

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, NOVEMBER 13, 2017 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104**

AGENDA

Prayer – Mayor Bill Deter

1. Open the Meeting
2. Pledge of Allegiance
3. Determination of Quorum
4. Public Comments
5. Additions, Deletions and/or Adoption of the Agenda
6. Consent Agenda
 - A. Call for Public Hearing to be held December 11, 2017 at 7:00 p.m. at the Weddington Town Hall for Weddington Swim and Racquet Club Amendment to the Conditional Use Permit for Additional Tennis Courts
 - B. Adopt Ordinance 2017-14 for Speed Reduction on Amanda Drive, Cari Lane, and Bonner Drive in Mandys Plantation Subdivision from 35 mph to 25 mph
 - C. Adopt Resolution 2017-07 Supporting North Carolina Department of Transportation's Application for an Infrastructure for Rebuilding America (INFRA) Grant
 - D. Approval of Ordinance 2017-15, Text Amendment to correct reference to State Statute from NCGS 154A-123 to NCGS 160A-175 in Noise Ordinance
 - E. Consent to Insurance Company's Selection of Insurance Counsel, Clawson and Staubes, representation of the Town of Weddington in the case captioned Providence Volunteer Fire Department v. Town of Weddington
 - F. Approval of Temporary Lighting Request from The Independence Fund for Decade of Independence Celebration Event at Hunter Farm and acceptance of the findings provided
 - G. Proclamation 2017-07 in recognition of the Spirit of Joy Lutheran Church for outreach to the community
7. Approval of Minutes
 - A. October 9, 2017 Town Council Regular Meeting Minutes
8. Public Hearings and Consideration of Public Hearings
 - A. Discussion and Consideration of Rezoning from R-40 to R-CD for property located at Weddington Matthews Road and Hemby Road, Parcel Number 06120002B

9. Old Business
 - A. Discussion of R-CD Minimum Lot Size
 - B. Review and Consideration of Final Plat, Phase 1 Map 1 for Harlow's Crossing Subdivision.
 - C. Review and Consideration of Entry Monument and Landscaping for Harlow's Crossing Subdivision
 - D. Discussion of Ambassador Court
10. New Business
 - A. Discussion of Amanda Drive Extension
 - B. Discussion and Consideration of Text Amendment to Lighting Ordinance to allow Planning Board to approve Temporary Lighting when approving a Temporary Use Permit
11. Update from Planner
12. Code Enforcement Report
13. Update from Finance Officer and Tax Collector
14. Transportation Report
15. Council Comments
16. Closed Session pursuant to NCGS 143-318.11 (A)(3) to consult with attorney on matters protected by the attorney-client privilege relating to Providence Volunteer Fire Department versus Town of Weddington AND Town of Weddington versus Cox Motorsports
17. Adjournment

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: November 13, 2017

SUBJECT: Conditional Use Permit Amendment – Weddington Swim & Racquet Club

Country Haven Swim and Racquet Club requests a Conditional Use Permit (CUP) amendment for an additional 2 tennis courts at Weddington Swim and Racquet Club located at 4315 Weddington-Matthews Road.

Application Information

Date of Application: August 23, 2017
Applicant Name: Mike Murphy
Owner Name: Country Haven Swim and Racquet Club
Parcel ID#: 06-117-047
Property Location: 4315 Weddington-Matthews Road, Weddington
Existing Zoning: R-40, no zoning change required
Existing Use: Weddington Swim and Racquet Club (16 tennis courts, swimming pool and 4,200 square foot building)
Proposed Use: 2 additional tennis courts
Parcel Size: 13.75 Acres

General Information

A Conditional Use Permit (CUP) is required for “Country Clubs, fraternal, social and other civic organizations” in the R-40 zoning district. A Country Club is defined as “land and buildings containing recreational facilities, clubhouses, and usual accessory uses, open only to members and their guests for a membership fee” in the *Town of Weddington Zoning Ordinance*. The proposed tennis courts are within the Country Club.

The applicant is proposing to add two lighted tennis courts. The new tennis courts will be located at the southeast corner (see Site Plan). These courts will be accessed by a new 5’ sidewalk and surrounded by a 12 foot chain link fence.

Tennis Courts are interpreted as “Accessory Uses”. Accessory uses are defined as “minor uses or structures which are necessary to the operation or enjoyment of a permitted principal use, and are

appropriate, incidental and subordinate to any such uses” in the *Town of Weddington Zoning Ordinance*.

Minimum Standards for Tennis Courts (Accessory Uses) in R-40 Zoning District:

Minimum Front Yard Setback- Not Applicable-accessory uses are not permitted in the front yard

Minimum Side Yard Setbacks-15 feet-proposed side setbacks are approximately a minimum of 38 feet

Minimum Rear Yard Setback- 15 feet-proposed rear setback approximately a minimum of 51 feet

The proposed tennis courts comply with all minimum front, side and rear yard setbacks for an accessory structure in the R-40 zoning district as set forth in the *Town of Weddington Zoning Ordinance*.

Additional Information

- Screening and landscaping will be provided using existing, mature vegetation currently on site. However a few trees will be taken down to accommodate the new courts. (see the Site Plan and aerial for tree limits)
- The chain link fence surrounding the tennis courts will match the existing chain link fencing on site. The proposed fencing will be 12 feet high. *Town of Weddington Zoning Ordinance* specifically allows for fences to be greater than 8’ high when surrounding a tennis court.
- The Lighting Plan will be required and must meet the Town’s Lighting Ordinance
- The applicant is required 129 parking spaces per the *Town of Weddington Zoning Ordinance* and has provided 129 parking spaces including 4 handicap parking spaces; therefore complying with *Section 58-175* of the *Town of Weddington Zoning Ordinance*.
- No new signage is proposed.

Planning Board

The Planning Board reviewed the amendment on October 23, 2017. Concerns were raised over the lighting of the tennis courts and the removal of trees exposing neighbors to the lights.

The Applicant stated that the current CUP allows the lights to remain on until 10:30 p.m. He also stated that play doesn’t normally run that late, but there are timers on the lights that turn them off at 10:30 p.m. The town required them to plant Leland Cypress when they added tennis courts in the past and they’d be willing to do something similar along the new proposed courts.

The Board discussed the utility line that runs along the property line and requested staff to review the landscape plan for compliance with the new ordinance regarding the distance from utility lines.

The Planning Board recommended approval with the conditions that the lighting is subject to the same restrictions as the current courts and applicant provides additional screening in the southeast corner of the property.

Town Council Procedure

If Town Council should find, after conducting a public hearing, that the proposed conditional use permit and, where requested, zoning change should be granted, the Town Council may impose such additional reasonable and appropriate special conditions upon such conditional use permit, as it may deem necessary

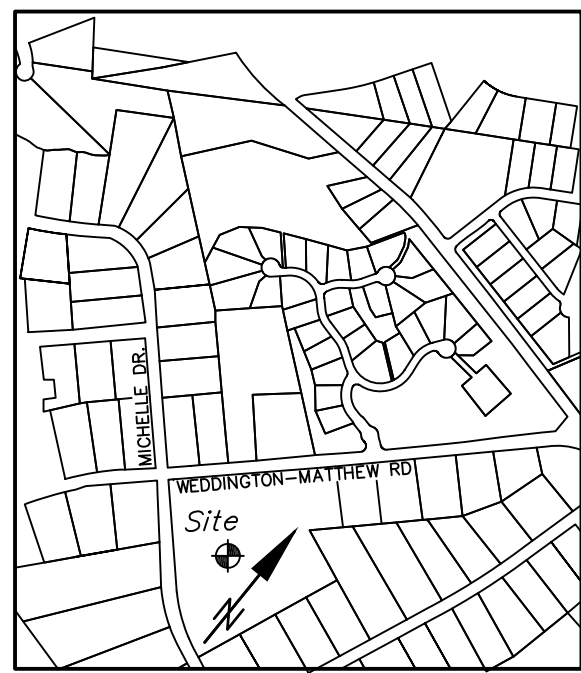
Findings to be made by Town Council for all conditional uses other than conservation subdivisions. The Town Council shall issue a conditional use permit only after having made each of the following findings:

- a) The use will not materially endanger the public health or safety if located where proposed and developed according to plan.
- b) The use meets all required conditions and specifications.
- c) The use will not substantially injure the value of adjoining or abutting property, or the use is a public necessity.
- d) The location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with this chapter and the town's land development plan.
- e) Additional review criteria, as stated in this chapter, shall also be considered and addressed where required.

Conditions of Approval

1. Lighting Plan shall be reviewed and approved in accordance to Town of Weddington Lighting Ordinance;
2. An inspection report on the existing detention pond and calculations to show the pond can handle the additional impervious surface shall be required and approved by the town engineer.
3. Additional evergreen screening shall be provided surrounding the new tennis courts. The town planner shall approve the landscape plan to ensure it meets the setbacks from the power lines.
4. All previous conditions from past approvals shall remain; including the condition that the lights are shut off by 10:30 pm.

Staff recommends calling for a public hearing to be held December 11, 2017 at the Weddington Town Hall at 7:00 p.m.



VICINITY MAP
(Not to Scale)

NOTES

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM UNION COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OR FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AN RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF THE TOWN OF WEDDINGTON. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.
9. THIS PROPERTY MAY BE SUBJECT TO MAXIMUM IMPERVIOUS AREA REQUIREMENTS. BEFORE MAKING ANY RENOVATIONS OR REPAIRS TO THIS PROPERTY CHECK WITH THE LOCAL PLANNING OR ZONING DEPARTMENT FOR ANY RESTRICTIONS OR REGULATIONS IN PLACE.
10. UNDERGROUND UTILITIES ARE NOT LOCATED AT THE TIME OF SURVEY. IF SHOWN, UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATIONS OF ABOVE GROUND APPURTENANCES. UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST.
11. THIS DRAWING IS CONCEPTUAL AND THE CONTENTS SHOWN ARE SUBJECT TO CHANGE UPON FINAL CONSTRUCTION.
12. THIS IS NOT A BOUNDARY SURVEY. THE BOUNDARY LINES SHOWN ARE FROM FOUND MONUMENTATION AND RECORD DOCUMENTATION.
13. DISTURBED AREA WILL BE LESS THAN 20,000 SF FOR TOTAL PROJECT.

DEVELOPMENT DATA

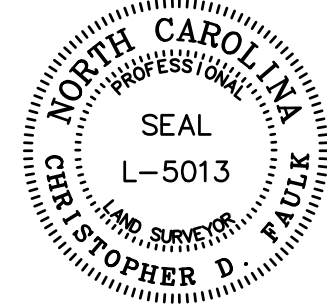
TAX PARCEL NO.: 06-117-047
ZONING CLASSIFICATION: R-40
ZONING JURISDICTION: TOWN OF WEDDINGTON
SITE ACREAGE: +/- 13.79 AC
TOTAL AREA DISTURBED per PROPOSED IMPROVEMENTS = 15,500 SF

R-40 LOT DATA:
MIN. LOT SIZE = 40,000 SF
MIN. LOT WIDTH = 50'
MIN. FRONT SETBACK = 50'
MIN. SIDE YARD = 15'
MIN. REAR YARD = 15'

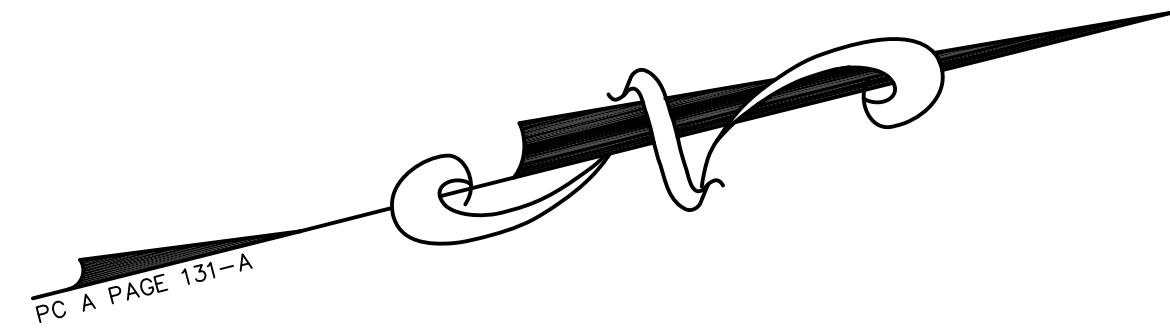
STATE OF NORTH CAROLINA UNION COUNTY

"I, CHRISTOPHER D. FAULK, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 609, PAGE 566, OR OTHER REFERENCE SOURCE); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK 609, PAGE 566, OR OTHER REFERENCE SOURCE; THAT THE RATIO OF PRECISION OR POSITION ACCURACY IS 10,000, AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)." THIS 27th DAY OF JUNE, 2017.

Christopher D. Faulk
PROFESSIONAL LAND SURVEYOR



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	375.42	826.93	26°00'43"	S 64°10'36" E	372.20



LEGEND

- RF REBAR FOUND
- RS REBAR SET
- R/W RIGHT-OF-WAY
- SF SQUARE FEET
- PC PLAT CABINET
- DB DEED BOOK
- PG PAGE
- FS FRONT SETBACK
- RY REAR SETBACK
- SY SIDE YARD
- OE OVERHEAD POWER LINE
- X CHAINLINK FENCE
- PP POWER POLE
- PROPOSED CONCRETE
- EXISTING CONCRETE

SITE PLAN

Weddington Swim & Racquet Club
4315 Weddington-Matthews Road
Town of Weddington, Sandy Ridge Township, Union County, NC

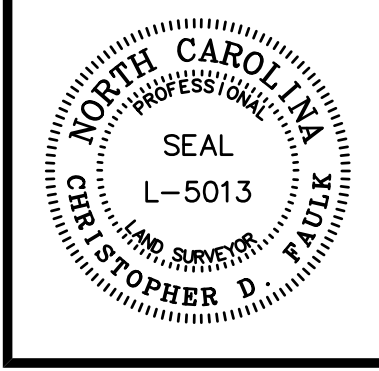
Revisions

Job No. 099-17-070

Date 6/21/17

Proj. Mgr. CDF

Drawn CDF



Scale: 1" = 60'

Sheet No.

1

Of 1

TOWN OF WEDDINGTON
MUNICIPAL DECLARATION TO ENACT SPEED LIMITS
O-2017-14

BE IT ORDAINED by the Town of Weddington Town Council that the speed limit modification on the following described portion of the State Highway System Street be adopted:

SPEED LIMIT	ROUTE	DESCRIPTION
25	SR 1492	Subdivisionwide – (Cari Lane) Between a point SR 1493 (Amanda Drive) and SR 1344 (Weddington Matthews Road). Mandys Plantation Subdivision
25	SR 1493	Subdivisionwide – (Amanda Drive) Between SR 1344 (Weddington Matthews Road) and a point .332 miles east of SR 1344 (Weddington Matthews Road). Mandys Plantation Subdivision
25	SR 3899	Subdivisionwide – (Bonner Drive) Between a point .137 miles southeast of SR 1493 (Amanda Drive), end of State maintenance, and SR 1493 (Amanda Drive). Mandys Plantation Subdivision

Adopted this 13th day of November, 2017

Bill Deter, Mayor

Attest:

Karen Dewey, Town Clerk



RS-2017-07

**A RESOLUTION SUPPORTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S APPLICATION
FOR AN INFRASTRUCTURE FOR REBUILDING AMERICA (INFRA) GRANT**

WHEREAS, Union County is home to the intersection of two Class I railroad lines owned and operated by the CSX railroad; and

WHEREAS, Union County has the fifth highest crash rate in North Carolina; and

WHEREAS, Union County is one of the fastest growing counties in North Carolina; and

WHEREAS, Union County wishes to reduce freight train and vehicular conflicts while supporting freight-related land uses; and

WHEREAS, Union County and towns throughout have an active railroad that passes through the center of historic downtown areas which are heavily populated and there are significant safety concerns surrounding the railroad due to the lack of grade separated crossings; and

WHEREAS, the Town of Weddington wishes to support Union County, statewide and southeastern United States' rail network efficiency and reliability; and

WHEREAS, through this grant, Union County municipalities surrounding the Town of Weddington will be made more livable and safe through the construction of grade separations, direct connections, and sidings that otherwise would not be funded or constructed for many years.

