

**TOWN OF WEDDINGTON  
REGULAR PLANNING BOARD MEETING  
MONDAY, NOVEMBER 25, 2019 – 7:00 P.M.  
WEDDINGTON TOWN HALL  
1924 WEDDINGTON ROAD WEDDINGTON, NC 28104  
AGENDA**

1. Open the Meeting
2. Determination of Quorum
3. Approval of Minutes – September 23, 2019 Regular Planning Board Meeting Minutes
4. Old Business
  - A. Discussion of Tree Ordinance
  - B. Discussion and Recommendation of a Text Amendment to Section 58.606(e) of the Erosion and Sediment Control Ordinance
5. New Business
  - A. Review and Consideration of Wesley Chapel Volunteer Fire Department Construction Documents
6. Update from Town Planner and Report from the October and November Town Council Meetings
7. Board member comments
8. Adjournment

**TOWN OF WEDDINGTON  
REGULAR PLANNING BOARD MEETING  
MONDAY, SEPTEMBER 23, 2019 – 7:00 P.M.  
WEDDINGTON TOWN HALL  
MINUTES  
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**1. Open the Meeting**

Chairman Prillaman called the meeting to order at 6:59 p.m.

**2. Determination of Quorum**

Quorum was determined with Chairman Brad Prillaman, Board members Walt Hogan, Barbara Harrison, Tami Hechtel, Jim Vivian, and Gerry Hartman present. Board member Steve Godfrey was absent.

Staff present: Town Planner/Administrator Lisa Thompson, Town Clerk Karen Dewey

Visitors: Bill Deter, Mike Smith, Anne Marie Smith, Paisley Gordon Jr., Bob Ryan, Bill Saint, Larry Burton

**3. Approval of Minutes – August 26, 2019 Regular Planning Board Meeting Minutes**

***Motion:*** Board member Hartman made a motion to approve the August 26, 2019 Regular Planning Board Meeting Minutes as presented.  
***Second:*** Board member Hogan  
***Vote:*** The motion passed with a unanimous vote.

**4. Public Hearing**

**A. Discussion and Consideration of a Temporary Use Permit for the Weddington Optimist Club to hold a Centennial Celebration on Saturday October 19, 2019 from 5-9 p.m. at Optimist Park, 5211 Weddington Road, Weddington, NC.**

The Town received an application for a temporary use permit for the Weddington Optimist Club Centennial Celebration. The event will be held at the Optimist Park on Saturday October 19, 2019 from 5-9 p.m. The event will include a DJ and food trucks. There will be two banners at the entrance of the park, a temporary table set up for the DJ and the existing lighting at the park will be used. The event will follow a baseball tournament that will run from 10 a.m. to 5 p.m.

Findings of Fact:

- a. The proposed temporary use will not materially endanger the public, health, welfare and safety.** The Planning Board unanimously agreed that with security and traffic control in place for Optimist Park as well as holding liability insurance and environmental health permits for the food trucks, this finding of fact is true.
- b. The proposed temporary use will not have a substantial negative effect on adjoining properties.** The Planning Board unanimously agreed that since the operating hours are within the noise ordinance guidelines and there will be no additional lighting, this finding of fact is true.
- c. The proposed temporary use is in harmony with the general purpose and intent of the ordinance and preserves its spirit.** The Planning Board unanimously agreed that this event,

which will promote community and meets the intent of the land use plan, meets this finding of fact.

- d. **The proposed temporary use is held no more than four times (4) per year at any particular location.** The Planning Board unanimously agreed that this event, which will be held one time in October, meets this finding of fact.

**Motion:** Board member Hartman made a motion to approve the Temporary Use Permit Application from the Weddington Optimist Club for a Centennial Celebration at Optimist Park on October 19, 2019 from 5 to 9 p.m. given that all findings of fact are true

**Second:** Board member Hogan

**Vote:** The motion passed with a unanimous vote.

**B. Discussion and Consideration of a Temporary Use Permit for the Town of Weddington to hold a Christmas Tree Lighting on November 22, 2019 from 5-9 p.m. at Weddington Town Hall.**

The Town submitted an application for a Temporary Use Permit for the Annual Christmas Tree Lighting to be held November 22, 2019. The event will be held at Weddington Town Hall and Dr. George Pinsak's property located at 13653 Providence Road. The event will include performances by local school and church choirs. Two food trucks are planned to provide food and beverage for purchase. The Town will provide cookies and hot chocolate. Town fire pits will be set up near the rear parking lot. A seating area will be set up with folding chairs facing the side porch. The event will be from 5:00 p.m. to 9:00 p.m. with the tree lighting countdown between 7 and 7:15.

**Findings of Fact:**

- a. **The proposed temporary use will not materially endanger the public health, welfare and safety.** The Planning Board unanimously agreed that, with the presence of Off Duty Sheriff Deputies aiding in security and traffic control, the presence of EMS, as well as holding all the required permits, this finding of fact is true.
- b. **The proposed temporary use will not have a substantial negative effect on adjoining properties.** The Planning Board unanimously agreed that with no parking on access road, agreement from adjacent property owners, and the hours of the event are within the noise ordinance guidelines, this finding of fact is true.
- c. **The proposed temporary use is in harmony with the general purpose and intent of this chapter and preserves its spirit.** The Planning Board unanimously agreed that this event, which promotes community spirit and meets the intents of the Weddington Land Use Plan, this finding of fact is true.
- d. **The proposed temporary use is held no more than four times per year at any particular location.** The Planning Board unanimously agreed that this event, which will be held one time in November, meets this finding of fact.

**Motion:** Board member Hartman made a motion to approve the Temporary Use Permit Application for the Town of Weddington for the Christmas Tree Lighting to be held November 22, 2019 from 5-9 p.m. at Weddington Town Hall given that all findings of fact are true.

**Second:** Board member Hechtel  
**Vote:** The motion passed with a unanimous vote.

## 5. Old Business

## 6. New Business

### A. Review and Consideration of Preliminary Plat for Hemby Place

Ms. Thompson presented the staff report: Classica Homes submitted a preliminary plat application for 35 lots on 43.16 acres located at the southeast corner of Hemby and Providence Road. A conservation subdivision must base the number of proposed lots on a yield plan per *Section 46-42 of the Weddington Subdivision Ordinance*. This yield plan must show the number of lots that would be allowed if the tract was developed as a conventional subdivision with 40,000 square foot lots. Conservation subdivisions shall be density neutral meaning the same number of lots is shown as would be permitted in a conventional subdivision.

The yield plan exhibits 35 lots on 43.16 acres with a total density of .81 units per acre.

*Section 58-58 (4) of the Weddington Zoning Ordinance* stipulates that a minimum of 50% of the gross acreage must be retained as conservation land. 21.58 acres is required, and 24.39 acres (not including utility easements) has been provided.

There is no floodplain located on the proposed site however, the stream located on site is within the 6-Mile Creek basin. 100' stream buffers are required and shown. The yield plan indicates a minimum of 5,000 sq. ft of buildable area required for each lot.

The minimum lot size required for an RCD subdivision is 12,000 sq. ft. The smallest lot proposed is 13,823 sq. ft. All lots meet the minimum required front, side and rear yard setback requirements as proposed.

Where side and rear lot lines abut along a thoroughfare, the subdivider shall provide a natural buffer between the lot lines paralleling the thoroughfare and the thoroughfare road right-of-way. The buffer shall not be disturbed. In addition to the 100' buffer, utilities are required to be outside of the buffer therefore with the power line easement the buffer from the road is 150'. Figures 1 and 2 depict a 100' buffer from the Hemby and Providence Road right of way. The subdivision will be served by Union County Public Water and Sewer.

The subdivision is accessed by an entrance off Hemby Road. The number of lots proposed do not require a formal TIA however, staff had the Town Traffic Engineer, Justin Carrol review the access after hearing concerns regarding the AM peak que at the traffic light. Right and left turn lanes were added along with a second right-out only access onto Providence Road.

All roads shall be designed to NCDOT standard.

PIMs were held on Tuesday January 22, 2019. Approximately 15 residents attended the daytime PIM and around 10 residents attended the evening PIM. Concerns over the Hemby Rd access were stated.

The sketch plan was approved by Planning Board on January 28, 2019 with requirements for a left turn lane on Hemby Road into subdivision, a right turn deceleration lane on Hemby Road, more information on traffic projections for Hemby Road and Providence Road to be included in the preliminary plat to help decide whether an access to Providence Road should be required and assessment of the feasibility of saving old growth trees outside the building pads on lots to be included in the preliminary plat. All traffic issues were addressed on the Preliminary Plat.

The preliminary plat is the conditional rezoning plan according to the town of Weddington ordinances. Town Council shall call for a public hearing to be held at their next regularly scheduled meeting. The Town Council can approve, approve with conditions, or deny the rezoning. Any major changes to the preliminary plat/conditional rezoning plan will go through the 58-271 amendment process which includes another public hearing. Staff and outside agencies review all construction plans. Once all approvals are collected, the applicant may begin site work. A final plat is required prior to the construction of any homes. Any work not completed can be bonded at this time. A final plat goes to Planning Board for recommendation and is required to be approved by Town Council. No conditions are allowed on a final plat.

The preliminary plat is in general conformance with the sketch plan and the Weddington Zoning and Subdivision Ordinance; therefore, staff recommends approval with the condition that all outside agency approvals are obtained prior to construction.

Ms. Thompson introduced Bill Saint, President of Classica Homes, who presented background on the company and their product.

Board member Hogan asked if this was the last RCD under the old ordinance. Ms. Thompson confirmed that it would be. There is a public hearing for the conservation subdivision ordinance at the October Town Council meeting.

The Board agreed that the issues raised in the sketch plan review have been addressed.

- Motion:** Board member Hartman made a motion to forward the Preliminary Plat for Hemby Place to the Town Council with a favorable recommendation.
- Second:** Board member Vivian
- Vote:** The motion passed with a unanimous vote.

## **B. Discussion of Tree Ordinance**

Ms. Thompson started the discussion on a tree ordinance. She presented ideas from Mark Kime, from Land Design and a copy of the Indian Trail Tree Ordinance. Concepts and concerns discussed were:

- Mitigate heritage trees. Although the definition changes between municipalities and will be particular to the site being developed
- Indian trail uses an environmental agency to sample areas of forest and evaluate each individual area for heritage trees.
- Tree surveys without mitigation tend to be useless. Waxhaw has trees to be saved surveyed, other jurisdictions have trees to be cleared surveyed without mitigation. Weddington

requires tree surveys and conserving 50%, but there is no recourse. Concern raised with developer clear cutting site without a survey and just pay mitigation fees. There will need to be penalties.

- Charlotte stipulates a 10% tree save for single family homes and 15% for all other development. On-site mitigation, off-site mitigation, and fee in lieu of mitigation is allowed in all districts except single family.
- Concern with administration of tree ordinance-could add time and money to the process.
- Possibility of adding tree survey and heritage tree identification to the PIM process. Work through an example to see how it would work for all parties involved and how it would impact a particular site. Get Union County Forester involved.
- Detention ordinance could hinder how tree ordinance works in RCDs. There would be different steps in the process depending on whether an RCD or R-40 subdivision. The tree ordinance would be in two sections: one for RCD and one for R-40.

The Planning Board agreed with the principle of the Tree Ordinance. Chairman Prillaman asked Board members to review the Indian Trail ordinance and send comments and idea to Ms. Thompson before the October meeting. Staff will refine and streamline ordinance to present for further discussion next month. Staff will invite Union County Forester, Bill Smith to attend the Planning Board meeting to answer questions and present ideas.

## **7. Update from Town Planner and Report from the September Town Council Meeting**

Ms. Thompson presented the update: The Council called for public hearings for the conservation subdivision and erosion control ordinances at the October meeting. The Erosion Control Ordinance has completed the first round of comments from the State Commission and it is expected to be on their November agenda for delegation approval.

## **8. Board member Comments**

Chairman Prillaman stated he asked to add this to the agenda. The intent is to cover anything needing to be addressed or to give board members an opportunity to mention any issues. This isn't intended to be a discussion or question and answer period with back and forth dialogue.

Board member Hogan stated that he has been pushing for 5-year plan and Councilmembers Smith and Perryman invited Board member Hechtel and himself to a meeting to discuss potential issues years down the road and how to mitigate them. The Councilmembers brought a map of the town and they discussed the donut holes and the areas on the borders of the town.

Board member Hechtel stated that the meeting was to come together to share concepts looking at not only the unincorporated areas within Weddington, but areas on borders and the effect on Weddington residents and how some of the development decisions have been impacting the residents. There is value in conversations in terms of what's going to happen and how to actively manage and a facilitatory process between council and planning board on occasion for information to share. There is also value in having town planners in surrounding areas to meet and continue dialogues about development plans.

Board member Harrison stated that there were two things she wanted to bring up. First, the council used to invite the planning board to participate and interact in their annual retreat. That provided great opportunity for interaction. Second is the stormwater runoff being affected by the development in surrounding municipalities and unincorporated Union County. The town is dealing with flooding because runoff from non-Weddington developments feeding into the drainage streams. It will continue with the development on the town borders.

Board member Vivian asked if representatives from the municipalities went to the Union County Commissioner and Planning meetings. Board member Harrison stated that Councilmember Smith and others had attended.

Board member Hartman stated that he agrees with the comments on more participation and planning board involvement with Council. He also would like to look at sharing information with communities about the development that is occurring. Those conversations could help communities understand what is happening and access water and sewer lines that may be coming in. And another thing nice for our area would be looking at the micro cell towers. They would help with range without the big ugly towers.

Chairman Prillaman stated that he thought this would be a good opportunity to bring up things that are not on the agenda and follow up with those that need it.

Board member Harrison asked how the County Land Use Plan meeting went. Ms. Thompson stated that it went well-the county planning board had a follow up meeting with the County Commissioners with a timeline for getting focus groups together to review and discuss the land use plan. Ms. Thompson will send the PowerPoint presented to the County Commissioners.

## 9. Adjournment

**Motion:** Board member Hartman made a motion to adjourn the Planning Board Regular Meeting at 7:46 p.m.  
**Second:** Board member Hogan  
**Vote:** The motion passed with a unanimous vote.

Approved: \_\_\_\_\_

\_\_\_\_\_  
Brad Prillaman, Chairman

\_\_\_\_\_  
Karen Dewey, Town Clerk

## **CHAPTER XX: TREES**

### **GENERAL PROVISIONS**

#### **§ XX.01 AUTHORITY AND ENACTMENT.**

(A) G.S. § 160A-174 authorizes Towns, cities and town to adopt ordinances to protect the public health, safety and welfare.

(B) Regulation of the planting, maintenance and removal of trees located in or on roadways, parks and public areas owned and controlled by the Town and on new developments and alterations to previous developments on private property enhance and promote public health, safety and welfare by facilitating and protecting the aesthetic qualities of the Town community.

(C) The protection of trees in the Town promotes clean air quality and reduce harmful effects on the environment.

(D) Therefore the Town Council hereby adopts a tree ordinance governing the planting, maintenance and removal of trees located on roadways, parks and public areas owned or controlled by the Town and on new developments and alterations to previous developments on private property.

#### **§ XX.02 SHORT TITLE.**

This chapter shall be known as the Town tree ordinance.

#### **§ XX.03 PURPOSE, INTENT AND SCOPE.**

(A) It is the intent of this chapter to:

- (1) Protect, facilitate and enhance the rural roadside character and other natural landscape qualities of the Town to help ensure that tree removal does not reduce property and aesthetic values;
- (2) Emphasize the importance of trees and vegetation as both a visual and physical buffer in furthering the land use policies of the Town, including encouragement for the preservation of open spaces and wooded sites;
- (3) Discourage clear-cutting of sites before and during construction;
- (4) Preserve existing tree canopy and plant new trees on new development sites to maintain and enhance the tree canopy within the Town;
- (5) Promote clean air quality by helping to reduce air pollution and carbon dioxide levels in the atmosphere;
- (6) Reduce the harmful effects of wind and air turbulence, heat, noise and the glare of motor vehicle lights;
- (7) Minimize temperatures increases on lands with natural and planted tree cover;
- (8) Help to maintain moisture levels in the air of lands with natural tree cover;
- (9) Preserve underground water reservoirs and permit the return of precipitation to the ground water strata;
- (10) Prevent soil erosion;
- (11) Provide shade;
- (12) Minimize the cost of construction and maintenance of drainage systems necessitated by the increased flow and diversion of surface waters by facilitating a natural drainage system and amelioration of stormwater drainage problems; and
- (13) Conserve natural resources including adequate clean air and water.

#### **§ XX.04 LIABILITY AND DISCLAIMER.**

Nothing contained in this section shall be deemed to impose any liability upon the Town, its officers or employees, nor to relieve the owner of any private property from the duty to keep any tree, shrub or plant upon any street area on his or her property or under his or her control in a condition as to prevent it from constituting a hazard or an impediment to travel or vision upon any street, road, boulevard, alley, park, amenity ground, common area, conservation easement or public place within the Town.

#### **§ XX.05 ENFORCEMENT AND ADMINISTRATIVE RESPONSIBILITIES.**

(A) The Town's Zoning Administrator, and any other person so designated by the Town Council, shall have the authority to administer and enforce this chapter. Such person shall hereafter be referred to as the



"Administrator." Minor exceptions to this chapter may be granted by the Administrator where, in his or her belief, such exception would not significantly impact or impair the intent of this chapter as stated in § XX.03. Any decision of the Administrator may be appealed to the Board of Adjustment as provided for in §§ xxx through xxx of the Town zoning regulations.

(B) The Town shall hire an independent certified arborist to evaluate and ensure that the provisions of this chapter have been met and implemented, as presented and approved in any site plan or subdivision application. The cost of the arborist's evaluation shall be done at the developer's/builder's expense which shall be considered part of the related expenses of the Town's site and subdivision application approval process.

## **§ XX.06 DEFINITIONS.**

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**ADMINISTRATOR.** The person(s) persons appointed by the Town Council to administer this chapter.

**AGRICULTURAL USES.** See zoning

**ARBORIST.** An individual trained in arboriculture, forestry, landscape architecture, horticulture or related fields and experienced in the conservation and preservation of native ornamental trees.

**ARBORIST, CERTIFIED.** A person who is licensed as a professional to perform arboricultural work in the state.

**CALIPER.** A trunk diameter measurement for trees taken six inches above the ground for trees with a diameter of less than four inches.

**DAY(S).** Calendar day(s) unless the text clearly indicates otherwise.

**DECIDUOUS.** Those plants or trees that annually lose their leaves.

**DIAMETER-AT-BREAST-HEIGHT (dbh).** The tree trunk diameter measured in inches at a height of four and one-half feet above the ground.

**DRIP LINE.** A vertical line extending from the outermost edge of the tree canopy or tree branch to the ground.

**EVERGREEN.** Those trees or plants that retain foliage throughout the year.

**EXISTING TREE CANOPY.** Tree canopy that has existed for at least two years prior to development as evidenced by Town or county aerial photography and/or satellite imagery.

**GRADING or LAND DISTURBING.** Any type of activity that results in a change in the natural cover or topography and that may cause or contribute to sedimentation. Cutting, clearing and stumping trees are examples of disturbing activities. **LAND DISTURBING ACTIVITY** includes harvesting timber when conducted for any purpose other than tree farming where trees will be replaced with trees.

**HERITAGE TREE.** Any tree that is listed in the *North Carolina Big Trees List*, the American Forest Association's list or any tree that would measure 80% of the points of a tree on the most recently adopted version of the *North Carolina Big Trees List*.

**PRESERVATION AREA, INTERNAL.** A preservation area of existing and planted trees exclusive of exterior perimeter strips, existing and dedicated road rights-of-way and utility easements, and existing ponds and lakes. **INTERNAL PRESERVATION AREAS** shall contain no less than one tree per 2,500 square feet (or approximately 18 per acre).

