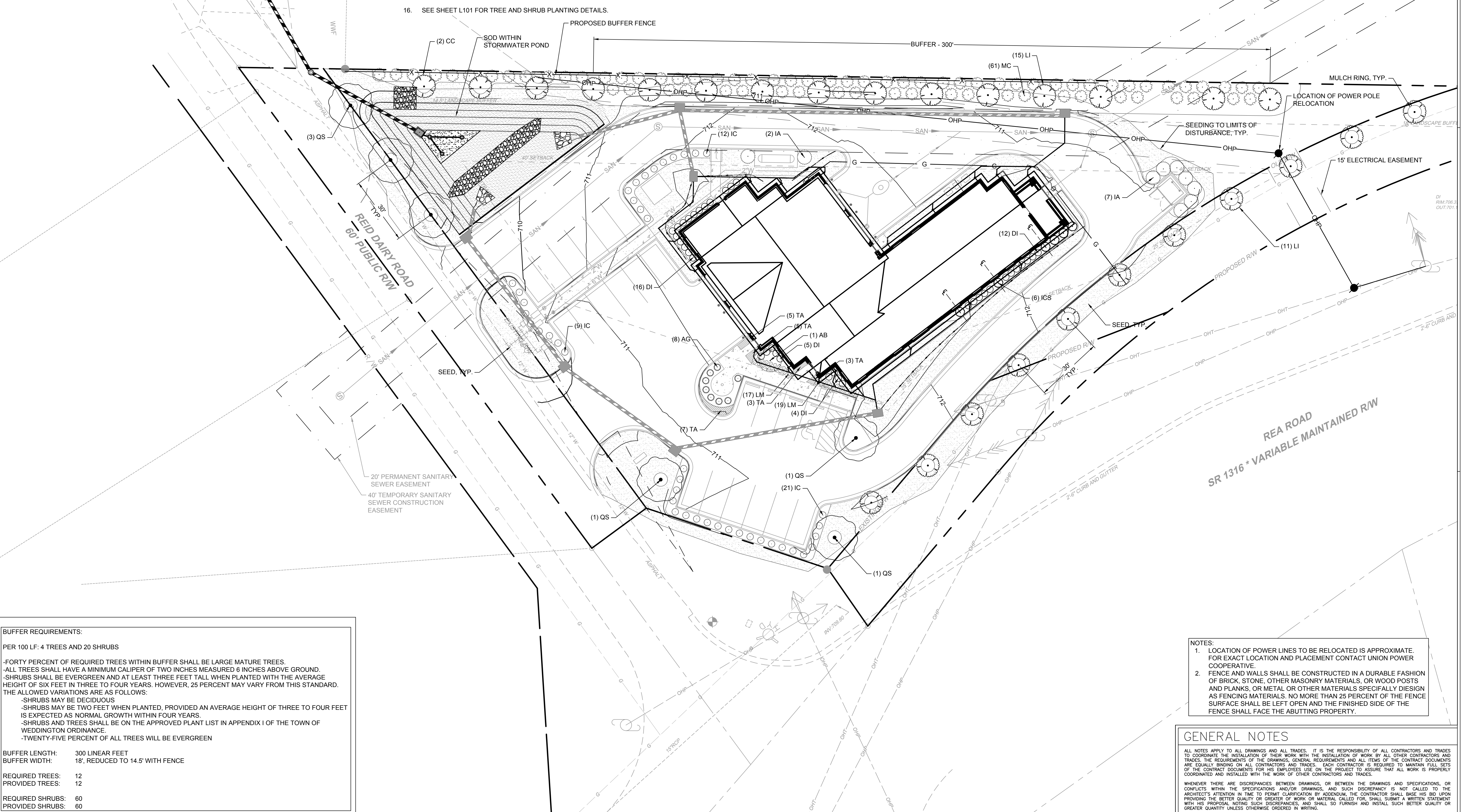
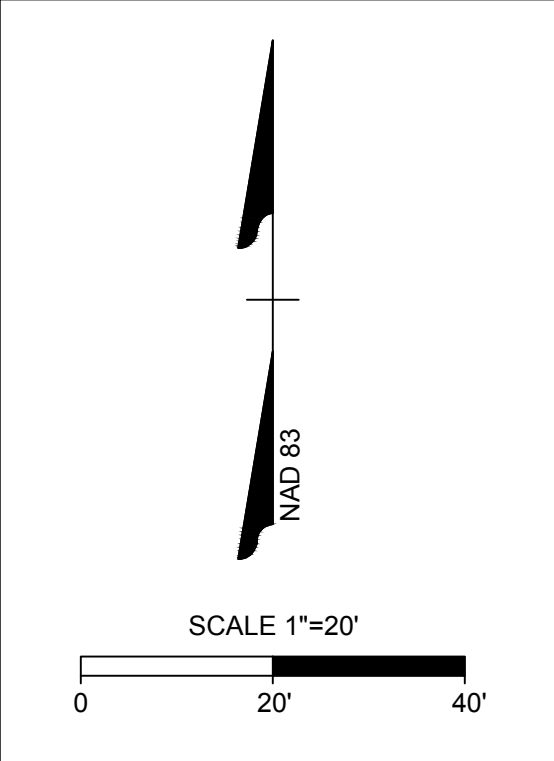
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).
- TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE TOWN ARBORIST/INSPECTOR.
- IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S), CALL TOWN ARBORIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
- LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.
- IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS; CALL TIMMONS GROUP TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES.
- COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE.
- TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY TOWN ARBORIST/INSPECTOR PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE TOWN ARBORIST.
- FOR GRADED AREAS NOT SHOWN TO RECEIVE SEEDING/SODDING, SEE EROSION CONTROL PLANS FOR STABILIZATION MEASURES.
- SEE SHEET L101 FOR TREE AND SHRUB PLANTING DETAILS.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HT	SPAC	REMARKS
AB	1	ACER BUERGERIANUM	TRIDENT MAPLE	B&B	2.5"	10' MIN.	A.1.	SINGLE STEM, CENTRAL LEADER
LI	26	LAGERSTROEMIA INDICA X FAURIEI 'ZUNI'	ZUNI CRAPE MYRTLE	B&B	2"	8' MIN.	A.1.	SINGLE STEM
IA	9	ILEX X ATTENUATA 'SAVANNAH'	SAVANNAH HOLLY	B&B	2"	6' MIN.	A.1.	FULL TO GROUND
QS	6	QUERCUS SHUMARDI	SHUMARD OAK	B&B	3.5"	12' MIN.	A.1.	SINGLE STEM, CENTRAL LEADER, MIN. 5' CLEAR TRUNK, MAX 7'

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT	SPR	SPAC	REMARKS
AG	8	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	KALEIDOSCOPE ABELIA	5 GAL	15"	12"	A.1.	
DI	37	DISTYLUM 'PIDISTI-I PLANT PATENT 24,409'	BLUE CASCADE EVERGREEN DISTYLUM	5 GAL	18"	24"	A.1.	
IC	42	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	5 GAL	30"	20"	A.1.	FULL TO GROUND
ICS	6	ILEX CRENATA 'STEEDS'	STEEDS UPRIGHT JAPANESE HOLLY	7 GAL	30"	24"	A.1.	FULL TO GROUND
LM	36	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	1 GAL	8"	6"	A.1.	
MC	61	MYRTICA CERIFERA	SOUTHERN WAX MYRTLE	7 GAL	30"	24"	A.1.	FULL TO GROUND
TA	23	TRACHELOSPERMUM ASIATICUM 'HOSNS'	SNOW-N-SUMMER ASIATIC JASMINE	3 GAL	8"	15"	A.1.	

GRNDCVR	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT	SPR	SPAC	REMARKS
TURF	SF	NAME						
TURF	A.1.	TALL FESCUE (SEED OR SOD)						



BUFFER REQUIREMENTS:

PER 100 LF: 4 TREES AND 20 SHRUBS

-FORTY PERCENT OF REQUIRED TREES WITHIN BUFFER SHALL BE LARGE MATURE TREES.
 -ALL TREES SHALL HAVE A MINIMUM CALIPER OF TWO INCHES MEASURED 6 INCHES ABOVE GROUND.
 -SHRUBS SHALL BE EVERGREEN AND AT LEAST THREE FEET TALL WHEN PLANTED WITH THE AVERAGE HEIGHT OF SIX FEET IN THREE TO FOUR YEARS. HOWEVER, 25 PERCENT MAY VARY FROM THIS STANDARD. THE ALLOWED VARIATIONS ARE AS FOLLOWS:
 -SHRUBS MAY BE DECIDUOUS
 -SHRUBS MAY BE TWO FEET WHEN PLANTED, PROVIDED AN AVERAGE HEIGHT OF THREE TO FOUR FEET IS EXPECTED AS NORMAL GROWTH WITHIN FOUR YEARS.
 -SHRUBS AND TREES SHALL BE ON THE APPROVED PLANT LIST IN APPENDIX I OF THE TOWN OF WEDDINGTON ORDINANCE.
 -TWENTY-FIVE PERCENT OF ALL TREES WILL BE EVERGREEN

BUFFER LENGTH: 300 LINEAR FEET
 BUFFER WIDTH: 18', REDUCED TO 14.5' WITH FENCE

REQUIRED TREES: 12
 PROVIDED TREES: 12

REQUIRED SHRUBS: 60
 PROVIDED SHRUBS: 60

NOTES:

- LOCATION OF POWER LINES TO BE RELOCATED IS APPROXIMATE. FOR EXACT LOCATION AND PLACEMENT CONTACT UNION POWER COOPERATIVE.
- FENCE AND WALLS SHALL BE CONSTRUCTED IN A DURABLE FASHION OF BRICK, STONE, OTHER MASONRY MATERIALS, OR WOOD POSTS AND PLANKS, OR METAL OR OTHER MATERIALS SPECIFICALLY DESIGN AS FENCING MATERIALS. NO MORE THAN 25 PERCENT OF THE FENCE SURFACE SHALL BE LEFT OPEN AND THE FINISHED SIDE OF THE FENCE SHALL FACE THE ABUTTING PROPERTY.