NOW, THEREFORE, BE IT RESOLVED that the Town of Weddington Council does hereby adopt this resolution in support of the North Carolina Department of Transportation's INFRA grant application.

Adopted this 13th day of November 2017.

Attest:

Bill Deter, Mayor

Karen Dewey, Town Clerk

**AN ORDINANCE TO AMEND SECTION 22-4
OF THE CODE OF ORDINANCES
OF THE TOWN OF WEDDINGTON**

O-2017-15

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WEDDINGTON THAT SECTION 22-4 OF THE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:

Sec. 22-4. -Enforcement and penalties.

(a) Civil penalty. Violation of this section shall subject the offender(s) to a civil penalty in the amount of \$100.00. In the event there is more than one violation within any 30-day period, then the civil penalty shall be increased for each additional violation ~~over one~~ during such period, as follows. The date of the first violation shall establish the beginning date for the initial 30-day period.

The penalty shall be: Second offense within same 30-day period: \$250.00

Third offense within same 30-day period: \$500.00

Fourth offense within same 30-day period: \$750.00

Fifth and any subsequent offense within same 30-day period: \$1,000.00

(1) Once the 30-day period has expired from the "first violation," the next violation shall be considered to be a first violation for the purposes of establishing a new 30-day period. In the event there are more than six violations within any 12-month period, then each violation after six shall subject the violator(s) to a civil penalty of \$1,000.00 per event.

(2) Under circumstances where a citation is issued, the fine must be paid within 5 business days of the issue date and time. The town attorney, or designee, is authorized to file suit on behalf of the town to collect any unpaid citations, and the town administrator, or designee, is authorized to verify and sign complaints on behalf of the town in such suits. A sheriff's deputy, animal control officer enforcing subject matter jurisdiction, or other person duly authorized to enforce the noise control ordinances may issue a citation for violations of this article.

(b) Remedies. This article may also be enforced through equitable remedies issued by a court of competent jurisdiction pursuant to **G.S. 160A-175**.

(c) Criminal penalty. In addition to, or in lieu of, such civil penalties or other remedies, violation of this article shall constitute a misdemeanor pursuant to G.S. 14-4.

Adopted this 13th day of November, 2017.

Bill Deter, Mayor

Attest:

Karen Dewey, Town Clerk

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: November 13, 2017

SUBJECT: Temporary Lighting– Decade of Independence

Ms. Jessica Marinaccio submitted an application for a Temporary Use Permit on behalf of The Independence Fund. The “Decade of Independence” event will be a celebration of the organization’s tenth year of supportive services to the veteran community. The event is proposed at the Hunter Farm located at 13624 Providence Rd. on Saturday, November 19, 2017, from 2:00 pm-6:00 pm. The rain date will be Sunday, November 19, 2017, from 2:00 pm – 6:00 pm.

The Planning Board approved the Temporary User Permit with conditions; including a recommendation that the lights be off by 9:00 PM.

In accordance with the provisions of *Article IV, Section 14-87* of the *Weddington Code of Ordinances*, any temporary outdoor lighting that conforms to the requirements of this article shall be allowed. Nonconforming temporary outdoor lighting may be permitted by the town council after considering:

(1)The public and/or private benefits that will result from the temporary lighting;

The lighting of the parking area will provide safety to the attendees.

(2)Any annoyance or safety problems that may result from the use of the temporary lighting; and

This is a daytime event; the temporary lights will be pointed inward towards the parking lot.

(3)The duration of the temporary nonconforming lighting.

The event is over by 6:00 PM the lights will be shut-off after attendees safely exit the event.

Staff has reviewed the application and submitted documents and finds the Temporary Lighting to be in compliance with Weddington’s Code of Ordinances and therefore recommends approval with the condition that the temporary lights be turned off by 9:00 PM.



**TOWN OF WEDDINGTON
PROCLAMATION
P-2017-07**

WHEREAS, the Spirit of Joy Lutheran Church first began ministry on August 1, 1989, and;

WHEREAS, the first service of worship was held in the Williams-Dearborn Chapel in Weddington, NC on February 11, 1990, and;

WHEREAS, the Church, currently located at 8600 Potter Road in Weddington, held their first service in that building on May 18, 1997; and

WHEREAS, the Church offers many needed services to the community, fulfilling physical and spiritual needs; and

WHEREAS, the Church provides a meeting place for home school groups, several Girl Scout troops, and Alcoholics Anonymous and Al-Anon Groups; sponsors blood drives for the American Red Cross; and serves as a location for Life Line screenings; and

WHEREAS, the Town of Weddington recognizes the Spirit of Joy Lutheran Church for being a beacon in the community, providing quality activities, programs and worship services to their parishioners; and

NOW, THEREFORE, I, Bill Deter, Mayor of the Town of Weddington, do hereby proclaim special recognition upon The Spirit of Joy Lutheran Church for all the good they do and gracious neighbors they have been to the Weddington Community.

In witness whereof, I have hereunto set my hand and caused the Seal of the Town of Weddington to be affixed this the 13th day of November, 2017.

Mayor Bill Deter

Attest:

Karen Dewey, Town Clerk

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, OCTOBER 9, 2017 – 7:00 P.M.
WEDDINGTON TOWN HALL
MINUTES
PAGE 1 OF 20**

Mayor Bill Deter offered an invocation prior to the opening of the meeting.

1. OPEN THE MEETING

Mayor Deter opened the October 9, 2017 Regular Town Council Meeting at 7:01 p.m.

2. PLEDGE OF ALLEGIANCE

Mayor Deter led the Pledge of Allegiance.

3. DETERMINATION OF QUORUM

Quorum was determined with all Councilmembers present.

Staff Present: Town Attorney Anthony Fox, Town Planner/Administrator Lisa Thompson, Town Clerk Karen Dewey, Finance Officer Leslie Gaylord

Visitors: Bill Price, Walt Hogan, Mike Carver, Barbara Gutierrez, Philip Gutierrez, Rob Dow, Cameron Helms, Joann Horstman, Thomas Cragg, Miriam Cragg, Terry Moore, Ray Roberts, Mary Ann Maxson, Mike Maxson, Liz Callis, Brian O'Connell, Kasey Rolfes, Tony Rolfes, Anna Marie Smith, Daniel Barry, Sherri McGirt, Barbara Harrison, Pat Harrison, Tim Wescott, Cooper Young, Elton Harris, Don Titherington, Irene Titherington, Brad Prillaman, Bjorn Riegle, Alam Tamboli, Andy Stallings

4. PUBLIC COMMENTS

Sherri McGirt - 302 Caledonia Way: Ms. McGirt wanted to clarify Mayor Deter's campaign information regarding getting left turn lanes in different areas, specifically Lockhaven Road and Providence Road. She wanted to make clear that this left turn lane was taken care of before Pulte presented the subdivision plans to the Planning Board in December 2015 or 2016. Ms. McGirt stated that she had spoken with the town planner about her concerns before the meeting and the town planner informed her that she would need to call NCDOT. Ms. McGirt and several other residents called and spoke to John Underwood, Sean Epperson, and Scott Cole. There was a traffic study done and crash analysis and the night of the meeting before Pulte presented to Planning Board, John Underwood had emailed the town planner. Ms. McGirt just wanted to clarify that when Mayor Deter is presenting the items that he claims to have completed in his campaign, that the items are those that he has done, not that the citizens have done.

Bill Price – 440 Weddington Road: Mr. Price wanted to thank Council and the safety committee for the street light at Tilley Morris and Weddington Matthews Roads. It makes it safer for everyone, especially elderly drivers at night. Again, thank you for everything.

Andy Stallings - 5100 Laurel Grove Lane: Mr. Stallings commented on R-CD regulations for minimum lot size. Mr. Stallings stated that he fully supports increasing lot size for R-CDs.

Mike Maxson – 7097 High Meadow Drive: Mr. Maxson stated that he has been a resident for 22 years. One of the things that attracted him to Weddington was the 1 acre zoning. He stated that R-CD regulations are not popular with citizens of Weddington. Mr. Maxson spoke in support of the R-CD amendment to increase minimum lot size.

5. ADDITIONS, DELETIONS AND/OR ADOPTION OF THE AGENDA

Staff requested to remove item 9B Discussion and Consideration of Final Plat for Harlow's Crossing Subdivision from the agenda. The Applicant made changes to the already approved Carrington Final Plat; so it will need to be reviewed by the Planning Board.

Staff also requested to add Adopt Proclamation #P-2017-06 October as Domestic Violence Awareness Month to the Consent Agenda.

Motion: Mayor Pro Tem Titherington made a motion to adopt the agenda with the additions requested by Staff.

Vote: The motion passed with a unanimous vote.

6. CONSENT AGENDA

A. Approve Reduction of Bond #1140892 for The Falls at Weddington from \$261,653 to \$67,797

B. Call for Public Hearing to be held November 13, 2017 at 7:00 p.m. at the Weddington Town Hall to consider Rezoning from R-40 to R-CD for property located at Weddington Matthews Road and Hemby Road, Parcel Number 06120002B

**** C. Adopt Proclamation #P-2017-06 Proclaiming October as Domestic Violence Awareness Month**

Motion: Mayor Pro Tem Titherington made a motion to adopt the consent agenda as amended.

Vote: The motion passed with a unanimous vote.

7. APPROVAL OF MINUTES

A. September 11, 2017 Town Council Regular Meeting Minutes

Mayor Deter presented a grammatical correction in the minutes.

Motion: Councilmember Smith made a motion to approve the minutes as corrected.

Vote: The motion passed with a unanimous vote.

8. PUBLIC HEARINGS AND CONSIDERATION OF PUBLIC HEARINGS

A. Conditional Rezoning for a Columbarium at Weddington United Methodist Church

Mayor Deter opened the Public Hearing.
No one signed up to speak.

Mayor Deter closed the Public Hearing.

Ms. Thompson presented the staff report: Weddington United Methodist Church requests a Conditional Rezoning (CZ) for property located on the southeast corner of NC16 and Hwy 84 to construct a columbarium in front of the existing cemetery. The columbarium area includes a new sidewalk, fountain, pavers, benches and brick columbarium walls with niche units and a precise concrete top. The project is broken up in three phases; Phase one includes 192 niches, phases two and three have 72 niches each. The applicant will remove and refurbish the existing fence to use between the units.

The ordinance defines a cemetery as property used for the dead, which may include the commercial sale and location of burial lots, crypts or vaults for use exclusively on the subject property. A cemetery shall not be used for the preparation or embalming of bodies; or the cremation of bodies. Setbacks for cemeteries shall be measured from the nearest structure or grave sites.

Cemeteries are conditional uses in the R-CD zoning district. The use may be permitted after review through the conditional district rezoning process.

Cemeteries require a minimum of 5 acres and have the following setbacks:

- Front Setback-75 feet
- Rear Setback-40 feet
- Side Setbacks-50 feet

The site will be accessed off of Providence Road.

Section 58-175 titled Off-street Parking requires 1 space per employee during the shift of greatest employment plus parking on private internal roads for cemeteries. Approximately 3 parking spaces will be removed to accommodate the new proposed structure. The church owns the property across the street for over-flow parking, if necessary; therefore staff does not recommend additional parking spaces for this use.

Because the existing cemetery use remains, staff does not believe additional screening buffers are needed, however, staff does recommend that the applicant plant the landscaping as shown on the elevation/site plan to break up the large walls and fencing between the sidewalk and parking lot and the columbarium.

The Conditional Rezoning requires two public involvement meetings, a Planning Board recommendation, a public hearing and Town Council review.

The required public involvement meetings for this project were held on July 31, 2017. One person attended the meeting for informational purposes only.

The Planning Board reviewed the plans on August 28, 2017. Questions were raised about the type of lights that are proposed and plans for expansion/phasing. The applicant explained that the lights would be ornamental, not parking lot pole lights and the existing security light on the building would remain. The applicant hopes to do all 3 phases at once; depending on finances and has no plans for expansion.

The Board unanimously recommended approval with staff's conditions and the additional condition that the lighting be consistent with the church conditional zoning requirements.

Staff reviewed the previous conditional use submittals from WUMC. In 2014 a plan for two soccer fields and one baseball field with parking was reviewed by Town Council. A condition of that approval was that a lighting plan shall come back to Town Council for approval and comply with the Town Lighting Ordinances. Prior to that, two CUP's were approved for a family life center and mobile classrooms. Both had the condition that lights had to conform to the Town Lighting Ordinance.

Section 14-85 exempts area lighting with an upscale architectural style such as the nostalgic lanterns. These decorative post-mounted fixtures are generally non-cutoff by the IESNA but are acceptable. The maximum lumens generated from each fixture shall not exceed 9,500 initial lamp lumens per fixture, and each fixture must be equipped with a solid top to reduce the amount of *light* going into the sky. There are no other timing restrictions in the lighting ordinance. Staff recommends approval with the following conditions:

1. Any proposed lighting shall comply with Town Lighting Ordinance;
2. The landscaping shown on the plan shall be required; any deviation shall require DRB review and approval; plant material shall be approved by the zoning administrator; and
3. Any future revisions to the approved site plan and other approved documents must comply with *Section 58-271 (i) of the Weddington Zoning Ordinance*;

Mayor Pro Tem Titherington asked for confirmation of the total number of niches. Phases 2 and 3 have 72 niches each plus 192 niches in phase 1.

The Applicant stated that each phase 2 and 3 has 72 niches, but it probably doesn't matter since it will probably all be built at the same time. The total number of niches is 336.

Mayor Pro Tem Titherington suggested to only give the total number of niches (336).

Motion: Councilmember Propst made a motion to approve the Conditional Rezoning for a Columbarium at Weddington United Methodist Church with the conditions:

- Any proposed lighting shall comply with the Town Lighting Ordinance;
- The landscaping shown on the plan shall be required; any deviation shall require DRB review and approval; plant material shall be approved by the zoning administrator; and
- Any future revisions to the approved site plan and other approved documents must comply with Section 58-271(i) of the Weddington Zoning Ordinance.

And adopt the land use plan consistency statement as follows: The columbarium is consistent with the land use plan goals and policies, in that it retains a mix of land uses that reinforces Weddington's unique small town character and the development is consistent with the Town's quality and aesthetic values, thereby protecting property values which is reasonable and in the public interest.

Vote: The motion passed with a unanimous vote.

Mayor Deter briefly explained the Land Use Plan consistency statement. Weddington has a Land Use

Plan that basically states what we want the town to be. As Council reviews these different items, they make sure that the decisions are in harmony with the current Weddington Land Use Plan.