**PARTIALLY WOODED SITE.** A tract shall be considered partially wooded if the tree canopy covers or has covered from 20% to less than 40% of the total land area within the previous two years.

**PERIMETER PRESERVATION STRIP, EXTERIOR.** A continuous perimeter strip located along the outer edge of a piece of property and abutting major or minor roads (as defined in § 151.016 of the Town zoning regulations) that consists of existing or planted trees. The strip shall not be located within any existing or dedicated road rights-of-way. Any **PERIMETER PRESERVATION STRIP** shall contain no less than one tree per 2,500 square feet (or approximately 18 per acre).

**PERSON.** A public or private individual, corporation, company, firm, association, trust, estate, commission, board, public or private institution, utility cooperative or other legal entity.

**PLANTING STRIP OR AREA.** A ground surface located outside of any public right-of-way that is free of impervious cover and/or paved material and is reserved for landscaping purposes.

**PRUNING.** The act of removing or cutting back parts of a tree or shrub.

**ROOT PROTECTION ZONE.** A ground depth of 24 inches within the tree's or group of trees' protection

area.

**SIGHT TRIANGLE.** The triangular area formed by a diagonal line connecting two points located on intersecting property lines (or a property line and the curb or a driveway), each point being 35 feet from the point of intersection.

**SPECIMEN TREE.** A tree or group of trees considered to be important community assets due to their unique or noteworthy characteristics or values. A tree may be considered a **SPECIMEN TREE** based on its size, age, rarity or special historical or ecological significance as determined by the Town Council, Planning Board, Administrator or authorized arborist. Examples include large hardwoods (e.g., oaks, poplars, maples and the like) and softwoods (e.g., pine, spruce and the like) in good or better condition with a dbh of 24 inches or greater, and smaller understory trees (e.g., dogwoods, redbuds, sourwoods, persimmons and the like) in good or better condition with a dbh of ten inches or greater.

**STREET TREE.** A tree planted along the street behind the right-of-way.

**SUBDIVISION, MAJOR.** A subdivision that is characterized by any of the following conditions:

- (1) Involves more than four lots on an existing approved street;
- (2) Involves the construction of a new street or prospectively requiring a new street for access to interior property;
- (3) Requires extension of public sewage or water lines or creation of new drainage easements through lots to serve property at the rear;
- (4) Creates new or residual parcels not conforming to the requirements of these regulations and related ordinance;

- (5) Any large tract subdivision (as herein defined); or

- (6) Any small tract subdivision (as herein defined) that is built to large tract subdivision specifications.

**TREE.** A living woody plant with an erect perennial trunk and a definitely formed crown.

**TREE, CANOPY.** Any tree growing to 35 feet or more in height at maturity and having a drip line diameter of 30 feet or more at maturity. A **CANOPY SHADE TREE** suitable for planting shall be three inches or more in caliper with a minimum height of ten feet from the ground surface.

**TREE PROTECTION AREA.** An area containing an existing tree, or trees, to be preserved or saved during development. The area shall be bounded by a line situated five feet beyond the drip line and a ground depth of 24 inches for a single tree, and five feet beyond the perimeter drip line and a ground depth of 24 inches for a group of trees.

**TREE TOPPING.** The removal or cutting back of major portions of a tree by any pruning practice resulting in more than one-third of the foliage and limbs being removed. This includes any pruning that leads to the disfigurement of the normal shape of the tree. **TOPPING** is also referred to as **HEADING**, **STUBBING** or **DEHORNING**.

**TREE, UNDERSTORY.** Any tree, growing to more than 15 feet but less than 35 feet in height at maturity. An **UNDERSTORY TREE** suitable for planting shall be two inches or more in caliper and a minimum height of eight feet from the ground surface.

**VINES.** A woody plant that has a spreading pattern of growth. **VINES** may be used on the ground, on walls and on trellises.

**WOODED SITE.** A tract of land shall be considered wooded if the tree canopy covers or has covered 40% or more of the total land area within the previous two years.

(Ord. OR-2004-10-01, passed 10-19-2004; Ord. passed 9-14-2010; Ord. OR-2017-03-02, passed 4-25-2017)

## **TREE PRESERVATION STANDARDS**

### **§ XX.20 GENERAL PROVISIONS.**

- (A) Existing trees shall be preserved and protected whenever feasible. New trees shall be planted to enhance the tree canopy within the Town. The Administrator, in approving a site plan or zoning permit, or the Town Council (in approving a conditional use permit or subdivision plat), may grant exceptions to the standards contained herein based on unique circumstances found on the lot/tract in question such as steep topography, property shape, grading requirements or unavoidable site work or utility installations, provided that compensatory mitigation planting of new trees is provided, as specified in this chapter.

## § XX.22 MAJOR AND MINOR SUBDIVISIONS.

(A) Where removal of existing trees is approved as part of an approved site plan, subdivision plat or tree removal permit, new trees shall be planted in the general vicinity of the trees removed, in accordance with the following schedule:

<i>Tree Removed</i>	<i>Replacement Canopy Tree</i>	<i>Replacement Understory Tree</i>
3 inch caliper to less than 18 inches dbh tree	One 3 inch caliper tree	One 2 inch caliper tree
18 - 24 inch dbh tree	Two 4 inch dbh trees or one 6 inch dbh tree	
24 inch+ dbh tree	Two 6 inch dbh trees or one 8 inch dbh tree	

- (1) Where removal of existing trees occurs within proposed or approved exterior perimeter preservation strips or interior preservation areas without a permit, new replacement trees shall be installed at twice the specified replacement size as shown in the schedule above, in addition to other penalties that may be imposed.
- (2) Proposed mitigation tree planting shall be shown on a site plan, indicating the proposed location, size and species of mitigation trees. Mitigation tree planting, as may be required herein, within the perimeter preservation strips and interior preservation area(s) shall be undertaken until a density of one canopy or understory tree per 500 square feet (90 per acre) is achieved in both areas. Any remaining mitigation plantings may take place elsewhere on the property.
- (3) Mitigation trees shall be installed prior to approval of any final plat or certificate of occupancy.
- (4) New tree planting for each single-family lot shall be done on a lot-by-lot basis, prior to the issuance of a certificate of occupancy for each lot. The minimum caliper for canopy shade trees is three inches and a minimum height of ten feet from the ground surface at the time of planting. The minimum caliper for an understory tree shall be two inches and a minimum eight feet from the ground surface at the time of planting. Existing canopy shade trees six to eight inches dbh and understory trees two to three inches dbh (outside exterior perimeter preservation strips and interior preservation areas) may be used to meet these planting requirements.

(B) *Exterior perimeter preservation strips.* A continuous exterior perimeter preservation strip (not located within an existing or dedicated road right-of-way) consisting of existing and/or planted trees shall be required. Exterior perimeter preservation strips abutting thoroughfares shall have a minimum width of 50 feet or the depth of the viewshed buffer, whichever is more. Perimeter preservation strips abutting office, business, commercial corridor and light industrial zoned property shall be a minimum of 40 feet in depth. All other perimeter preservation strips shall be a minimum of 25 feet in depth.

(C) *Interior preservation areas.*

(1) On any wooded site that is ten acres or greater in area where 40% or more of the site is wooded, or was wooded at any time within the previous two years, a preservation area(s) of existing and/or planted trees representing at least 10% of the total site area shall be preserved. The interior preservation area(s) shall be exclusive of exterior perimeter preservation strips, existing and dedicated road rights-of-way and utility easements, and existing ponds and lakes. Furthermore, any interior preservation area shall be a minimum of one acre in size.

(2) On any partially wooded site that is ten acres or greater in area, where less than 40% of the site is wooded, a preservation area(s) of existing and/or planted trees representing at least 5% of the total site area shall be preserved. The interior preservation area(s) shall be exclusive of exterior perimeter preservation strips, existing and dedicated road rights-of-way and utility easements, and existing ponds and lakes. Furthermore, any interior preservation area shall be a minimum of one-half acre in size.

(3) Perimeter preservation strips and interior preservation areas may be located within common open space or within deeded lot areas with a permanent preservation easement recorded on the lots. The subdivider shall designate their recommended locations for perimeter preservation strips, interior preservation areas, new tree planting, trees to be removed under §§ XX.35 through XX.38, tree protection measures under §§ XX.50 and XX.51 and mitigation tree planting under § XX.65 on all zoning permits, site plans and subdivision plat applications (and, where applicable, conditional use permits.)

(D) Notwithstanding the language of this section, minor subdivisions are exempted from the interior preservation area requirements shown below. Furthermore, minor subdivisions on tracts of land less than five acres in size (prior to subdivision taking place) are exempted from the continuous exterior perimeter preservation strip requirement shown below.

(E) Off-site planting or mitigation.

(1) The highest priority for all development and redevelopment projects shall be to maintain the Town's existing tree canopy. If existing trees are removed, compensatory mitigation with new trees must be provided.

(a) Mitigation of removed trees should first occur within any exterior perimeter preservation strip where existing vegetation is inadequate for creating an opaque perimeter bufferyard and where there is available space in between existing trees. Planting should occur until required densities are accomplished and a bufferyard width has been provided, pursuant to the requirements of § xxx of the Weddington Code.

(b) Second, the mitigation of removed trees should occur within the designated interior preservation area on the site until required densities are accomplished.

(2) *Fully and partially wooded sites.* If each exterior perimeter preservation strip is fully or partially wooded, pursuant to § XX.21(A)(2); such that an opaque vegetative screen is already provided equal to the width required per the perimeter bufferyard matrix of § 151.046 of the Weddington Code, the trees may be planted within the interior preservation strip. Trees may also be planted elsewhere on the site subject to Zoning Administrator and arborist recommendations, and Town Council approval.

(3) *Mitigation.* If it is impractical to plant required buffer plantings and other mitigation trees on the site, the Town Council shall decide whether mitigated trees shall be planted off-site on public property or whether to require payments from the applicant to the Town of Weddington Mitigation Fund, which shall be calculated according to the current development fee schedule approved by the Town Council.

(4) *Calculating tree mitigation.* Payments shall be calculated based on typical wholesale tree cost, plus average installation cost for required trees. If new trees are meant to replace removed trees, new trees shall be provided on a two-to-one trunk diameter basis. (Example: A 24-inch protected tree in fair-to-marginal condition must be replaced with new trees totaling 12 inches in trunk diameter.) Payments will be utilized by the Town to purchase and install trees in future public open space, park space, or other areas designated for tree planting in accord with objectives of the Tree Reserve Fund.

(5) *Tree Reserve Fund.* Fees in lieu will be used to fund the Town Tree Reserve Fund. The Tree Reserve Fund shall be used for the installation and maintenance of trees on public property. The Town may also use all such payments for costs associated with implementation of this section, for Town sponsored tree management programs, and for the study, inventory, maintenance or treatment of public trees requiring the services of a certified arborist or other qualified consultant. Tree Reserve Funds will not be used in lieu of general funds to support existing urban forester management services.

(F) *Interior lot trees.*

(1) In order to maintain or replenish the Town tree canopy in new residential subdivisions, each lot less than one acre in area shall have a minimum of two canopy trees. Each lot that is one acre or more in area shall have a minimum of four canopy trees. At least two trees shall be located within the front yard of each lot. Required street trees may be counted towards the fulfillment of this requirement. Existing canopy trees six inches or larger dbh may be counted towards fulfilling this requirement. All canopy shade trees planted

within the lot must be spaced at a width sufficient to accommodate mature growth.

(2) New tree planting for each single-family lot shall be done on a lot-by-lot basis, prior to the issuance of a certificate of occupancy for each lot.

## PERMITS

### § XX.36 TREE REMOVAL PERMIT

(A) The applicant shall file a tree removal permit application with the Administrator. The Town reserves the right to verify the accuracy of all information included within the application. The costs associated with the verification shall be borne by the applicant. It is strongly recommended that the applicant use the services of an engineer, landscape architect, arborist or certified arborist in preparing the permit application.

(B) Unless otherwise waived by the Administrator, a site walk of the property shall be required prior to permit approval. The Administrator may ask that members of the Planning Board and/or Town Council be part of the site walk. The applicant, or his or her authorized agent, shall accompany Town officials on the site walk. The application shall include the following information:

- (1) Name and address of the applicant;
- (2) Address and tax map designation of the property on which the tree(s) is/are located;
- (3) Total land area involved in cutting operations;
- (4) The number of trees to be removed; and
- (5) The purpose of the tree removal.

(C) For a subdivision plat, the applicant shall also provide the following additional information:

- (1) Location, size and species of all existing canopy trees 12 inches or larger dbh and understory trees four inches or larger dbh;
- (2) Identify the location of proposed exterior perimeter preservation strips and interior preservation areas;
- (3) Existing tree locations shown on tree removal application plans shall be accurate to within two feet of actual location;
- (4) Existing tree information listed above shall be shown on site plans and subdivision plats that are submitted for approval; and
- (5) Where neither a site plan or subdivision plat is involved, the existing tree survey information listed above shall be provided as an independent drawing.

(D) Notwithstanding the above, individual landowners who are removing less than five trees that otherwise would require a tree removal permit may substitute a general drawing showing the approximate location and the size (dbh) and species of the trees to be removed in lieu of all of the tree survey requirements listed above. The Administrator may waive the required site walk prior to the trees being removed.

(E) The Administrator may waive the tree survey requirements for five or more trees for individual landowners, but not the substitution of a general drawing showing the approximate location and the size (dbh) and species of the trees to be removed and the required site walk prior to five or more trees being removed.

(F) *Generally.* A tree removal permit will be required before removing:

- (1) Canopy trees 12 inches or larger dbh and understory trees four inches or larger dbh excluding individual owned residentially zoned lots of record that existed at the time of adoption of this chapter that are less than five acres in area or any non-subdividable lot;
- (2) Trees growing on a slope greater than 25%; or
- (3) Any threatened or endangered species of tree as defined by the State Department of Environmental Conservation or heritage or specimen trees, as defined by the Town, regardless of size.

(G) *Exceptions.* Trees may be removed as may be necessary to maintain Town, county, state or utility rights-of-way, or to control forest fires. Trees that are dead, dying or about to fall may be removed without a permit. If the tree is a required or mitigation tree, it will require replacement based on the tree planting mitigation schedule.

(H) *Standards for the granting of tree removal permits.*

- (1) The granting of a tree removal permit by the Administrator shall be based on the following criteria:



- (a) The physical condition of the tree;
  - (b) The proximity of trees to existing or proposed improvements if located:
    - 1. Within 15 feet of a foundation wall;
    - 2. Within three feet of a sidewalk or driveway;
    - 3. Within ten feet of a cesspool, dry well, septic tank or other subsurface improvement; and
    - 4. Within five feet of a roadway.
  - (c) The effect of the removal on the ecological systems, including the erosion potential of the property;
  - (d) The effect on the area of removal as determined by accepted tree management practices as recommended by an arborist;
  - (e) The impact of the removal on the value of property and aesthetics of the adjoining properties;
  - (f) The effect of the removal on the solar access of existing or proposed structures on the property; and
  - (g) The impact of the tree removal on the public health, welfare and safety.
- (2) Approved site plans or subdivision plats showing trees to be removed, tree planting mitigation, trees to be preserved and tree protection measures shall be deemed a tree removal permit for the removal of trees so designated. No other permit for tree removal shall be required.
- (3) The Administrator, Planning Board and/or Town Council in connection with zoning permit, site plan or subdivision application, or conditional use permit approval, may require the planting of additional trees to replace trees removed from the affected property associated with the development under consideration, and/or may require moving or relocating existing structures in order to preserve specimen trees.

#### **§ XX.38 CONDITIONS FOR GRANTING PERMIT.**

The Administrator and/or the Town Council may, as a condition of granting a permit:

- (A) Require the reasonable relocation of proposed foundation walls, driveways, surface and subsurface improvements or drainage systems to preserve heritage and specimen trees;
- (B) Require a performance bond to ensure compliance with this chapter. The Town Council shall only have the authority to allow this;
- (C) Require that each tree to be cut or removed to be marked at two points, one low enough on the stump to be visible after removal of the tree; and
- (D) Require safeguards as appropriate to minimize the environmental impact of the removal operations.

### **TREE PROTECTION**

#### **§ XX.50 SITE PLANS AND SUBDIVISION PLATS.**

- (A) Proposed tree protection measures shall be shown on any applicable zoning permit, site plan conditional use permit, subdivision plat, grading and demolition plan that is submitted for approval..
- (B) These measures shall include, but not be limited to, the following:
  - (1) *Tree landscape plan.* The tree landscape plan must show that there will be no grading or land disturbing in the root protection zone. Land disturbing is also considered trenching, placing backfill in the root protection zone, driving or parking equipment in the root protection zone, and dumping of materials detrimental to plant health in close proximity of the tree(s).

#### **§ XX.51 TREE PROTECTION MEASURES.**

- A) *Tree landscape protection.* Tree protection fencing shall be indicated on the tree landscape plan, grading plan and demolition plans around the perimeter of tree protection areas. Fencing in or around an existing tree canopy to be preserved/saved shall contain an area bounded by a line situated five feet beyond the drip line, for a single tree, and five feet beyond the perimeter drip line for a group of trees. The protection fencing shall consist of colored mesh fabric fencing material, three feet minimum height, with posts eight feet or less on center.
- (B) No soil disturbance, filling, compacting or material storage shall occur within tree protection areas.
- (C) The applicant shall install tree protection measures, including tree protection fencing, and contact the Administrator for inspection and approval. Clearing or grading shall not commence on the site until tree protection measures have been inspected and approved by the Administrator.
- (D) In association with the approval of any permit herein required or any site plan or subdivision plat, the

Zoning Administrator and/or Town Council may require additional tree preservation measures above and beyond those listed herein that are deemed to support the tree preservation objectives of this chapter. (Ord. OR-2004-10-01, passed 10-19-2004) Penalty, see § XX.99

#### **§ XX.66 TREE MAINTENANCE, PLANTING AND REPLACEMENT REQUIREMENTS.**

(A) All new trees planted shall be selected from the suggested species list, which is provided as Appendices A and B, provided that additional species may be used subject to specific approval of the Administrator. All trees must comply with the *American Standard for Nursery Stock* published by the American Association of Nurserymen.

(B) All plant material shall be free from disease when planted and shall be maintained in a healthy condition. All plant material shall be installed in a fashion that ensures the availability of sufficient soil and water to sustain healthy growth. All trees shall be properly guyed and staked at the time of planting. All plant materials shall be planted in a manner, which is not intrusive to utilities or pavement.

(C) The plantings that constitute a landscaped area must be properly maintained in order for the landscaped area to fulfill the purposes for which it is established. The owner of the property and/or any tenant on the property where a landscaped area is required shall be jointly and severally responsible for the maintenance of all plant material located within the landscaped area. The maintenance shall include all actions necessary to keep the landscaped areas free of litter and debris and to keep plantings healthy and orderly in appearance.

(D) When existing and planted trees used to comply with this chapter die or are removed for any reason during the development of the property or within 12 months of planting, they must be replaced during the next suitable planting season in a manner, quantity, size and installation period approved by the Administrator. If the developer, builder or property owner fails to replace the trees within three months (or a greater time period approved by the Administrator), the developer, builder or property owner shall be considered in violation of this chapter.

(E) Existing and proposed trees used to comply with this chapter shall not be sheared, topped or disfigured by improper pruning. Trees shall be allowed to grow to their natural height and form.

#### **§ XX.67 FEES.**

A fee, in accordance with the most recent fee schedule adopted by the Town Council, shall accompany a tree removal permit application. The fee shall be waived for any application initiated by the Town.