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Project No.
1619

Date: 9.30.2019
 Drawn by: JH
 Checked by: BVC
 Revisions: 0



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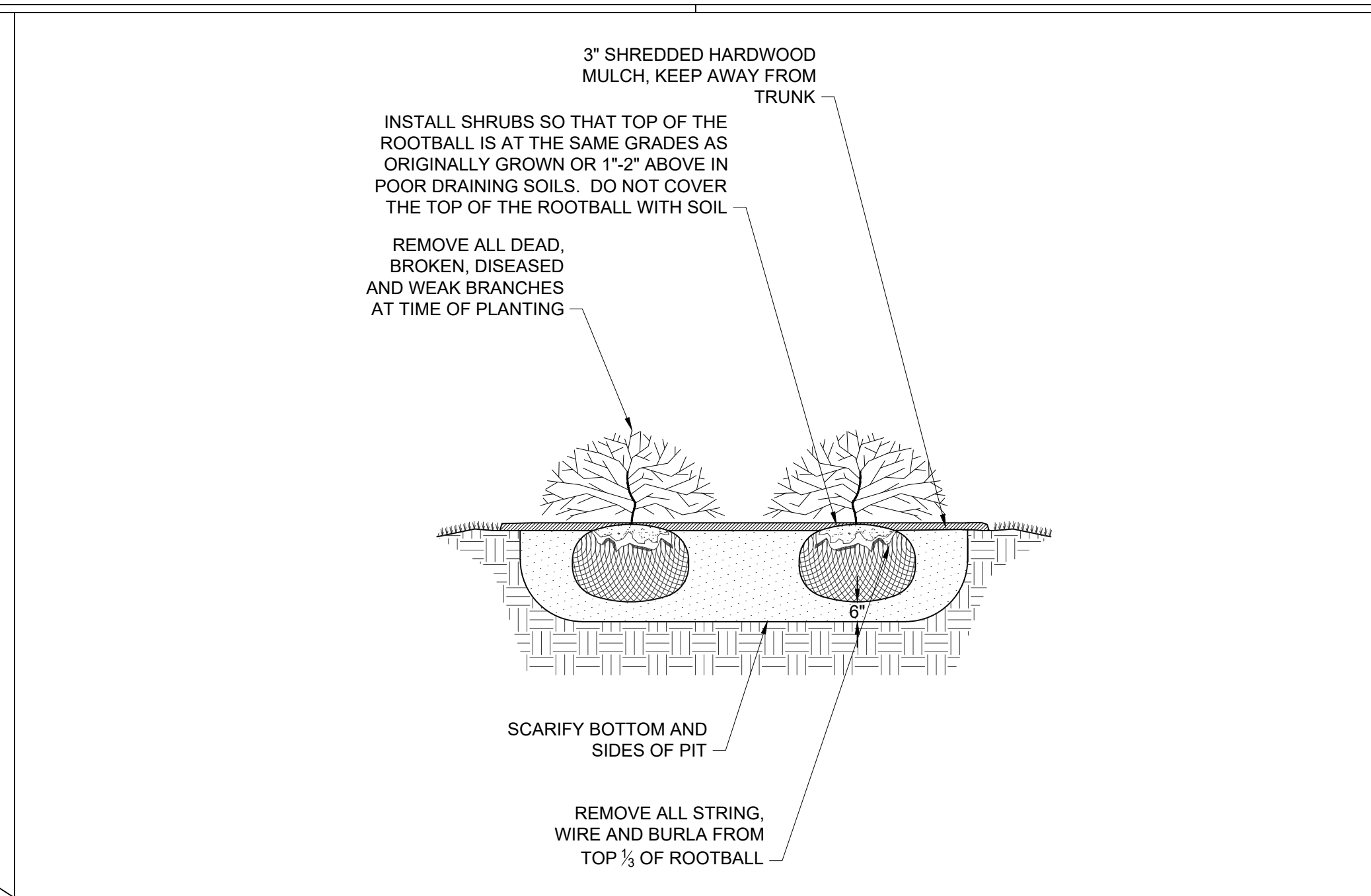
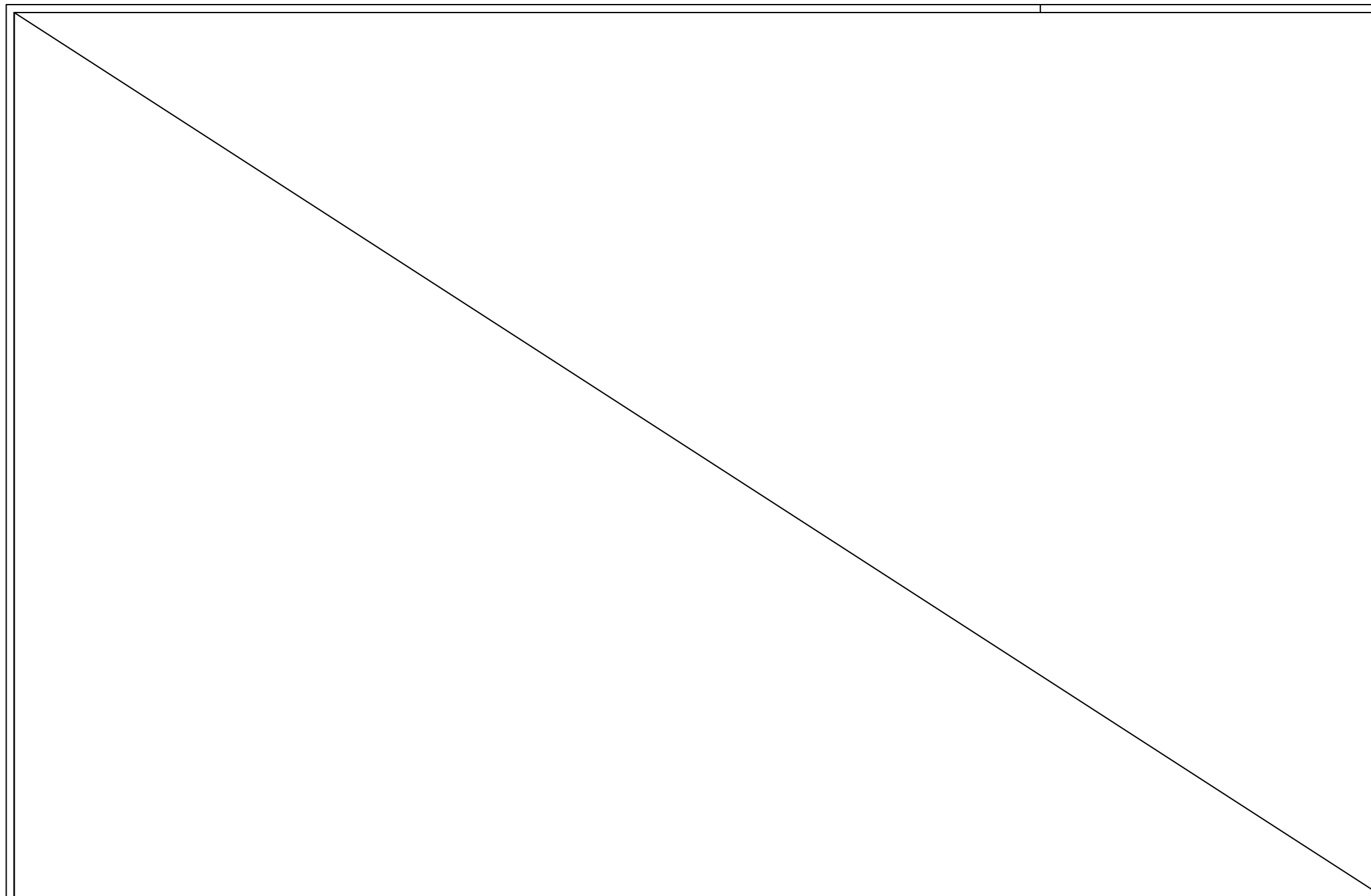
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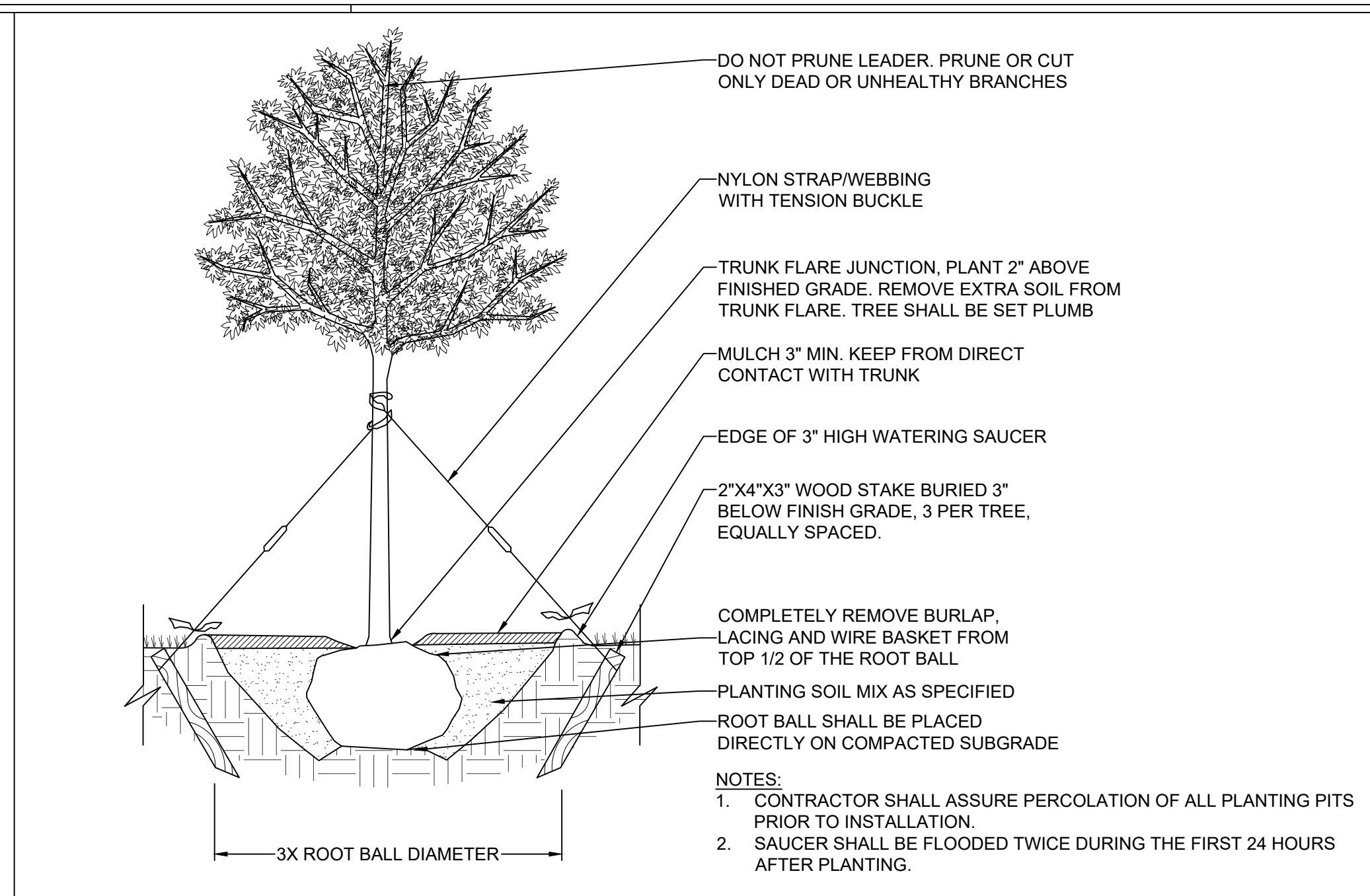