B. Conditional Rezoning Amendment for Additional Parking spaces and Change in Lighting Requirement for All Saints Anglican Church

Mayor Deter opened the public hearing.

Cooper Young - 2415 Greenbrook Parkway – Mr. Young stated that he has no problem with the additional parking spaces as long as it meets whatever the code or zoning is. The lighting is set to turn off at 9 or 9:30, it is down lighting, like it's supposed to be. It's really bright, it's all LED. I can look out of any of my 6 front windows any night without trying and see them. I know their timer has been messed up for the last few weeks because they've been on until 10 at random times. It is very bright. It looks like a gas station between my neighbor's houses. I don't see what the exception is for them that's different from everybody else in the town. Mr. Young was also speaking on behalf of Ben Jones. He is ill and lives right behind the lights in the parking lot.

Tony Ross - 2408 Greenbrook Parkway – Mr. Ross stated that he has been in Weddington since 2010 and was a part of all the hearings for the approval for the church being built. Turning off the lights off at 9:30 was part of the original agreement. I don't know why we would go back and change that portion or why they're different from any other church. That is an extremely residential area, it's surrounded by homes. We sit out on our back porch almost every night and we watch those lights turn out. It lights up our backyard. I would hate to have to deal with that throughout the night shining into my daughter's bedroom windows. So I would like to ask the council to keep the ordinance to turn the lights off at 9:30. Thank you.

Bjorn Regal - 4225 Horseshoe drive: Mr. Regal wanted to echo same concern as his neighbors brought to the council's attention around the lighting as you just approved the 9:30 limit for another church. I Respectfully ask council to listen to the taxpaying citizens who live around the church and most likely the church is off the tax payrolls as a 501(c)(3), consider the tax payers.

Alam Tamboli - 2400 Greenbrook Parkway-Mr. Tamboli also wanted to echo his neighbor's concerns. He stated that he is relatively new to the neighborhood and he is probably the closest resident to the church. Drug use is definitely a concern of his, but he doesn't believe extending the hours for the lights will solve any potential drug problem. Mr. Tamboli believes a security gate would be better.

Mayor Deter closed the public hearing.

Ms. Thompson presented the staff report: All Saints Anglican Church requests an amendment to their Conditional Rezoning (CZ) for property located at 5328 Hemby Road to construct 18 parking spaces and amend the condition that the parking lot lights must be off at 9:30 p.m.

The church rezoning was approved on July 13, 2015. Phase 1 included a 13,900 sq ft multi-purpose building, parking, detention pond, two access drives off Hemby Road, and the required landscape buffering. The applicant received their certificate of occupancy with a condition that the 9' staggered evergreen bushes/trees that supplement the required landscaping along the rear property line be planted prior to December 1, 2017.

The church now seeks to amend their plans and lighting condition as stated above.

The church is requesting that the parking lot lights remain on throughout the night for security purposes.

The new parking spaces are proposed for the west side of the church with a sidewalk connection to the existing sidewalk. The spaces will be internal to the existing access drive. The town engineer concluded that the approved stormwater management plans show the total impervious area at 98,313 sq ft. The total proposed to date is 85,555 sq ft. 12758 sq ft impervious surface parking and bldg. The additional impervious area that is being proposed will have to come out of the future Phase 2 amount by 17,047 sq ft. In addition, the Town has a recorded Operation and Maintenance agreement with the Church. In order to ensure that stormwater control structures installed as part of development are functioning as intended, the Town monitors the ongoing maintenance and inspection of these structures by their owners. In accordance with the Agreement, regular maintenance and inspections of the onsite stormwater pond are to be conducted by the owner and a subsequent inspection report generated by a Professional Engineer. Reports are to be kept on file by the owner and submitted to the Town as requested. The Town requested a signed and sealed inspection report for the onsite detention pond to be completed and submitted to the Town by November 15, 2017. Any defects or maintenance needs found during the inspection are required to be addressed promptly.

The Planning Board reviewed the amendment on August 28, 2017. A motion recommending approval for the additional parking spaces was passed unanimously. A motion to recommend denial on the amendment to the lighting condition passed unanimously.

Mayor Pro Tem Titherington stated that he was on Town Council when the application from All Saints was submitted. This property was purchased for \$220,000 in 2013-2014. It was a good opportunity for the church, which is one of the reasons it was approved for the community. He presented an aerial photo showing the residential areas surrounding the church. The Mayor Pro Tem noted that there have been some comments that Council is being more difficult on this applicant than on others, so he provided some examples of the accommodations Council has worked through with this applicant:

- Mayor Pro Tem Titherington met with the building committee and architect in January/February of 2015 and again in June 2015. One of recommendations given to the applicant was to meet with residents and address concerns they may have. Mayor Pro Tem Titherington checked with the HOA president, and it never happened. This was suggested as best practice, that other churches seeking conditional zoning have done. This may be what has created some of the angst.
- Mayor Pro Tem Titherington presented a second photo showing the adjustment of the site plan for the retention pond. The drainage couldn't flow to Hemby Road because of the septic field. The drainage flow now travels through 11 neighbor's yards and ends in a private pond, which affects 9 more neighbors whose homes are adjacent to the drainage pond. Looking at that site for the church to be built, it did have some impact on the local area and all residents supported it because it was the normal drainage for the stormwater. To state that is not being flexible, Mayor Pro Tem Titherington disagrees. That adjustment was at request of the church.
- Due to construction restraints, the Council allowed the applicant to change the building orientation; they rotated the building 90 degrees to fit to the site, without requiring the plans be sent back to Planning Board for approval to prevent delay in the construction.
- The Council allowed the project to be tabled while the applicant modified the Traffic Impact

Analysis. The information given to the engineer didn't match the activity of the church. To allow the project to stay on schedule, Councilmembers Titherington and Harrison worked with the applicant on solutions; one being the "pork chop" coming out on the western side of their parking lot. That allowed the left hand turn lane to enter on the eastern side.

- The Town allowed Storm Water Maintenance Program to infringe into the side buffer and count as the buffer, with plantings. The retention pond goes into the 42 foot buffer.
- The Town allowed for an adjustment of the hours of operation. Timing discussed was an 8 a.m. start; the applicant requested 7 a.m. for morning Bible studies. The Town agreed.
- The Town allowed for a delay of the deadline for the planting of the rear buffer screening, which is consistent throughout Weddington, (9 ft. tall evergreens) until December 2017, and granted a temporary zoning compliance certificate in July. The buffer is to run the entire length of the property to provide a visual and a physical buffer for the residents. The residents originally requested a fence.

Mayor Pro Tem Titherington stated that there has been a lot of good work with the church. He doesn't believe that the screening for the rear buffer is too much to ask.

Mayor Pro Tem Titherington discussed the dumpster pad. He stated that he has no issue with it. The applicant asked for the dumpster pad and Staff gave administrative approval. It can be seen from Hemby Road. In Weddington, any facility that has a dumpster, the Town requires fence or evergreen screening to protect the visual viewshed. There is no screening around the dumpster pad.

Mayor Pro Tem Titherington then addressed the applicant's lighting request. He stated that the lighting was discussed in all the meetings in which the original conditional zoning application was reviewed. 9 o'clock is the last meeting at the church; lights should be out at 9:30. It is documented in minutes from Mr. Lowery that 9:30 p.m. wouldn't be an issue for the church. Council suggested security lights at the door, the applicant didn't want security lights at the door. They have cameras and security inside the building. This lighting issue is all about the down lighting in the parking lot. Other facilities in town have security lights at the door. That was approved and suggested and Max McCloud stated that they were planning on doing that.

Mayor Pro Tem Titherington addressed the impervious surface issue. He stated he has no problem approving the additional parking spaces. He noted that stated within the application that the additional spaces are requested because they are making up for the spaces taken away because of the stormwater retention pond the town required. Mayor Pro Tem Titherington stated that is incorrect. The original plan shows 12 spaces, not 18. He stated his concern is that the facts seem to slide a bit. Future councils will have to deal with this and that's why it will be in the stated impervious summary from USI. The entire footprint is for 85,555 ft, that's what is approved and what retention plan can hold. The Applicant wants the parking spaces; however, phase two impervious surface will have to be reduced.

Mayor Deter stated that the applicant will either have to reduce the number of parking or reduce size of future building.

Mayor Pro Tem Titherington concluded by saying that the temporary COO (zoning compliance certificate) expires in December if the rear buffer plantings aren't done. He hopes the applicant will live up to their agreement. He requests all referenced materials be attached for the record.

are hereby submitted for the record).

Councilmember Smith commented that the review from the Mayor Pro Tem was very thorough and was a good refresher. He thanked Mayor Pro Tem Titherington.

Mayor Deter explained that the Council has a recommendation from the Planning Board to approve the parking lot addition, but the Planning board recommended denial of the extended hours for the lighting.

Ms. Thompson reviewed the Land Use Plan Consistency Statement. The parking lot addition is consistent with the Land Use Plan in that the scale and design of the parking lot is consistent with our unique small town character and it is reasonable because town has storm water standards/measures to protect the downstream properties.

Motion: Mayor Pro Tem Titherington made a motion to approve the conditional rezoning amendment for additional parking spaces for All Saints Anglican Church as outlined with the additional conditions:

- that the Applicant resubmit a summary that they have a reduction in additional impervious surface in phase two,
- completion of plantings for rear buffer screening by December 1, 2017, or approval will be revoked, and
- that lighting will get fixed and off at 9:30 p.m. as previously approved;

And to adopt the Land Use Plan consistency statement: The parking lot addition is consistent with Land Use Plan in that the scale and design of the parking lot is consistent with our unique small town character and it is reasonable because town has storm water standards/measures to protect the downstream properties.

Vote: The motion passed with a unanimous vote.

Ms. Thompson suggested taking a straw poll to get an idea where the Council stands on the change in lighting. Mayor Pro Tem Titherington stated that he does not support the lighting change.

Councilmember Buzzard asked if the current lighting requirement was consistent with other lighting requirements in town. He stated that he lean towards denying the amendment.

Councilmember Smith stated that he agrees with not approving the lighting amendment.

Councilmember Propst expressed that all commercial properties should be kept at 9:30 p.m.

Motion: Mayor Pro Tem Titherington made a motion to deny the conditional rezoning amendment for a change in lighting requirement for All Saints Anglican Church.

Vote: The motion passed with a unanimous vote.

C. Text Amendment to Section 46-76(d)(16), 58-8(a)(14), and Appendix D Regarding Landscaping Near Power Lines

Mayor Deter opened the public hearing.

No one signed up to speak.

Mayor Deter closed the public hearing.

Ms. Thompson presented the text amendment. Union Power presented information on planting the appropriate trees within or near power line easements. After seeing the presentation, the Planning Board agreed that the Town should revise the ordinances. Section 46-79 currently does not allow landscaping within the right of way. However, the issue seems to be the canopy of the trees near the utility lines. Staff drafted text to further regulate landscaping near overhead lines in **bold**.

In addition, Union Power reviewed the plant list. An asterisk was added to species that cannot be located within the utility right of way.

The Planning Board reviewed the text on August 28, 2017 and unanimously recommended approval with the condition that hedge bamboo be removed from appendix D.

Since the last Planning Board and Council meetings, staff made a few changes for clarification purposes. The additional changes are **highlighted** (*the Text Amendment is hereby attached for the record*).

Land Use Plan Consistency Statement

The amendment is consistent with the Land Use Plan because it will conserve the scenic views and minimize the visual effect of development from surrounding properties and roadways. The amendment is reasonable and in the public interest because it keeps trees from being topped by the utility companies and will help prevent future HOA's from having to replant the buffers.

Staff recommends approval of the text amendment to Sections 46-76(d)(16), 58-8 (a)(14), and Appendix D and the Land Use Plan Consistency Statement as provided.

Mayor Deter explained that this will help control the issues of NCDOT and Union Power having to trim the mature trees.

Councilmember Propst stated that she attended the Planning Board meeting where Union Power gave the presentation and she believes it's a smart thing for the Town to do.

Motion: Councilmember Buzzard made a motion to approve the Text Amendment to Section 46-76(d)(16), 58-8(a)(14), and Appendix D Regarding Landscaping Near Power Lines; and to adopt the Land Use Plan Consistency Statement as follows: The amendment is consistent with the Land Use Plan because it will conserve the scenic views and minimize the visual effect of development from surrounding properties and roadways. The amendment is reasonable and in the public interest because it keeps trees from being topped by the utility companies and will help prevent future HOA's from having to replant the buffers.

Vote: The motion passed with a unanimous vote.

D. Text Amendment to Section 22-1 Titled Excessive Noise Prohibited; Exemptions; And Section 58-19 Titled Noise

Mayor Deter opened the public hearing.

No one signed up to speak.

Mayor Deter closed the public hearing.

Ms. Thompson presented the background. This text amendment has been reviewed and discussed in the past few council meetings. At the September meeting, Council decided to move forward to consider its own ordinance, not to adopt the county ordinance.

Sec. 22-1. - ~~Excessive noise prohibited; exemptions.~~ Unreasonably loud noise.

(a) It is unlawful for any person to make, continue, or cause to be made any unreasonable and excessive noise which injures, endangers, or disturbs the comfort, repose, health, peace, or safety of others within the town limits.

(b) In determining whether a *noise* is unreasonably loud, the following factors incident to such *noise* shall be considered:

- (1) Time of day;**
- (2) Proximity to residential structures;**
- (3) Whether the *noise* is recurrent, intermittent or constant;**
- (4) The volume and intensity;**
- (5) Whether the *noise* has been enhanced in volume or range by any type of electronic or mechanical means;**
- (6) The character and zoning of the area; and**
- (7) Whether the *noise* is subject to being controlled without unreasonable effort or expense to the creator thereof.**

Sec. 22-2. Particular sounds prohibited.

The following acts and activities, among others, are hereby declared to be unreasonably loud and disturbing sound levels in violation of section 22-1. This enumeration shall not be construed to be an exclusive list of activities or acts which violate section 22-1:

- (a) Operating a truck for refuse collection except on Monday through Saturday between the hours of 6:00 a.m. and 10:00 p.m. The violator is the operator of the truck, the employer of the operator, and/or the person whom owns the truck used by the operator.**
- (b) Construction operations, including any building and land disturbing activities except Monday through Friday between the hours of 6:00 a.m. and 9:00 p.m., Saturday between the hours of 8:00 a.m. and 9:00 p.m. and Sunday between the hours of 10:00 a.m. and 9:00 p.m.**
- (c) Operating electric and gas lawnmowers and other motor-driven domestic tools out-doors except Monday through Saturday between the hours of 6:00 a.m. and 9:00 p.m. and Sunday between the hours of 9:00 a.m. and 9:00 p.m.**
- (d) It shall be unlawful to operate or allow the operation of any motor vehicle in the town:**
 - (1) By spinning tires, racing engines or other operations which create unreasonably loud and disturbing noises.**
 - (2) To amplify sound produced by a radio, tape player, compact disc player or other sound-making device or instrument from within the motor vehicle so that the sound is audible from a distance of 50 or more feet from the source of the sound.**
- (e) Trap shooting, skeet shooting or other target shooting between the hours of 9:00 a.m. and 10:00**

p.m. on property where such activities are authorized and regulated by Chapter 34 Article II of the Weddington Code of Ordinances.

Note: Animal Nuisances – see Appendix A.