#### **§ XX.68 INSPECTIONS AND INVESTIGATIONS OF SITES.**

(A) Agents, officials or other qualified persons authorized by the Town are authorized to inspect the sites subject to the provisions of this chapter to determine compliance with this chapter or rules or orders adopted or issued pursuant to this chapter.

(B) No person shall refuse entry or access to any authorized representative or agent of the Town who requests entry for the purpose of inspection, nor shall any person resist, delay, obstruct or interfere with the authorized representative while in the process of carrying out official duties.

(C) If, through inspection, it is determined that a property owner or person in control of the land has failed to comply or is no longer in compliance with the provisions of this chapter or orders issued pursuant to this chapter, the Town will serve a written notice of violation. The notice may be served by any means authorized under G.S. § 1A-1, Rule 4, or any other means reasonably calculated to give actual notice, such as facsimile or hand delivery. A notice of violation shall identify the nature of the violation, and set forth the measures necessary to achieve compliance with this chapter. The notice shall inform the person that a civil penalty will be assessed immediately or specify a date by which the person must comply with this chapter. The notice shall advise that failure to correct the violation within the time specified would subject that person to the civil penalties to be recovered by the Town in a civil action in the nature of a debt.

(D) The Town shall have the power to conduct the investigation as it may reasonably deem necessary to carry out its duties as prescribed in this chapter, and may enter, at reasonable times, upon any property, public or private, for the purpose of investigating and inspecting the sites subject to the provisions of this chapter.

## **§ XX.69 APPEALS.**

Any applicant aggrieved or affected by the determination of the Administrator shall have the right, within 30 days from the date of action by the Administrator, to appeal to the Board of Adjustment and shall state the reason for the appeal. Such appeal process shall be similar in nature and scope to the process stated in § 151.231 of the Town zoning regulations, as amended.

## **§ XX.99 PENALTY.**

(A) Violation of this chapter is not an infraction or misdemeanor under G.S. § 14-4.

(B) Any person, firm or corporation that violates any of the provisions of this chapter shall be subject to:

(1) A civil penalty \$500 plus an additional \$50 per day per offense, for each day that the violation continues to exist;

(2) A planting requirement, provided for under § XX.65, which may be assessed in addition to or in lieu of any monetary penalties; and/or

(3) The order as a court of competent jurisdiction may issue directing a violator to replace any removed trees with new trees and planted within a specified time.

(C) For purposes of this section, a separate offense shall be deemed to have occurred for each protected or planted tree removed or unplanted tree missing from the approved site plan or subdivision plat shall be considered a separate offense.

(D) Replacement trees shall be in accordance with the mitigation schedule described in § XX.65 of this chapter.

(E) Where the Administrator has determined that a violation of this chapter has occurred, no certificate of occupancy or certificate of compliance shall be issued until required replacement plantings have been completed or the violation otherwise remedied.

(F) Pursuant to G.S. § 160A-175, the violation of this chapter shall subject the offender to a civil penalty to be recovered by the Town in a civil action in the nature of debt. If the offender does not pay the penalty, the Town may file a civil action to recover the penalty, if the offender does not pay the penalty within five days after the offender has been cited for violation of this chapter.

(G) Pursuant to G.S. §§ 160A-175, 160A-365 and 160A-389, the Town may also seek any appropriate equitable relief issuing from a court of competent jurisdiction that it deems necessary to ensure compliance with the provisions of this chapter. In this case, the General Court of Justice shall have jurisdiction to issue orders as may be appropriate, and it shall not be a defense to the application of the Town for equitable relief that there is an adequate remedy at law.

(H) Pursuant to G.S. § 160A-389, if a building or structure is erected, constructed, reconstructed, altered, repaired, converted or maintained, or any building, structure or land is used in violation of this chapter or other regulation made under authority conferred thereby, the Town in addition to other remedies, may institute any appropriate action or proceedings to prevent the unlawful erection, construction, reconstruction, alteration, repair, conversion, maintenance or use, to restrain, correct or abate the violation, to prevent occupancy of the building, structure or land, or to prevent any illegal act, conduct, business or use in or about the premises.

(I) In addition, the Town may enforce this chapter in accordance to the remedies set out in G.S. § 160A-175. Hence, pursuant to G.S. § 160A-175, the Town may seek a mandatory or prohibitory injunction and an order of abatement commanding the offender to correct the unlawful condition upon or cease the unlawful use of the subject premises. The action shall be governed in all respects by the laws and rules governing civil proceedings, including the Rules of Civil Procedure in general and Rule 65 in particular.

(J) The above remedies are cumulative, and the Town may pursue any or all of the same as its direction. Each day that the violation exists shall constitute a separate and distinct offense.

## **APPENDIX A: CANOPY TREES**

<i>Common Name</i>	<i>Latin Name</i>	<i>Growth Rate*</i>	<i>Maximum Height</i>	<i>Comments:</i>
<b>Deciduous</b>				
Ash, Green	Fraxinus pennsylvanica	F	50 - 80 feet	Do not plant in heavy clay soil; use named



				varieties
Ash, White	Fraxinus americana	M	50 - 80 feet	Do not plant in heavy clay soil
Bald, Cypress	Taxodium disticum	M	50 - 80 feet	Produces small leaves that do not need raking
Birch, River	Betula nigra	F	40 - 70 feet	Subject to draught problems; may be multistem; good variety "Heritage"
Elm, Lacebark	Ulmus pervifolia	M	40 - 50 feet	Resistant to Dutch Elm Disease
Ginkgo	Ginkgo biloba	S	50 - 80 feet	Plant grafted male only; pest free; tolerates pollution
Hackberry	Celtis occidentalis	F	40 - 60 feet	Witches broom can develop
Maple, Red	Acer rubrum	F	40 - 60 feet	Can clog sewer lines; some shallow roots; use named varieties
Maple, Sugar	Acer saccharum	M	50 - 75 feet	Best fall colors; good soils preferred; some shallow roots
Oak, Laurel	Quercus laurifolia	M - F	50 - 80 feet	Semi evergreen leaves; use variety "Darlington"
Oak, Northern Red	Quercus rubra	M - F	60 - 80 feet	
Oak, Sawtooth	Quercus acutissima	M - F	35 - 70 feet	Holds leaves in winter, drops lots of nuts; toughest of the oaks
Oak, Shumard	Quercus shumardii	M - F	40 - 80 feet	Good dark red fall color
Oak, Southern Red	Quercus falcate	M - F	70 - 80 feet	
Oak, White	Quercus alba	S	70 - 80 feet	May hold leaves; very long lives
Oak, Willow	Quercus phellos	F	70 - 80 feet	Majestic tree; most common tree in Charlotte
Pagoda Tree, Japanese	Sophora japonica "Regent"	F	40 - 75 feet	May develop cankers, which can girdle limbs
Planetree, London	Platanus acerifolia	F	60 - 100 feet	Withstands harsh city conditions
Sweetgum	Liquidambar styraciflua	S - M	60 - 75 feet	Fruit is not a litter problem in variety "roundiloba"
Tulip - Poplar	Liriodendron tulipifera	F	60 - 90 feet	Flowers best observed close up; needs lots of space; good soils preferred

Zelkova, Japanese	Zelkova serrata	F	50 - 80 feet	Resistant to Dutch Elm Disease
<b>Evergreen</b>				
Cedar, Deodar	Cedrus deodara	M - F	40 - 70 feet	Subject to winter injury up to age 15 years
Cypress, Leyland	Cupressocyparis leylandii	F	60 - 70 feet	Maintains good shape; excellent screening
Hemlock, Canadian	Tsuga canadensis	M	40 - 70 feet	Plant in partial shade and good soils
Magnolia, Southern	Magnolia grandiflora	M - F	50 - 80 feet	Drops large leaves in spring and summer
Oak, Live	Quercus virginiana	S	40 - 80 feet	
Pine, Austrian	Pinus - Nigra	M	50 - 60 feet	Tolerates city conditions
Pine, Loblolly	Pinus taeda	F	40 - 60 feet	Susceptible to pine beetles: if not kept healthy
Pine, Virginia	Pinus virginiana	M	15 - 40 feet	Susceptible to pine beetles: if not kept healthy
Spruce, Norway	Picea abies	M - F	40 - 60 feet	
<b>Notes and Legend</b>				
1. Where cultivars or varieties are listed, only that type should be used for tree ordinance compliance				
2. F: Fast Rate of Growth; M: Medium Rate of Growth; S: Slow Rate of Growth				

## APPENDIX B: UNDERSTORY TREES

<i>Common Name</i>	<i>Latin Name</i>	<i>Growth Rate</i>	<i>Maximum Height</i>	<i>Comments:</i>
<b>Flowering</b>				
Cherry, Kwanzan	Prunus Serrulata "kwanzen"	S	20 - 25 feet	Good soils preferred
Cherry, Yoshino	Prunus yedoensis	M	20 - 25 feet	Good soils preferred
Crabapple	Malus spp.	M - F	15 - 25 feet	Best varieties; "Centunon"; "Snowdrift;" "Zumi"
Crape myrtle	Lagerstroemia indica	M	15 - 45 feet	Must be maintained in tree form; best variety "Natchez"
Dogwood, Flowering	Cornus florida	M - F	20 - 25 feet	Needs partial shade, good soils preferred
Dogwood, Kousa	Comus kousa	S - M	15 - 30 feet	More hardy than Flowering Dogwood
Hawthorne	Crataegus viridis "Winter King"	S - M	20 - 35 feet	Attractive fruit
Hawthorne, Washington	Crataegus	S - M	25 - 30 feet	Attractive fruit

	phaenopyrum			
Magnolia, Saucer	Magnolia sculangeana	M	20 - 30 feet	
Pear, Aristocrat	Pyrus calleryana "Aristocrat"	F	30 - 40 feet	Very tolerant; best limb structure
Pear, Capital	Pyrus calleryana "Capital"	F	30 - 40 feet	Very tolerant; most columnar
Pear, Redspire	Pyrus calleryana "Redspire"	F	30 - 40 feet	Very tolerant; more narrow than "Bradford"
Plum Purpleleaf	Prunus cerasifera "Pissardii"	M - F	15 - 30 feet	Remains purple; produces fruit
Redbud, Eastern	Cercis canadensis	M	20 - 30 feet	Does well in full sun
<b>Non-flowering</b>				
Cherry-Laurel, Carolina	Prunus caroliniana	M	20 - 30 feet	Good soils preferred
Holly, Foster #2	Llex x attenuats "Foster"	M - F	15 - 25 feet	Multiple uses
Holly, Savannah	Llex x attenuate "Savannah"	F	20 - 30 feet	Multiple uses
Hombean, American	Carpinus caroliniana	S	20 - 30 feet	Pest free, tolerates city conditions
Hornbeam, European	Carpinus betulus	S	40 - 60 feet	Pest free; tolerates city conditions
Maple, Hedge	Acer campestre	S	15 - 35 feet	
Maple, Japanese	Acer palmatum	S	15 - 25 feet	
Myrtle, Wax	Myrica cerifera	S - M	10 - 15 feet	
<b>Notes and Legend:</b>				
1. Where cultivars or varieties are listed, only that type should be used for tree ordinance compliance				
2. F: Fast Rate of Growth; M: Medium Rate of Growth; S: Slow Rate of Growth				

erosion and sedimentation control plan and to conduct the anticipated land-disturbing activity.

- (b1) If the applicant is not the owner of the land to be disturbed and the anticipated land-disturbing activity involves the construction of utility lines for the provision of water, sewer, gas, telecommunications, or electrical service, the draft erosion and sedimentation control plan may be submitted without the written consent of the owner of the land, so long as the owner of the land has been provided prior notice of the project.
- (c) Environmental Policy Act Document. Any Plan submitted for a land-disturbing activity for which an environmental document is required by the North Carolina Environment Policy Act (G.S. 113A-1, et seq.) shall be deemed incomplete until a complete environmental document is available for review. The Town of Weddington shall promptly notify the person submitting the Plan that the 30-day time limit for review of the Plan pursuant to this ordinance shall not begin until a complete environmental document is available for review.
- (d) Content. The Plan required by this section shall contain architectural or engineering drawings, maps, assumptions, calculations, and narrative statements as needed to adequately describe the proposed development of the tract and the measures planned to comply with the requirements of this ordinance. Plan content may vary to meet the needs of specific site requirements. Detailed guidelines for Plan preparation may be obtained from the Town of Weddington on request.
- ~~(e) Soil and Water Conservation District Comments. The District shall review the Plan and submit any comments and recommendations to Town of Weddington within 20 days after the District received the Plan, or within any shorter period of time as may be agreed upon by the District and the Town of Weddington. Failure of the District to submit its comments and recommendations within 20 days or within any agreed upon shorter period of time shall not delay final action on the Plan.~~
- ~~(f)~~ (e) Timeline for Decisions on Plans. The Town of Weddington will review each complete Plan submitted and within 30 days of receipt thereof will notify the person submitting the Plan that it has been approved, approved with modifications, or disapproved. Failure to approve, approve with modifications, or disapprove a complete Plan within 30 days of receipt shall be deemed approval. The Town of Weddington will review each revised Plan submitted and within 15 days of receipt thereof will notify the person submitting the Plan that it has been approved, approved with modifications, or disapproved. Failure to approve, approve with modifications, or disapprove a revised Plan within 15 days of receipt shall be deemed approval.

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# TOWN OF WEDDINGTON

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## MEMORANDUM

**TO:** Chairman and Planning Board

**FROM:** Lisa Thompson, Town Administrator/Planner

**DATE:** November 25, 2019

**SUBJECT:** Wesley Chapel VFD Station Construction Plan Review

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Weddington Code of Ordinances Section 58-271(i) requires building schematics, landscape plans and the signage proportion of the construction drawings be approved by the Design Review Board (DRB). The function of the DRB shall be performed by the Planning Board. Attached please find the entrance sign, landscaping plan, and elevation documents for the proposed Wesley Chapel Volunteer Fire Department located at the northeast corner of Rea Rd. and Reid Dairy Rd.

### Sign Plan

The freestanding ground sign will be located at the entrance, perpendicular to Reid Dairy Rd. The specifications for the monument sign are as follows:

- Sign face total area is approximately 17.11 square feet and will not exceed 20 square feet. The stone monument will be larger as Code allows.
- The maximum height of monument is 7'. They are proposing 4'.
- The monument is clear of the site triangle, 5' from edge of pavement and out of State right-of-way.
- The applicant proposes a masonry veneer with cast stone coping and the sign copy will surrounded by heavy timber stain to match the building

### Landscaping Plan

The applicant is proposing plants and shrubs as depicted on Sheet L100 with details on L101. The required buffer is 18'; however, the applicant is proposing a privacy fence that allows the buffer to be reduced by 20%. The buffer shown is 14.5'. The fence is 6' in height which is the required minimum height.

Four trees and 20 shrubs are required per 100 linear feet. 40% of the trees shall be large mature trees however most of the buffer is within 18' of overhead power lines. The ordinance specifies only shrubs with a mature height less than 20' shall be within 18'. Staff will work with the Union Power arborist to see if there are any trees acceptable to be planted in these areas. Staff is seeking an exception to our tree buffer requirement if there is no alternative.

Off-street parking, loading facilities and dumpsters shall be screened. Dwarf hollies are proposed around the front parking area and generator pad; a 6' masonry wall surrounded by savannah hollies are proposed around the dumpster.

### **Elevations**

The architectural design standards are regulated in Section 14 of the Weddington Code of Ordinances. This Section applies to all nonresidential buildings.

The elevations depict a fiber cement siding, with a 4- 9' stone veneer and capstone. The roof is a 6"/12" gable roof with asphalt shingles. All rooftop utilities are concealed.

The elevations meet the overall design and appearance standards given the scale of the building, roofline, windows and landscaping along the front façade to prevent massing, and high-quality materials.

### **Staff Recommendation**

**Staff recommends approval of the signage plan, landscape plan and elevations with the condition that the buffer and street trees be reviewed by the Union Power arborist to find an acceptable alternative to the requirement.**

# WESLEY CHAPEL VOLUNTEER FIRE DEPARTMENT

# STATION NO. 44

## Weddington, North Carolina

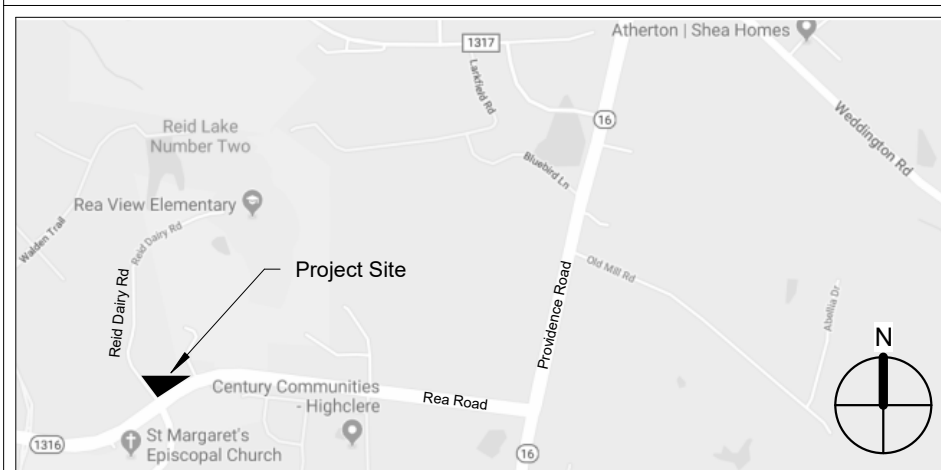
### ARCHITECTURAL ABBREVIATIONS

A	ABOVE	CPT	CARPET	DS	DOWNSPOUT	FLR	FLOOR	N	INCH	MTL	METAL	PERP	PERPENDICULAR	SHM	SECURE HOLLOW METAL	TOS	TOP OF STEEL
ABV	ABOVE FINISHED FLOOR	CPTT	CARPET TILE	DWR	DRAWER	FDR	FLOOR DRAIN	NCL	INCLUDING	MD	MIDDLE	PLAS	PLASTER	SKR	SERVICE SINK	TYP	TYPICAL
ACC	ACCESS PANEL	C	CEILING	DWS	DRAWING	FOLD	FOLD PARTITION	ID	INSIDE DIAMETER	MPH	MILES PER HOUR	PLT	PLATE	SHT	SHEET	U	UNIFORM BUILDING CODE
ACCU	ACOUSTICAL	CLG	CEMENTITIOUS BACKER BOARD	EA	EACH	FS	FOOT SCRAPER	INSUL	INSULATED	MM	MILLIMETER	PLAM	PLASTIC LAMINATE	SHWR	SHOWER	URC	UNLESS OTHERWISE NOTED
APC	ACOUSTICAL PANEL, CEILING	CWP	CEMENTITIOUS WOOD FIBER PLANK	EIA	EACH WAY	FV	FLOOR VENT	IS	INSULATED GLAZING	MM	MILLIMETER	PG	PLATE GLASS	SM	SMALL	URS	UTILITY
ADMN	ADMINISTRATIVE	C	CENTRIGRAPH	EW	EACH WAY	G	GLASS	INT	INTERIOR	MC	MISCELLANEOUS	PWD	PLYWOOD	SS	SINGLE	UTL	UTILITY
ADJ	ADJUSTABLE	CT	CENTRIGRAPH	EW	ELECTRIC WATER COOLER	GLV	GALVANIZED	INT	INTERNATIONAL BUILDING CODE	MB	MOP BASIN	PVC	POLYVINYL CHLORIDE	SD	SMOKE DETECTOR	V	VENTING
AGG	AGGREGATE	CHBD	CHALKBOARD	ELEV	ELEVATION	GRV	GRASS	INT	INTERNATIONAL ENERGY CONSERVATION CODE	MAL	MALLION	POP	PORCELANE GEMENT PLASTER	SC	SOLID CORE	VEND	VENT THROUGH ROOF
AKC	AIR CONDITIONING	CLO	CLOSET	EQ	EQUAL	GRV	GRASS	JAN	JANITOR	NEG	NEGATIVE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
ALU	ALUMINUM	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
ALST	ALUMINUM STOREFRONT	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
ALU	ALUMINUM	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
AMP	ANCHOR BOLT	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
AND	ANCHORED	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
APPROX	APPROXIMATELY	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
ARCH	ARCHITECTURAL	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
ARCH	ARCHITECTURAL	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
AS	ASSEMBLY	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
AT	AUTOMATIC TRANSFER SWITCH	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
AUX	AUXILIARY	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
B	BEAM	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BLK	BLOCK	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BLK	BLOCKING	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BO	BOND	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BLD	BOLLARD	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
B	BOTTOM	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BOS	BOTTOM OF STEEL	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BTU	BRITISH THERMAL UNIT	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BRZ	BROZEN	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BLG	BUILDING	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
BO	BY OWNER	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
CAB	CABINET	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL
CR	CARD READER	CH	COAT HOOK	EQ	EQUIPMENT	GRV	GRASS	JT	JOINT	NA	NOT APPLICABLE	POS	PRE-ENGINEERED METAL BUILDING	SCFV	SOLID CORE FLUSH VENEER	VERT	VERTICAL