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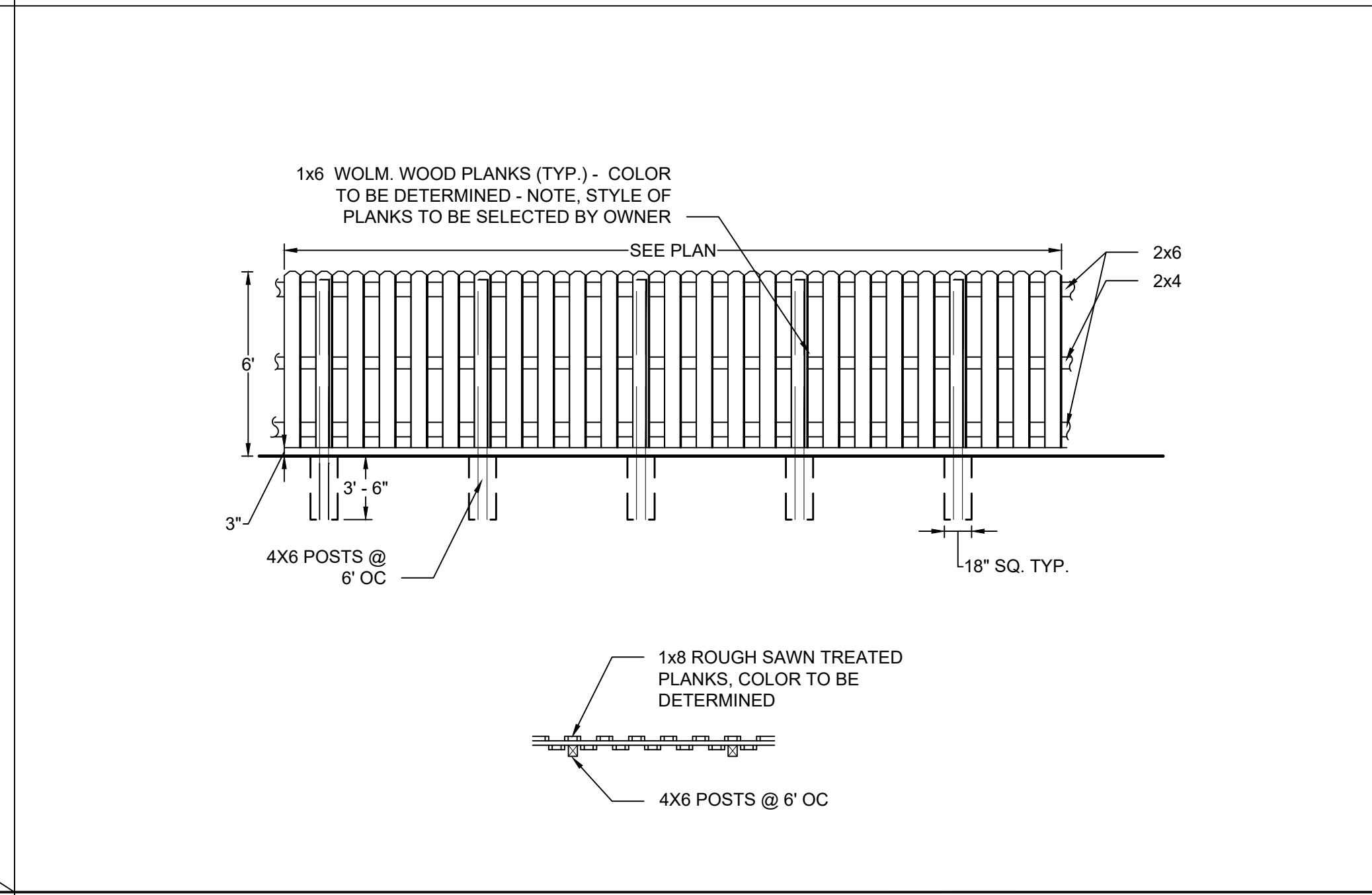
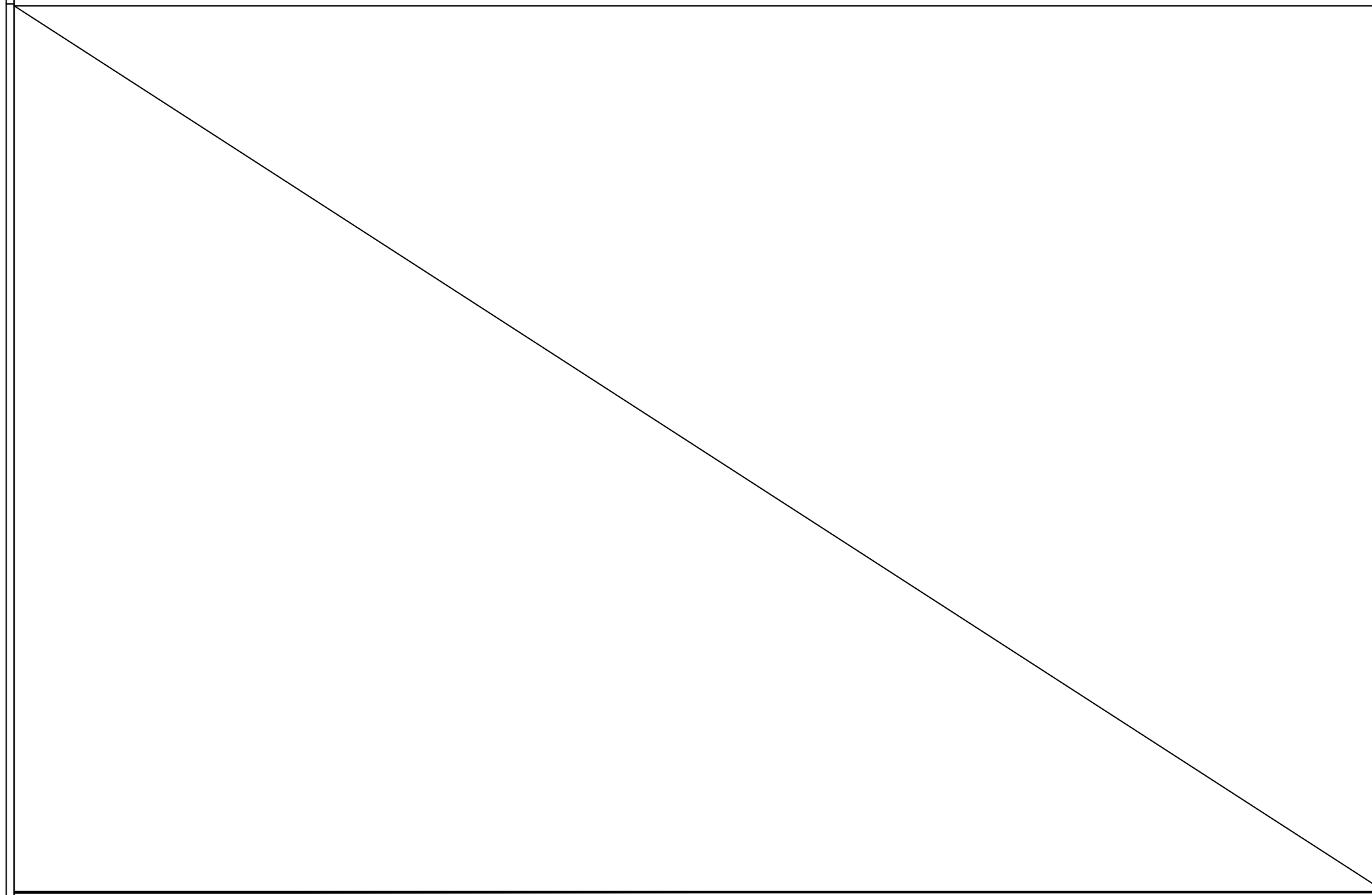
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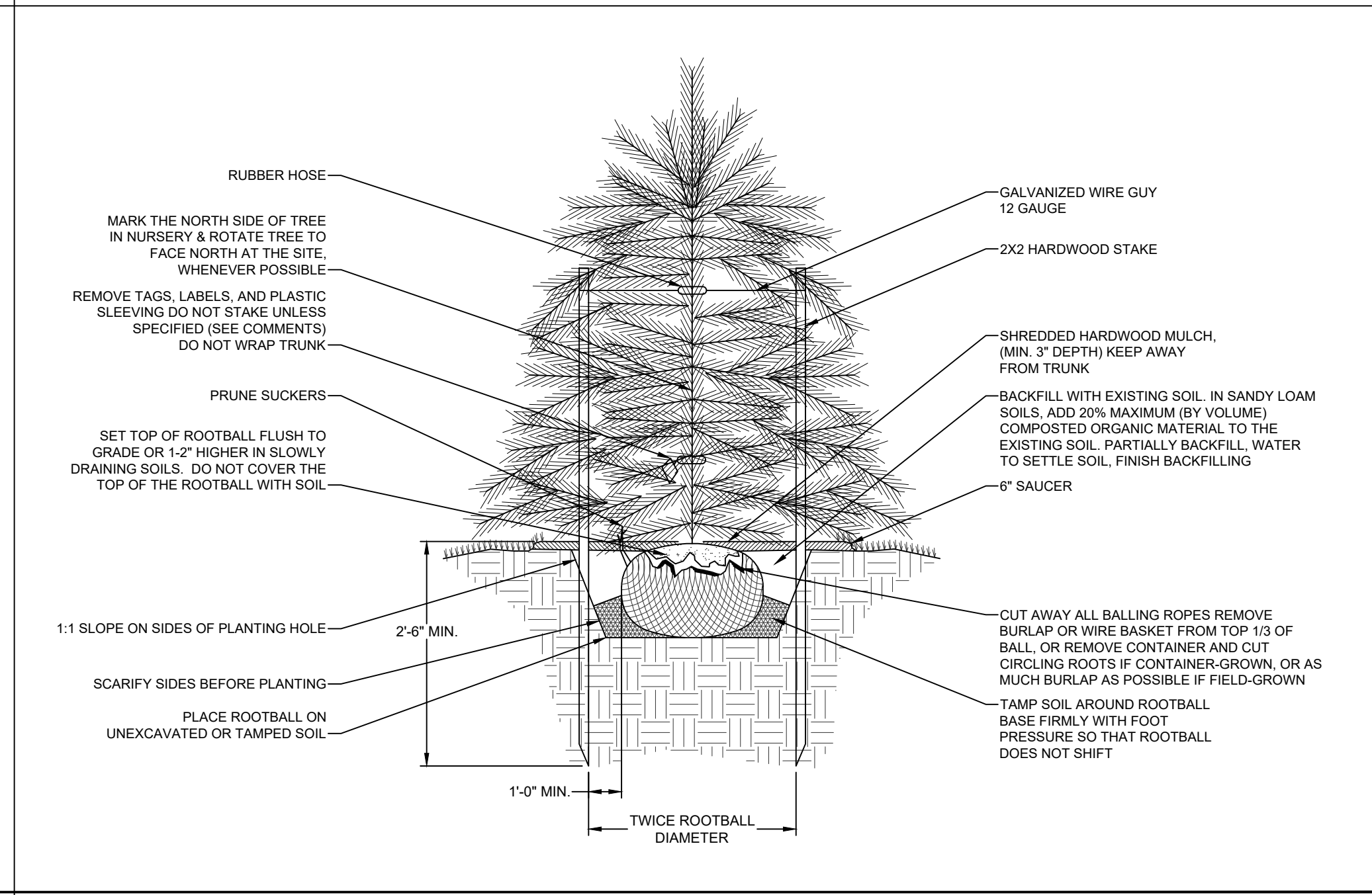
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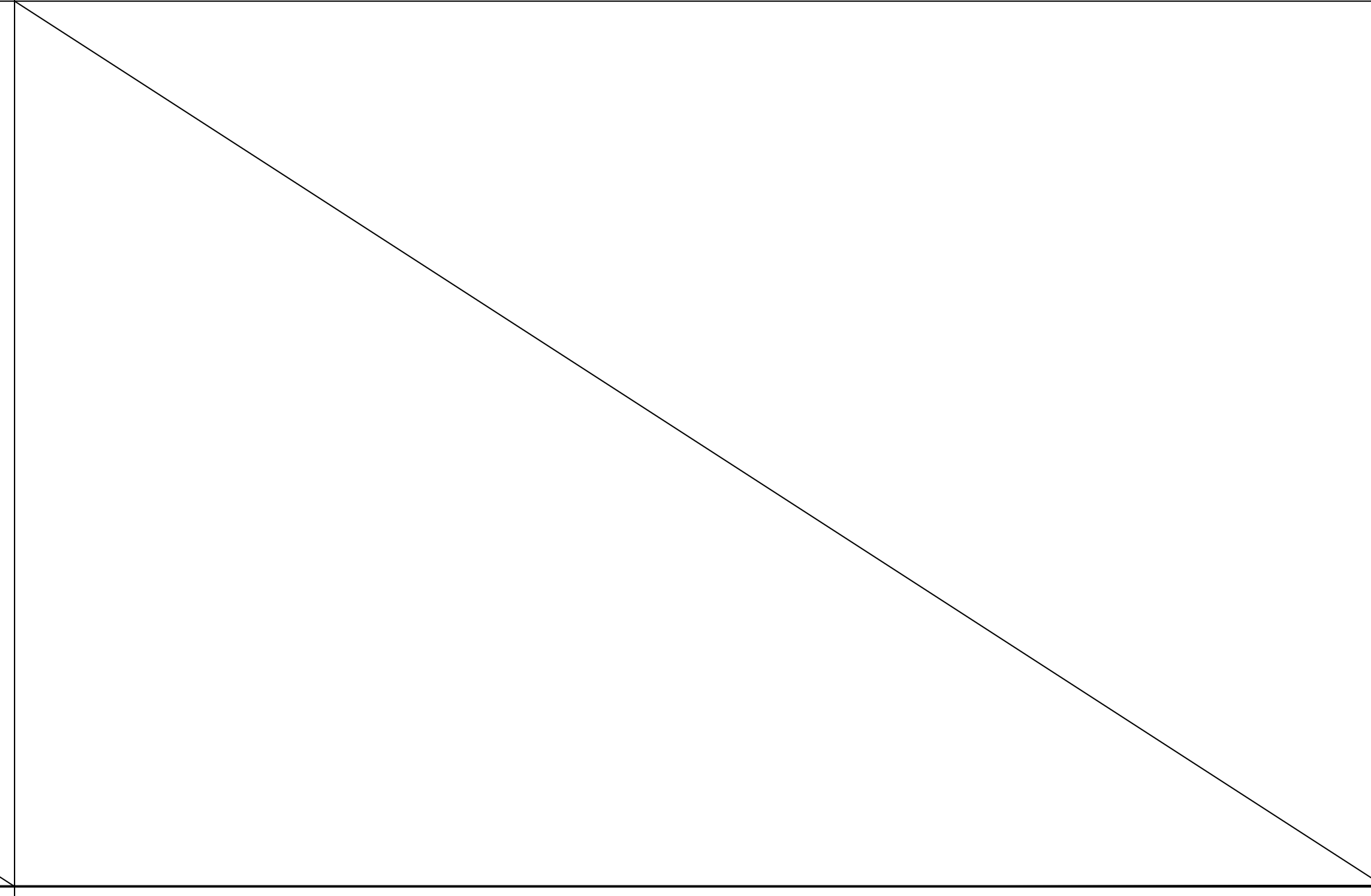
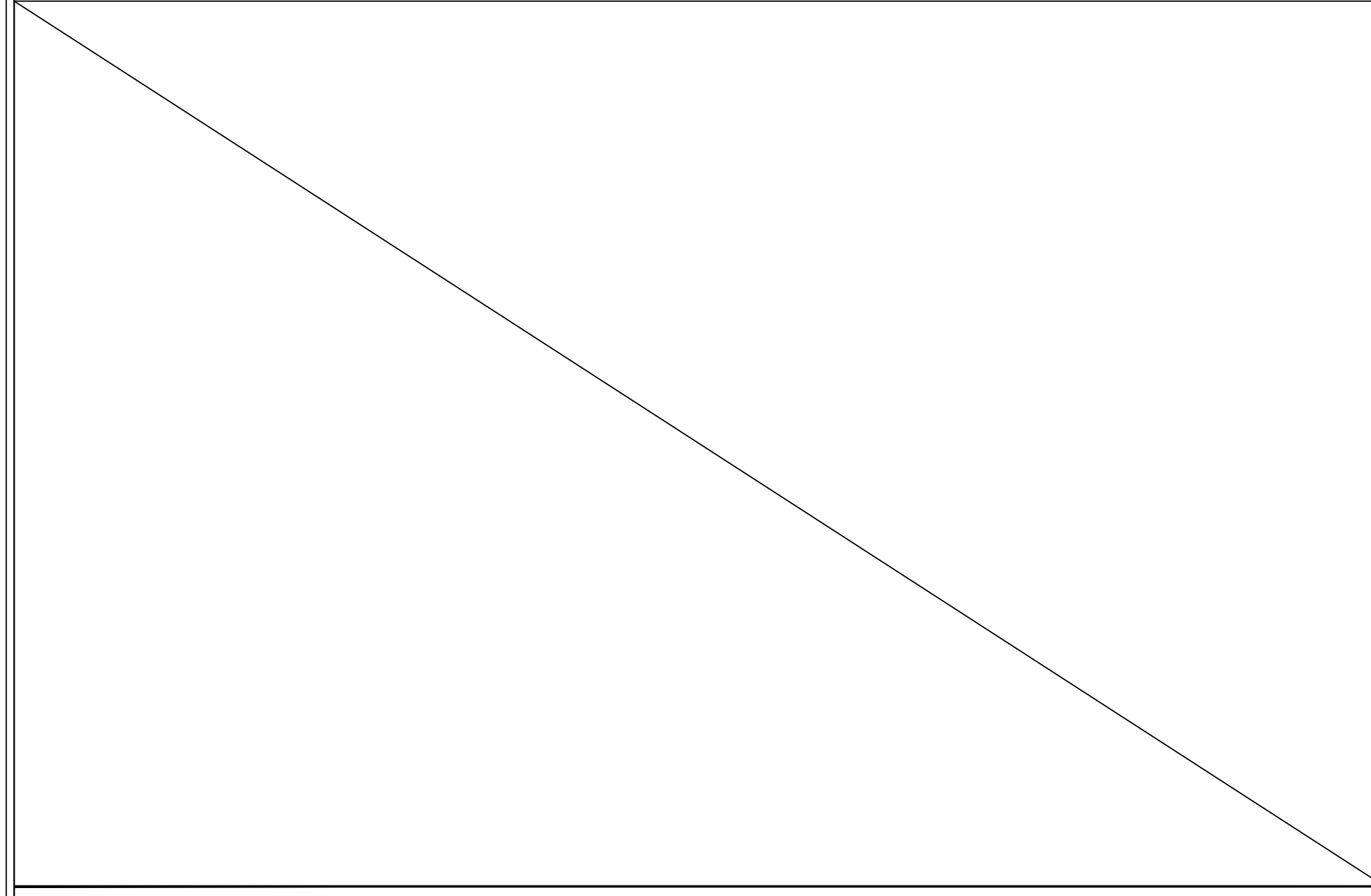
NTS DECIDUOUS TREE PLANTING DETAIL