Sec. 22-3 Exemptions.

(a) The following uses and activities shall be exempt from this section:

- (1) Noises of safety signals, warning devices, and emergency pressure relief valves.
- (2) Noises resulting from any authorized emergency, fire or law enforcement vehicle.
- (3) Noise resulting from the activities of a temporary duration permitted by law for which a license or permit therefore has been granted by the town.
- (4) Any aircraft or railroad equipment operated in conformity with or pursuant to state or federal law. Any aircraft operating under technical difficulties, in any kind of distress, under emergency orders of air traffic control or being operated pursuant to the declaration of an emergency under federal air regulations shall also be exempt.
- (5) Noise resulting from agricultural and horticultural operations conducted in a reasonable manner on property classified as a bona fide farm for ad valorem tax purposes.**
- (6) Noise resulting from emergency work necessary to restore property to a safe condition following a fire, accident or natural disaster, or to restore public utilities, or to protect persons or property from imminent danger.**
- (7) Noise resulting from any military or law enforcement activities of the federal, state, or any local government, to include military observances.**
- (8) Noise resulting from any event held in recognition of a community celebration, or national, state, or county events or public festivals or parades.**
- (9) Noise from lawful fireworks and noise makers on holidays and at religious ceremonies.**
- (10) Noise created by any public recreational activity.**
- (11) Game-hunting activities on property where such activities are authorized and regulated by Chapter 34 Article II of the Weddington Code of Ordinances.**

(b) This provision shall not be applied to a shooting range in existence prior to adoption of this code section, provided there has been no substantial change in use of the range.

Sec. 22-4. -Enforcement and penalties.

(a) Civil penalty. Violation of this section shall subject the offender(s) to a civil penalty in the amount of \$100.00. In the event there is more than one violation within any 30-day period, then the civil penalty shall be increased for each additional violation over one during such period, as follows. The date of the first violation shall establish the beginning date for the initial 30-day period.-

The penalty shall be: Second offense within same 30-day period: \$250.00

Third offense within same 30-day period: \$500.00

Fourth offense within same 30-day period: \$750.00

Fifth and any subsequent offense within same 30-day period: \$1,000.00

- (1) Once the 30-day period has expired from the "first violation," the next violation shall be considered to be a first violation for the purposes of establishing a new 30-day period.. In the event there are more than six violations within any 12-month period, then each violation after six shall subject the violator(s) to a civil penalty of \$1,000.00 per event.**

(2) Under circumstances where a citation is issued, the fine must be paid within 5 business days of the issue date and time. The town attorney, or designee, is authorized to file suit on behalf of the town to collect any unpaid citations, and the town administrator, or designee, is authorized to verify and sign complaints on behalf of the town in such suits. A sheriff's deputy, animal control officer enforcing subject matter jurisdiction, or other person duly authorized to enforce the noise control ordinances may issue a citation for violations of this article.

(b) Remedies. This article may also be enforced through equitable remedies issued by a court of competent jurisdiction pursuant to G.S. 154A-123.

(c) Criminal penalty. In addition to, or in lieu of, such civil penalties or other remedies, violation of this article shall constitute a misdemeanor pursuant to G.S. 14-4.

Sec. 58-19. - Noise.

~~Every use of land must be operated in such a way that regularly recurring noises are not disturbing or unreasonably loud and do not cause injury, detriment or nuisance to any person of ordinary sensitivities.~~

See Section 22-1

Ms. Thompson explained that the draft amendment mimics county ordinance. Differences are struck out and in bold. She stated that Staff added hunting to the list of exceptions in section 22-3. Staff was asked about target shooting, not realizing it is prohibited in the town firearms ordinance., It was added to section 22-2. Staff is requesting to remove subsection (e) of Section 22-2.

Councilmember Smith thanked Council for their input and patience. There was a general consensus to changes the times in Section 22-2 (a), (b), and (c) to read from 7:00 a.m. to 9:00 p.m. (instead of from 6:00 a.m.) Sunday times listed will stay as they are. Only changes proposed are to 22-2 (a), (b), and (c) weekday times.

Councilmember Buzzard confirmed that section 22-2 (a) is a new section for the Town and the current hours are listed as 6:00 a.m. to 10:00 p.m. Sections (a) (b) and (c) will all change the Monday through Friday times to read from 7:00 a.m. to 9:00 p.m. Sunday times will remain 9:00 a.m. to 9:00 p.m. Section 22-2 (e) will be struck from the amendment.

Mayor Pro Tem Titherington thanked Councilmember Smith for his hard work on this text amendment.

Motion: Councilmember Smith made a motion to approve Text Amendment to Section 22-1 Titled Excessive Noise Prohibited; Exemptions; and Section 58-19 Titled Noise as presented by Staff with the following changes to Section 22-2 times to reflect in subsection (a) 7:00 a.m. to 9:00 p.m., subsection (b) 7:00 a.m. to 9:00 p.m. and subsection (c) 7:00 a.m. to 9:00 p.m. and deletion of 22-2 (e).

Mr. Fox asked the record to reflect that this is text amendment to 22-1 *et seq.*.

Vote: The motion passed with a unanimous vote.

E. Canisteo Conservation Subdivision (formerly Deal Road Subdivision) Preliminary Plat/Construction Plans

Mayor Deter opened the public hearing.
No one signed up to speak.
Mayor Deter closed the public hearing.

Ms. Thompson presented the staff report. Cameron Helms with Deal Road Ventures, LLC submitted a preliminary plat and construction plans for a 15 lot subdivision on 19.96 acres located at northeast corner of Highway 84 and Deal Road. The proposed subdivision contains 15 lots on 19.96 acres with a total density of .75 units per acre. The average lot size is 18,686 SF. This is a conservation subdivision where 50% of the gross acreage must be retained as conservation land. 8.97 acres is required and 9.08 acres has been provided.

The subdivision will be served by Union County Public Water and Sewer.

The subdivision is accessed by an entrance off of Deal Road. The entrance is 600'+ from Highway 84 which is NCDOT's minimum standard.

The Town Engineer approved the construction plans and they have been submitted to other outside review agencies including NCDOT, Public Works, NCDEQ and the Army Corps of Engineers.

A draft maintenance plan and CCRs have been submitted for review.

Two public involvement meetings were held on Monday, April 3, 2017.

The sketch plan was approved by the Planning Board on April 24, 2017 with a condition that the Town Council allows an exception for a private driveway access in lieu of the marginal access street on the submitted yield plan. The yield plan was amended after the Planning Board meeting to provide a public road right of way on lots abutting Highway 84 and a private driveway along Deal Road. In doing so, the applicant lost one lot bringing the yield plan from 16 lots to 15 lots. An exception was granted for the 15 lot yield plan on May 8, 2017 for the shared driveway along Deal Road as long as the overall layout does not change.

The Planning Board reviewed the preliminary plat/construction plans on August 28, 2017. Questions were raised around grading and stormwater and the effect that Rea Road Extension will have on this property. The Board unanimously recommended approval.

Since the last meeting staff discussed the Highway 84 widening as part of the Rea Rd Extension with NCDOT. NCDOT originally asked for 50' of right of way on Highway 84 and 30' from center for right of way on Deal Road. Staff based the 100' buffer from that right-of-way line per NCDOT's comments. The proposed preliminary design provided by Calyx Engineers dated 8/25/2017 shows the right of way encroaching onto the subject property an additional 50' in some areas. The applicant has agreed to amend the plans to accommodate the additional right of way on Highway 84 with a 100' buffer from the new proposed line. The preliminary design also shows additional right of way needed on Deal Road to accommodate new turn lanes at the future signalized intersection. The construction limits are within the current 60' right of way already proposed. The Deal Road buffer along lots 1, 13-15 will be approximately 72', once acquisition is finalized, and 100' north of the proposed Canisteo

Drive access.

Staff recommends approval of Canisteo Subdivision with the following conditions:

1. The Applicant must provide approvals from all local, state, and federal agencies prior to commencing construction.
2. The maintenance plan and agreement shall be reviewed by the town attorney.

Ms. Thompson reviewed the Canisteo Subdivision map illustrating the Deal Road and NC 84 intersection with the proposed changes in the right of way and buffers. (*Canisteo Subdivision map is hereby submitted for the record*). She explained that the blue marking shows the current edge of road pavement. The Department of Transportation requested 50 feet on NC 84 and 30 feet on Deal Road for right of way, illustrated by the orange line on the map. Originally, the subdivision 100 foot buffer would be measured from the orange line. However, NC 84 improvements require the entire intersection to shift north an additional 50 feet, so on the map, the yellow lines illustrate the new right of way. Ms. Thompson stated that there would need to be an exception to allow a reduction in the buffer along Deal Road because of construction limits within requested right of way.

Mayor Pro Tem Titherington stated that on Deal Road, based on the right of way that DOT is requested, the buffer will be down to 71 feet in some places and a total of 5 lots will have less than 100 foot buffer. He asked for confirmation that DOT construction would stop at the orange line and the right of way will be in that 100 foot buffer.

Mayor Pro Tem Titherington explained that on Deal Road, the turn lane on to 84 will reduce the buffer. DOT has communicated that construction will not go into the buffer, which is a fairly wooded area. Due to the taper in the road, the buffer will be less than 100 feet, which may be approved in an R-CD.

Ms. Thompson confirmed that this is a preliminary design. There may be some adjustments because of topography.

Council member Buzzard expressed concern about the tree screening in the thinner buffer. He asked if the Town has something that will require applicant to keep the screening.

Mayor Pro Tem Titherington asked if the applicant was planning to thin the trees in the buffer. Ms. Thompson stated that she believes the applicant will leave it. There is a plan for the landscaping in the buffer included in the preliminary/construction plans and it includes the limits of disturbance and shows tree protection fencing during building.

Mayor Pro Tem Titherington asked the applicant what the plan for the trees in the right of way is. The applicant responded that all trees in the right of way within the protection fence will be left as they are. Mayor Pro Tem Titherington asked if the applicant would be amenable to a condition that would require all trees 6 inches in diameter and larger in the buffer to be left undisturbed. The applicant agreed.

Councilmember Buzzard wanted to ensure that the Town is providing for less than a 100 foot buffer. He asked Ms. Thompson if there needs to be an amendment considered because of the reduced buffer. Ms. Thompson explained that the Preliminary Plat and Construction Plans show the updated buffer, so Council can approve it as is with any conditions.

- Motion:** Mayor Pro Tem Titherington made a motion to approve the Canisteo Conservation Subdivision Preliminary Plat/Construction Plans with the following conditions:
- The Applicant must provide approvals from all local, state, and federal agencies prior to commencing construction
 - The maintenance plan and agreement shall be reviewed by the town attorney
 - In the buffer zone, including the 30 foot right of way along Deal Road by DOT, trees 6 inches and larger in diameter will remain undisturbed.
- Vote:** The motion passed with a unanimous vote.

9. OLD BUSINESS

A. Discussion and Consideration of Calling for Public Hearing to be held November 13, 2017 at 7:00 p.m. at the Weddington Town Hall to consider a Text Amendment to Section 58-58(4)(e)(1)–Minimum Lot Size

Mayor Pro Tem Titherington stated that he requested that this item be put on the agenda this month. He explained: The Council discussed this amendment in July and took no specific action on it. The Planning Board put a lot of time and effort in to this; Brad Prillaman and Jim Vivian led the charge from the Planning Board perspective. It was forwarded to the Council with a 5-1 vote in support of a favorable recommendation. From the comments made tonight, it would be prudent that Council have this as a review and consideration on the November agenda. After reading through some notes from the July council meeting, recommendations from the Planning Board don't affect yield. That is done at R-40 level and it does contain a hardship clause that would not prevent an R-CD development if that is the best use of the land, at a smaller lot size because Planning Board can approve that. Mayor Pro Tem Titherington is recommending that the Council add it to the November agenda and call for a public hearing.

Councilmember Buzzard stated that he had a discussion with Councilmember Smith and Brad Prillaman from the Planning Board. He expressed his thanks to Board member Prillaman for providing answers to some questions. Councilmember Buzzard stated that the biggest take from that meeting was that the lot size numbers looked at are not necessarily compelling as referenced in Ms. Thompson's memo (*hereby incorporated for the record*). He stated that his recommendation is to table this until the January meeting so Council can get some questions answered and do a little digging on their own. Then decide whether or not this is a situation where we want to have larger lot sizes or larger open spaces. Councilmember Buzzard expressed that he is not ready to make that decision.

Mayor Pro Tem Titherington stated for clarity, the data in Ms. Thompson's memo is average lot size, the Planning Board recommendation was for minimum lot size. The viewshed as well as the proximity of houses is a concern. He would like to see how many lots are below the average.

Councilmember Buzzard stated that he would like to look at the layout of developments and see if all 13,000 sq. ft. lots are next to each other. If the lots are interspersed, that creates a different viewshed. He also stated that he would like to see how the layout of the developments plays out with topographical features. What's being proffered is: we are systematically going to smaller lots. That may just be that the Town is in a situation where what has been approved because the topography of land has dictated that. He stated that he would like a little time to put some effort into having a more thorough picture

before the Council changes the ordinance.

Mayor Deter confirmed with Councilmember Buzzard that he would like a color coded plat to see how lots are laid out in different R-CD subdivisions.

Councilmember Buzzard said if Council looks at the maps and discovers that because of the topography, the subdivisions couldn't have been laid out differently, then he doesn't see a good reason to change the ordinance. He believes that one of the things that has been beneficial to Weddington has been the consistency with how the Town manages land use. It benefits residents to have a complete picture before we make changes to the ordinance.

Mayor Pro Tem Titherington asked Ms. Thompson how long it would take to look at preliminary plat lot size data from Vintage Creek, The Falls, The Enclave, and Carrington. Ms. Thompson replied that it could be done in a week or two. Mayor Pro Tem Titherington requested that 2 weeks before the November meeting, Council can look at that data.

Councilmember Smith stated that he is uncomfortable with making such an important change to the ordinances without knowing it's the right change to make. He appreciated listening to the Planning Board and Brad Prillaman as they brought up some good points, he just wants to make sure the Town is going down the right road.

Mayor Pro Tem Titherington agreed and would like to put this item on the November agenda as review and consideration, if Ms. Thompson is able to commit to having the data done in 2 weeks.

Councilmember Smith asked Ms. Thompson's thought on bringing in a professional to look at the R-CD requirements.

Ms. Thompson explained that even looking at data from the four named subdivisions, that won't tell what some of the other subdivisions will face because every piece of land is unique.

Councilmember Propst suggested going back to the original architect of R-CD and have him work with Council to look at the lots, neighborhoods and ordinances regarding the size of lots and see what a professional could do to raise the minimum lot size. She stated that she has no problem with bigger lots. It has to stay consistent with yield. She doesn't believe there's anyone on Council in disagreement with this, however she is not willing to make a decision quickly on something this big. Councilmember Propst recommended getting Randall Arendt to work with Council, have a workshop within next 2-3 months to review all R-CDs because every property is different. She doesn't think this is something to rush into. She stated that the Town didn't rush into R-CD as a community. A lot of people have been swayed to like R-CD because they see the advantage of open space.

Mayor Deter expressed concern about the scope creep. He reviewed the request to Ms. Thompson to capture the data on a color coded map that Councilmember Buzzard requested. He would like along with the graphic layout of subdivisions, to show where conservation and open space is going and have the Council review that. He suggested that if Council cannot come to alignment, they could then consider consulting Randall Arendt.