### STATE MAP



### VICINITY MAP



### ARCHITECTURAL SYMBOLS

TRUE & PLAN NORTH DIRECTIONAL ARROW		LEVEL LINE		CENTERLINE		GRIDLINE REFERENCE		BUILDING SECTION REFERENCE		WALL SECTION & REFERENCE		DETAIL SECTION & REFERENCE		BUILDING ELEVATION & REFERENCE		INTERIOR ELEVATION & REFERENCE		REFERING VIEW CALLOUT		REVISION TAG		WINDOW TAG		ROOM TAG		DOOR TAG		ROOM FINISH TAG		ROOF, CEILING OR FLOOR ASSEMBLY TAG		EXTERIOR WALL ASSEMBLY TYPE TAG		INTERIOR WALL ASSEMBLY TYPE TAG		STOREFRONT OR CURTAIN WALL TAG		EXTERIOR MATERIAL TAG	
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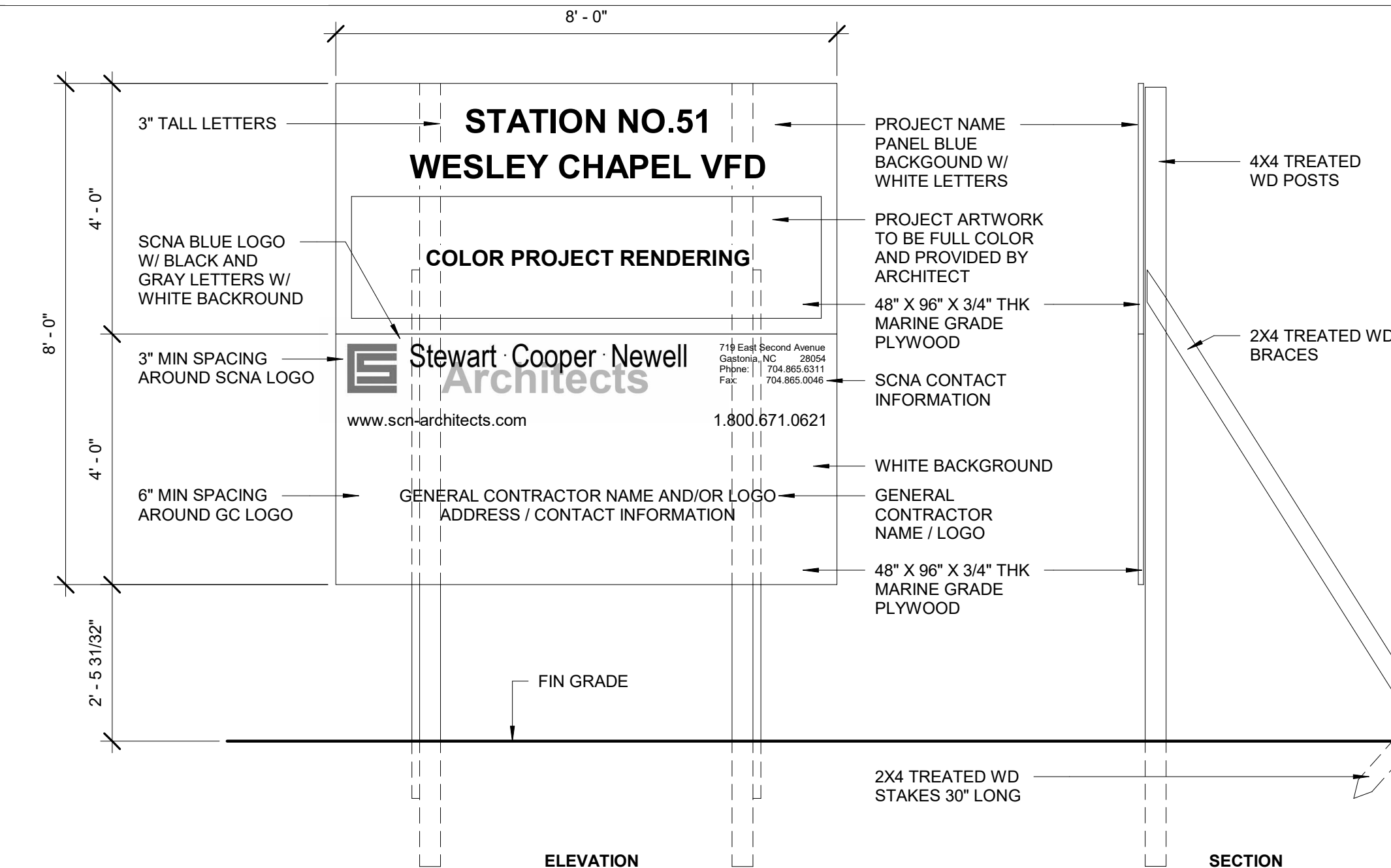
### NOTE:

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### GENERAL PROJECT NOTES

- EXISTING CONDITIONS: DRAWINGS OF EXISTING CONDITIONS WERE TAKEN FROM DRAWINGS FURNISHED BY OTHERS WHICH MAY OR MAY NOT BE CORRECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND/OR OTHER CONDITIONS DESCRIBED IN THE CONTRACT DOCUMENTS. DISCREPANCIES OR VARIATIONS BETWEEN THE CONTRACTOR VERIFIED EXISTING CONDITIONS AND CONDITIONS DESCRIBED IN THE DRAWINGS OR IN THE SPECIFICATIONS AND CHARACTERIZED AS EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- DRAWING SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED. HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THE PLANS, SECTION OR DETAILS. IF THERE ARE ANY QUESTIONS ABOUT THE DETAILS OR DIMENSIONS IN THESE DRAWINGS, CONTACT THE ARCHITECT FOR INFORMATION PRIOR TO STARTING WORK.
- COORDINATION: ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- COMPLEMENTARY DOCUMENTS: THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO ONE ANOTHER AND EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR AND TRADE IS REQUIRED TO MAINTAIN FULL SIZE AND COMPLETE SETS OF THE CONTRACT DOCUMENTS ON-SITE FOR HIS EMPLOYEES USE ON THE PROJECT FOR THE PURPOSE OF COORDINATING THEIR WORK WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
- CONTRACTOR SHALL MEET WITH THE ARCHITECT PRIOR TO BEGINNING WORK OF THE PROJECT AND REVIEW EXISTING CONDITIONS AS WELL AS THE SCOPE OF THE WORK TO BE COMPLETED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE AND ALL OTHER APPLICABLE LOCAL CODES, REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION AT THE PROJECT SITE THAT IS NOT SCHEDULED FOR REMOVAL OR DEMOLITION AND NEW CONSTRUCTION THAT IS PART OF THE SCOPE OF WORK FOR THIS PROJECT. DAMAGES TO EXISTING OR NEW CONSTRUCTION SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
- SLOPE ALL EXTERIOR LANDINGS, WALKS, PORCHES, STEPS, ETC. 1/8" TO 1/4" TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING UNLESS NOTED OR SHOWN OTHERWISE.
- SLOPE ALL EXTERIOR GRADES FOR POSITIVE DRAINAGE AWAY FROM BUILDING. REF CIVIL GRADING PLAN FOR ADDITIONAL REQUIREMENTS.
- FRAMING LUMBER IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESERVATIVE TREATED.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS STEEL LINTELS AS REQUIRED WHERE MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT PASS THROUGH MASONRY WALLS OR OVER ANY BUILT-IN ITEMS LOCATED WITHIN MASONRY WALLS.
- SLOPE FLOOR TO FLOOR DRAINS AS INDICATED. COORDINATE ALL FLOOR DRAINS WITH PLUMBING CONTRACTOR AND FLOOR FINISH REQUIREMENTS.
- PROVIDE OPEN HEAD JOINT WEEPS @ 16" OC OVER ALL MASONRY OPENINGS.
- PROVIDE FIRE RETARDANT TREATED LUMBER IN LOCATIONS AS REQUIRED BY THE CURRENT EDITION OF THE APPLICABLE BUILDING CODE.
- FIRE RATED PENETRATION NOTES APPLY TO ALL TRADES.
- BLOCKING AND BACKING: PROVIDE BLOCKING AND BACKING AS REQUIRED TO SECURE ALL WALL MOUNTED OR CEILING SUSPENDED ITEMS AND/OR ACCESSORIES IN ACCORDANCE WITH THE PRODUCT OR ITEM MANUFACTURER'S REQUIREMENTS. DO NOT CUT ANY LAY-IN ACOUSTICAL CEILING PANELS LESS THAN 6 INCHES WIDE UNLESS INSTRUCTED BY ARCHITECT. LAY-IN CEILING PANELS TO BE EQUALLY SPACED IN AREA OR ROOM.
- DIMENSIONS SHOWN ON FLOOR PLANS ARE SHOWN TO FACE OF MASONRY AND FACE OF FRAMING UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE NOTED, ALL FIRE RATED WALLS AND PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF FIRE-RESISTIVE RATED CEILING/ROOF ASSEMBLY ABOVE.
- NO CORE OF BRICK VENEER SHOULD BE EXPOSED. USE SOLID BRICK WHERE REQUIRED TO KEEP CORES FROM BEING VISIBLY EXPOSED.
- CMU WYTHES ARE DIMENSIONED NOMINALLY UNLESS OTHERWISE NOTED.

### PROJECT SIGN



#### NOTES:

- LETTER STYLE FOR PROJECT NAME SHALL BE ARIAL NARROW.
- BLUE SHALL BE PANTONE 293.
- SCNA COMPANY LOGO AND PROJECT ARTWORK WILL BE PROVIDED IN JPEG FORMAT.
- GC IS RESPONSIBLE FOR PROVIDING THEIR COMPANY ARTWORK IN JPEG FORMAT.
- SIGN MANUFACTURER SHALL SUBMIT SHOP DRAWING OF PROJECT SIGN TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- COORDINATE EXACT LOCATION IN FIELD WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- GC SHALL BE RESPONSIBLE FOR SECURING ANY TEMPORARY SIGN PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION PRIOR TO FABRICATION AND INSTALLATION.

### PROJECT TEAM

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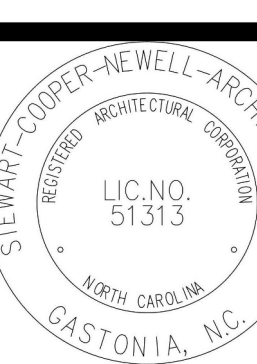
Project No.

1619

Date: 11/09/2019 7:24:23 AM  
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Author  
Checked by:  
Checker  
Revisions

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Preliminary Review Set

11/8/19

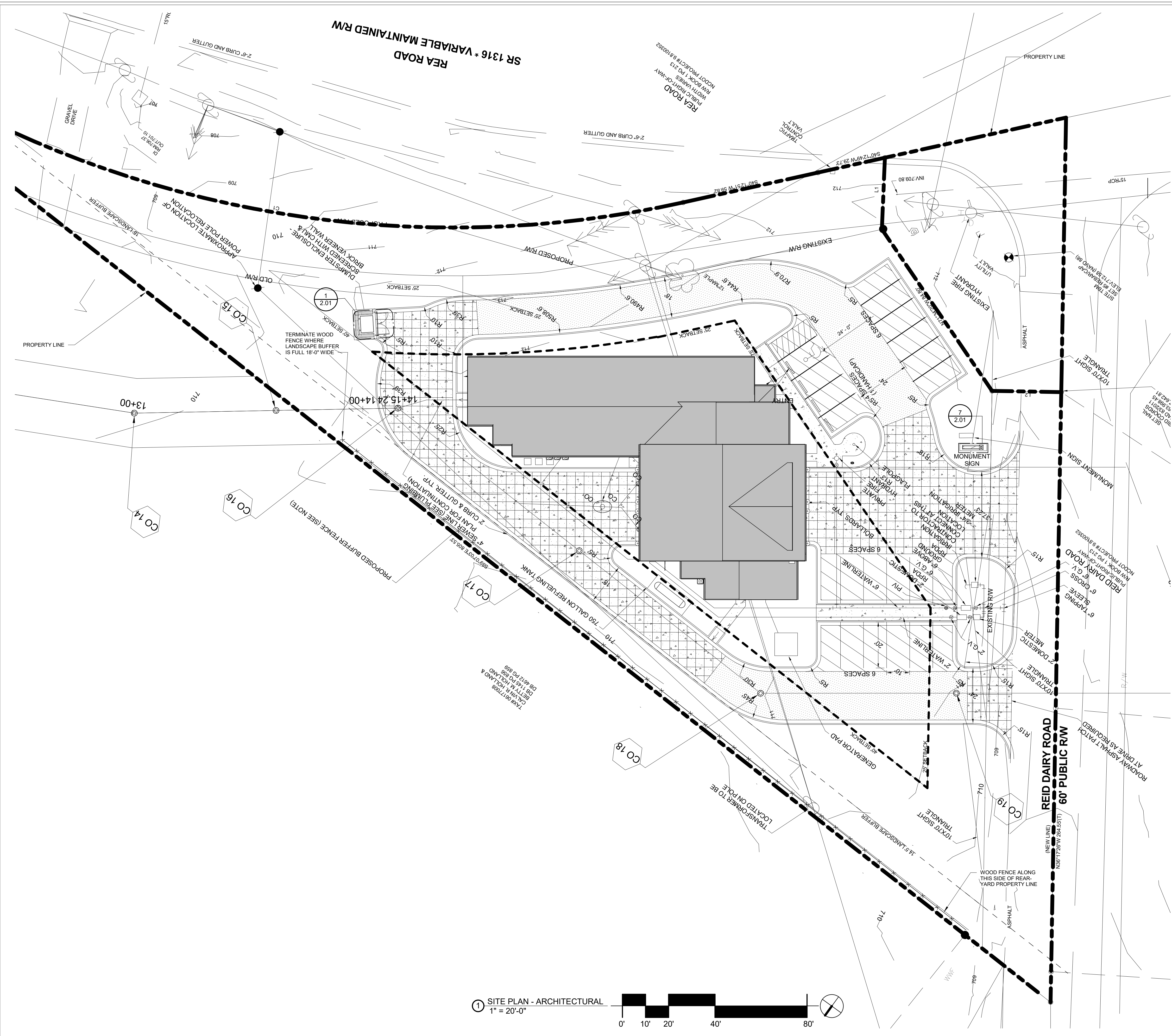
WESLEY CHAPEL VFD  
STATION NO. 44  
Weddington, North Carolina

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COVER SHEET

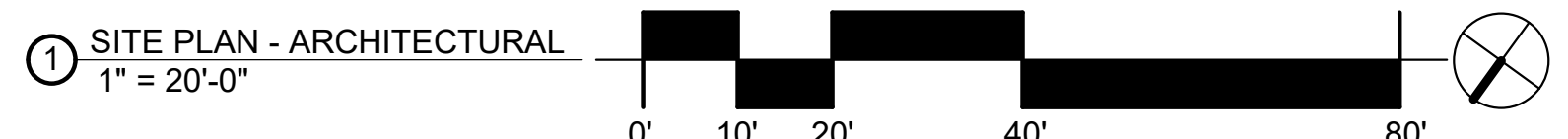




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Checklist  
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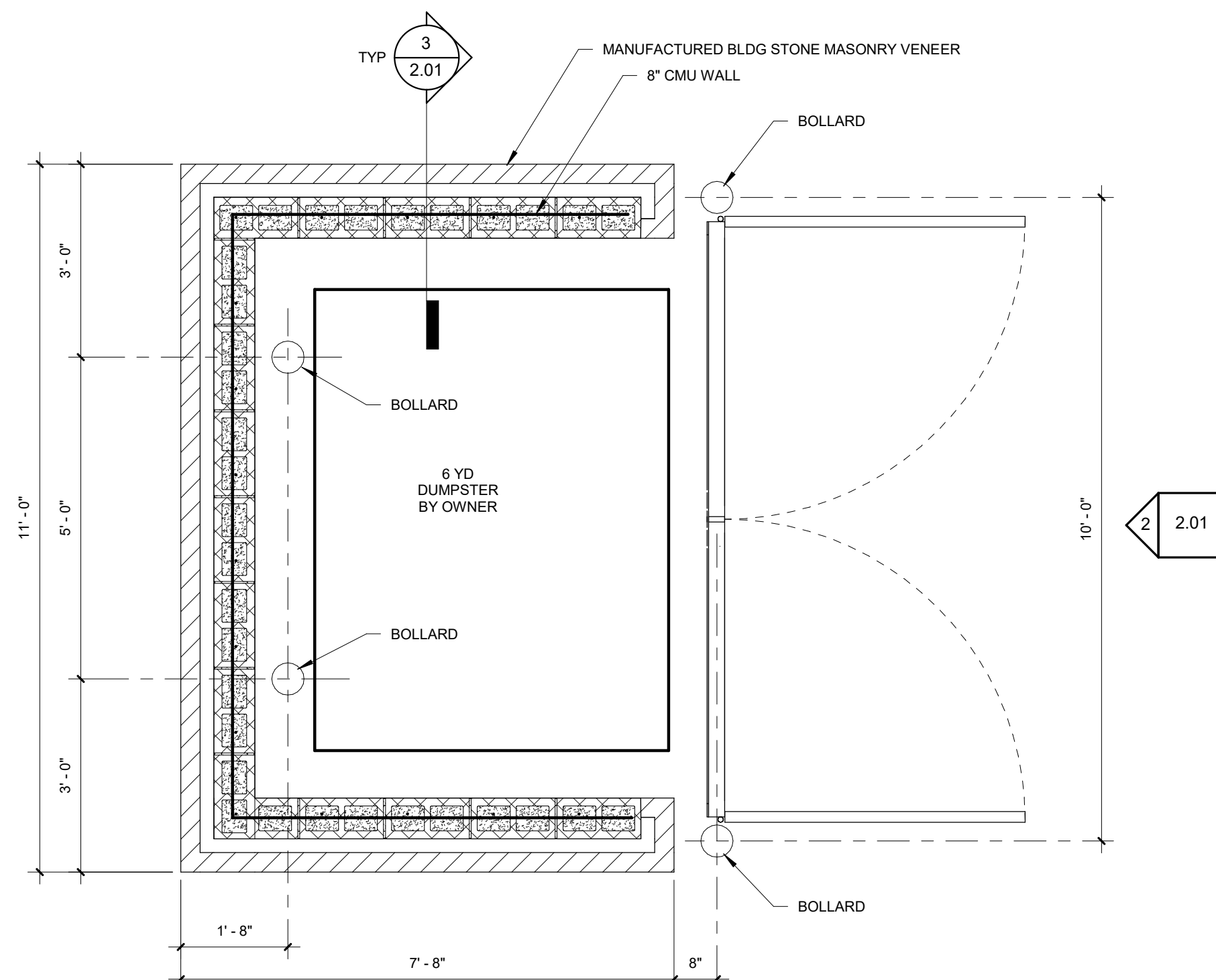
SITE PLAN - ARCHITECTURAL