NOT USED NTS WOODEN SCREEN FENCE DETAIL



NTS EVERGREEN TREE PLANTING DETAIL



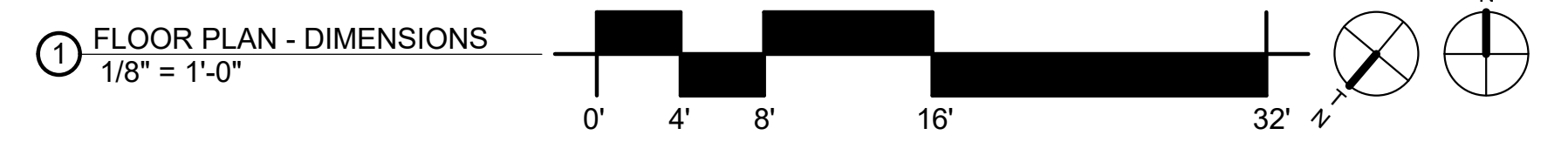
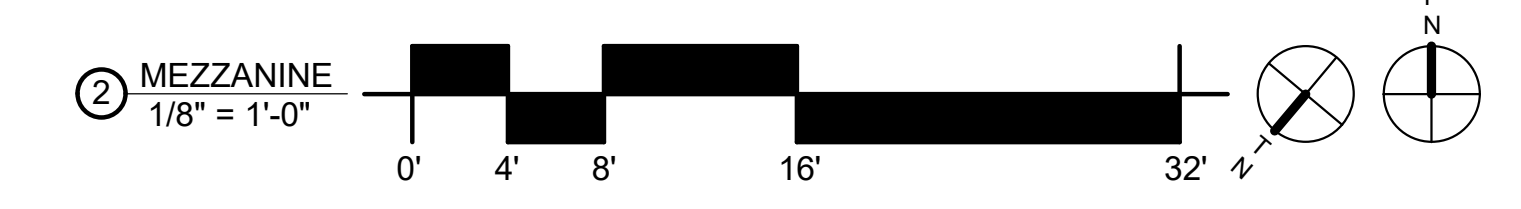
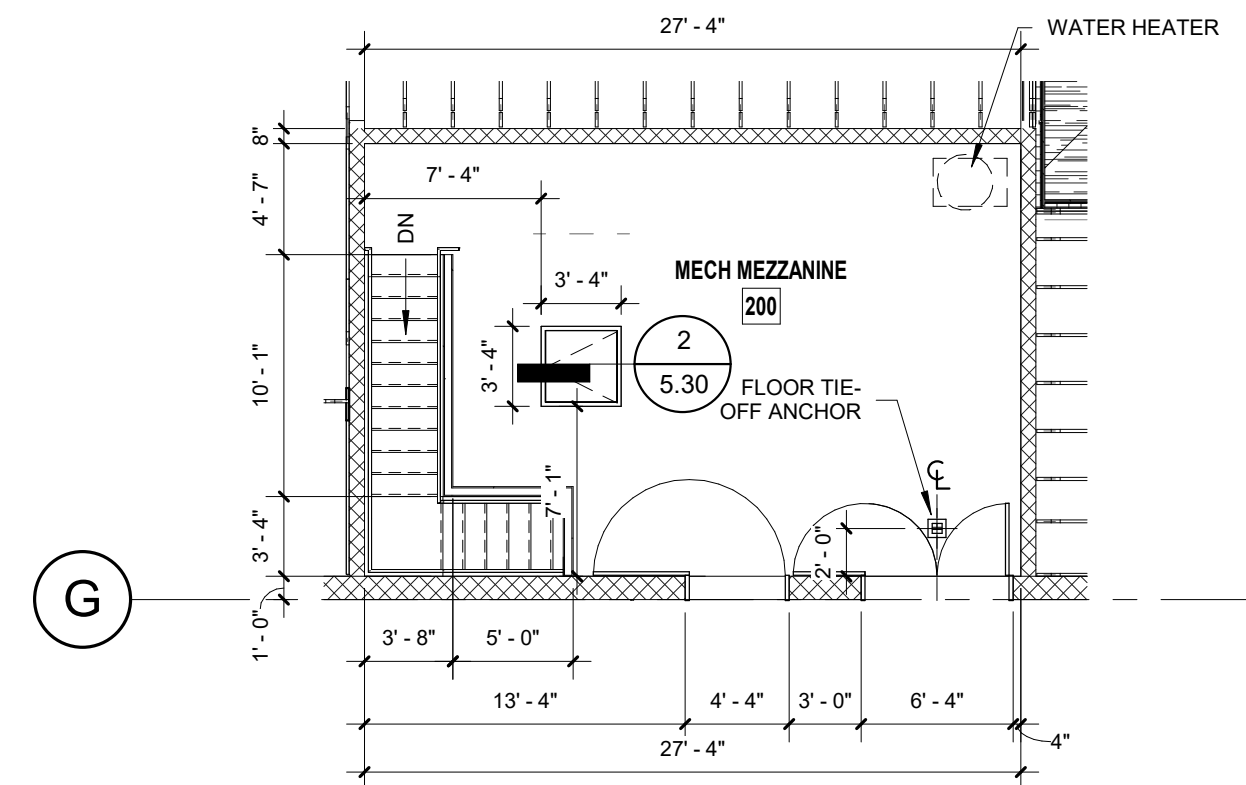
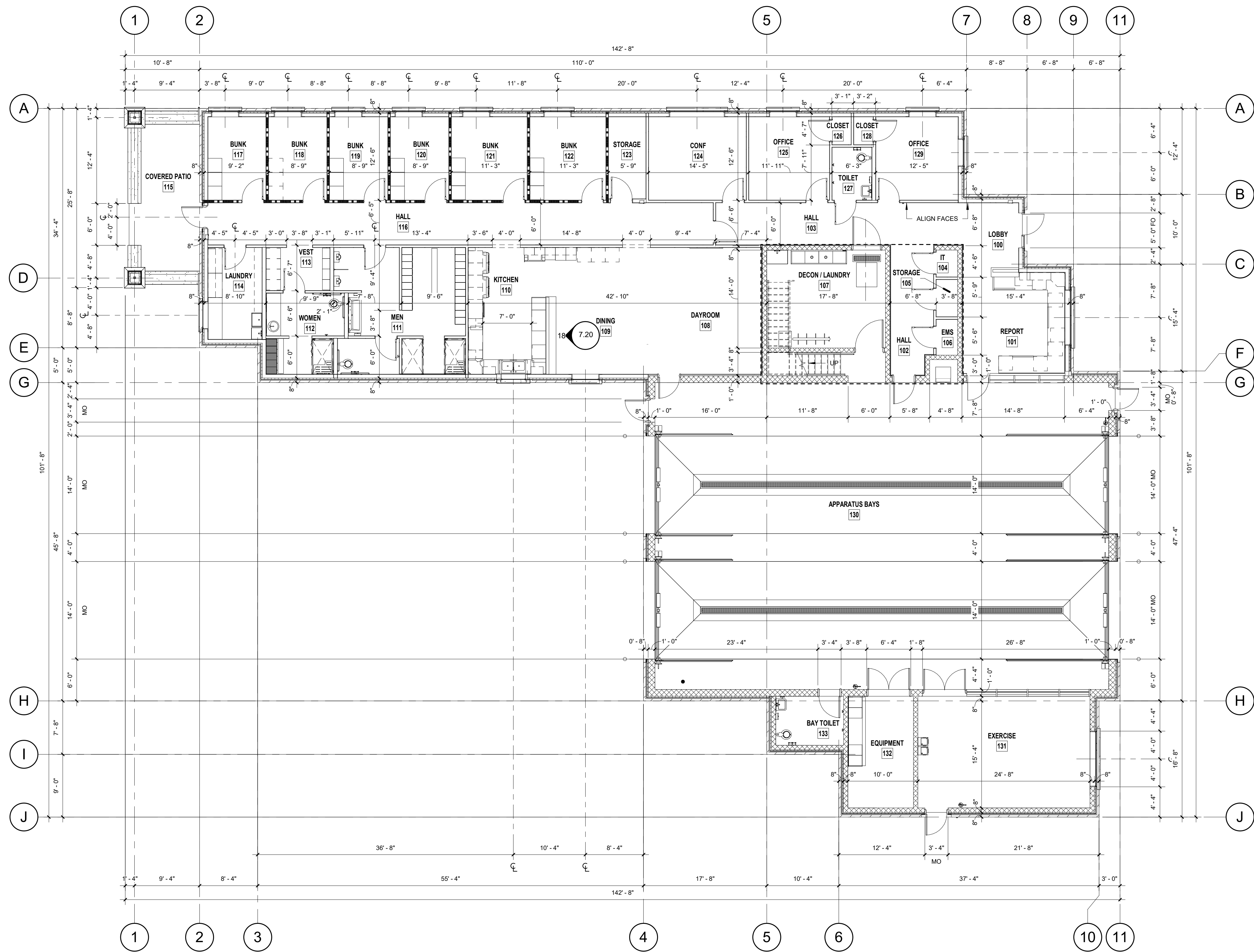
NOT USED NTS

NTS NOT USED

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Project No. 1619

Date: 11/8/2019 7:24:32 AM
 Drawn by:
 Author:
 Checked by:
 Checker:
 Revisions:

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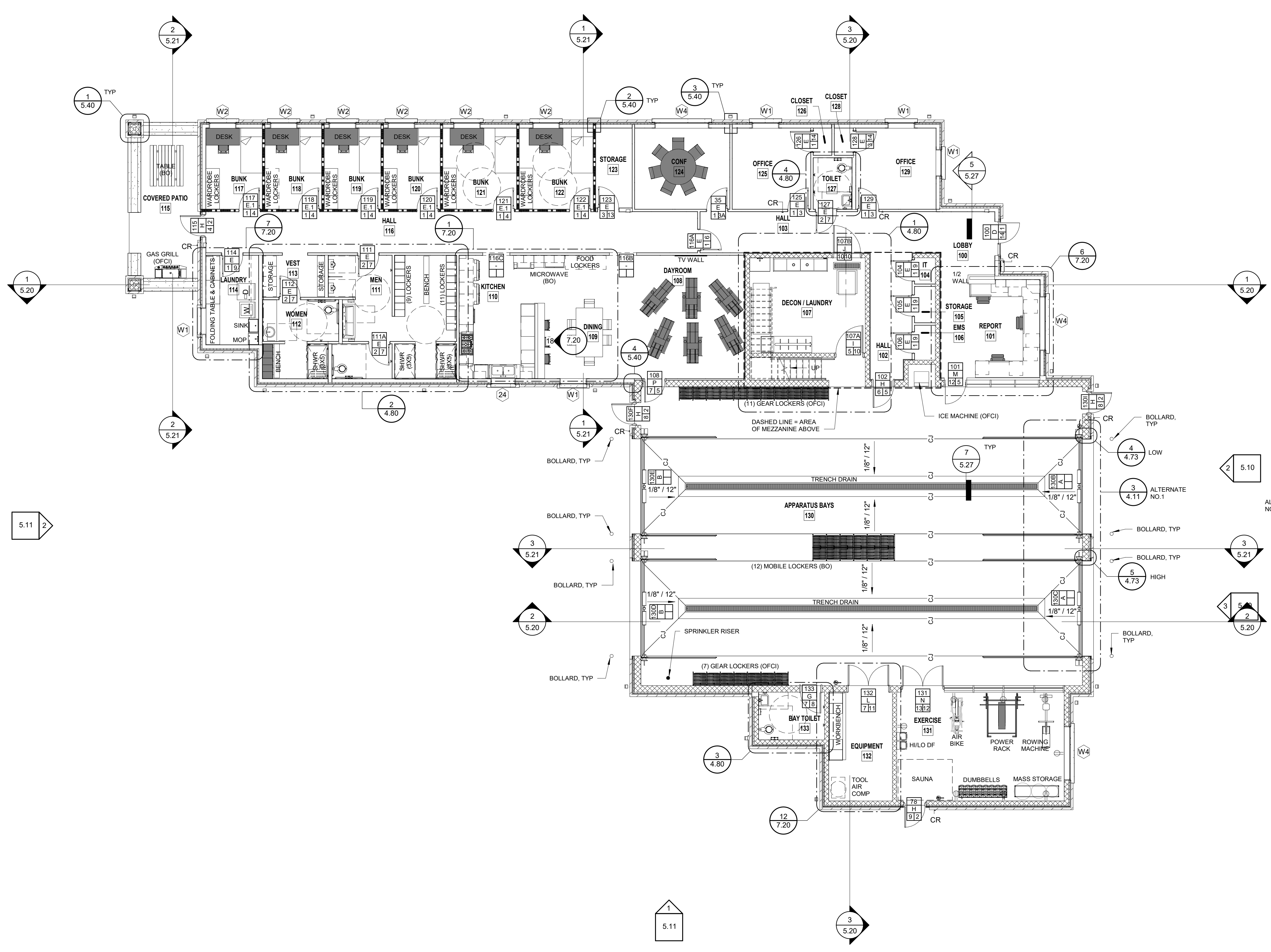
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11/8/19

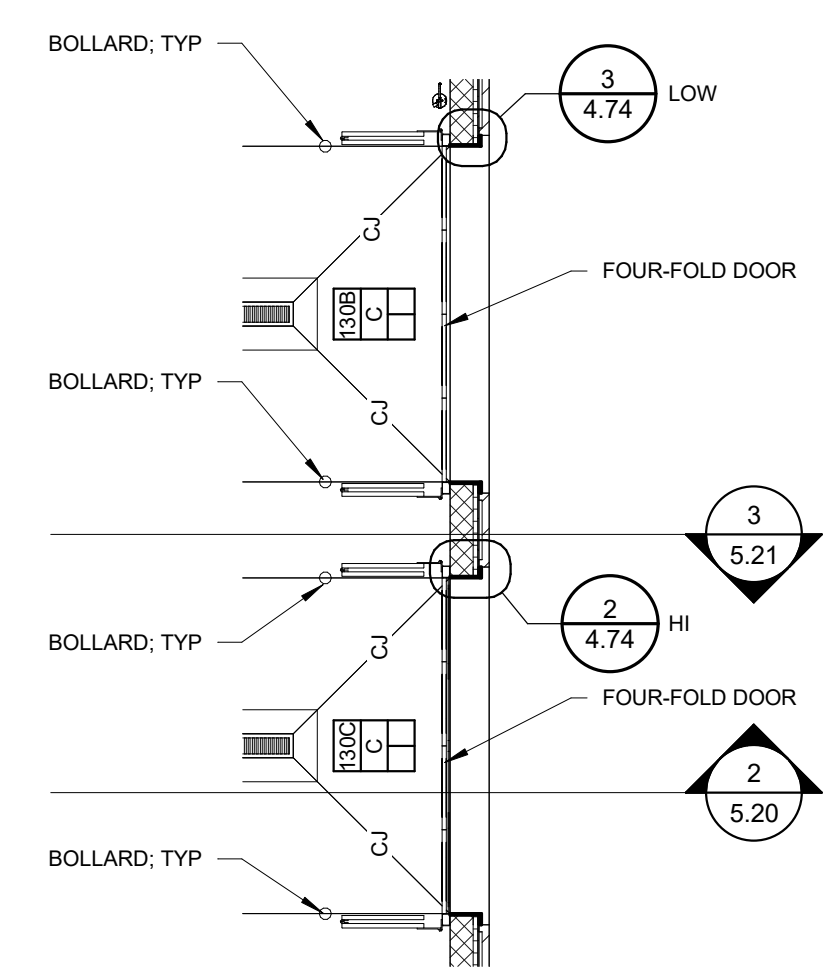
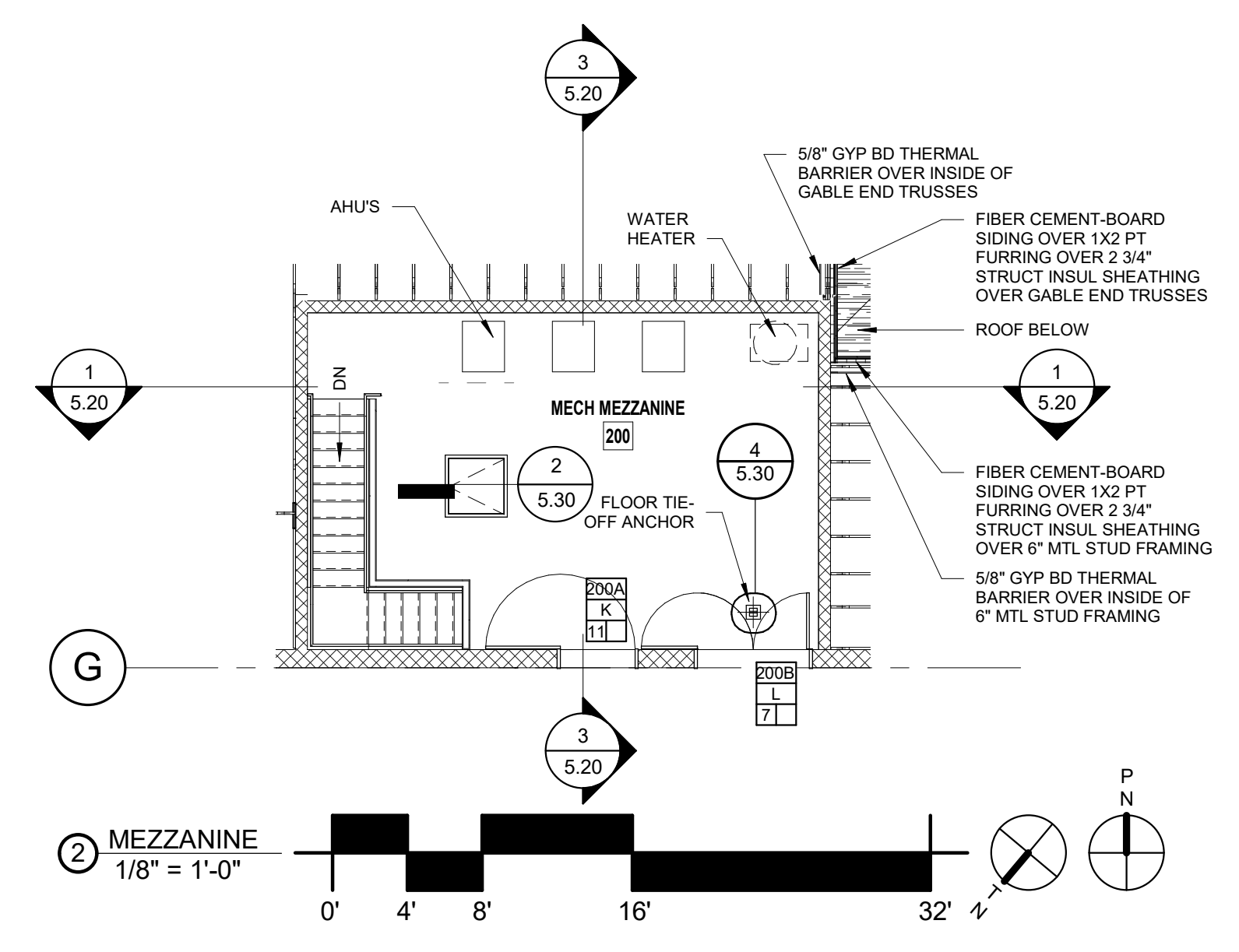
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 Weddington, North Carolina