Councilmember Propst stated that this is a big change. Not giving the flexibility to a developer on lot sizes is a big change. When considering changing lot sizes at all, a professional should look at it.

Councilmember Buzzard stated that Mayor Deter's point is not to rule that out, but to make it a possible second step. That if after review of the maps and data, the Council can decide if a professional is needed.

Mayor Pro Tem Titherington reiterated that the Planning Board has done a lot of good work on this and no action has been taken. He asked staff to compile the data from the preliminary and final plats of Carrington, The Enclave, The Falls, and Vintage Creek. He believes that a lot of the open space is going to little circular areas and that was not the original intent of the R-CD.

Mayor Deter confirmed that this item will go on the agenda under Old Business for the November Regular Town Council Meeting.

~~ B. Discussion and Consideration of Final Plat for Harlow's Crossing Subdivision (formerly Carrington Subdivision)~~**

10. NEW BUSINESS

A. Discussion of Disbanding Public Safety Committee

Councilmember Smith stated that the council has talked about this. He expressed his gratitude for the past and present members of the Public Safety Committee; there has been a lot of hard and good work. Councilmember Smith has tried to find a purpose for the committee, it is struggling. There doesn't seem to be a strong need for it at this point in time. The Town doesn't want to waste the members' time. He would like the Council to consider disbanding it for now. The Council agreed.

B. Discussion and Consideration of Entry Monument and Landscaping for Harlow's Crossing Subdivision

Ms. Thompson presented the staff report. The signs will be facing Weddington-Matthews Road. The columns are 6'9" tall with a stone cap for a maximum height of 7'. The proposed plans include ornamental aluminum fence and lanterns. The site plan shows the monument signs and plantings located outside of the sight triangles and 500' line of sight area. The landscape plan meets the new proposed text which considers distance from the power lines. The lanterns meet the lighting ordinance requirement.

Section 58-152 (f) of the *Weddington Zoning Ordinance* permits two signs per subdivision entrance, behind the right-of-way line with a maximum area of 20 square feet per sign. The signs are in general conformance with the *Weddington Zoning Ordinance*.

The Planning Board reviewed the application and unanimously approved the entry monument and sign with the condition that Staff confirms that the monument is placed in common open space and not the required conservation area. Staff did review the original Carrington plant all view shed buffer was platted as common open space. Town ordinance requires it to be conservation land, so on the amended plat to be reviewed next month, where the entry monuments are located, it is open space.

Mayor Pro Tem Titherington asked if consideration of the entry monument should be tabled to the November meeting, when the final plat will be reviewed.

Ms. Thompson answered that they have an approved plat with open space. The applicant amended their

plans to comply with the new landscaping near utility ordinance.

Mr. Fox asked if there is any urgency. He suggested to table the item for next month's meeting when final plat is reviewed by the Council.

Motion: Mayor Pro Tem Titherington made a motion to table discussion and consideration of entry monument and landscaping for Harlow's Crossing subdivision until the November Regular Town Council Meeting.

Vote: The motion passed with a unanimous vote.

11. UPDATE FROM PLANNER

Ms. Thompson stated that she attended an NCDOT meeting in Albemarle to review the NC 16 improvements from Rea Road to Waxhaw Parkway. The 2040 traffic estimates are around 50,000 cars per day. That is what the count at the interchange of 485 and NC 16 is currently. NCDOT is looking for a response from Town Council for sidewalks on both sides, or a multi-use path and sidewalk on one side. Ms. Thompson will add this to the agenda for the November Council meeting. NCDOT is looking for a tentative design for that cross section by Thanksgiving in order to start planning right of way.

Councilmember Propst asked if that is all we have to commit to right now.

Mayor Pro Tem Titherington stated that as it exists today we're committed, but the Council will make a decision once designs are final.

Mayor Deter said the Council will need an estimate for the cost of sidewalks.

12. CODE ENFORCEMENT REPORT

Mayor Deter asked if there were any questions. He commented that it is good to see the list of reported violations getting smaller. He stated that item 1 will be discussed in closed session. Mayor Deter discussed a couple of the code enforcement issues:

He asked if item number 4 has been resolved. He suggested monitoring the issue and at some point remove it from the code enforcement report.

Mayor Deter asked about item number 5; if the accessory building has been removed, this item can be taken off the report. Ms. Thompson explained there were additional violations. An accessory building is not permitted without a primary structure. The owner pulled a zoning permit for a primary structure; however the accessory building needs to be removed from the lot until construction on the primary structure has started. Mayor Deter suggested adding a note to the Code Enforcement Report with that detail.

13. UPDATE FROM FINANCE OFFICER AND TAX COLLECTOR

Ms. Gaylord presented the monthly financial report. She confirmed that the Town received the quarterly franchise tax in September and the monthly sales tax has kicked in as well.

Mayor Pro Tem Titherington stated that he thought the Tilley Morris funding was moved into an assigned category in the general fund balance. Ms. Gaylord responded that there are assigned balances, however this one is different. The fund balance doesn't change until the audit comes out. It will be adjusted then.

14. PUBLIC SAFETY REPORT

Mayor Deter commented on the high number of false alarms. There were no other questions or comments.

15. TRANSPORTATION REPORT

Councilmember Buzzard gave the Transportation update. The Waxhaw Indian Trail Road round about is completed. The group of projects that includes the Tilley Morris round about was approved by the state. This allows CRTPO to approve the project and send it to the federal level.

16. COUNCIL COMMENTS

Councilmember Buzzard: I want to thank the large crowd that we have here tonight. It's always nice to see smiling happy faces out there – more than the general 2-3 or few that we have. I'd also like to thank my fellow council members. I think that we have had quite a number of complex issues that we have discussed over the past few months. We have come up with some very good ideas for the Town. I appreciate everybody's hard work.

Mayor Pro Tem Titherington: Mayor Pro Tem Titherington's prepared statement is hereby submitted for the record.

Councilmember Smith: I want to thank everybody for coming tonight. I also want to thank the Council as Scott did, for their help on some tough issues. Appreciate the effort. I'm not so sure this was the right forum for this, Don. This could have been done internally. If you have a problem with Janet, you might have wanted to talk to her in private. I think that might have been a more appropriate, proper way to handle that. Thank you.

Councilmember Propst: I did resign my position with Providence Fire Department in August 2015 and I'll be glad to find that document. I'm sorry they put some document that you believe isn't real, or realistic out there. I've actually recused myself many times. I would prefer to not be a part of any legal matters regarding Providence Fire Department. With regard to Karen, when I contacted Lisa to ask if Karen was a notary, there wasn't an issue with my asking if Karen is a notary. I asked her as a personal favor if she would be able to notarize something for a friend of mine that is flying out of town. This is petty and ridiculous. I did not use town resources. She did not use town resources, to notarize a document for a citizen or me asking a personal favor. She could have said "Janice, I can't do it". There wasn't any work done that was town related and it did not cost the town a penny. In regards to the Providence Volunteer Fire Department, you can talk to PVFD about that. I am really actually appalled that you use this time to be so petty with such a ridiculous issue. Thank you all for coming out tonight. I appreciate everyone in this room for being a part of this community. We do have a notary. Karen is a notary, if you ever want to use her services; I used Amy's all the time, on a personal note. I'm sure Karen would be glad to work with you on any personal project you have that needs a personal notary.

Mayor Deter: I want to thank everybody for coming out. We had an exciting Council meeting tonight. I will echo Janice said: We have a notary here that will provide a service as long as that service is between the hours that Town Hall is open.

17. CLOSED SESSION PURSUANT TO NCGS 143-318.11 (A)(3) TO CONSULT WITH ATTORNEY ON MATTERS

**PROTECTED BY THE ATTORNEY-CLIENT PRIVILEGE RELATING TO PROVIDENCE VOLUNTEER FIRE
DEPARTMENT VERSUS TOWN OF WEDDINGTON AND TOWN OF WEDDINGTON VERSUS COX
MOTORSPORTS**

Motion: Mayor Pro Tem Titherington made a motion to go into Closed Session pursuant to NCGS 143-318.11 (A)(3) to consult with attorney on matters protected by the attorney-client privilege relating to Providence Volunteer Fire Department versus Town of Weddington and Town of Weddington versus Cox Motorsports.

Vote: The motion passed with a unanimous vote.

The Council entered into closed session at 8:41 p.m.
Mayor Deter called the Council back to order at 10:18 p.m.

18. ADJOURNMENT

Motion: Councilmember Smith made a motion to adjourn the October 9, 2017 Regular Town Council Meeting at 10:18 p.m.

Vote: The motion passed with a unanimous vote.

Bill Deter, Mayor

Adopted: _____

Karen Dewey, Clerk

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson Town Administrator/Planner

DATE: November 13, 2017

SUBJECT: Rezoning Parcels from R40 to RCD

The Town Council is requested to consider a rezoning application from Hopper Communities, Inc. for property located at 5532 Weddington-Matthews Road (parcel 06-120-002B) from R-40 to R-CD. The tract is approximately 1.910 acres.

The applicant is seeking rezoning in order to develop the land for residential conservation purposes.

Adjacent Property Uses are as follows:

North- R-40, Single Family Home

South- R-CD, Mobile Homes

East: R-40, Single Family Home

West: R-CD, Mobile Homes

Land Use Plan Consistency Statement

State Statute requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. That statement is not subject to judicial review.

Proposed Land Use Consistency Statement

The subject parcel is designated for Traditional Residential on the Weddington Land Use Plan. However, the rezoning meets the goals of the land use plan in that it ensures the conservation of open space and scenic views; protects areas that are within wetlands and streams; minimizes the visual effect of development from surrounding properties and roadways; and maintains the town's strong single-family residential character.

The Planning Board reviewed the rezoning on September 25, 2017 and unanimously recommended approval.

Recommendation

Given the purposes of the RCD and the consistency with Land Use Plan, staff recommends approval of rezoning parcel 06-120-002B from R-40 to R-CD and adopting the statement of land use plan consistency.

Attachments:
Application
Site Map
Land Use Plan Goals and Policies
Land Use Plan Map

TOWN OF WEDDINGTON

1924 Weddington Road
Weddington, NC 28104
704 846-2709
704 844-6372 (fax)

ZONING MAP CHANGE APPLICATION

Date of Application 9/21/17 Check # _____

I. Applicant/Owner Information

A. Applicant's Name Hopper Communities, Inc
Address 229 E Kingston Ave, Charlotte NC 28203
Phone 704-805-4802

II. Property Location

A. Property Location 5532 Weddington Matthews Rd
Weddington NC 28104
B. Tax Map Book _____ Map _____ Parcel(s) 06120002B
C. Dced Book 3095 Page 860
D. Existing Zoning R-40 Proposed Zoning R-CD
E. Existing Use Vacant
F. Property Size 1.91 AC (Sq. Ft./Acres)

III. Other Required Information (Attach the Following)

- A. The application shall be accompanied by two (2) copies of a map, drawn to an appropriate scale. This map shall be prepared by a certified engineer or registered licensed surveyor, and shall be signed and certified to be correct by the preparer. If the proposed rezoning is not a partial lot rezoning, a Union County tax map may be submitted in lieu of a sealed survey according to the discretion of the Zoning Administrator. The map shall contain the following:
1. If not in a subdivision of record, the subject property plus such additional property as to show the location of the subject property with reference to the nearest street intersection, railroad, stream or other feature easily identifiable on the ground. In addition, all property lines which abut the property shall be shown as well as the names and addresses of all abutting property owners.

REZONING APPLICATION

2. If the property is in a subdivision of record, a map of such portion of the subdivision drawn to scale, that would relate the subject property to the closest street intersection, and in addition, the name of the subdivision and the plat book and page number on which the plat is recorded. In addition, the names of all abutting property owners shall be indicated.
 3. Existing location of building on lot and a listing of uses of all structures.
 4. Zoning classification of all abutting lots.
- B. The applicant shall include the names and addresses of all abutting property owners as shown on the current records of the Union County Tax Supervisor's Office. Abutting property shall be construed to mean and include property on the opposite side of any street, stream, railroad, road or highway from the property sought to be rezoned, and, in the event the owner of the property sought to be rezoned owns other property adjoining the property sought to be rezoned, the adjoining property shall also be construed to mean and include property adjoining the other property of the owner which adjoins the property sought to be rezoned. Applicants shall use Attachment "A" (As many sheets as necessary to list abutting property owners).
- C. Certification from owner of record that applicant has authorization to apply for this zoning action. (This is needed only if the applicant is not the property owner).
- D. State whether or not the applicant or owner, owns, has a proprietary interest, or in any way has any other contractual interest in any land which is contiguous to the land which is the subject of this request. If so, please provide a sufficient legal description of such land and state the interest of the applicant or owner.
- E. Application processing fee. Attached check, payable to the *Town of Weddington* in the amount of \$715.00

I hereby certify that all of the information provided for this application and all attachments is true and correct to the best of my knowledge.

REZONING APPLICATION

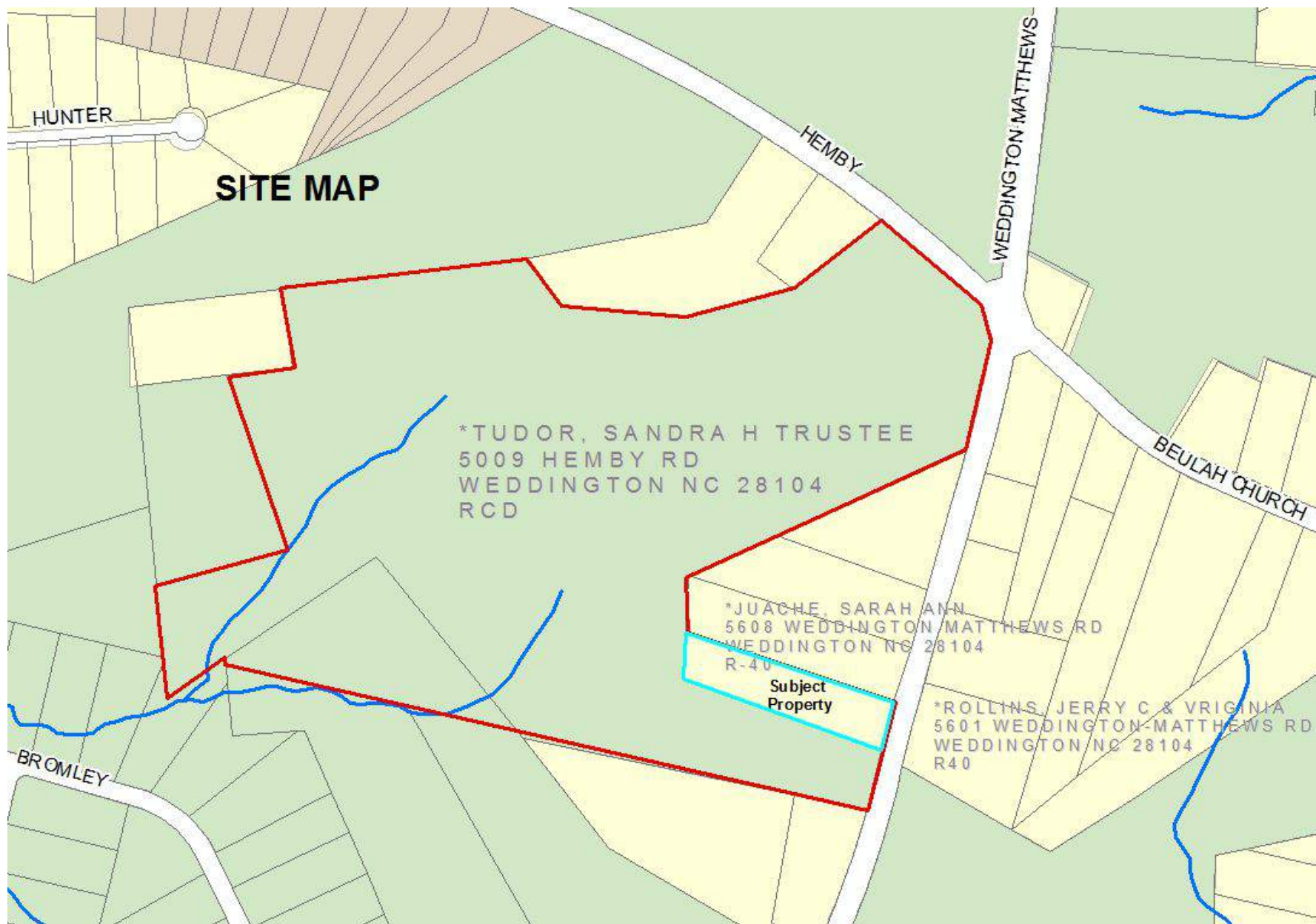

Applicant
Hopper Communities, Inc.