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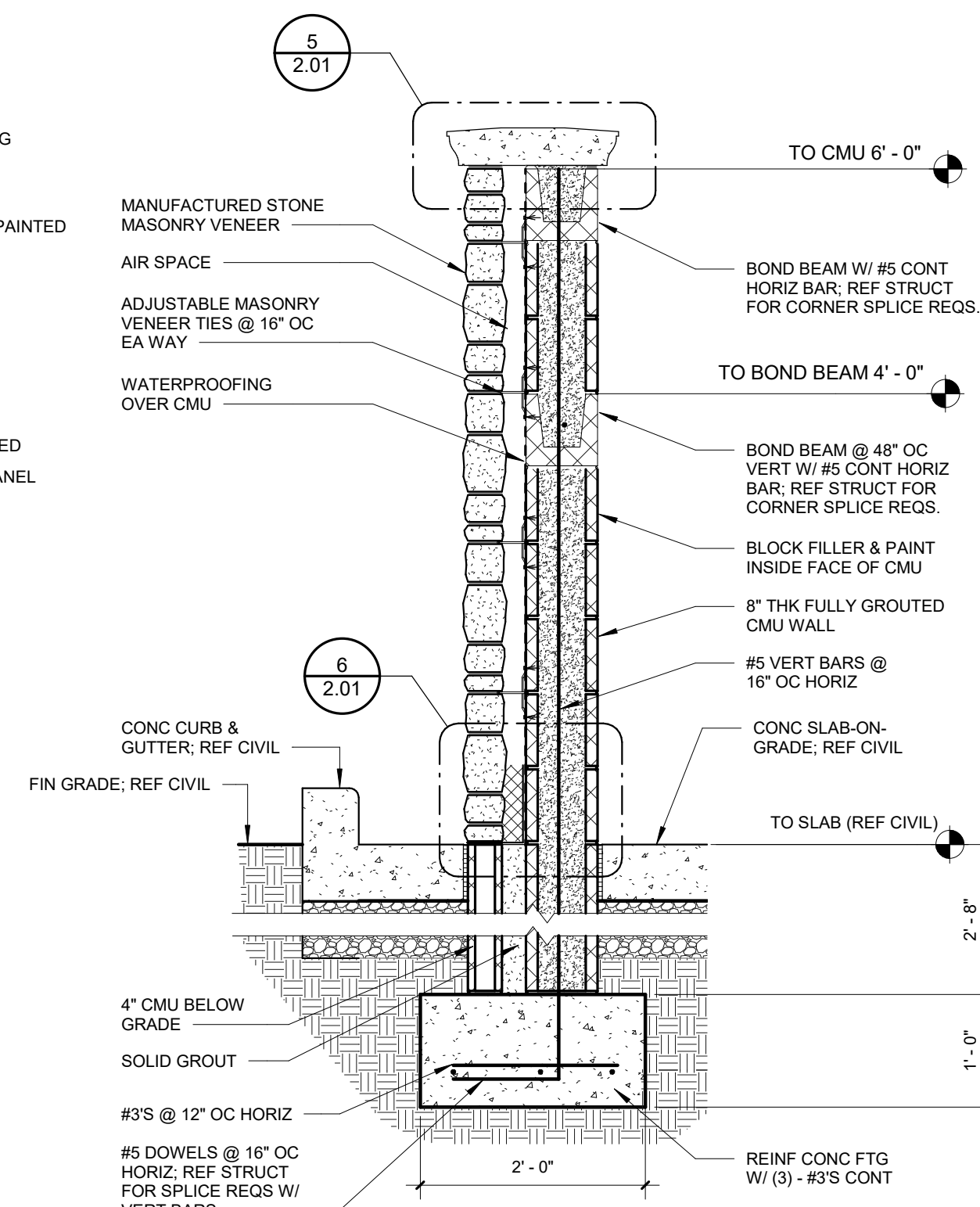
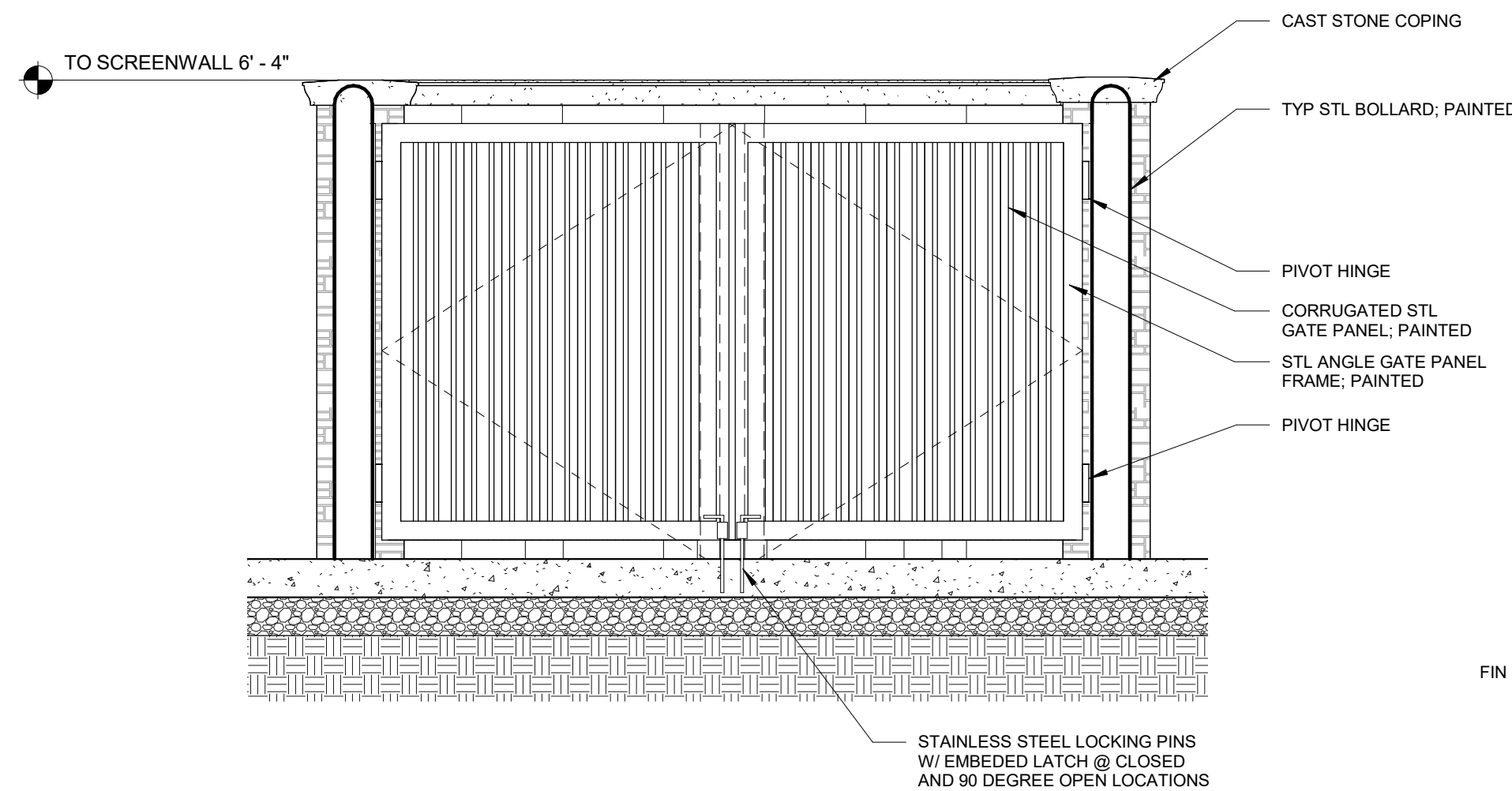
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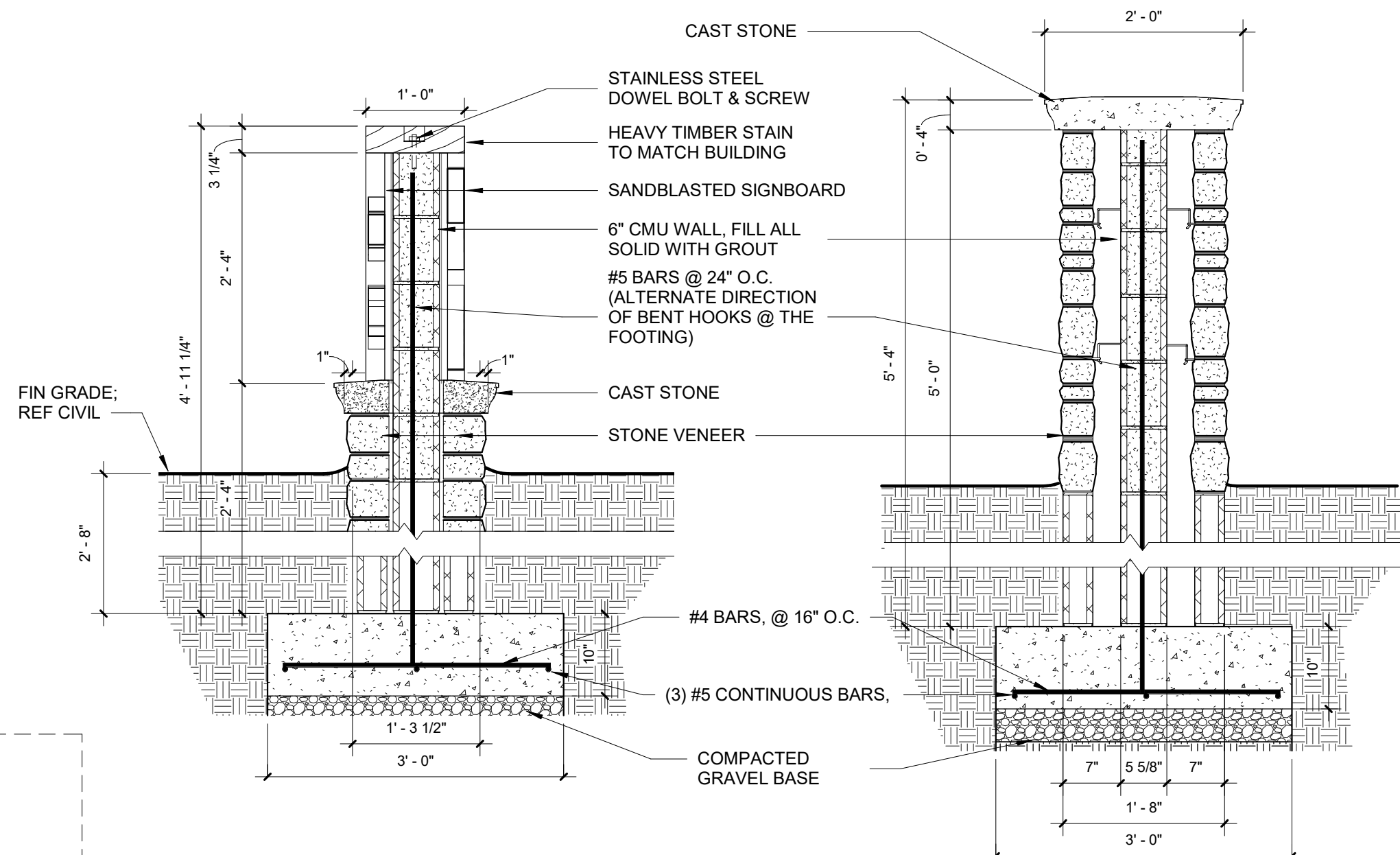
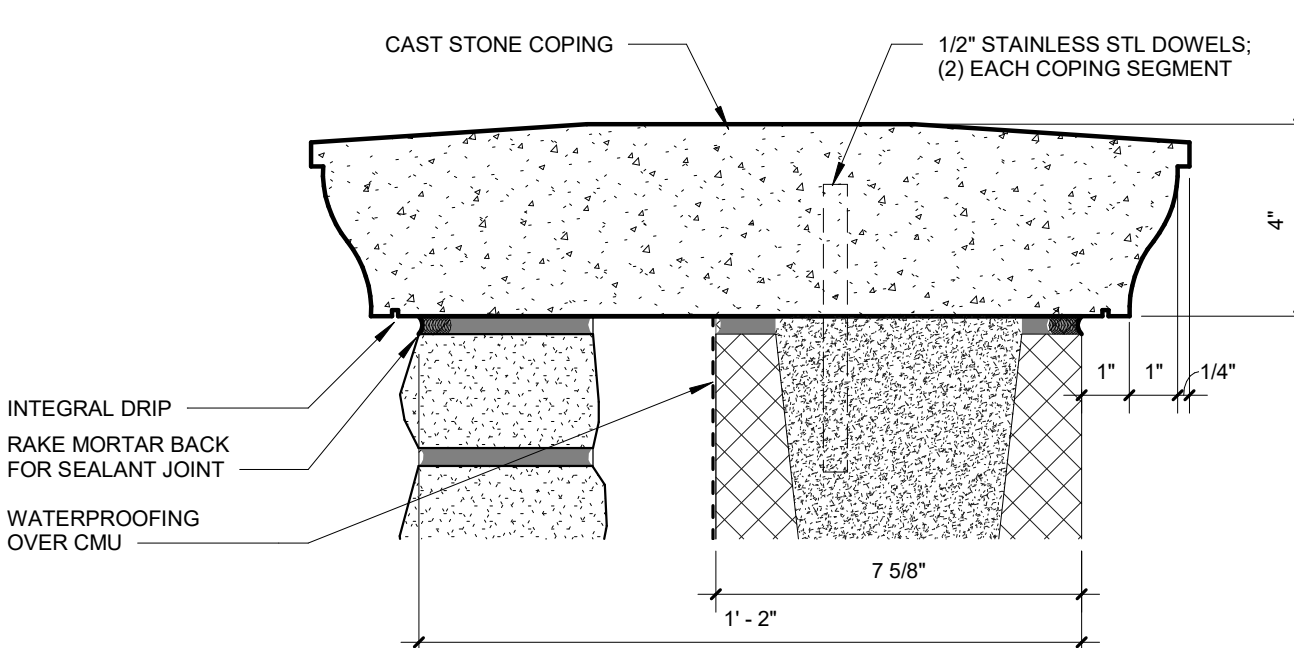
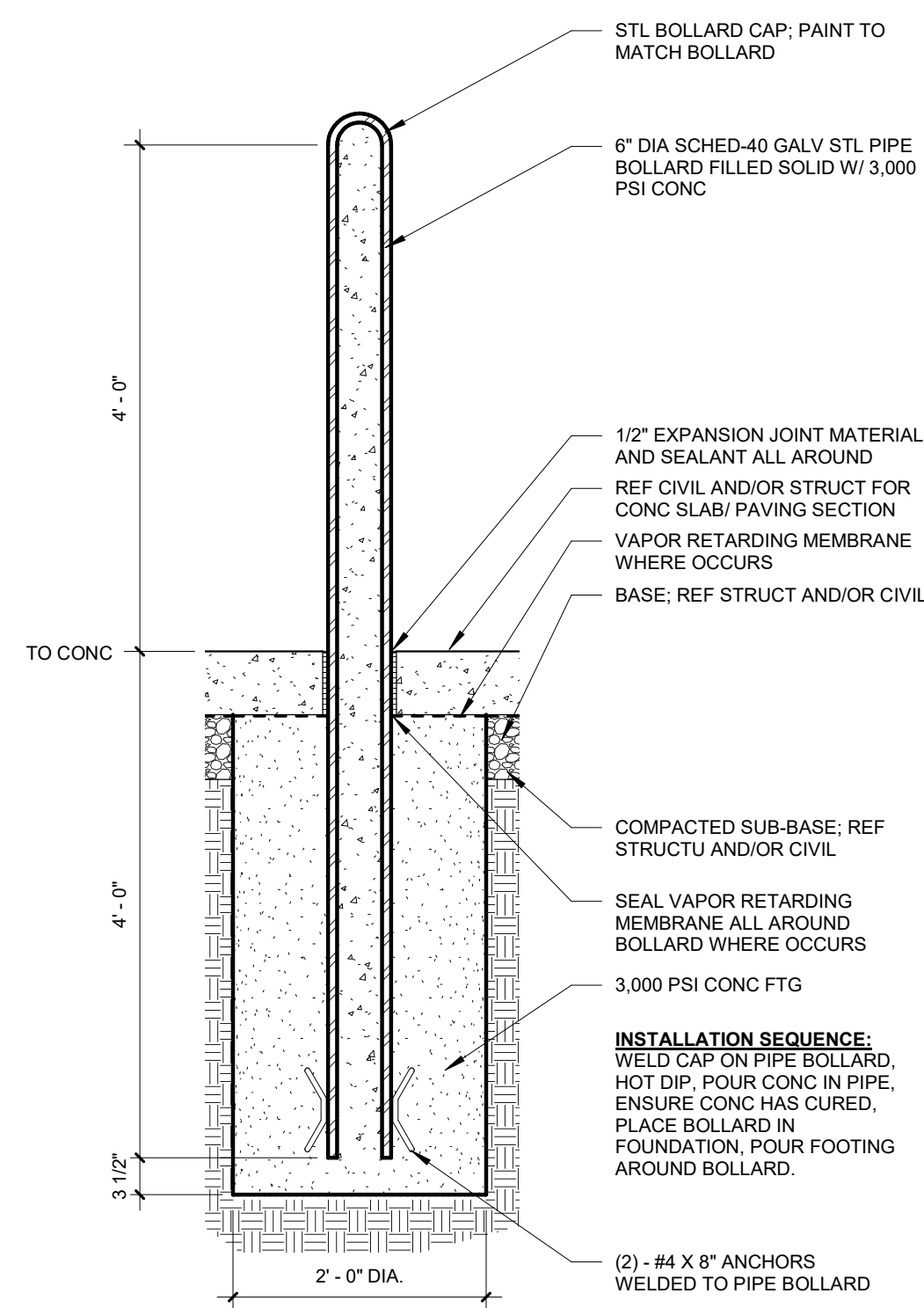