DIMENSION PLAN

Sheet No. 4.10



① FLOOR PLAN - TAGS & NOTES
1/8" = 1'-0"

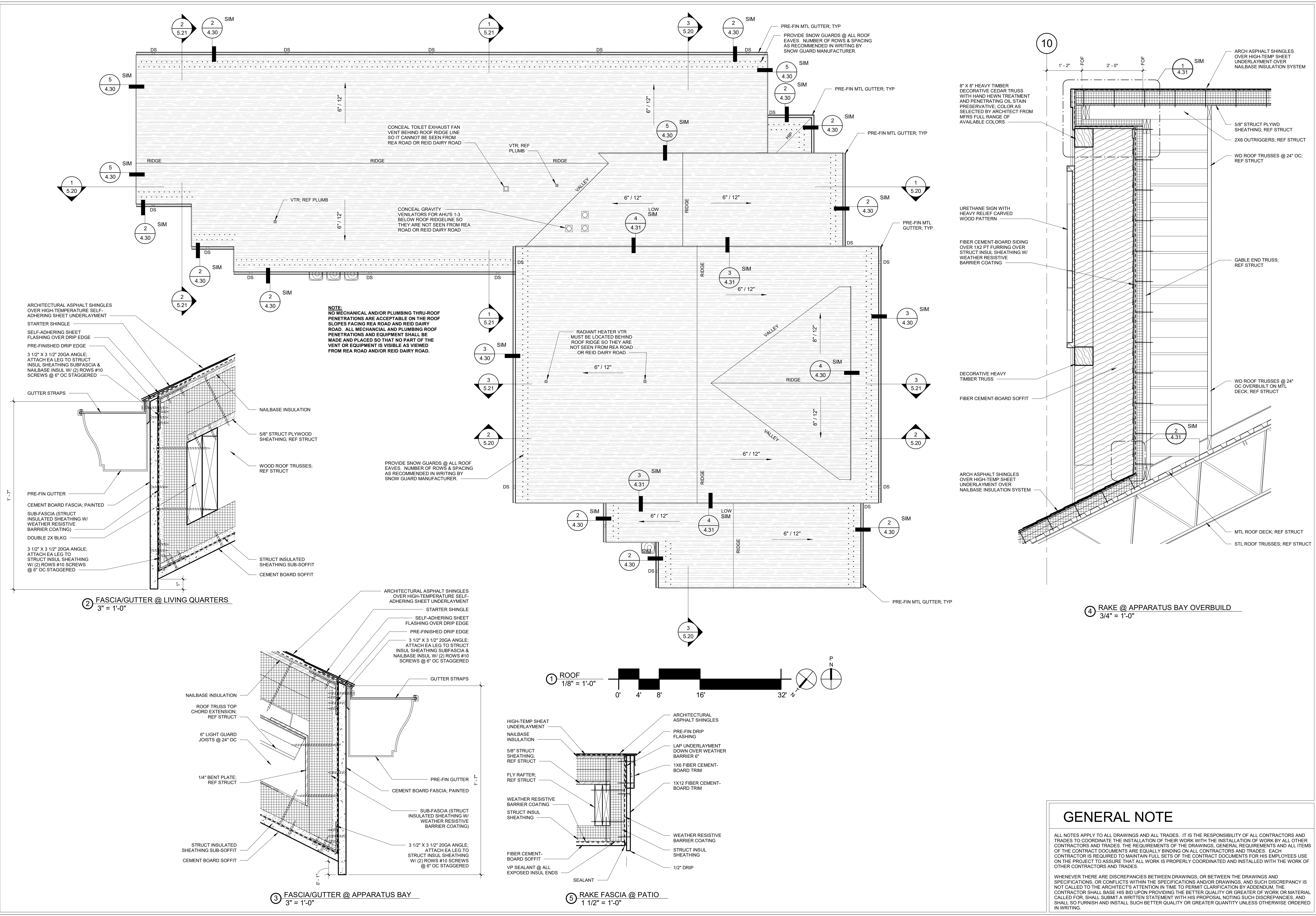


FLOOR PLAN - PARTIAL (ALTERNATE NO. 1)
1/8" = 1'-0"

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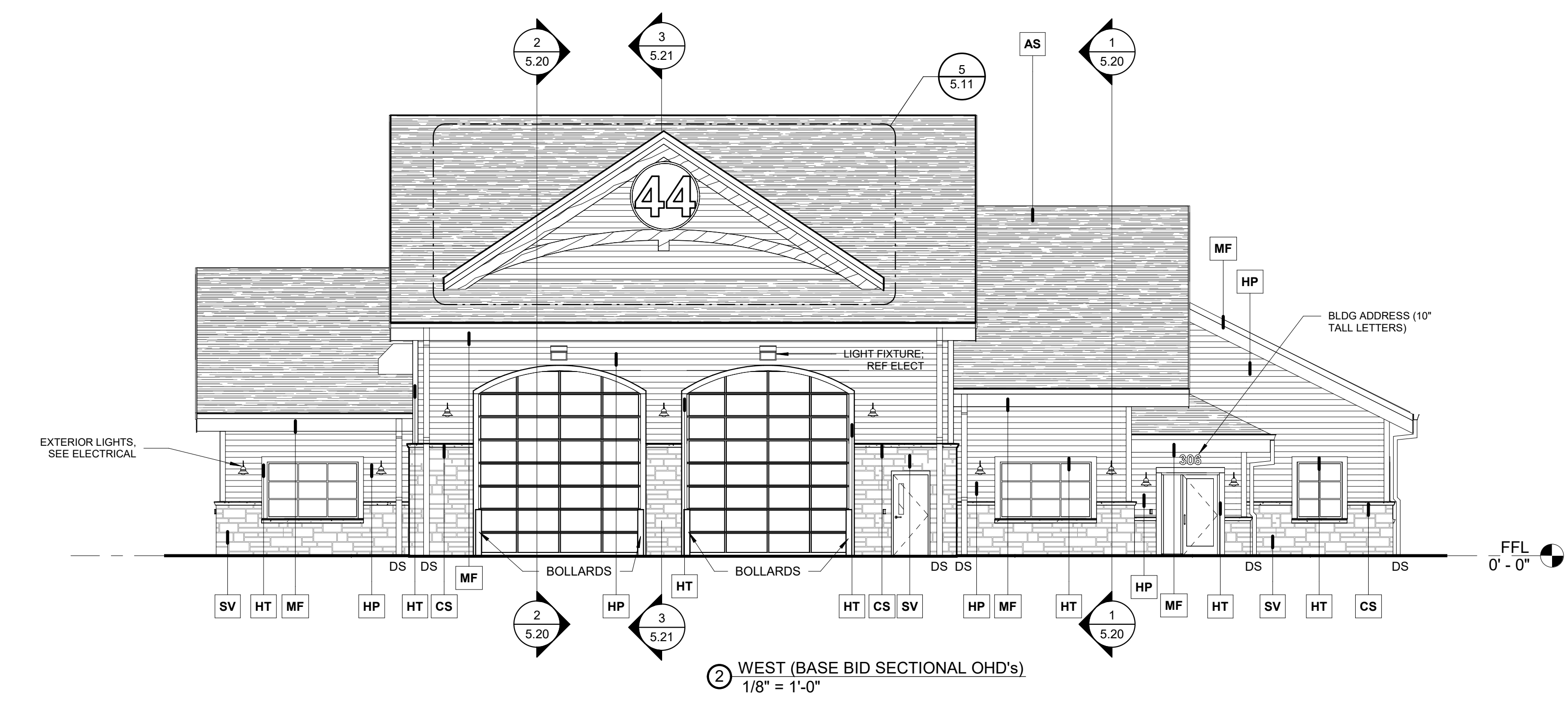
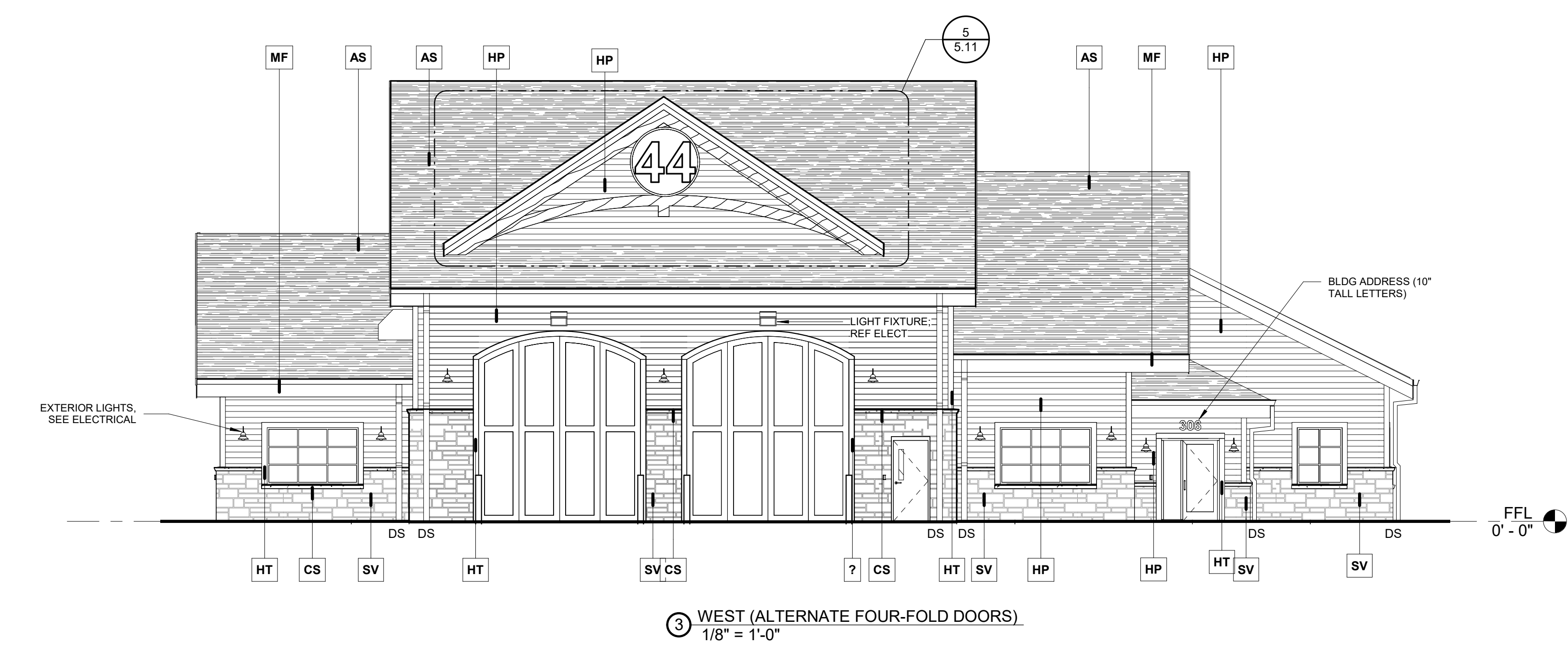
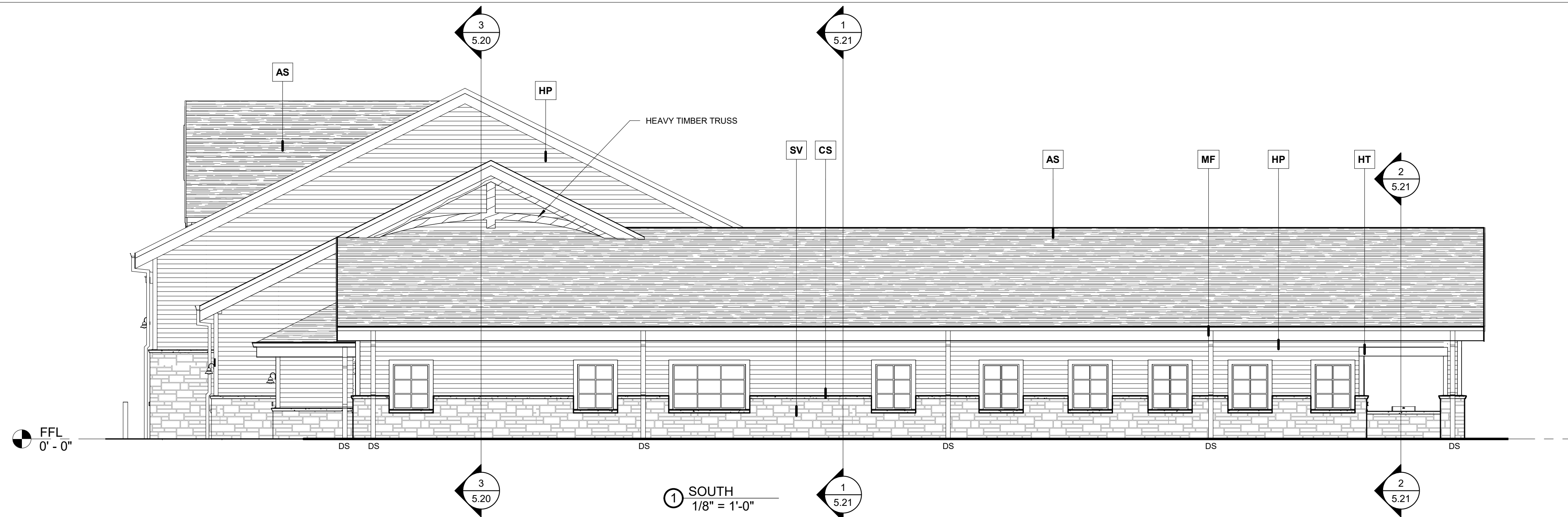
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EXTERIOR MATERIALS:

STONE VENEER (SV)
 SV GENERAL SHALE PRODUCTS- COLOR: CHESTNUT VELOUR (FIELD BRICK)

MORTAR - TYPE 'S'
 MORTAR JOINTS - CONCAVE ROUND TOOLED JOINTS.
 SEE ELEVATIONS FOR CONTROL JOINT LOCATIONS

ROOF - ASPHALT SHINGLES (RF)
 RF ASPHALT SHINGLES COLOR:

METAL FASCIA (MF) & ROOF FLASHING
 COLOR TO MATCH ROOF SHINGLES

METAL GUTTERS & DOWNSPOUTS
 COLOR TO MATCH ROOF (DOWNSPOUT SIZE: 4" X 4" X 26GA.)