9/21/17
Date

Received by the Town of Weddington


Zoning Administrator

9/21/17
Date



III. GOALS AND POLICIES

Future Land Use. Weddington's *Land Use Plan* is the fulfillment of input and conversation that has transpired while planning for the Town's future. Land Use policies build the framework on which land use decisions can be founded. They are aimed at providing guidance in the location of future land uses and the redevelopment of existing land uses. Land use is dynamic rather than static. It is a process that is marked by public input and is dependent upon continued participation of residents, property owners and business owners for its success. The Land Use plan is that component of this document that links all the factors impacting Weddington. The purpose of the Land Use plan is to institute an ostensibly efficient direction to delineate Weddington's future development patterns - where the community members want to go and how the Town leaders can get there.

The Future Land Use map is not the zoning map for the Town. The Future Land Use map is conceptual and is intended to guide future land use decisions. Future land uses are developed in the context of all of the Plan's goals and policies.

Land Use Goals:

- Goal 1: To ensure that all new development takes place in a manner that conserves open space and scenic views.
- Goal 2: To limit development activities on environmentally sensitive lands.
- Goal 3: Minimize the visual effect of development from surrounding properties and roadways.
- Goal 4: To maintain the town's strong single-family residential character.
- Goal 5: To retain a mix of land uses that reinforces Weddington's unique small town character.
- Goal 6: To ensure that the type, location, and scale of existing commercial and future commercial development in the Town provides goods and services for the residents of Weddington and neighboring communities.

Goal 7: Through the conditional zoning process, provide smaller lot sizes to accommodate a variety of age and income groups, and broader residential preferences, so that the community's population diversity may be enhanced.

Land Use Policies:

Policy 1: Preserve open space and scenic views through appropriate zoning regulations. Require open space preservation in both conventional and conservation subdivisions and commercial developments.

Policy 2: Preserve the Town's natural resources. Depending upon the fragility of the resource, restrictions should limit or prohibit construction, grading, and even vegetative clearing.

Policy 3: Limit development to areas of the Town that have suitable soil and topographic characteristics for development.

Policy 4: Limit development in designated 100-year floodplains, wetlands and along natural waterways to reduce the risk of significant damage and injury to life and property.

Policy 5: Ensure that development is consistent with the Town's quality and aesthetic values, thereby protecting property values.

Policy 6: Retain the character of the community by ensuring that new residential development consists of single-family homes.

Policy 7: Continue to allow manufactured housing in Weddington on individual lots within Residential (R) zoning districts in accordance with NCGS 160A-383.1.

Policy 8: Prohibit medium and high-density residential development and large-scale commercial development that could create potential traffic and safety problems for the Town.

Policy 9: Ensure that the scale and design of commercial development is consistent with the unique small-town character of Weddington. Limit such development to small-scale retail and service businesses, serving Town residents and surrounding communities, particularly specialty shops and restaurants and prohibit regional scale retail and service commercial establishments. Provide

for open space preservation in new and/or expanded commercial developments.

Policy 10: Minimize the number of street curb cuts to avoid traffic congestion and ensure public safety.

Policy 11: Ensure that land uses abutting residential development are compatible with the scale, intensity and overall character of existing and planned neighborhoods.

Policy 12: Consider land use descriptions shown in **Exhibit 1** and the Future Land Use Map shown in **Exhibit 2** in making zoning and development decisions.

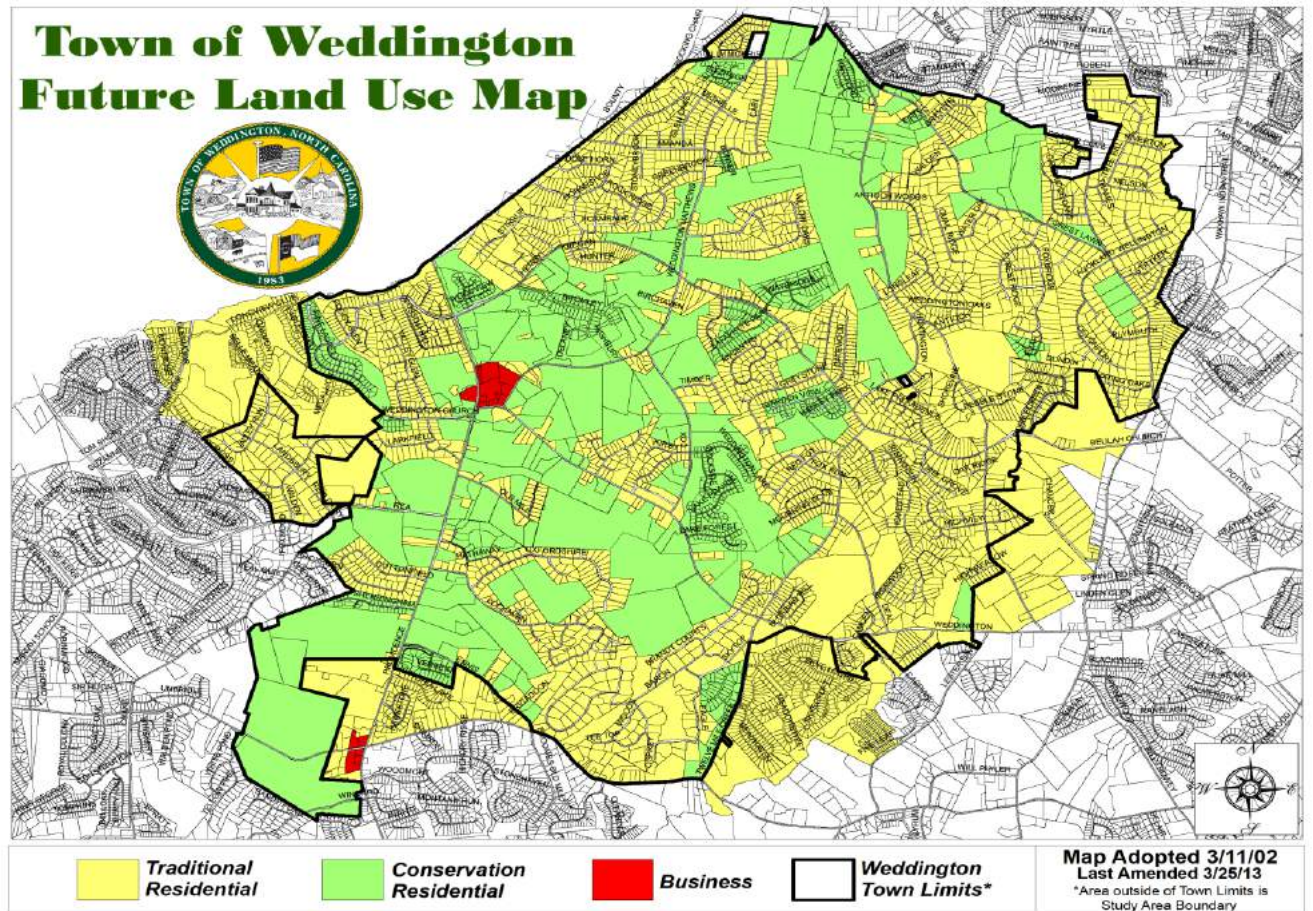
Exhibit 1: Future Land Use Categories

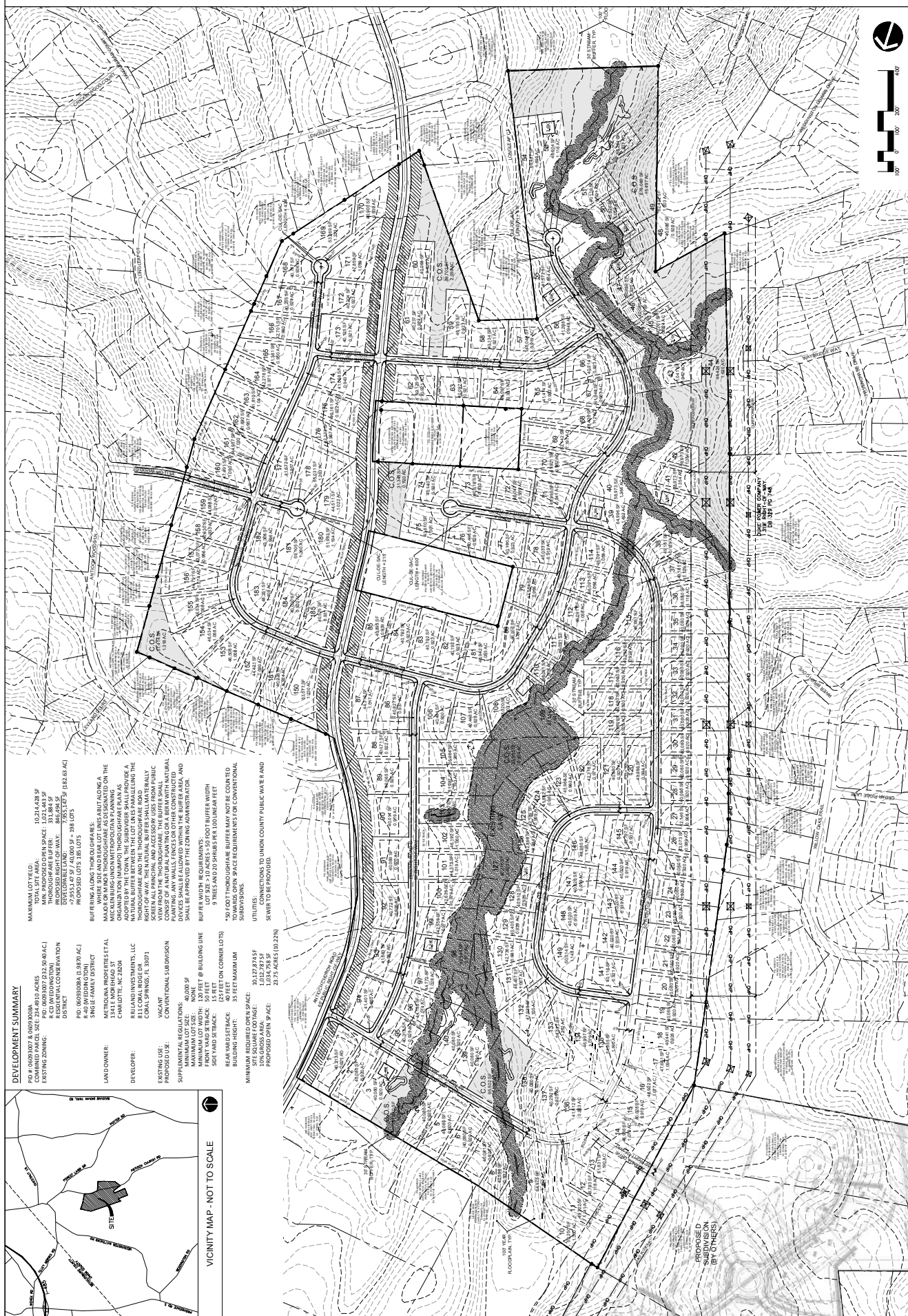
Land Use	Description
Traditional Residential	This category applies to areas where most of the lots and parcels are less than six acres in area. Most of this area is platted and is, or will be zoned for 40,000 square foot lots at a density of approximately one dwelling unit per acre, in accordance with the Town's current Residential (R-40, R-40D, R-60, R-80, RE and RCD conventional) zoning districts.
Conservation Residential	This category applies to the areas within the Town that are currently zoned RCD or are six acres or greater in area. Some of this area has not been developed while some of the area is currently a conventional or conservation subdivision. Conventional subdivisions shall have minimum lot sizes of 40,000 square feet, plus be subject to a 10% open space requirement. Conservation subdivisions shall be subject to a conditional zoning permit and allow for smaller lot sizes, yet retain a density of approximately one dwelling unit per 40,000 square feet.
Neighborhood Business	Existing commercially zoned (MX, B-1(CD) or B-2(CD)) parcels that lie in the vicinity of the "Town Center" or near the intersection of New Town Road and NC 16. This area is intended for neighborhood scale businesses that serve the needs of Weddington's residents and surrounding communities. All new commercial development in the Town Center is subject to additional requirements found in the Downtown Overlay District.

Policy 13: Through the conditional zoning process, provide for alternative smaller lot sizes to accommodate a variety of age and income groups, which promotes community, residential, and population diversity.