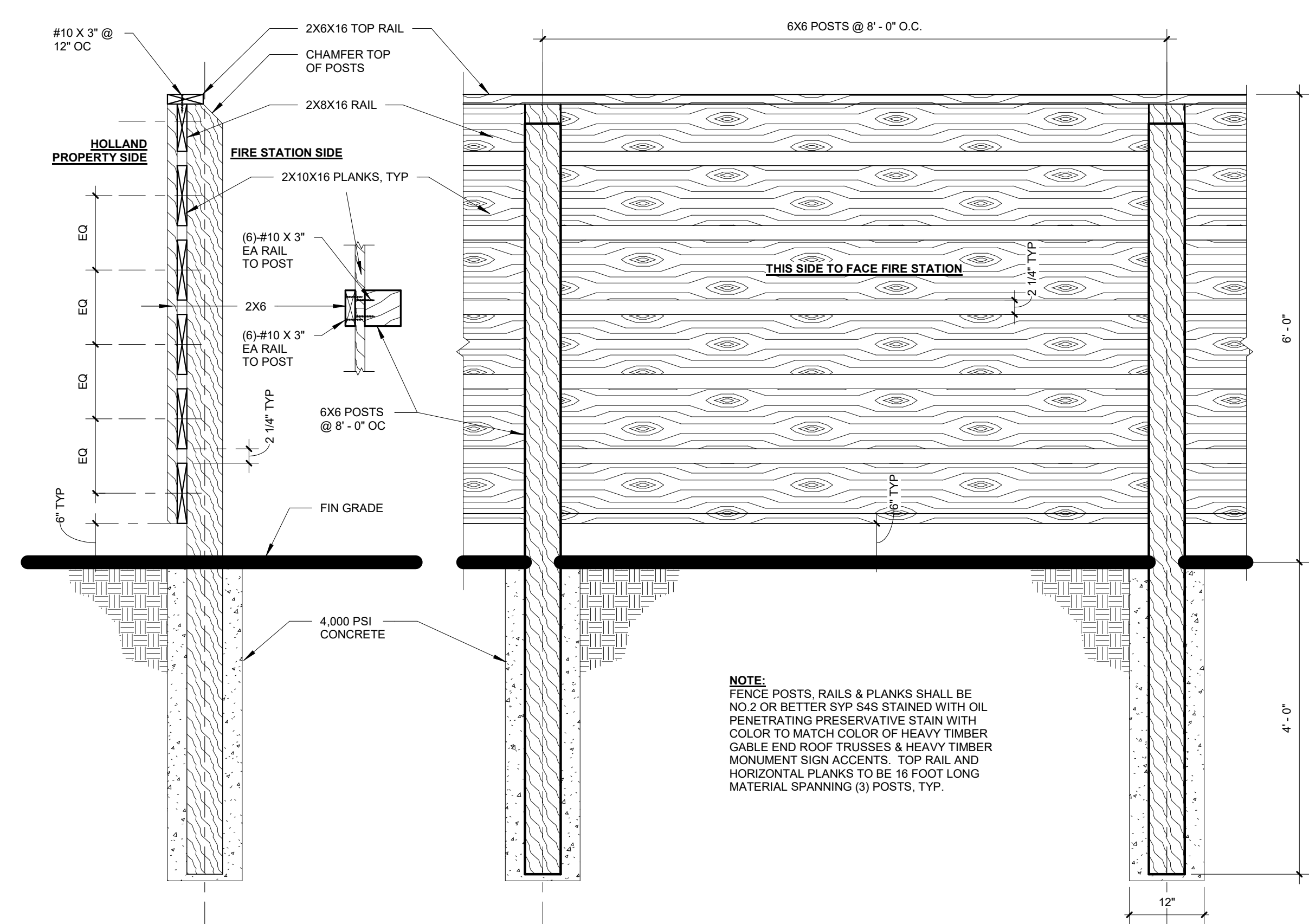
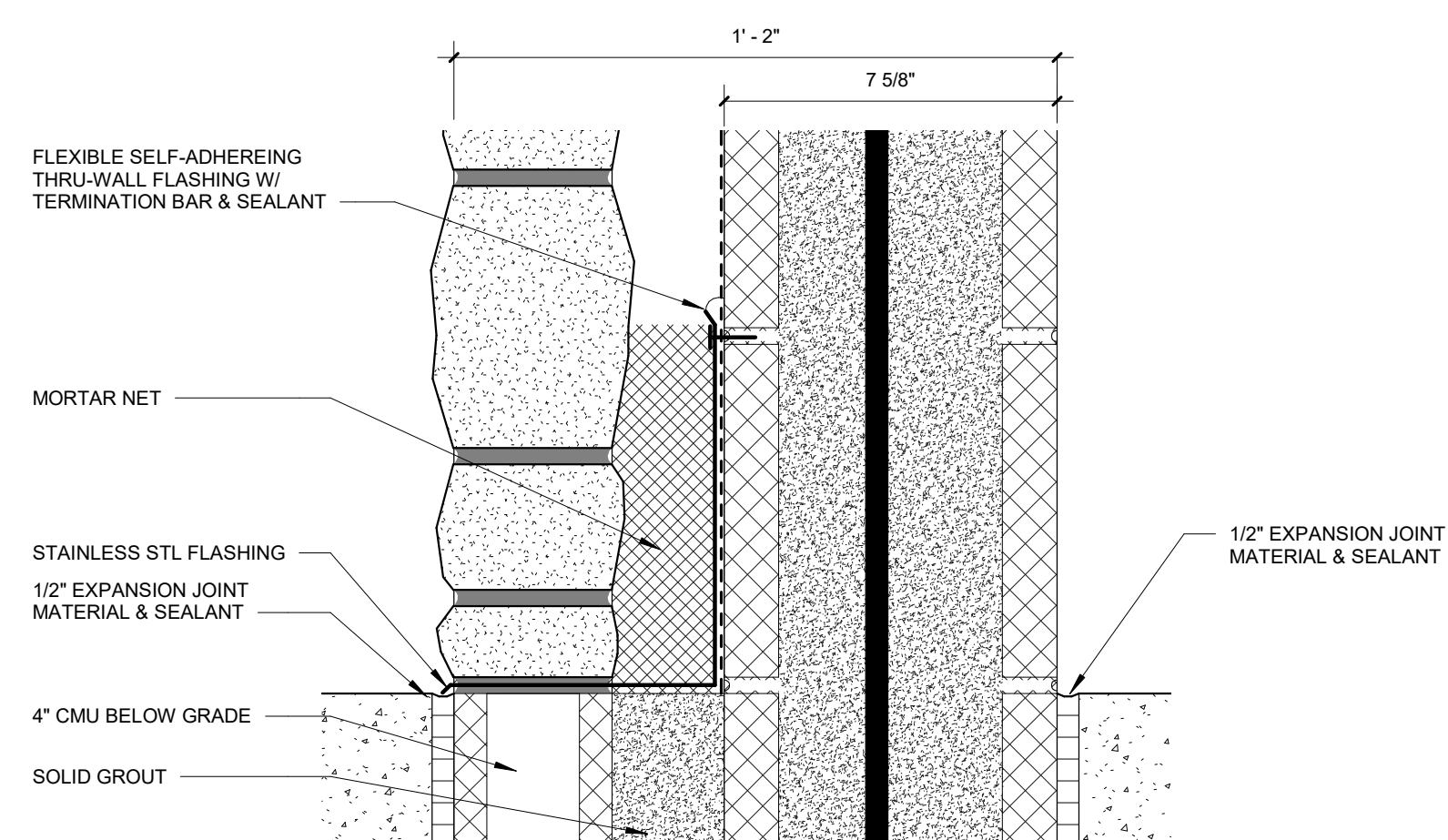
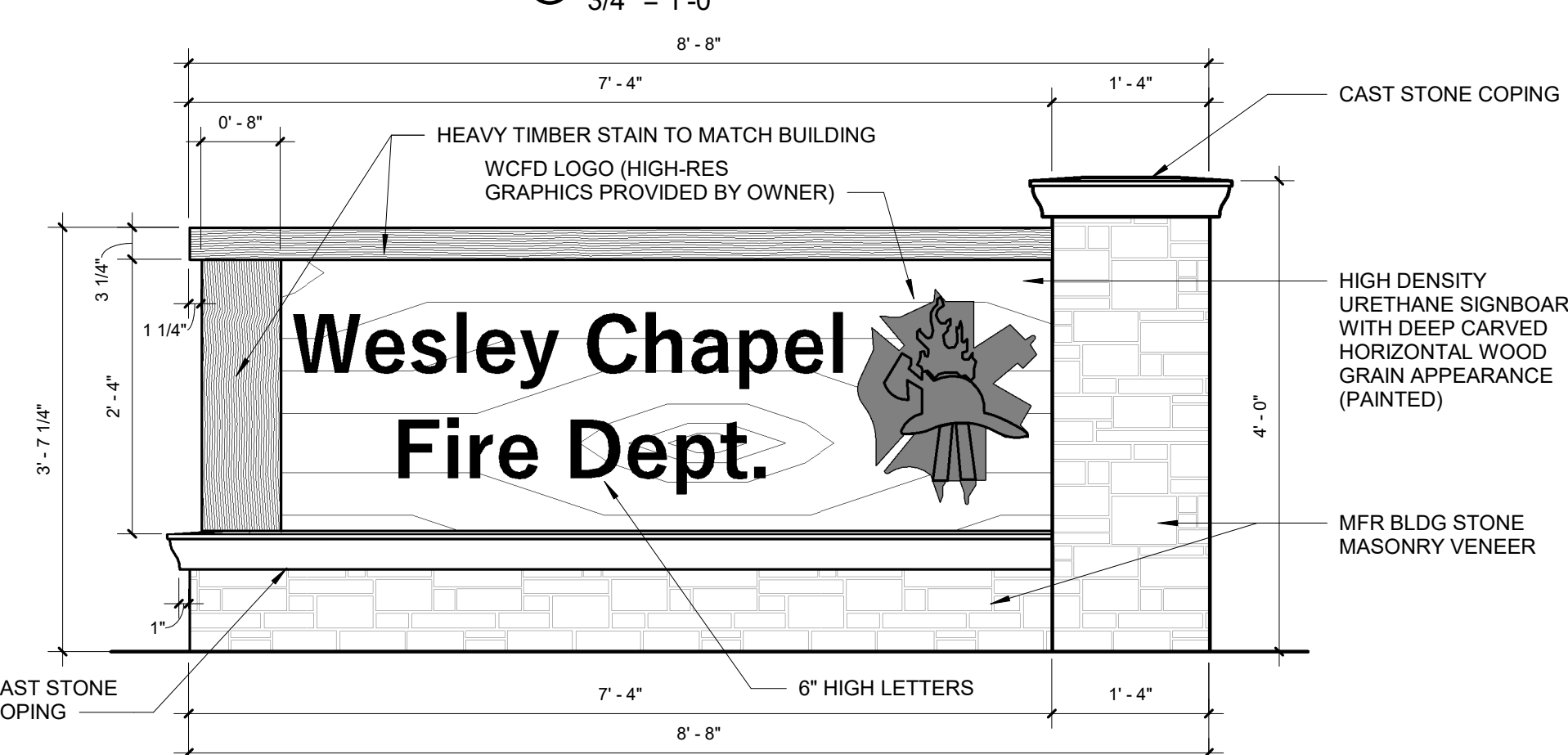
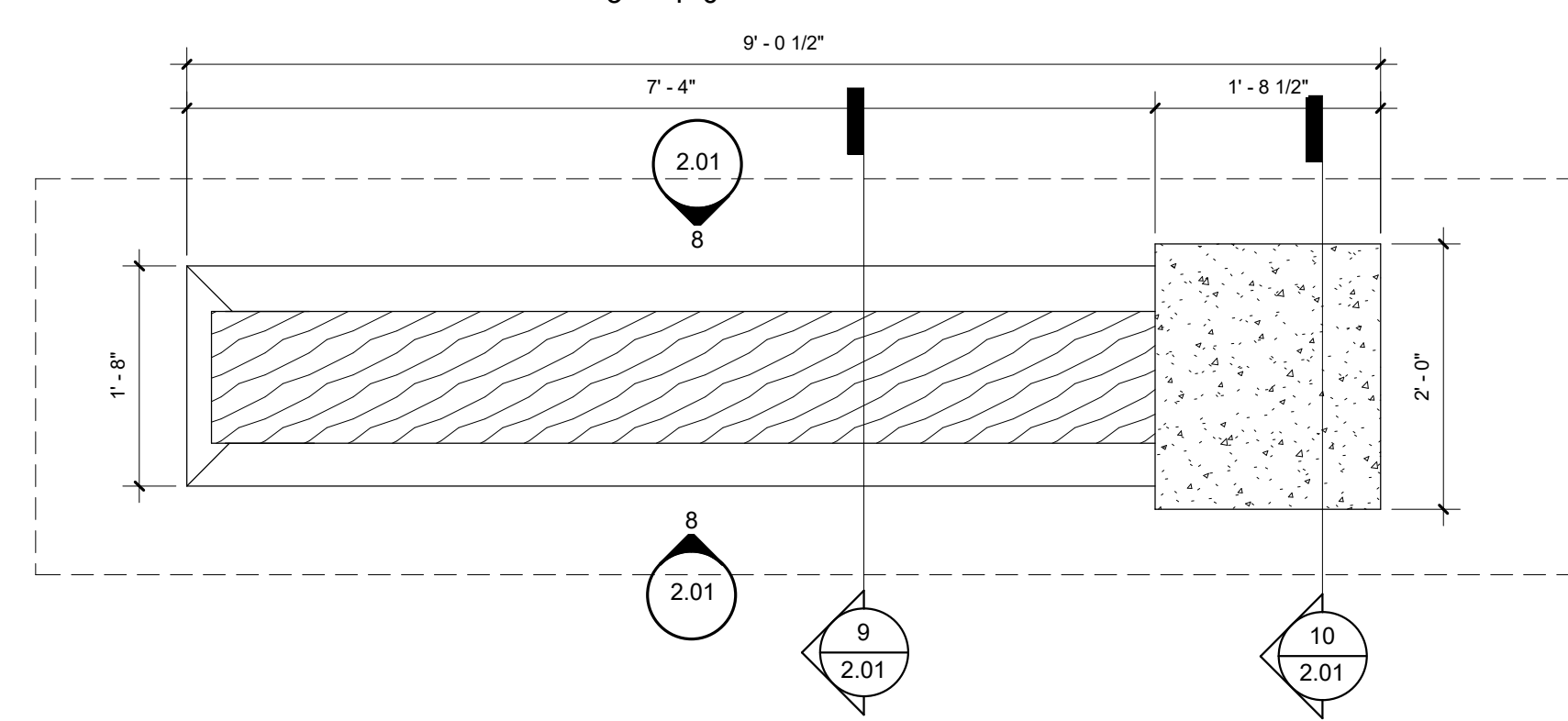
2 ELEVATION - TRASH ENCLOSURE GATE  
1/2" = 1'-0"



4 TYP BOLLARD  
3/4" = 1'-0"



10 SECTION DETAIL  
3/4" = 1'-0"



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SITE DETAILS

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PLANTING NOTES

1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. HAVE NORMAL GROWTH HABITS. HAVE WELL-DEVELOPED BRANCHES. BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GIRDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (PLDS #40.09).
3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
4. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
5. ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.

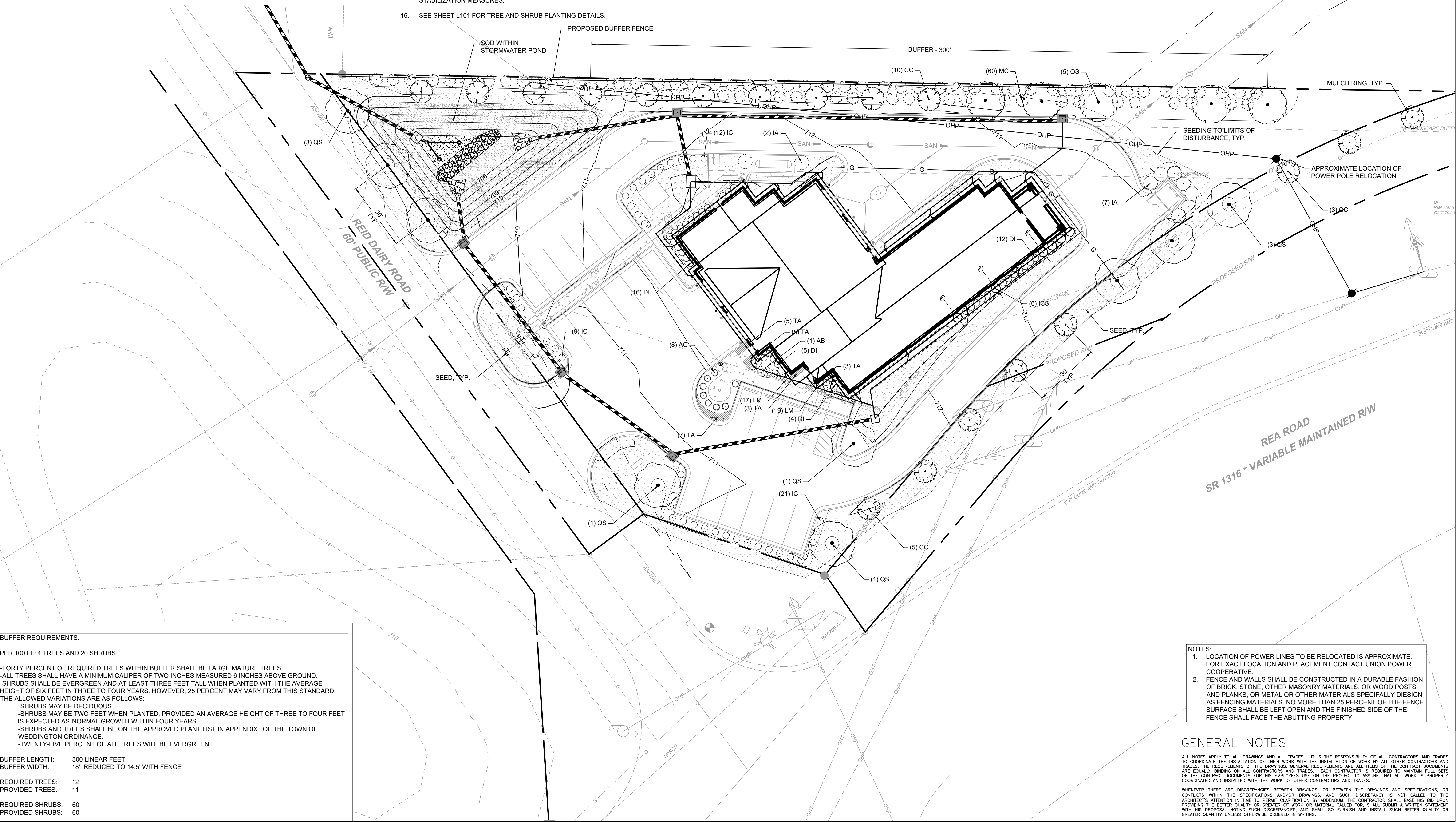
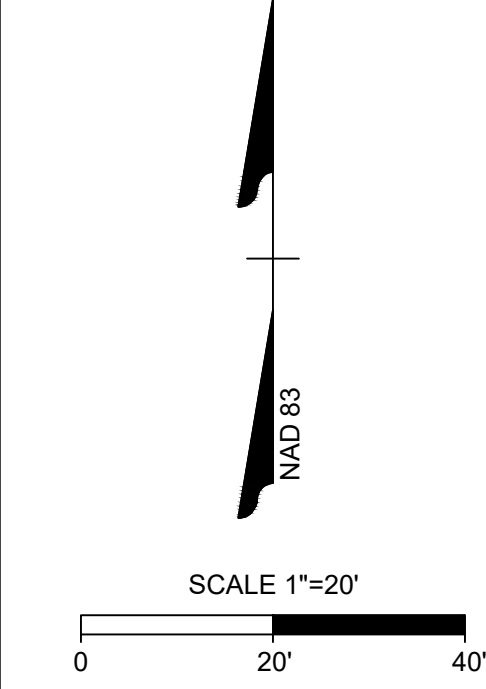
6. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).
7. TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE TOWN ARBORIST/INSPECTOR..
8. IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S), CALL TOWN ARBORIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
9. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.
10. IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS; CALL TIMMONS GROUP TO RESOLVE BEFORE PLANTING.
11. ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES.
12. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (≤ 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE.
13. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY TOWN ARBORIST/INSPECTOR PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
14. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE TOWN ARBORIST.
15. FOR GRADED AREAS NOT SHOWN TO RECEIVE SEEDING/SODDING, SEE EROSION CONTROL PLANS FOR STABILIZATION MEASURES.
16. SEE SHEET L101 FOR TREE AND SHRUB PLANTING DETAILS.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HT	SPAC	REMARKS
AB	1	ACER BURGERIANUM	TRIDENT MAPLE	B&B	2.5"	10' MIN.	A.I.	SINGLE STEM, CENTRAL LEADER
CC	18	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	B&B	2"	8' MIN.	A.I.	SINGLE STEM
IA	9	ILEX X ATTENUATA 'SAVANNAH'	SAVANNAH HOLLY	B&B	2"	6' MIN.	A.I.	FULL TO GROUND
QS	14	QUERCUS SHUMARDI	SHUMARD OAK	B&B	3.5"	12' MIN.	A.I.	SINGLE STEM, CENTRAL LEADER, MIN. 5' CLEAR TRUNK, MAX 7'

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT	SPR	SPAC	REMARKS
AS	8	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	KALEIDOSCOPE ABELIA	5 GAL	15"	12"	A.I.	
DI	37	DISTYLIUM 'PIDIST-II PLANT PATENT 24,409'	BLUE CASCADE EVERGREEN DISTYLIUM	5 GAL	18"	24"	A.I.	
IC	42	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	5 GAL	30"	20"	A.I.	FULL TO GROUND
ICS	6	ILEX CRENATA 'STEEDS'	STEEDS UPRIGHT JAPANESE HOLLY	7 GAL	30"	24"	A.I.	FULL TO GROUND
LM	36	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	8"	6"	A.I.	
MC	60	MYRICA CERIFERA	SOUTHERN WAX MYRTLE	7 GAL	30"	24"	A.I.	FULL TO GROUND
TA	23	TRACHELOSPERMUM ASIATICUM 'HOSNS'	SNOW-N-SUMMER ASIATIC JASMINE	3 GAL	8"	15"	A.I.	