HOLLOW METAL DOORS & FRAMES
 (DOORS) PPG SEMI-GLOSS EPOXY PAINT. COLOR: TBD
 (FRAMES) PPG SEMI-GLOSS EPOXY PAINT. COLOR: TBD

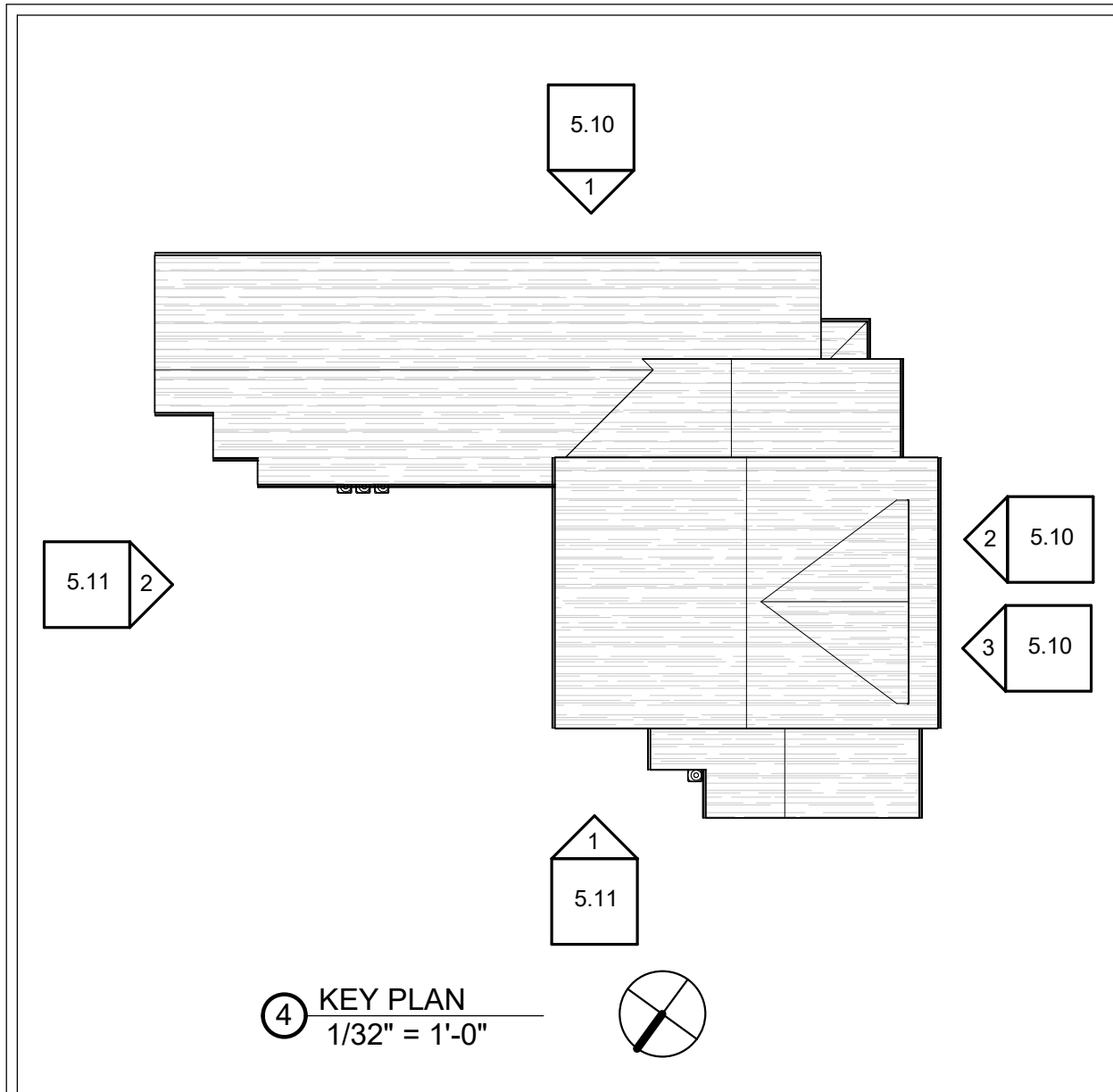
STOREFRONT (Doors & Windows)
 ALUMINUM STOREFRONT, KAWNEER TRIFAB VG-451/451T-ANODIZED CLEAR

LOUVERS
 RUSKIN, REFER TO MECHANICAL DRAWINGS FOR SIZE AND TYPE (COLOR : TBD)

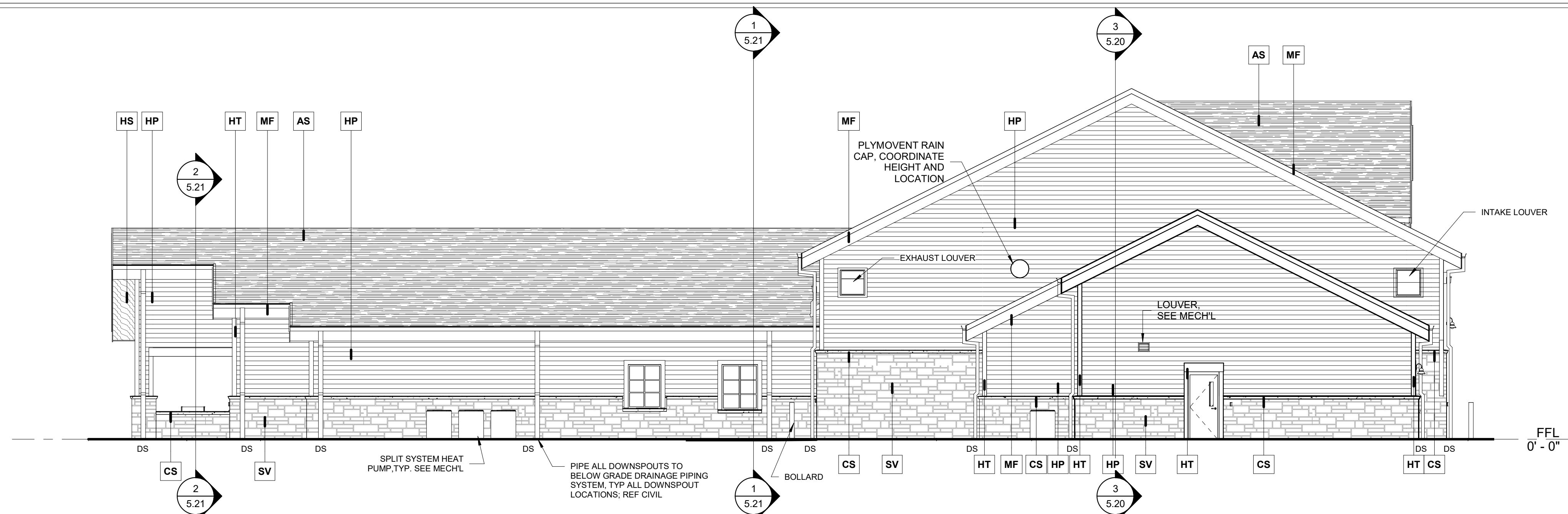
OVERHEAD DOORS
 BASE BID:
 SECTIONAL OVERHEAD DOORS
 (ONE-ROW ALUMINUM INSULATED GLASS AND POWDER COATED INSULATED FLAT STEEL PANELS IN STANDARD COLOR:TBD)
 ALTERNATE-1:
 FOUR-FOLD DOORS:
 (ONE-ROW ALUMINUM INSULATED GLASS AND POWDER COATED INSULATED FLAT STEEL PANELS IN STANDARD COLOR:TBD)

SIDINGS (HP), SOFFIT (HS) & TRIMS (HT)
 HP FIBER CEMENT SIDING (COLOR: TBD)
 HS FIBER CEMENT SOFFIT (COLOR: TBD)
 HT TRIM BOARD FIBER CEMENT (COLOR:TBD)

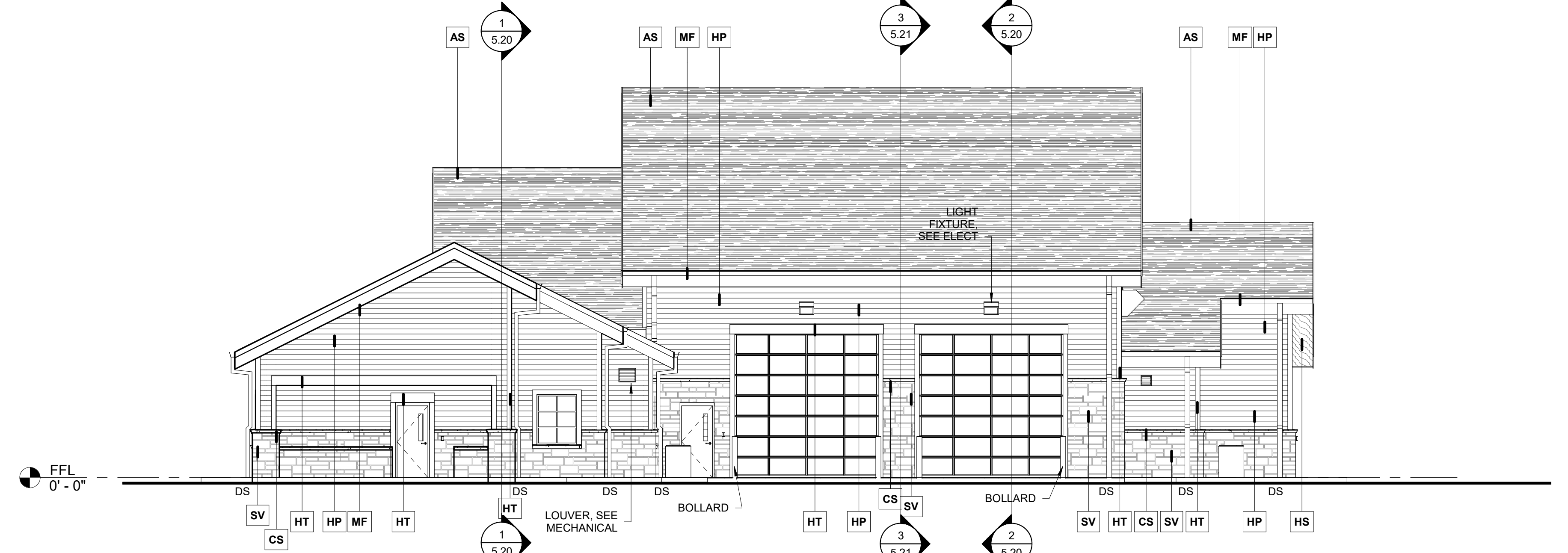
CASTSTONE (CS-1)
 CS-1 PRE-CAST (COLOR: TBD)
 CS-2 PRE-CAST (COLOR: TBD)



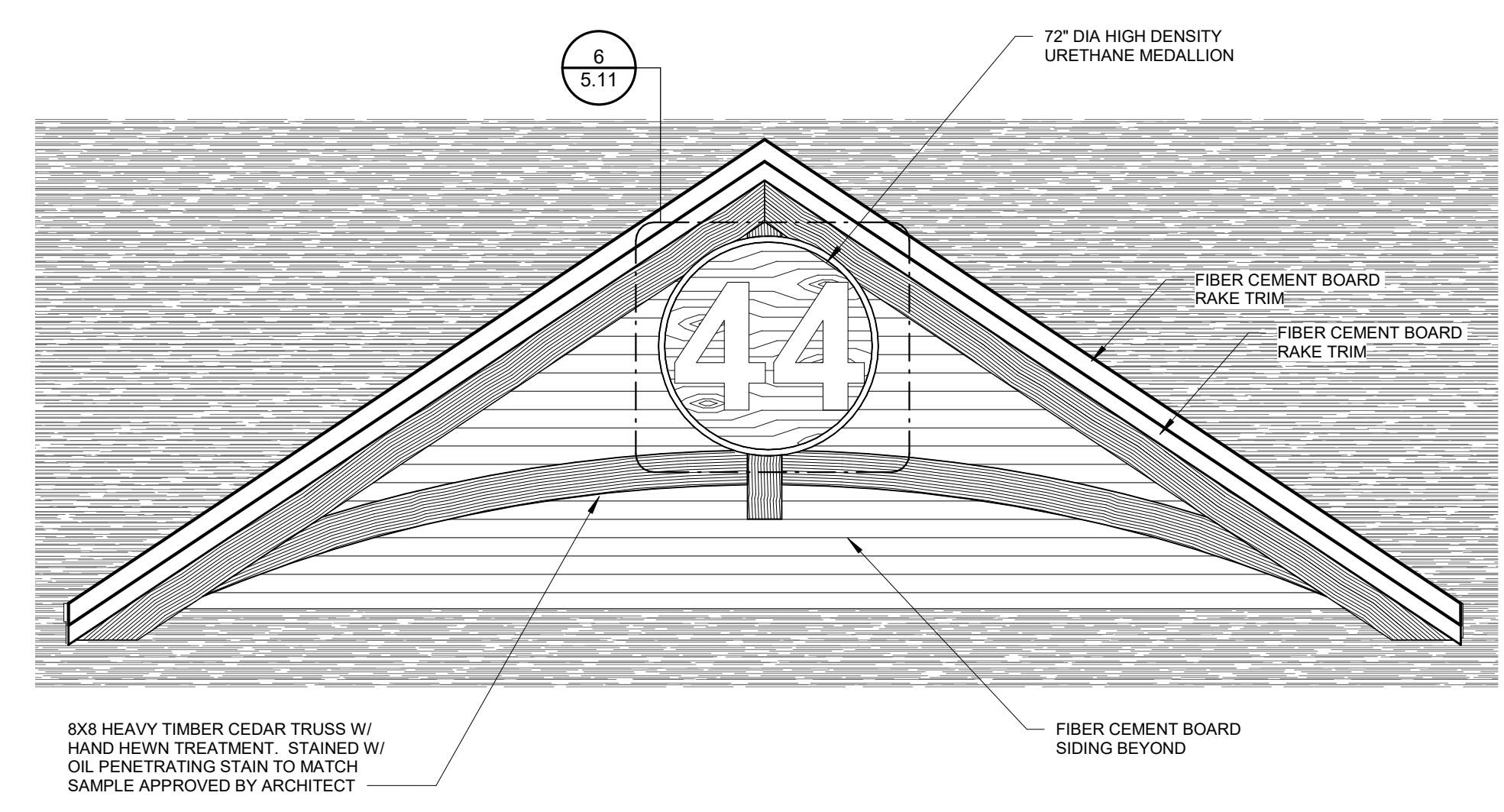
GENERAL NOTE
 ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
 WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR. SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.