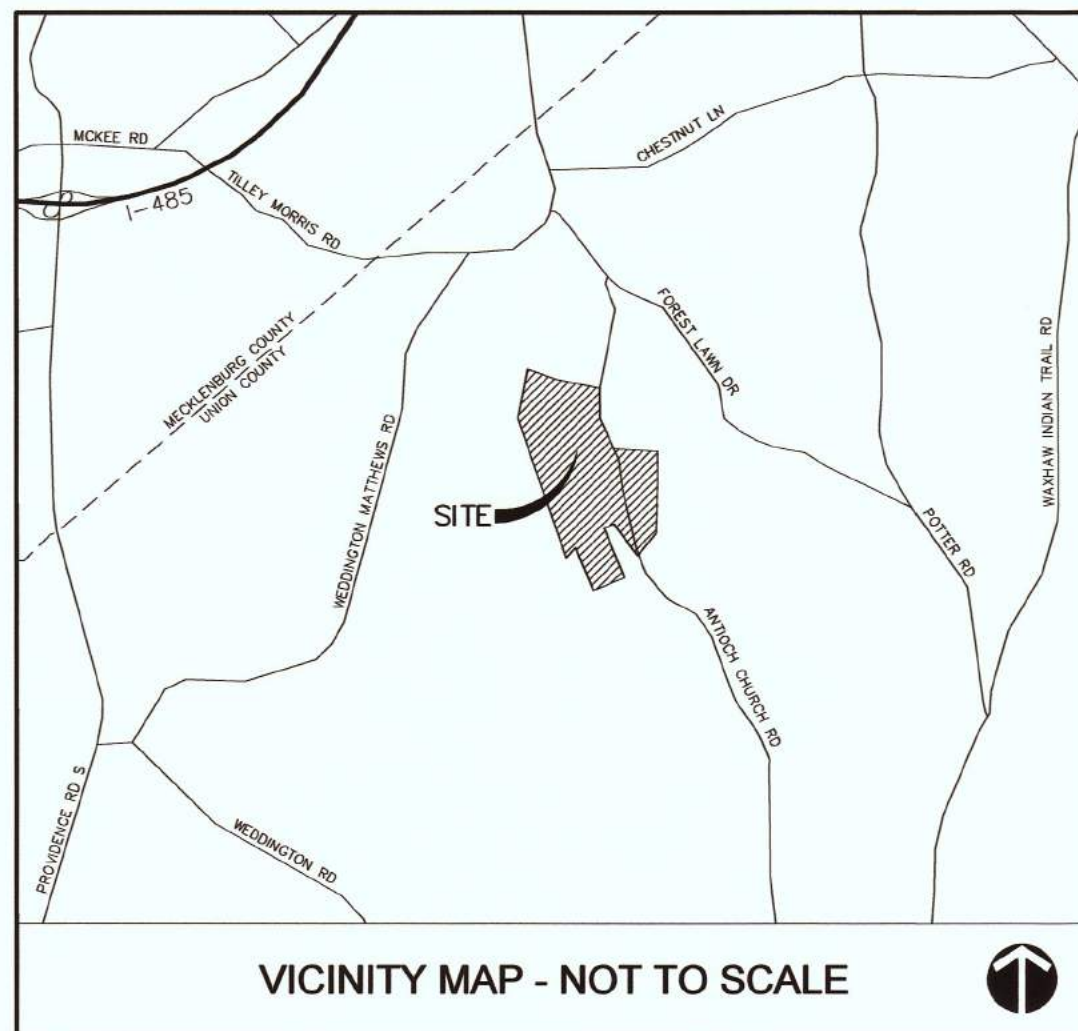
Policy 14: Allow alternative smaller lots to promote residential and population diversity in the community.

INSERT
Exhibit 2: Future Land Use Map





VICINITY MAP - NOT TO SCALE



VICINITY MAP - NOT TO SCALE

DEVELOPMENT SUMMARY

PID #: 06093007 & 06093008A
COMBINED PARCEL SIZE: 234.4910 ACRES
EXISTING ZONING: PID: 06093007 (232.5040 AC.)
R-CD (WEDDINGTON)
RESIDENTIAL CONSERVATION DISTRICT
PID: 06093008A (1.9870 AC.)
R-40 (WEDDINGTON)
SINGLE-FAMILY DISTRICT
LAND OWNER: METROLINA PROPERTIES ET AL
1341 E MOREHEAD ST
CHARLOTTE, NC 28204
DEVELOPER: FALLS AT WEDDINGTON, LLC
811 CORAL RIDGE DR
CORAL SPRINGS, FL 33071

EXISTING USE: VACANT
PROPOSED USE: CONSERVATION SUBDIVISION

SUPPLEMENTAL REGULATIONS:
MINIMUM LOT SIZE: 12,000 SF
MAXIMUM LOT SIZE: NONE
MINIMUM LOT WIDTH: 80 FEET @ BUILDING LINE
FRONT YARD SETBACK: 20 FEET
SIDE YARD SETBACK: 5 FEET
(30 FOOT AGGREGATE)
REAR YARD SETBACK: 30 FEET
BUILDING HEIGHT: 35 FEET MAXIMUM

MAXIMUM LOT YIELD:
CONVENTIONAL SUBDIVISION: 185 LOTS
PROPOSED LOTS: 185 LOTS

ACREAGE OF SMALLEST LOT: 12,600 SF/0.289 ACRES

PROPOSED ROADS

CROFTON GREENWAY 586 LF
(INCLUDES TRAFFIC CIRCLE)
TURTLEBACK RIDGE 330 LF
LIBERTY GROVE ROAD 3,061 LF
EDEN HOLLOW LANE 587 LF
CASCADE FALLS TRAIL 3,036 LF
AMANDA DRIVE 2,037 LF
BATSON CREEK LANE 348 LF
RAINBOW FALLS LANE 222 LF
PUBLIC ACCESS ROAD 300 LF

UTILITIES: CONNECTIONS TO UNION COUNTY PUBLIC WATER AND SEWER TO BE PROVIDED.

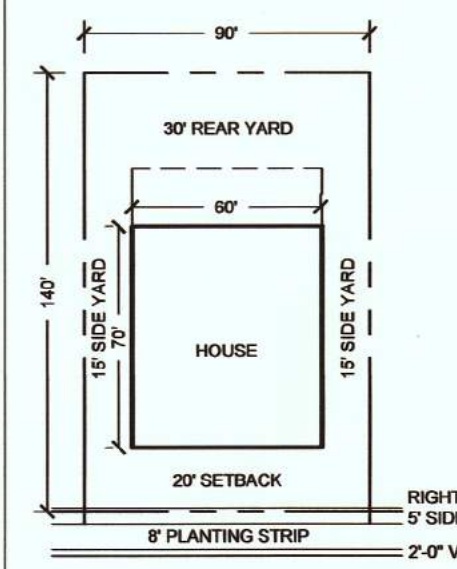
BUFFER WIDTH REQUIREMENTS: CONSERVATION DISTRICT = 100 FOOT BUFFER WIDTH
9 TREES AND 20 SHRUBS PER 100 LINEAR FEET

THE EXISTING THOROUGHFARE BUFFER CONSISTS OF A HEAVILY VEGETATED MATURE FOREST, AND SHALL REMAIN UNDISTURBED TO SATISFY ALL VEGETATIVE REQUIREMENTS.

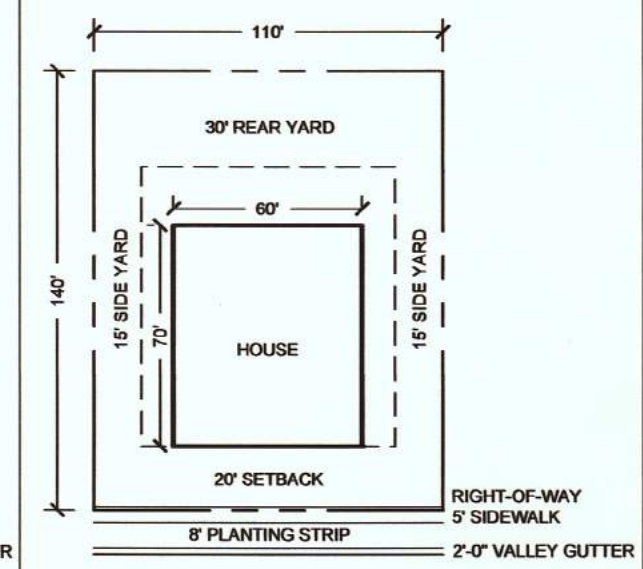
BUFFERING ALONG THOROUGHFARES: WHERE SIDE AND REAR LOT LINES ABUT ALONG A MAJOR OR MINOR THOROUGHFARE AS DESIGNATED ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION (MUMPO) THOROUGHFARE PLAN AS ADOPTED BY THE TOWN, THE SUBDIVIDER SHALL PROVIDE A NATURAL BUFFER BETWEEN THE LOT LINES PARALLELING THE THOROUGHFARE AND THE THOROUGHFARE ROAD RIGHT-OF-WAY. THE NATURAL BUFFER SHALL MATERIALLY SCREEN ALL PRINCIPAL AND ACCESSORY USES FROM PUBLIC VIEW FROM THE THOROUGHFARE. THE BUFFER SHALL CONSIST OF A NATURAL PLANTING OR A BERM WITH NATURAL PLANTING. ANY WALLS, FENCES OR OTHER CONSTRUCTED DEVICES SHALL BE ALLOWED WITHIN THE BUFFER AREA, AND SHALL BE APPROVED BY THE ZONING ADMINISTRATOR.

TYPICAL LOT PLAN

90' LOTS



110' LOTS



GENERAL NOTES:

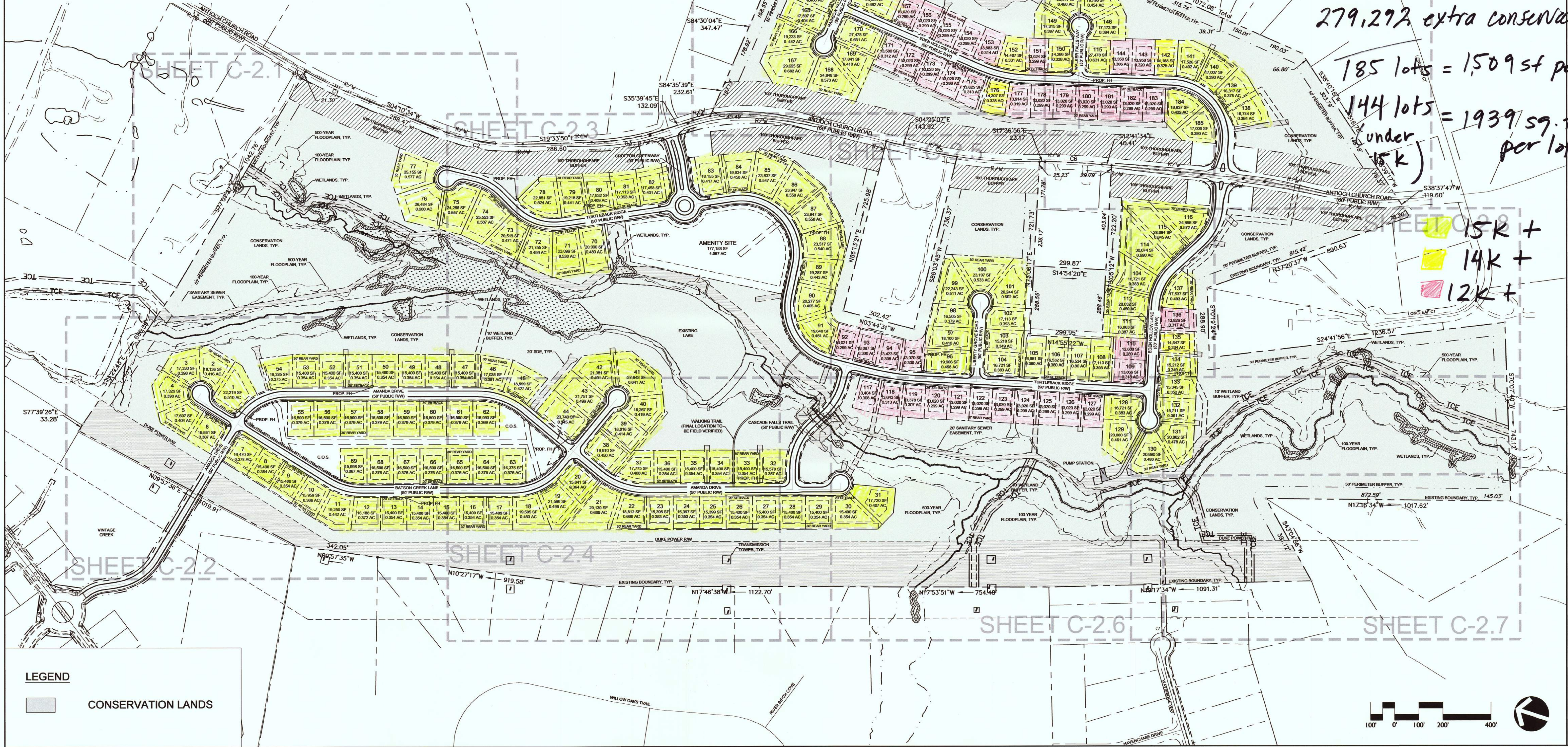
1. ALL DRAINAGE STRUCTURES AND PIPE SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
2. IF REQUIRED BY THE TOWN, COMPACTION TESTS SHALL BE MADE BY AN INDEPENDENT TESTING LAB AT THE OWNER'S EXPENSE.
3. PROOF ROLLING OF STREET SUBGRADE AND AGGREGATE BASE MATERIAL SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S ENGINEER USING AN OVER-LOADED (ON-SITE) TRIAXIAL DUMP WITH 22-25 TONS OF STONE, THIRD AXLE LIFTED. IF RAIN OCCURS BEFORE PLACING STONE ON SUBGRADE THAT HAS BEEN PROOFROLLED, THE SUBGRADE AND STONE BASE MUST BE PROOFROLLED AGAIN. THE ENGINEER SHALL PROVIDE WRITTEN VERIFICATION TO THE TOWN THAT THE SUBGRADE AND AGGREGATE BASE MATERIAL MEET THE DENSITY REQUIREMENTS AS SPECIFIED. FAILURE TO PROVIDE ENGINEER'S VERIFICATION OF THE SUBGRADE AND STONE BASE COURSE COMPACTION COULD RESULT IN DELAY OF FINAL ACCEPTANCE OF THE DEVELOPMENT BY THE TOWN.
4. THE FINAL LIFT OF ASPHALT PAVEMENT SHALL NOT BE PLACED UNTIL AFTER 80% OF HOME SITES ARE DEVELOPED. THE FINAL LIFT OF PAVEMENT SHALL NOT BE PLACED FOR STREETS THAT WILL BE USED TO ACCESS FUTURE PHASES UNTIL THOSE PHASES REACH 80% BUILD-OUT.
5. FOR ROADS THAT ARE TO BE PRIVATELY MAINTAINED, A REPRESENTATIVE OF THE TOWN MUST BE PRESENT FOR ALL PROOFROLLING AND ASPHALT PAVING OPERATIONS.
6. PRIOR TO FINAL ACCEPTANCE, THE DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTING ALL PROBLEMS ASSOCIATED WITH THE PROJECT, INCLUDING THOSE ITEMS NOT NECESSARILY COVERED BY THE PLANS, TO INSURE THE SATISFACTORY COMPLETION OF THE TOTAL PROJECT.
7. STREET CONSTRUCTION MATERIALS AND CONSTRUCTION STANDARDS SHALL MEET N.C. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND ROADWAY STANDARD DRAWINGS AS REVISED JANUARY 2012 (AND AS SUBSEQUENTLY AMENDED), EXCEPT WHERE TOWN OF WEDDINGTON STANDARDS ARE MORE STRINGENT.