GRND CVR	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT	SPR	SPAC	REMARKS
TURF	SF	NAME						REMARKS
TURF	A.I.	TALL FESCUE (SEED OR SOD)						



**BUFFER REQUIREMENTS:**

PER 100 LF: 4 TREES AND 20 SHRUBS

-FORTY PERCENT OF REQUIRED TREES WITHIN BUFFER SHALL BE LARGE MATURE TREES.  
-ALL TREES SHALL HAVE A MINIMUM CALIPER OF TWO INCHES MEASURED 6 INCHES ABOVE GROUND.  
-SHRUBS SHALL BE EVERGREEN AND AT LEAST THREE FEET TALL WHEN PLANTED WITH THE AVERAGE HEIGHT OF SIX FEET IN THREE TO FOUR YEARS. HOWEVER, 25 PERCENT MAY VARY FROM THIS STANDARD. THE ALLOWED VARIATIONS ARE AS FOLLOWS:  
-SHRUBS MAY BE DECIDUOUS  
-SHRUBS MAY BE TWO FEET WHEN PLANTED, PROVIDED AN AVERAGE HEIGHT OF THREE TO FOUR FEET IS EXPECTED AS NORMAL GROWTH WITHIN FOUR YEARS.  
-SHRUBS AND TREES SHALL BE ON THE APPROVED PLANT LIST IN APPENDIX I OF THE TOWN OF WEDDINGTON ORDINANCE.  
-TWENTY-FIVE PERCENT OF ALL TREES WILL BE EVERGREEN

BUFFER LENGTH: 300 LINEAR FEET  
BUFFER WIDTH: 18', REDUCED TO 14.5' WITH FENCE

REQUIRED TREES: 12  
PROVIDED TREES: 11

REQUIRED SHRUBS: 60  
PROVIDED SHRUBS: 60

- NOTES:
1. LOCATION OF POWER LINES TO BE RELOCATED IS APPROXIMATE. FOR EXACT LOCATION AND PLACEMENT CONTACT UNION POWER COOPERATIVE.
  2. FENCE AND WALLS SHALL BE CONSTRUCTED IN A DURABLE FASHION OF BRICK, STONE, OTHER MASONRY MATERIALS, OR WOOD POSTS AND PLANKS, OR METAL OR OTHER MATERIALS SPECIFICALLY DESIGN AS FENCING MATERIALS. NO MORE THAN 25 PERCENT OF THE FENCE SURFACE SHALL BE LEFT OPEN AND THE FINISHED SIDE OF THE FENCE SHALL FACE THE ABUTTING PROPERTY.

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Project No.

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90% PLAN  
NOT FOR  
CONSTRUCTION

WESLEY CHAPEL  
VOLUNTEER FIRE STATION NO. 51  
WEDDINGTON, NC

LANDSPACING PLAN

Sheet Number

L100

		<p>INSTALL SHRUBS SO THAT TOP OF THE ROOTBALL IS AT THE SAME GRADES AS ORIGINALLY GROWN OR 1"-2" ABOVE IN POOR DRAINING SOILS. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL</p> <p>REMOVE ALL DEAD, BROKEN, DISEASED AND WEAK BRANCHES AT TIME OF PLANTING</p> <p>3" SHREDDED HARDWOOD MULCH, KEEP AWAY FROM TRUNK</p> <p>6"</p> <p>SCARIFY BOTTOM AND SIDES OF PIT</p> <p>REMOVE ALL STRING, WIRE AND BURLA FROM TOP 1/3 OF ROOTBALL</p>		<p>DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES</p> <p>NYLON STRAP/WEBBING WITH TENSION BUCKLE</p> <p>TRUNK FLARE JUNCTION, PLANT 2" ABOVE FINISHED GRADE. REMOVE EXTRA SOIL FROM TRUNK FLARE. TREE SHALL BE SET PLUMB</p> <p>MULCH 3" MIN. KEEP FROM DIRECT CONTACT WITH TRUNK</p> <p>EDGE OF 3" HIGH WATERING SAUCER</p> <p>2"x4"x3" WOOD STAKE BURIED 3" BELOW FINISH GRADE, 3 PER TREE, EQUALLY SPACED.</p> <p>COMPLETELY REMOVE BURLAP, LACING AND WIRE BASKET FROM TOP 1/2 OF THE ROOT BALL</p> <p>PLANTING SOIL MIX AS SPECIFIED</p> <p>ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE</p> <p>NOTES:</p> <p>1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.</p> <p>2. SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.</p> <p>3X ROOT BALL DIAMETER</p>	
NOT USED	NTS	SHRUB PLANTING DETAIL	NTS	DECIDUOUS TREE PLANTING DETAIL	NTS
		<p>1x6 WOLM. WOOD PLANKS (TYP.) - COLOR TO BE DETERMINED - NOTE, STYLE OF PLANKS TO BE SELECTED BY OWNER</p> <p>SEE PLAN</p> <p>2x6</p> <p>2x4</p> <p>6"</p> <p>3"</p> <p>3' - 6"</p> <p>4X6 POSTS @ 6' OC</p> <p>18" SQ. TYP.</p> <p>1x8 ROUGH SAWN TREATED PLANKS, COLOR TO BE DETERMINED</p> <p>4X6 POSTS @ 6' OC</p>		<p>RUBBER HOSE</p> <p>MARK THE NORTH SIDE OF TREE IN NURSERY &amp; ROTATE TREE TO FACE NORTH AT THE SITE, WHENEVER POSSIBLE</p> <p>REMOVE TAGS, LABELS, AND PLASTIC SLEEVING DO NOT STAKE UNLESS SPECIFIED (SEE COMMENTS) DO NOT WRAP TRUNK</p> <p>PRUNE SUCKERS</p> <p>SET TOP OF ROOTBALL FLUSH TO GRADE OR 1-2" HIGHER IN SLOWLY DRAINING SOILS. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.</p> <p>1:1 SLOPE ON SIDES OF PLANTING HOLE</p> <p>2'-6" MIN.</p> <p>SCARIFY SIDES BEFORE PLANTING</p> <p>PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL</p> <p>1'-0" MIN.</p> <p>TWICE ROOTBALL DIAMETER</p> <p>GALVANIZED WIRE GUY 12 GAUGE</p> <p>2X2 HARDWOOD STAKE</p> <p>SHREDDED HARDWOOD MULCH, (MIN. 3" DEPTH) KEEP AWAY FROM TRUNK</p> <p>BACKFILL WITH EXISTING SOIL IN SANDY LOAM SOILS, ADD 20% MAXIMUM (BY VOLUME) COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL. PARTIALLY BACKFILL, WATER TO SETTLE SOIL, FINISH BACKFILLING</p> <p>6" SAUCER</p> <p>CUT AWAY ALL BALLING ROPES REMOVE BURLAP OR WIRE BASKET FROM TOP 1/3 OF BALL, OR REMOVE CONTAINER AND CUT CIRCLING ROOTS IF CONTAINER-GROWN, OR AS MUCH BURLAP AS POSSIBLE IF FIELD-GROWN</p> <p>TAMP SOIL AROUND ROOTBALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOTBALL DOES NOT SHIFT</p>	
NOT USED	NTS	WOODEN SCREEN FENCE DETAIL	NTS	EVERGREEN TREE PLANTING DETAIL	NTS
NOT USED	NTS	NOT USED	NTS	<div>GENERAL NOTES</div> <div>ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.</div> <div>WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL, NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.</div>	

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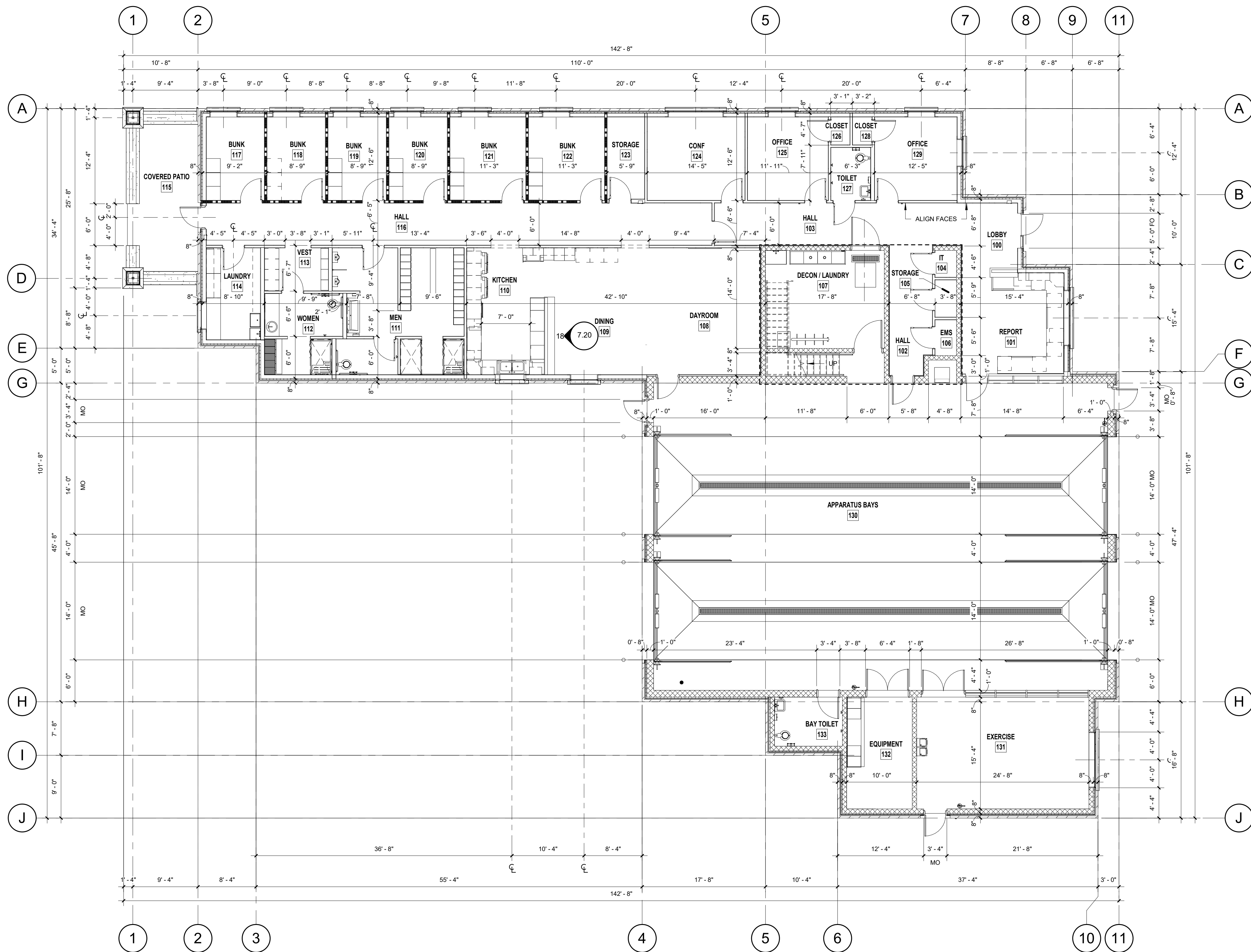
90% PLAN  
NOT FOR  
CONSTRUCTION

WESLEY CHAPEL  
VOLUNTEER FIRE STATION NO. 51  
MEDDINGTON, NC

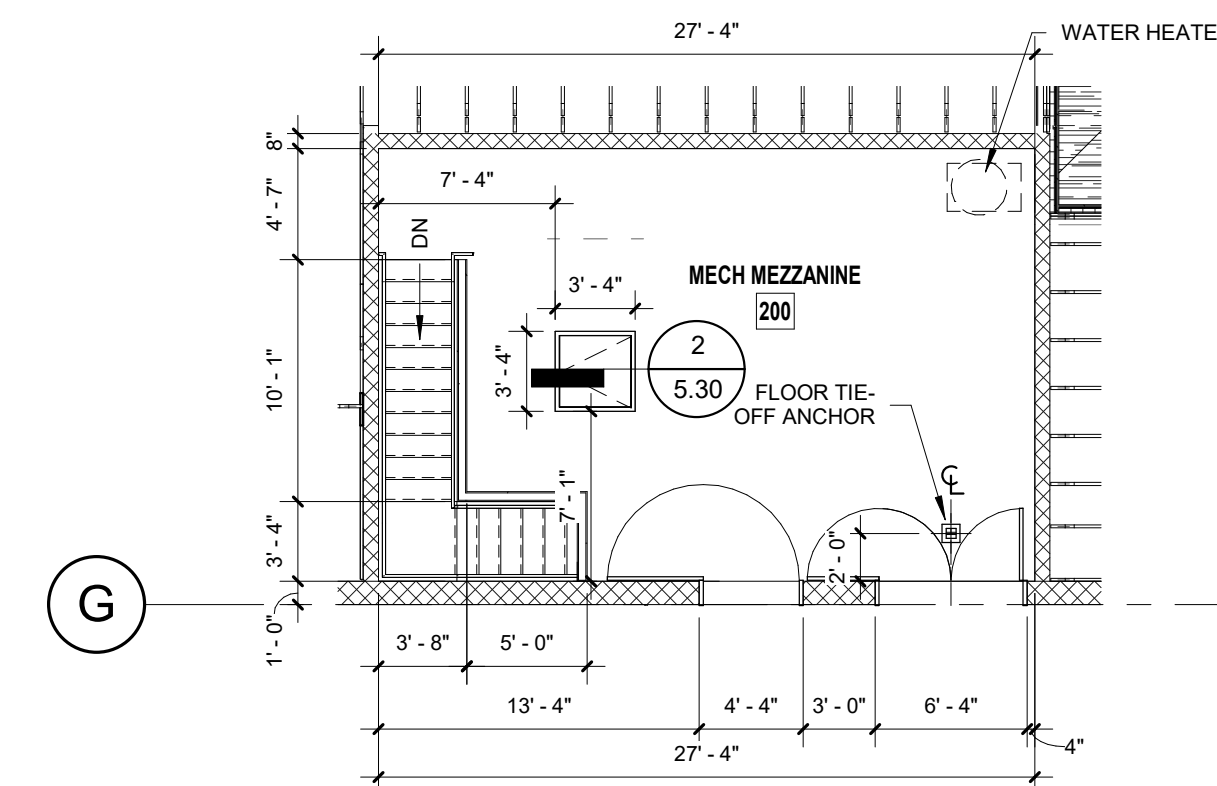
LANDSCAPING NOTES AND DETAILS

Sheet Number  
  
L101





① FLOOR PLAN - DIMENSIONS  
1/8" = 1'-0"



② MEZZANINE  
1/8" = 1'-0"

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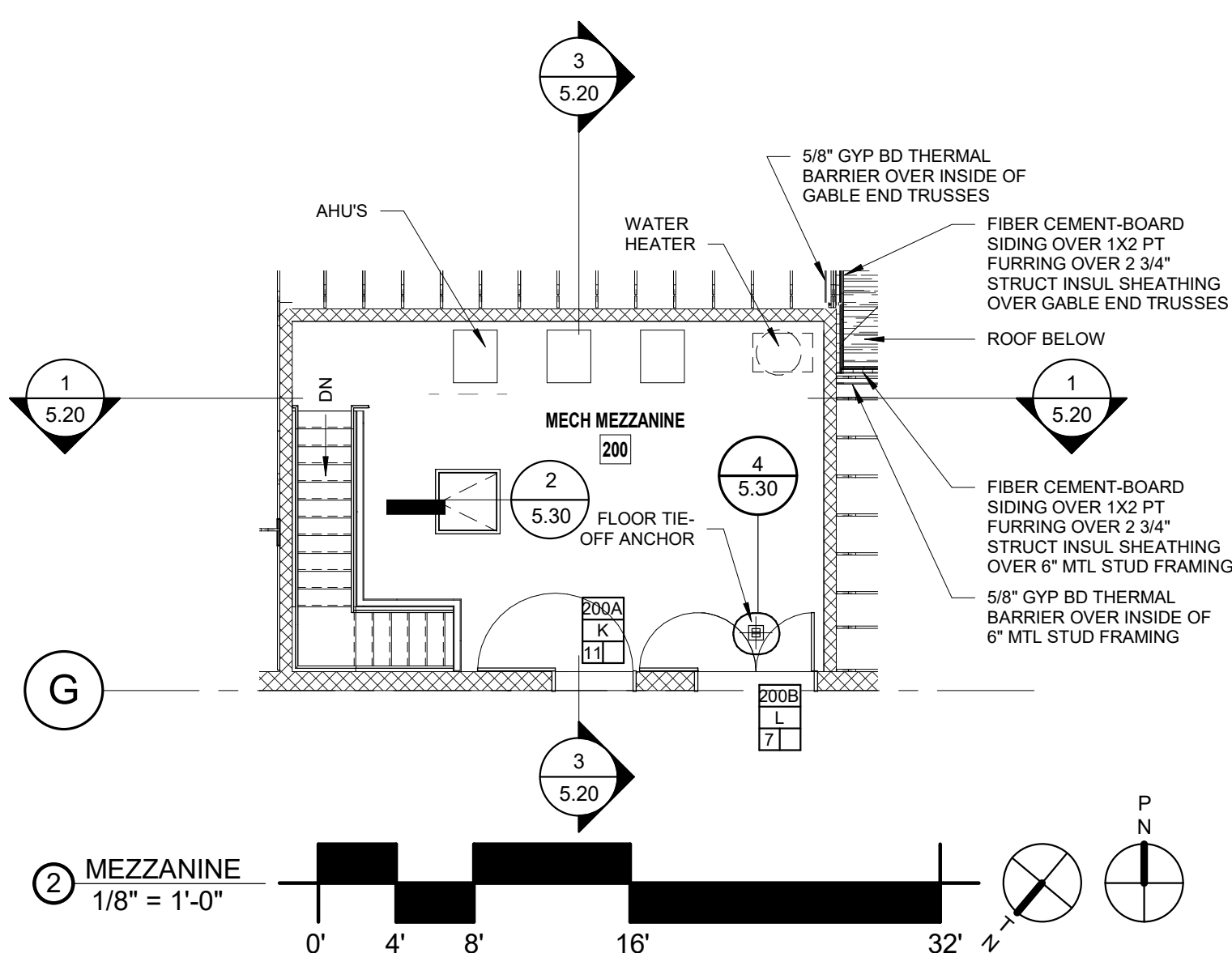
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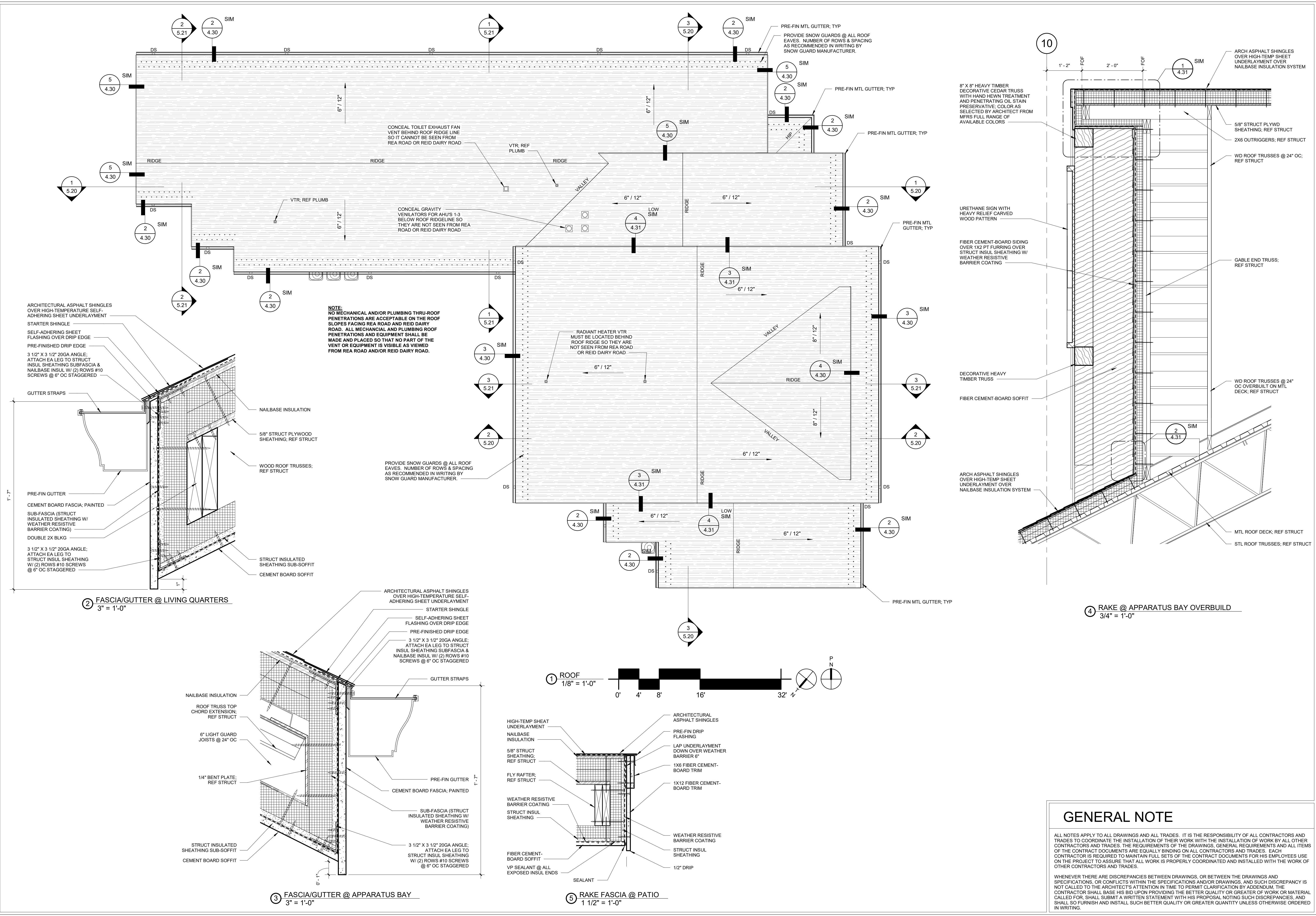
WESLEY CHAPEL VFD  
STATION NO. 44  
Weddington, North Carolina  
DIMENSION PLAN