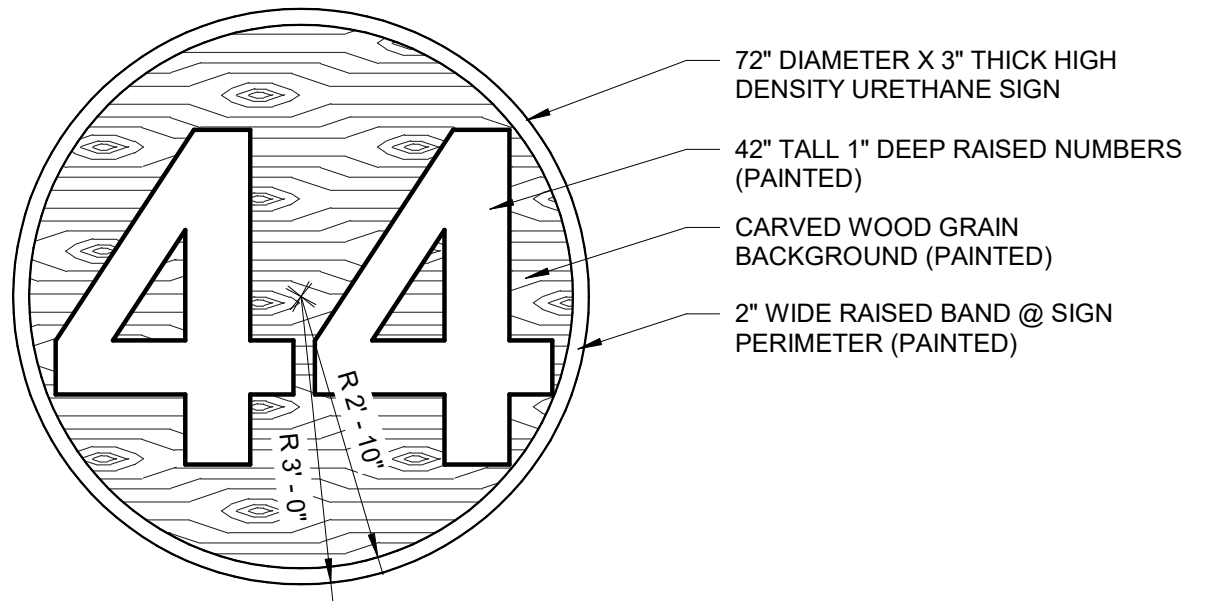
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

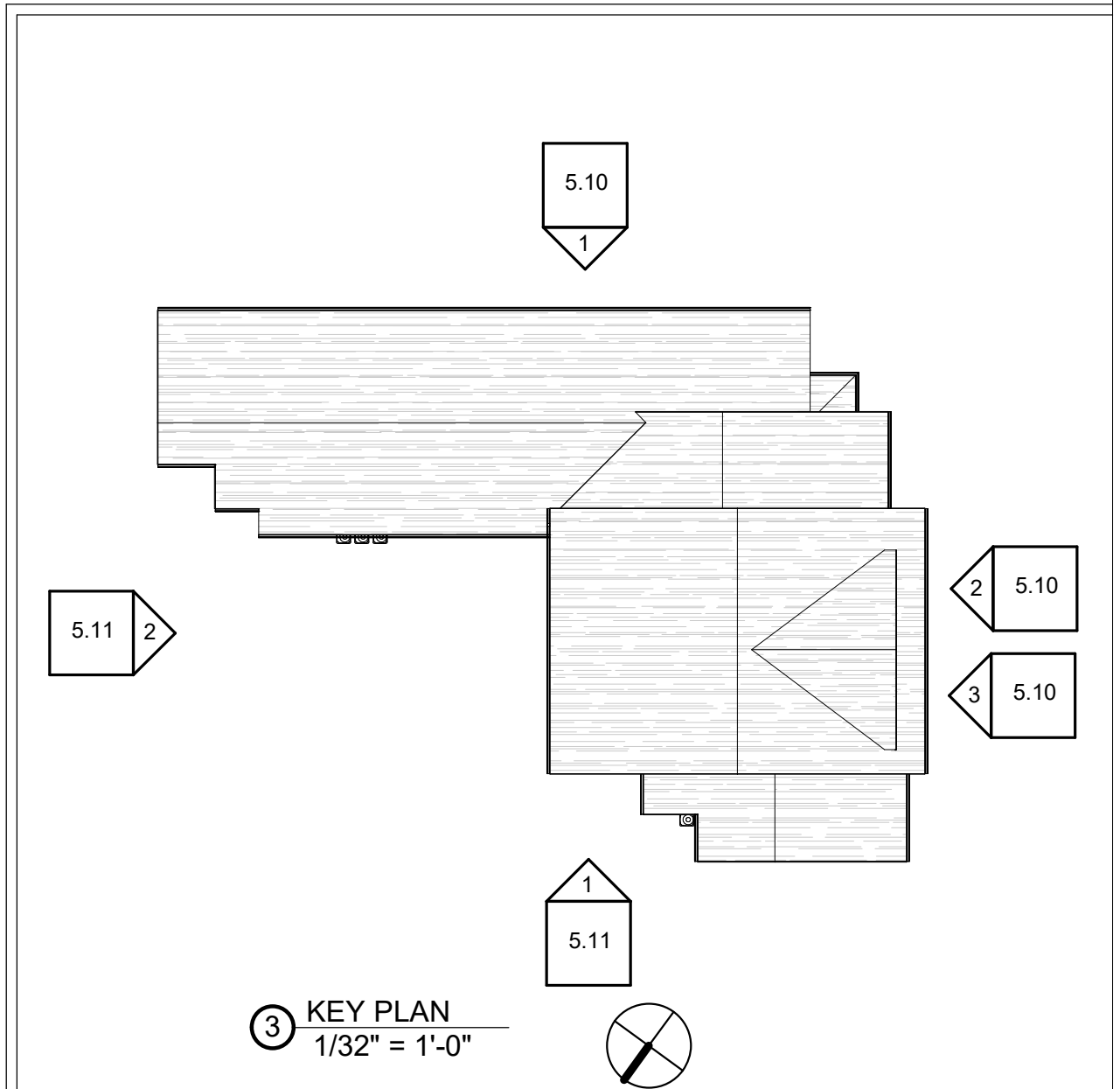


5 PARTIAL ENLARGED ELEVATION
1/4" = 1'-0"



6 MEDALLION ELEVATION
1/2" = 1'-0"

- STONE VENEER (SV)**
SV GENERAL SHALE PRODUCTS- COLOR: CHESTNUT VELOUR (FIELD BRICK)
- MORTAR - TYPE 'S'**
MORTAR JOINTS - CONCAVE ROUND TOOLED JOINTS. SEE ELEVATIONS FOR CONTROL JOINT LOCATIONS
- ROOF - ASPHALT SHINGLES (AS)**
RF ASPHALT SHINGLES COLOR:
- METAL FASCIA (MF) & ROOF FLASHING**
COLOR TO MATCH ROOF SHINGLES
- METAL GUTTERS & DOWNSPOUTS**
COLOR TO MATCH ROOF (DOWNSPOUT SIZE: 4" X 4" X 26GA.)
- HOLLOW METAL DOORS & FRAMES**
(DOORS) PPG SEMI-GLOSS EPOXY PAINT: COLOR, TBD
(FRAMES) PPG SEMI-GLOSS EPOXY PAINT: COLOR, TBD
- STOREFRONT (Doors & Windows)**
ALUMINUM STOREFRONT, KAWNEER TRIFAB VG-451/451T-ANODIZED CLEAR
- LOUVERS**
RUSKIN, REFER TO MECHANICAL DRAWINGS FOR SIZE AND TYPE (COLOR : TBD)
- OVERHEAD DOORS**
BASE BID:
SECTIONAL OVERHEAD DOORS (ONE-ROW ALUMINUM INSULATED GLASS AND POWDER COATED INSULATED FLAT STEEL PANELS IN STANDARD COLOR:TBD)
ALTERNATE-1:
FOUR-FOLD DOORS: (ONE-ROW ALUMINUM INSULATED GLASS AND POWDER COATED INSULATED FLAT STEEL PANELS IN STANDARD COLOR:TBD)
- SIDINGS (HP), SOFFIT (HS) & TRIMS (HT-)**
HP FIBER CEMENT SIDING (COLOR: TBD)
HS FIBER CEMENT SOFFIT (COLOR: TBD)
HT-1 9 1/4" TRIM BOARD FIBER CEMENT (COLOR:TBD)
HT-2 5 1/2" TRIM BOARD FIBER CEMENT (COLOR:TBD)
- CASTSTONE (CS-1)**
CS-1 PRE-CAST (COLOR: TBD)
CS-2 PRE-CAST (COLOR: TBD)



3 KEY PLAN
1/32" = 1'-0"

GENERAL NOTE

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Project No.
1619

Date:
11/8/2019 7:24:56 AM
Drawn by:
Author
Checked by:
Checklist
Revisions:

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STEWART-COOPER-NEWELL ARCHITECTS, P.A.
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GASTONIA, NC

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Gastonia, NC 28054
Phone: 704.865.6311
Fax: 704.865.0046

Stewart · Cooper · Newell Architects
www.scn-architects.com

1-800.671.0621

Preliminary Review Set

11/8/19

WESLEY CHAPEL VFD
STATION NO. 44
Weddington, North Carolina

ELEVATIONS - EXTERIOR

Sheet No.
5.11

**TOWN OF
W E D D I N G T O N**

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: January 13, 2020

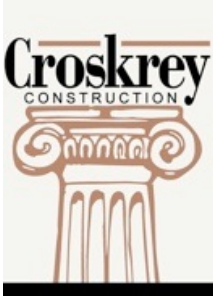
SUBJECT: Wesley Chapel Volunteer Fire Department Hemby Road fire station repairs contract

The Town Council held a special meeting December 19, 2019 to walk through the Hemby Road Fire Station and understand the various gutter system, mechanical, electrical and plumbing issues. Bid alternatives have been gathered to produce the final scope of work attached.

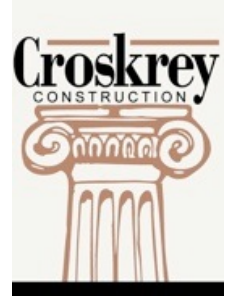
Recommendation

Authorize staff to enter into contract with Croskrey Construction for an amount not to exceed \$125,850 which includes the bid price and a 5% contingency.

BUILDING AND REMODELING YOU CAN COUNT ON SINCE 1991



4525 Stryker Dr. Weddington NC, 28104
N.C. General Contractor #75000
N.A.S.C.L.A Certified
704-821-9679 Office
704-776-5852 Cell



“ CHANGING THE WORLD YOU LIVE IN ONE ROOM AT A TIME ”

Submitted to: Lisa Thompson
Phone:
Date:

Address:
Project Description: Hemby Fire department
1/5/2020

Proposal / Contract

The following work outlines the responsibilities of Croskrey Construction LLC and its subcontractors:

Roof

The leak for the building is caused by the original gutter being left in place and wrapped with EPDM roofing material when they built the buildings facade. This causes the water to pool up on the roof and leak back into the building. We will remove the gutter completely from the facade side of the roof, frame new decking between the building and the facade, install crickets between newly installed scuppers on the face of the facade and install new down spouts. We will then rework the EPDM roofing and tie it all back together.

Mechanical

Both furnace for the building are undersized and have a myriad of ducting problems such as pinched or restricted ducts and the wrong ceiling diffusers. We will replace both units completely and rework the duct work upstairs to get the proper air flow through out the building.

Plumbing

Install one on demand electric water heater in janitorial closet close to both main showers, trouble shoot existing water heaters, while removing one of them from service keeping it for parts..

Landscape drainage

We will add a curtain drain and pipe for the back concrete walkway, this will get the water away from the building out towards the parking lot and install water diverters at the two locations of down spouts that dump water into the planter areas.

Window pass through

We will remove roller door from pass through area and install a dual by pass window. We will patch and repair walls as necessary.

Vent hood for stove.

We will install an exterior vent hood and ducting through the wall to help with the ventilation of the stove top.

Utility room

We will remove the existing florescent lights in the utility room and replace with LED lighting

Electrical work for water heater and Generator

We will remove the existing Generator and the fuel tank from inside the generator house and give that area back for storage. The new Generator will be a natural gas automated system and be placed on a new concrete pad outside. We will install all the necessary electrical components for the water heater and the generator.

The project with permits and labor is \$119,854.00

Thank you for the opportunity to serve you in all your construction needs.

It is understood and agreed that Croskrey Construction LLC, its members and employees shall not be held liable for any loss, damage or delays occasioned by strike, materials stolen after delivery upon premises or delays beyond our control. General conditions which are standard for contractors in the construction industry shall apply to this contract. Customers shall carry fire and any other home owners insurance that may apply to their specific area. Prices quoted in this contract are based on present prices and upon the condition that the proposal is accepted within fifteen days of the above date.

Submitted By: _____

Under the mechanics lien law, any contractor, subcontractor, laborer or material men or any other person who helps improve a clients property and is not paid for his labor, services or materials has a right to enforce his claim against the improved property. Under the law, you may protect against such claims by recording a contractors payment bond and filling an original contract for the work of improvement or modification property. The bond must be fifty percent (50 %) or more of the contract price. The bond recording and the contract filling must be in the office of the county recorder for the county where the property is situated and completed before commencing such work or improvement. In addition to any conditions for the performance of the contract, the bond must be conditioned for the payment in full of the claims of all persons furnishing labor, services, equipment or materials for the work described in the filed contract.

This proposal is submitted is in duplicate. The return of one with your signature constitute a contract.

ACCEPTED BY: _____ **Date:** _____

Past due accounts shall have a service charge of 1 1/2 % per month, 18 % per annum until the account is paid in full. Customers shall pay all collection cost on past due accounts, including but not limited to liens, court cost and attorney fees. An an additional fee of \$65.00 per hour paid to Croskrey Construction LLC. will be added to any returned checks as well as the bank charges associated with returned checks.

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: January 13, 2020

SUBJECT: Call for a Public Hearing - Text Amendment to Chapter 38 Article 22 Section 38-23 Planning Board Powers and Duties, Generally- to establish a Stormwater Review Board.

Section 58.617 of the proposed Soil Erosion and Sedimentation Control Ordinance requires that appeals of a disapproval or approval with modifications of a Plan by the Town, shall entitle the person submitting the Plan to a public hearing if such person submits written demand for a hearing within 15 days after receipt of written notice of disapproval or modifications. A hearing shall be conducted by the Stormwater Review Board, within 30 days after the date of the appeal or request for a hearing. The Stormwater Board conducting the hearings shall make recommendations to the Town Council.

The newly established Stormwater Review Board shall handle appeals in a quasi-judicial manner as it would handle any appeal of the subdivision or zoning administrator's decision.

Adding the following to Section 38-23 empowers the Planning Board to act as the Stormwater Review Board.

Sec. 38-23. - Powers and duties generally.

The general duties of the planning board shall be as follows:

- (1) Make studies of the town and its surrounding areas;
- (2) Determine objectives to be sought in the development of the areas under study;
- (3) Prepare and adopt plans for achieving the objectives sought in particular areas;
- (4) Develop and recommend policies, ordinances, administrative procedures, and other means for carrying out plans in a coordinated and efficient manner;
- (5) Advise the council concerning the use and amendment of means for carrying out plans;

- (6) Exercise any functions in the administration and enforcement of various means for carrying out plans that the council may direct;
- (7) Approve minor subdivision plats and bonds not in excess of \$1,000,000.00;
- (8) Keep the town council and the general public informed and advised as to these matters of planning; and
- (9) Perform any other related duties that the council may direct.
- (10) To serve as the Stormwater Review Board and rule on all petitions in accordance with the procedures set forth in Section 58-617.