Sheet No.  
**4.10**



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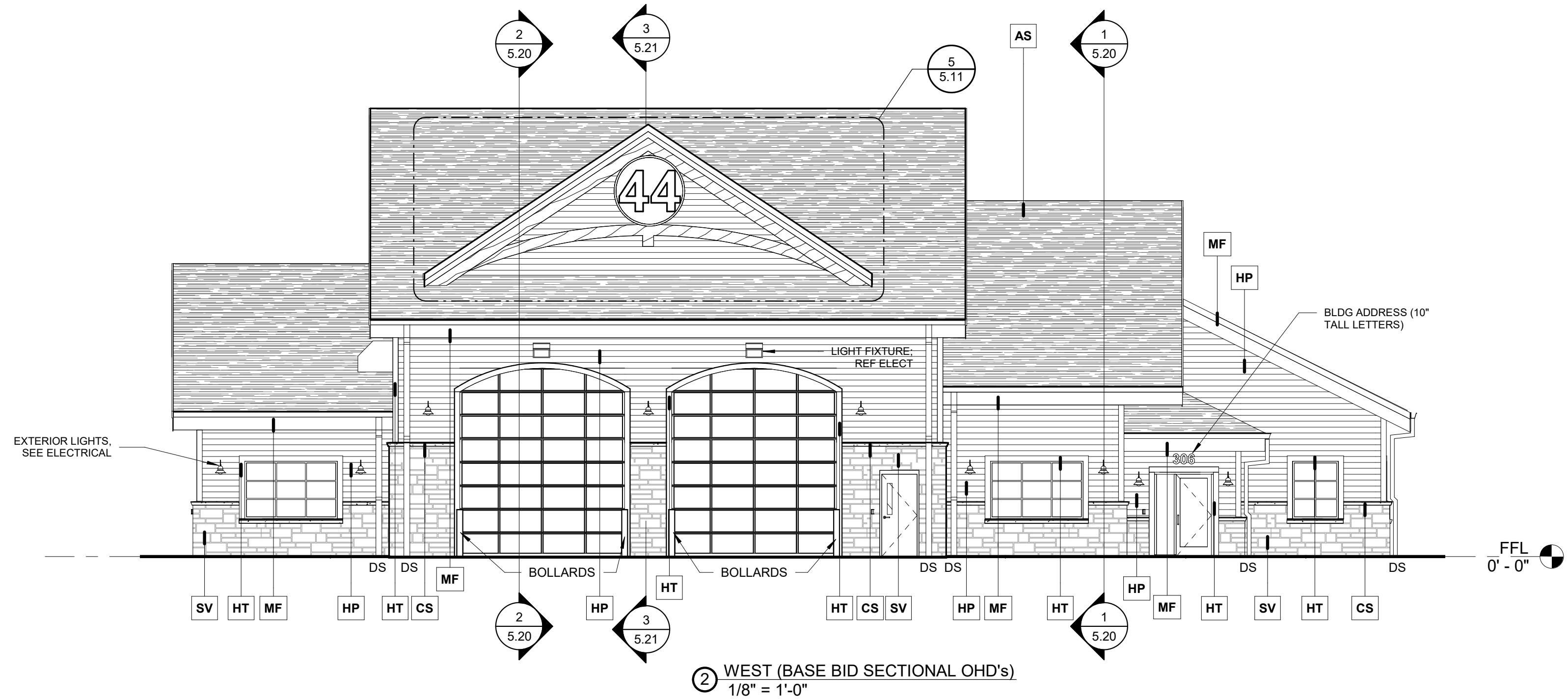
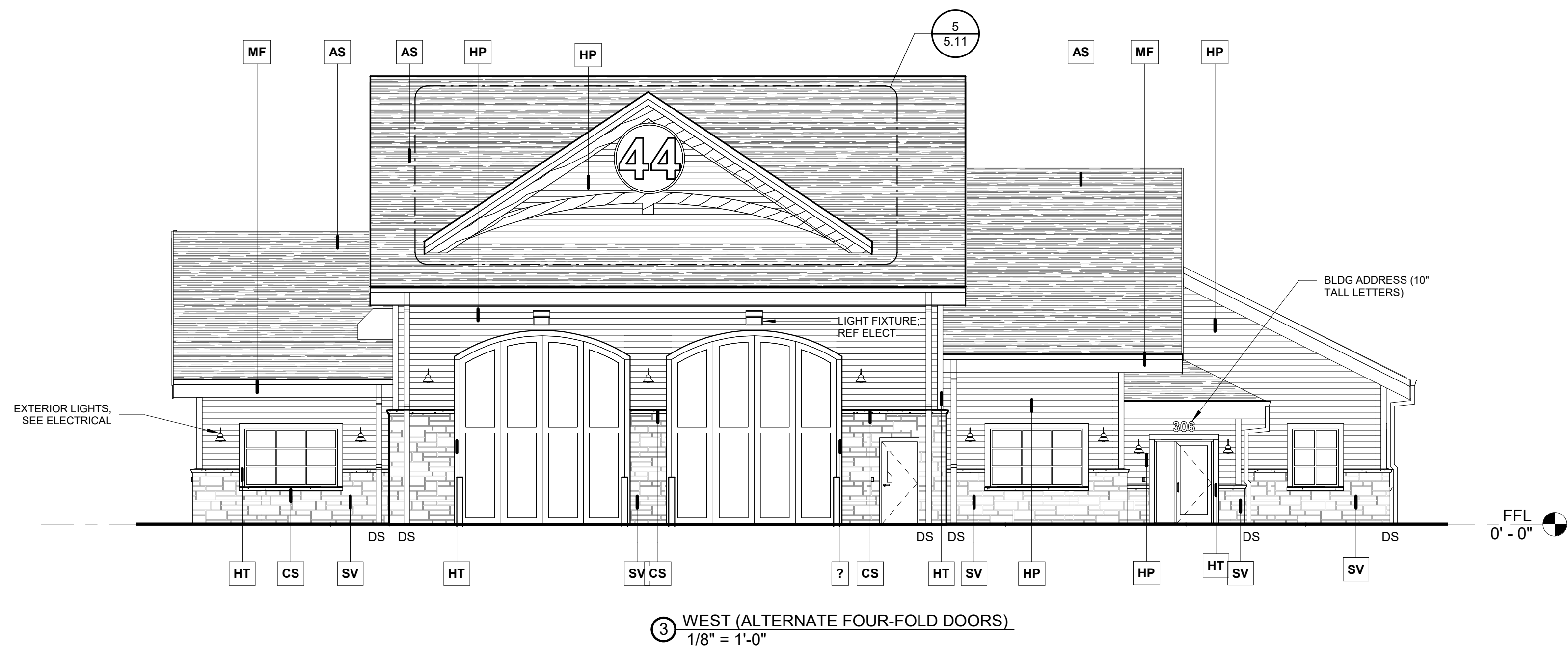
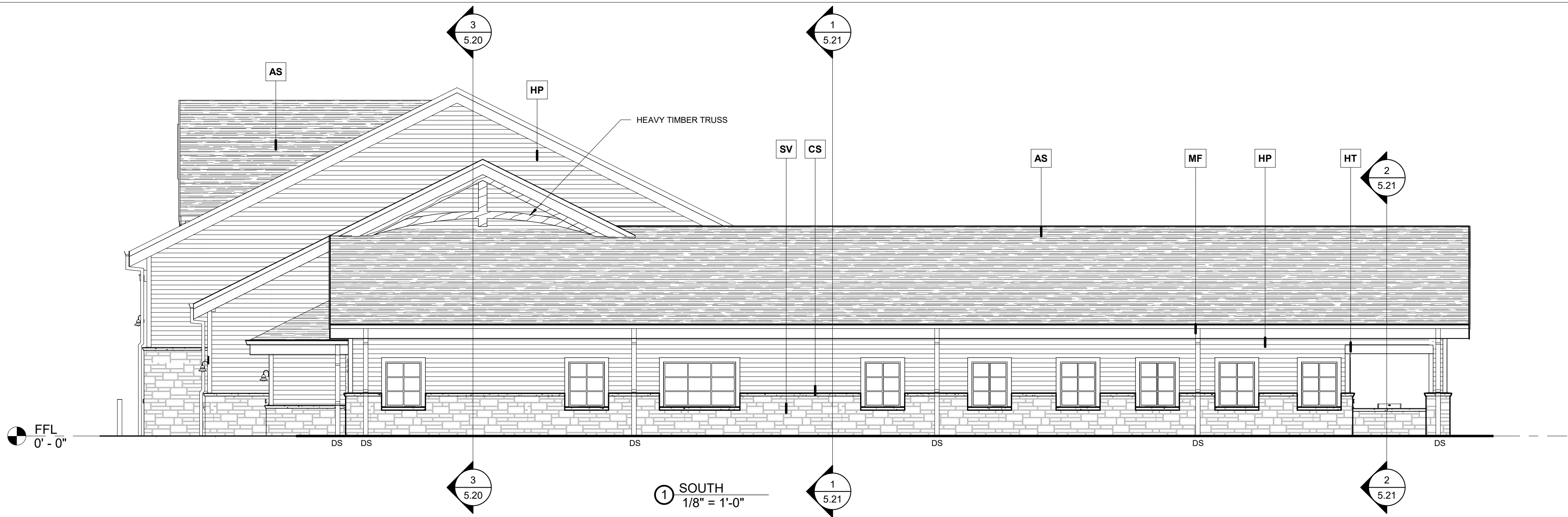
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WESLEY CHAPEL VFD  
STATION NO. 44  
Weddington, North Carolina

ROOF PLAN

Sheet No.  
**4.30**





## EXTERIOR MATERIALS:

### STONE VENEER (SV)

SV GENERAL SHALE PRODUCTS- COLOR: CHESTNUT VELOUR (FIELD BRICK)

### MORTAR - TYPE 'S'

MORTAR JOINTS - CONCAVE ROUND TOOLED JOINTS.  
SEE ELEVATIONS FOR CONTROL JOINT LOCATIONS

### ROOF - ASPHALT SHINGLES (RF)

RF ASPHALT SHINGLES COLOR:

### METAL FASCIA (MF) & ROOF FLASHING

COLOR TO MATCH ROOF SHINGLES

### METAL GUTTERS & DOWNSPOUTS

COLOR TO MATCH ROOF (DOWNSPOUT SIZE: 4" X 4" X 26GA.)

### HOLLOW METAL DOORS & FRAMES

(DOORS) PPG SEMI-GLOSS EPOXY PAINT: COLOR: TBD  
(FRAMES) PPG SEMI-GLOSS EPOXY PAINT: COLOR: TBD

### STOREFRONT (Doors & Windows)

ALUMINUM STOREFRONT, KAWNEER TRIFAB VG-451/451T-ANODIZED CLEAR

### LOUVERS

RUSKIN, REFER TO MECHANICAL DRAWINGS FOR SIZE AND TYPE (COLOR : TBD)

### OVERHEAD DOORS

BASE BID:

SECTIONAL OVERHEAD DOORS  
(ONE-ROW ALUMINUM INSULATED GLASS AND POWDER COATED INSULATED FLAT  
STEEL PANELS IN STANDARD COLOR:TBD)

ALTERNATE-1:

FOUR-FOLD DOORS:  
(ONE-ROW ALUMINUM INSULATED GLASS AND POWDER COATED INSULATED FLAT  
STEEL PANELS IN STANDARD COLOR:TBD)

### SIDINGS (HP), SOFFIT (HS) & TRIMS (HT)

HP FIBER CEMENT SIDING (COLOR: TBD)

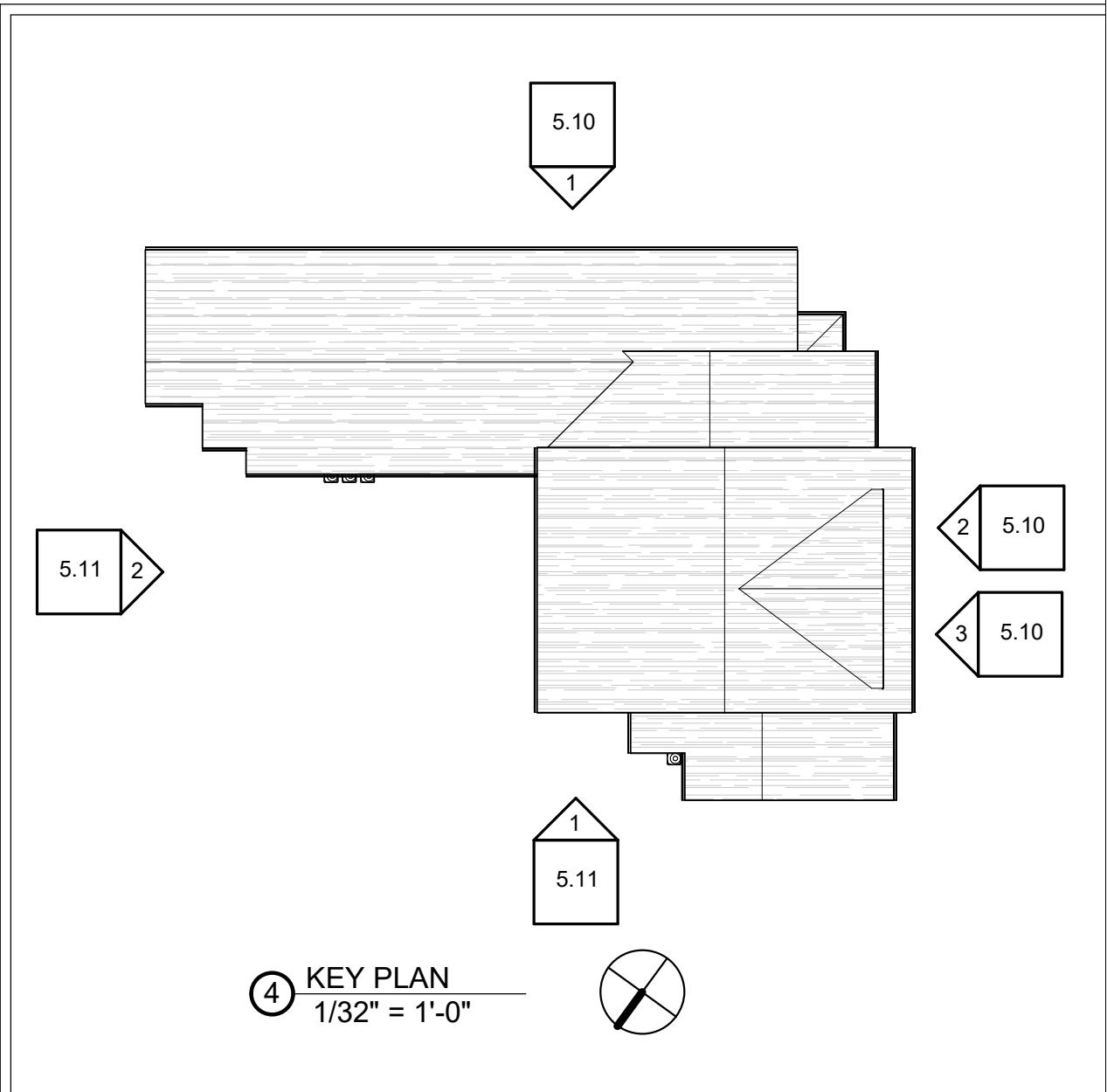
HS FIBER CEMENT SOFFIT (COLOR: TBD)

HT TRIM BOARD FIBER CEMENT (COLOR:TBD)

### CASTSTONE (CS-1)

CS-1 PRE-CAST (COLOR: TBD)

CS-2 PRE-CAST (COLOR: TBD)



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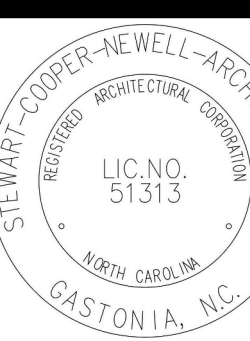
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STATION NO. 44  
Weddington, North Carolina

ELEVATIONS - EXTERIOR

Sheet No.

5.10