Staff recommends calling for a public hearing to be held February 10, 2020 at the Weddington Town Hall to consider a text amendment to Chapter 38 Article 22 Section 38-23 Planning Board Powers and Duties, Generally- to establish a Stormwater Review Board.

WEDDINGTON CODE ENFORCEMENT REPORT

December, 2019

1. 4005 Ambassador Ct., Inez B. McRae Trust
 - 12/31/19---Deterioration continues, building vacant and closed.

2. 416 Gatewood Ln.
 - Motor home/camper parked in street right of way at this address. Owner has requested until 12/31/19 to move it from street.
 - 12/31/18—Violation continues. Motorhome to be towed by Town.
 - 1/31/19---Owner has moved camper up into front yard of home.
 - 2/28/19----Took photo's of camper from street and driveway.
 - 3/29/19---Monitoring.
 - 4/30/19---Case continues, camper and vehicles in front are inoperative.
 - 6/30/19---Owner has agreed to remove old camper; vehicles in front are unlicensed and may be inoperative.
 - 8/31/19—Camper has been removed.
 - 9/30/19—Vehicles have been placarded as junk vehicles.
 - 12/31/19---Owner to remove vehicles by 12/31/19.

3. 2500 Greenbrook Parkway
 - Pallets stacked behind detached garage and old mattress. Sent owner notice to remove these items. No response.
 - 3/29/19---Met with owner on site. He is having pallets and mattresses removed.
 - 5/31/19—Pallets still to be removed.
 - 9/30/19—Pool in back yard, tarp partially fallen in pool.
 - 11/30/19—Monitoring.
 - 12/31/19---Pallets and junk on driveway in front of garage. Will contact owner to have it removed.

4. 3005 Cornerstone Dr.
 - Box truck and old camper in side yard of house; sent courtesy letter to owner 2/1/19.
 - No response. Vehicles still in driveway at rear of home.
 - 4//30/19---monitoring.
 - 12/31/19---Monitoring this one.

5. 150 Amanda Dr., Ritter Grading
 - Non-conforming business has expanded on to vacant lot next. Notice of violation ordering all expansion to be removed and restored to condition and size of this use at time zoning became effective is pending.

- 4/30/10---Notice of violation issued requiring compliance by 5/9/19. Owner has requested meeting with staff and town attorney.
- 5/31/19—Site inspection, saw-mill and some logs have been removed. More equipment and building must be removed.
- 6/30/19---Saw mill, bandsaw and logs removed. Storage bins, fuel tank and office building still must go.
- 7/31/19---Office trailer and 2 storage Pods still to be removed.
- 8/31/10—Office trailer and Pods removed.
- 9/30/19—Some parking on vacant lot still on going. Still working on this one.
- 10/31/19—Adjoining lot cleared of grading equipment.
- Monitoring.
- 12/31/19---Monitoring.

6. 7024 Stirrup Ct.

- 7/31/19----Construction debris and weeds overgrown on site of house under construction. Gave owner 5 days to clean up (on 7/29/19) .
- Home still under construction; old concrete pipe and some weeds along road ditch to be cleared/removed.
- 9/30/19—monitoring.
- 10/31/19—still needs to remove old culvert/pipe from front near road ditch
- 11/30/19—old culvert/pipe still to be removed.
- Old culvert/pipe still not moved from front of property near road ditch.

7. Beulah Church Rd. @ Twelve Mile Creek Rd.

- 8/31/19---pasture/acreage around home site is overgrown; area around home and courtyard is being mowed; no violations observed.
- 12/31/19---monitoring.

8. 1011 Heritage Acres

- Notice of Violation & Citation issued for illegal customary home occupation 10/7/19.
- Owner has refused to allow inspection of property. No visible violation from exterior.
- 11/30/19—Monitoring.
- 12/31/19---Monitoring.

TOWN OF WEDDINGTON
BALANCE SHEET

FY 2019-2020

PERIOD ENDING: 12/31/2019

10

ASSETS

ASSETS

10-1120-000	TRINITY CHECKING ACCOUNT	2,210,814.68
10-1120-001	TRINITY MONEY MARKET	1,135,443.08
10-1170-000	NC CASH MGMT TRUST	554,372.15
10-1211-001	A/R PROPERTY TAX	185,855.74
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	5,695.79
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	7,886.31
10-1232-000	SALES TAX RECEIVABLE	2,899.27
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	2,356,559.00
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	10,895.00
10-1610-003	FIXED ASSETS - EQUIPMENT	18,445.58
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.00
10-1610-005	FIXED ASSETS - COMPUTERS	30,442.52
10-1610-006	FIXED ASSETS - COMPUTER SOFTWARE	58,044.00
	TOTAL ASSETS	6,604,204.12

LIABILITIES & EQUITY

LIABILITIES

10-2120-000	BOND DEPOSIT PAYABLE	75,002.25
10-2620-000	DEFERRED REVENUE - DELQ TAXES	5,695.79
10-2625-000	DEFERRED REVENUE - CURR YR TAX	185,855.74
10-2630-000	DEFERRED REVENUE-NEXT 8	7,886.31
	TOTAL LIABILITIES	274,440.09

EQUITY

10-2620-001	FUND BALANCE - UNASSIGNED	2,516,986.83
10-2620-003	FUND BALANCE-ASSIGNED	228,000.00
10-2620-004	FUND BALANCE-INVEST IN FIXED ASSETS	2,501,237.10
10-2620-005	CURRENT YEAR EQUITY YTD	506,527.34
	CURRENT FUND BALANCE - YTD NET REV	577,012.76
	TOTAL EQUITY	6,329,764.03

	6,604,204.12
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TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2019-2020

12/01/2019 TO 12/31/2019

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
REVENUE:				
10-3101-110 AD VALOREM TAX -	236,446.16	972,344.88	1,120,000.00	13
10-3102-110 AD VALOREM TAX - 1ST	231.20	2,049.92	3,000.00	32
10-3103-110 AD VALOREM TAX - NEXT 8	248.43	1,780.27	2,000.00	11
10-3110-121 AD VALOREM TAX -	9,324.70	45,626.15	102,000.00	55
10-3115-180 TAX INTEREST	60.82	387.56	2,250.00	83
10-3231-220 LOCAL OPTION SALES TAX	34,739.73	138,616.29	370,000.00	63
10-3322-220 BEER & WINE TAX	0.00	0.00	45,000.00	100
10-3324-220 UTILITY FRANCHISE TAX	128,240.02	229,586.61	460,000.00	50
10-3340-400 ZONING & PERMIT FEES	2,147.50	19,910.00	35,000.00	43
10-3350-400 SUBDIVISION FEES	0.00	15,125.00	13,250.00	-14
10-3830-891 MISCELLANEOUS REVENUES	102.00	1,054.00	26,750.00	96
10-3831-491 INVESTMENT INCOME	0.00	6,121.96	21,000.00	71
TOTAL REVENUE	<u>411,540.56</u>	<u>1,432,602.64</u>	<u>2,200,250.00</u>	<u>35</u>
AFTER TRANSFERS	<u>411,540.56</u>	<u>1,432,602.64</u>	<u>2,200,250.00</u>	
4110 GENERAL GOVERNMENT				
EXPENDITURE:				
10-4110-126 FIRE DEPT SUBSIDIES	63,649.83	381,898.98	772,810.00	51
10-4110-127 FIRE DEPARTMENT	0.00	0.00	151,000.00	100
10-4110-128 POLICE PROTECTION	0.00	148,634.48	299,275.00	50
10-4110-192 ATTORNEY FEES - GENERAL	5,000.00	25,000.00	60,000.00	58
10-4110-193 ATTORNEY FEES -	0.00	5,000.00	5,000.00	0
10-4110-195 ELECTION EXPENSE	11,045.51	11,045.51	3,500.00	-216
10-4110-340 PUBLICATIONS	0.00	1,910.00	10,500.00	82
10-4110-342 HOLIDAY/TREE LIGHTING	1,103.43	2,528.83	6,000.00	58
10-4110-343 SPRING EVENT	0.00	0.00	10,175.00	100
10-4110-344 OTHER COMMUNITY EVENTS	0.00	742.60	1,850.00	60
10-4110-495 COMMITTEE & OUTSIDE	0.00	0.00	4,000.00	100
TOTAL EXPENDITURE	<u>80,798.77</u>	<u>576,760.40</u>	<u>1,324,110.00</u>	<u>56</u>
BEFORE TRANSFERS	<u>-80,798.77</u>	<u>-576,760.40</u>	<u>-1,324,110.00</u>	
AFTER TRANSFERS	<u>-80,798.77</u>	<u>-576,760.40</u>	<u>-1,324,110.00</u>	
4120 ADMINISTRATIVE				
EXPENDITURE:				
10-4120-121 SALARIES - CLERK	1,804.68	12,483.40	23,600.00	47
10-4120-123 SALARIES - TAX COLLECTOR	3,517.97	24,136.40	52,950.00	54
10-4120-124 SALARIES - FINANCE OFFICER	541.97	5,041.39	11,200.00	55
10-4120-125 SALARIES - MAYOR &	1,700.00	12,200.00	25,200.00	52
10-4120-181 FICA EXPENSE	578.67	4,120.06	8,700.00	53
10-4120-182 EMPLOYEE RETIREMENT	816.72	5,459.04	12,125.00	55
10-4120-183 EMPLOYEE INSURANCE	1,187.00	7,122.00	13,475.00	47

**TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT**

FY 2019-2020

12/01/2019 TO 12/31/2019

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4120-184 EMPLOYEE LIFE INSURANCE	12.60	75.60	175.00	57
10-4120-185 EMPLOYEE S-T DISABILITY	12.00	72.00	175.00	59
10-4120-191 AUDIT FEES	0.00	0.00	8,750.00	100
10-4120-193 CONTRACT LABOR	0.00	5,840.00	32,750.00	82
10-4120-200 OFFICE SUPPLIES - ADMIN	318.12	1,785.02	15,000.00	88
10-4120-210 PLANNING CONFERENCE	0.00	0.00	500.00	100
10-4120-321 TELEPHONE - ADMIN	95.02	948.88	3,000.00	68
10-4120-325 POSTAGE - ADMIN	0.00	806.33	2,000.00	60
10-4120-331 UTILITIES - ADMIN	250.19	2,127.94	6,000.00	65
10-4120-351 REPAIRS & MAINTENANCE -	0.00	400.00	12,000.00	97
10-4120-352 REPAIRS & MAINTENANCE	-1,714.23	24,324.31	75,000.00	68
10-4120-354 REPAIRS & MAINTENANCE	3,750.00	28,793.50	90,050.00	68
10-4120-355 REPAIRS & MAINTENANCE	0.00	566.08	1,500.00	62
10-4120-356 REPAIRS & MAINTENANCE	400.00	2,200.00	6,000.00	63
10-4120-370 ADVERTISING - ADMIN	280.20	473.80	1,000.00	53
10-4120-397 TAX LISTING & TAX	-306.90	-643.50	250.00	357
10-4120-400 ADMINISTRATIVE:TRAINING	1,018.38	2,846.38	5,000.00	43
10-4120-410 ADMINISTRATIVE:TRAVEL	215.18	3,724.82	7,000.00	47
10-4120-450 INSURANCE	0.00	13,379.80	14,500.00	8
10-4120-491 DUES & SUBSCRIPTIONS	335.00	18,601.50	24,000.00	22
10-4120-498 GIFTS & AWARDS	471.28	669.12	3,000.00	78
10-4120-499 MISCELLANEOUS	0.00	1,092.58	8,000.00	86
10-4120-500 CAPITAL EXPENDITURES	0.00	0.00	10,000.00	100
TOTAL EXPENDITURE	15,283.85	178,646.45	472,900.00	62
BEFORE TRANSFERS	-15,283.85	-178,646.45	-472,900.00	
AFTER TRANSFERS	-15,283.85	-178,646.45	-472,900.00	

4130 PLANNING & ZONING

EXPENDITURE:

10-4130-121 SALARIES - ZONING	6,188.58	38,228.96	75,450.00	49
10-4130-122 SALARIES - ASST ZONING	0.00	400.00	500.00	20
10-4130-123 SALARIES -	1,435.83	9,468.78	18,550.00	49
10-4130-124 SALARIES - PLANNING	375.00	2,275.00	5,200.00	56
10-4130-125 SALARIES - SIGN REMOVAL	222.74	2,839.94	8,500.00	67
10-4130-181 FICA EXPENSE - P&Z	601.97	3,880.85	7,950.00	51
10-4130-182 EMPLOYEE RETIREMENT -	1,227.41	7,435.62	15,390.00	52
10-4130-183 EMPLOYEE INSURANCE	1,474.00	8,844.00	15,925.00	44
10-4130-184 EMPLOYEE LIFE INSURANCE	19.60	117.60	250.00	53
10-4130-185 EMPLOYEE S-T DISABILITY	12.00	72.00	175.00	59
10-4130-193 CONSULTING	-4,376.45	16,053.48	60,000.00	73
10-4130-194 CONSULTING - COG	0.00	0.00	26,500.00	100
10-4130-200 OFFICE SUPPLIES -	296.72	2,629.12	5,000.00	47
10-4130-201 ZONING SPECIFIC OFFICE	0.00	0.00	2,500.00	100
10-4130-215 HISTORIC PRESERVATION	0.00	0.00	350.00	100

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2019-2020

12/01/2019 TO 12/31/2019

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4130-220 INFRASTRUCTURE	0.00	3,500.00	149,000.00	98
10-4130-321 TELEPHONE - PLANNING &	95.03	948.92	3,000.00	68
10-4130-325 POSTAGE - PLANNING &	0.00	806.34	2,000.00	60
10-4130-331 UTILITIES - PLANNING &	250.19	2,208.62	6,000.00	63
10-4130-370 ADVERTISING - PLANNING	280.20	473.80	1,000.00	53
TOTAL EXPENDITURE	<u>8,102.82</u>	<u>100,183.03</u>	<u>403,240.00</u>	<u>75</u>
BEFORE TRANSFERS	<u>-8,102.82</u>	<u>-100,183.03</u>	<u>-403,240.00</u>	
AFTER TRANSFERS	<u>-8,102.82</u>	<u>-100,183.03</u>	<u>-403,240.00</u>	
GRAND TOTAL	<u><u>307,355.12</u></u>	<u><u>577,012.76</u></u>	<u><u>0.00</u></u>	

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: January 13, 2020

SUBJECT: Monthly Report–December 2019

Transactions:	
Adjust Under 5.00	\$(4.04)
Interest Charges	\$93.57
Overpayments	\$(283.19)
Penalty and Interest Payments	\$(98.07)
Balance Adjustment	\$6.99
Refunds	\$2578.59
Taxes Collected:	
2017	\$(248.43)
2018	\$(231.20)
2019	\$(235,975.89)
As of December 31, 2019; the following taxes remain Outstanding:	
2009	\$511.72
2010	\$530.18
2011	\$52.18
2012	\$265.34
2013	\$288.33
2014	\$604.03
2015	\$1411.23
2016	\$1421.83
2017	\$2801.47
2018	\$5695.79
2019	\$185855.74
Total Outstanding:	\$199,437.84