CONSERVATION LAND CALCULATIONS

ANTIOCH CHURCH ROAD WEST	SQUARE FEET	ACRES
SQUARE FEET	8,484,575	194.78
UNDISTURBED OPEN SPACE SF	3,626,866	83.26
UTILITY EASEMENTS SF	1,116,828	25.64
FIFTY PERCENT	558,414	12.82
REQUIRED CONSERVATION LANDS (50%)	4,242,288	97.39
CONSERVATION LANDS PROVIDED	4,743,694	108.90
PERCENTAGE	55.9%	55.9%

ANTIOCH CHURCH ROAD EAST	SQUARE FEET	ACRES
SQUARE FEET	1,960,788	45.01
UNDISTURBED OPEN SPACE SF	689,232	15.82
UTILITY EASEMENTS SF	69,048	1.59
FIFTY PERCENT	34,524	0.79
REQUIRED CONSERVATION LANDS (50%)	980,394	22.51
CONSERVATION LANDS PROVIDED	758,280	17.41
PERCENTAGE	38.7%	38.7%

COMBINED CALCULATIONS	SQUARE FEET	ACRES
REQUIRED CONSERVATION LANDS (50%)	5,222,682	119.90
CONSERVATION LANDS PROVIDED	5,501,974	126.31
PERCENTAGE	52.7%	52.7%



90' & 120' lot widths
279,272 extra conservation land
185 lots = 1,509 sf per lot
144 lots = 1,939 sq. ft added under 15k)

15K +
14K +
12K +

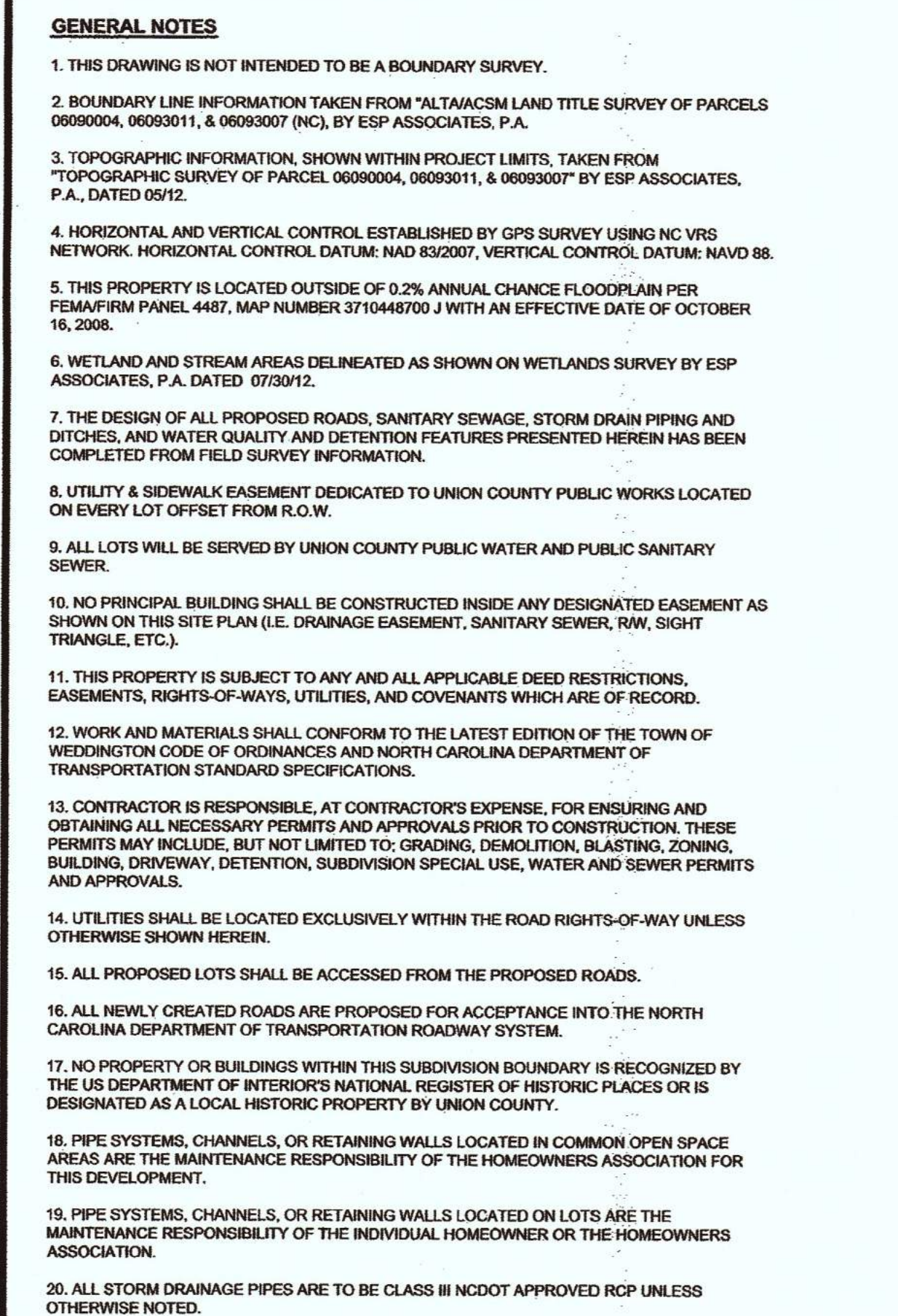
THE FALLS AT WEDDINGTON
SINGLE FAMILY SUBDIVISION
FALLS AT WEDDINGTON LLC, TOWN OF WEDDINGTON, SANDY RIDGE TOWNSHIP, UNION COUNTY, NC

OVERALL SITE PLAN

REVISIONS:
DATE: AUGUST 29, 2014
DESIGNED BY: NEM
DRAWN BY: PMK
CHECKED BY: PMK
SCALE: 1"=200'
PROJECT #: 1014217
SHEET #:

C-2.0





TAX PARCEL ID (DEED BOOK & PAGE#): 06-090-004 (5675-647)
06-093-01101 (5941-364)
06-093-007A (5899-797)

ZONING:	R-CD (CONSERVATION)
PROP. USE:	SINGLE FAMILY RESIDENTIAL
TOTAL NUMBER OF PROP. LOTS:	90 (90' X150' TYPICAL)
PROP. DENSITY:	0.77 UNITS/AC.
MIN. LOT SIZE REQUIRED:	12,000 S.F. (0.27 AC.)
MIN. LOT SIZE PROVIDED:	13,500 S.F. (0.31 AC.)
AVG. LOT SIZE PROVIDED:	15,357 S.F. (0.35 AC.)
MIN. LOT FRONTAGE REQUIRED:	80 FEET
MIN. LOT FRONTAGE PROVIDED:	90 FEET

SITE AREAS:
TOTAL SITE AREA: 116.52 AC
PROP. AREA IN R/W: 10.55 AC. (9.0%)
PROP. AREA IN LOTS: 31.7. AC. (27.2%)

PROP. AREA IN FUTURE
AMANDA DRIVE EXTENSION 0.77 AC.

COMMON OPEN SPACE:	13.59 AC. (11.7%)
AREA #1:	1.15 AC.
AREA #2:	0.15 AC.
AREA #3:	0.95 AC.
AREA #4:	4.35 AC.
AREA #5:	0.31 AC.
AREA #6:	0.87 AC.
AREA #7:	0.15 AC.
AREA #8:	0.62 AC.
AREA #9:	2.37 AC.
AREA #10:	1.27 AC.
AREA (IN EASEMENT)	1.40 AC.

REQUIRED CONSERVATION LAND:	58.26 AC. (50%)
PROVIDED CONSERVATION LAND:	60.17 AC. (51.6 %)
AREA #1:	18.82 AC.
AREA #2:	23.35 AC.
AREA #3:	18.00 AC.

APPROXIMATE PROVIDED CONSERVATION LAND AREA TYPE	
FOREST LANDS:	38.56 A.C
PONDS:	0.78 AC.
WETLANDS:	6.43 AC.
DUKE POWER EASEMENT:	5.58 AC.
MEADOW/OPEN FIELD/FARM LANDS:	8.82 AC.

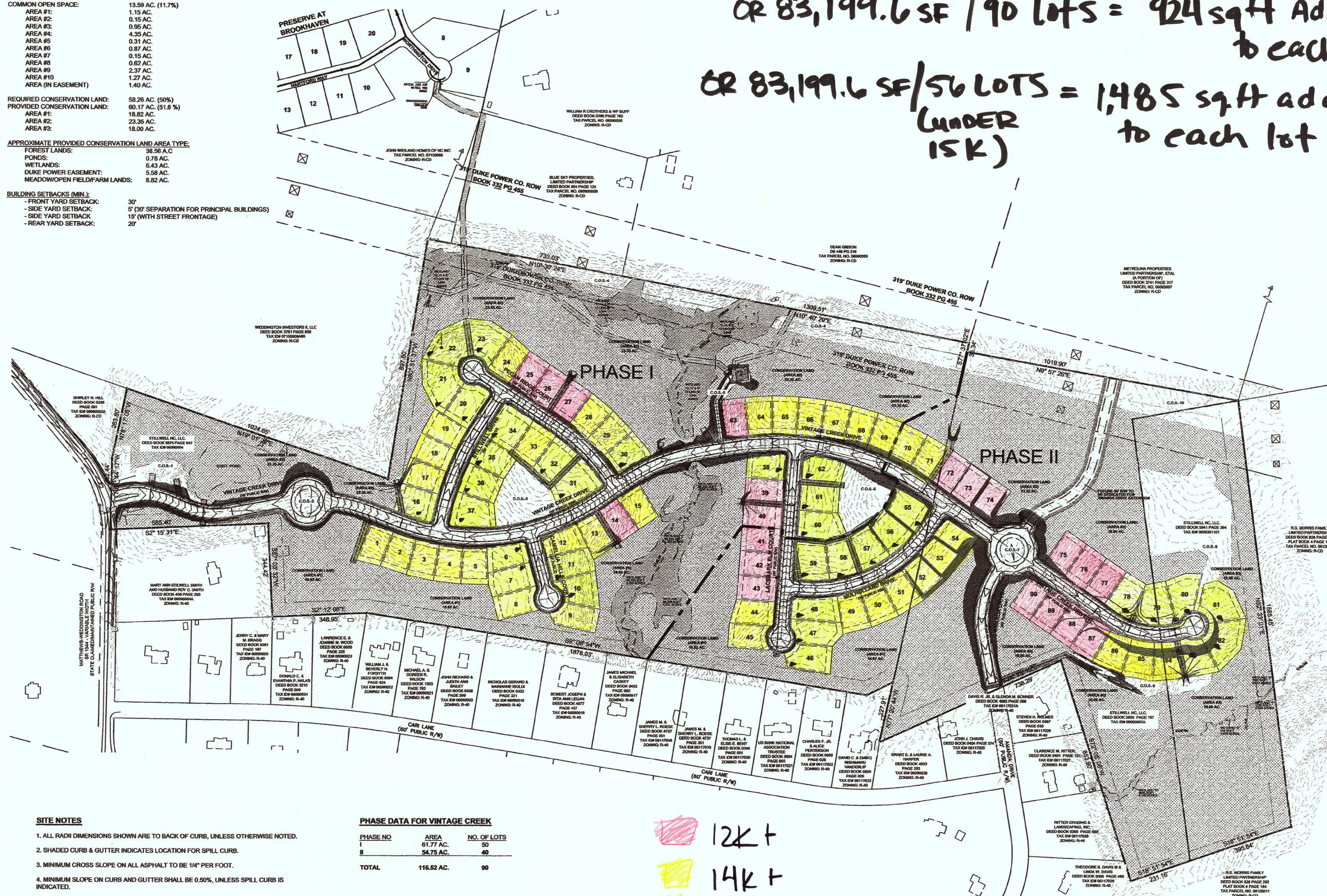
BUILDING SETBACKS (MIN.):

- FRONT YARD SETBACK:	30'
- SIDE YARD SETBACK:	5' (30' SEPARATION FOR PRINCIPAL BUILDINGS)
- SIDE YARD SETBACK:	15' (WITH STREET FRONTAGE)
- REAR YARD SETBACK:	20'

VINTAGE CREEK DRIVE	4,381 LF
STILLWELL DRIVE	586 LF
CAMELLIA HILLS COURT	295 LF
PECAN RIDGE COURT	726 LF
LACEBARK ELM COURT	755 LF
MULHOLAND DRIVE	720 LF
<u>AMANDA DRIVE (EXTENSION)</u>	<u>807 LF</u>
TOTAL	8,270 LF




* MEASUREMENTS TAKEN FROM CENTERLINE OF THE STREET BEGINNING AT THE INTERSECTING STREET RIGHT-OF-WAY TO THE END OF THE STREET PAVEMENT.

**** ALL STREETS SHALL BE PUBLIC AND ARE PROPOSED FOR ACCEPTANCE INTO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION ROADWAY SYSTEM.**



1. ALL RADII DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
2. SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
3. MINIMUM CROSS SLOPE ON ALL ASPHALT TO BE 1/4" PER FOOT.
4. MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 0.50%, UNLESS SPILL CURB IS INDICATED.
5. ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
6. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
7. NO OBSTRUCTIONS, PLANTINGS, OR FENCINGS SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SIDE) AND SANITARY SEWER EASEMENTS.
8. ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3 PSI STRENGTH AT 28 DAYS.
9. LIGHTING PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
10. IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
11. SIGNAGE & ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
12. 10' x 10' SIGHT TRIANGLES TO BE LOCATED AT EACH INTERSECTION (TYP.).

<u>PHASE NO</u>	<u>AREA</u>	<u>NO. OF LOTS</u>
I	61.77 AC.	50
II	54.75 AC.	40
TOTAL	116.52 AC.	90

 12k +
 14k +
 15k +

ENGINEERING FIRM:
ADDRESS:

PHONE:
FAX:
CONTACT:

DEVELOPER:
ADDRESS:

PHONE:
CONTACT:
EMAIL:

REVIEW AGENCY:
ADDRESS:

PHONE:
FAX:

ESP ASSOCIATES, P.A.
3475 LAKEMONT BLVD
FORT MILL, SC 29708
(803) 802-2440
(802) 802-2515
DANIS SIMMONS, PE

STILLWELL NC, LLC.
1355 GREENWOOD CLIFF - SUITE 3000
CHARLOTTE, NC 28204
(704) 731-0116
ERIC SMITH
ESMITH@CENTERLINEHOMES.COM

TOWN OF WEDDINGTON
1924 WEDDINGTON ROAD
WEDDINGTON, NC 281
704-846-2709
704-844-6377

90' WIDE LOT TYPICAL

1.91 AC OF EXTRA CONSERVATION

OR 83,199.6 SF / 90 lots = 924 sq ft Added to each lot

OR 83,199.6 SF / 56 LOTS = 1,485 sq ft added (UNDER 15K) to each lot

ESP Associates, P.A.
P.O. Box 7030
Charlotte, NC 28241
3475 Lakemont Blvd.
Fort Mill, SC 29708
803-562-5461
www.espassociates.com

NO.	DATE	REVISION	BY
1	02/11/13	UPDATED STORM DRAINAGE	MTK
2	02/19/13	REVISED PER TOWN OF WEDDINGTON 1ST SUBMITTAL COMMENTS	MTK
3	02/26/13	REVISED TO REMOVE IMPLE SHADE CIRCLE & FIO LEAF CIRCLE	MTK
4	04/16/13	PER AGENCY REVIEW COMMENTS	MTK
4	08/30/13	PER AGENCY REVIEW & CLIENT COMMENTS	MTK

OVERALL PRELIMINARY PI AT

VINTAGE CREEK

STILLWELL NC, LLC
WEDDINGTON, NC. SANDY RIDGE TOWNSHIP

PROJECT INFORMATION	
PROJECT MANAGER:	DES
DESIGNED BY:	MTK
DRAWN BY:	MTK
PROJECT NUMBER:	ZI05.400
ORIGINAL DATE:	01/21/2017
SHEET:	

C-2.0

STAKING AND MATERIALS NOTES

- ALL DIMENSIONS ARE TO BACK OF CURB OR CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL BACK OF CURB RADI AT ROADWAY INTERSECTIONS SHALL BE 28'-FEET UNLESS OTHERWISE NOTED.
- ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ALL ASPHALT PAVING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- STOP SIGNS SHALL BE R1-1, 30"x30".
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- CURB AND GUTTER VARIES AT CATCH BASIN LOCATION. SEE DETAILS 1,2/C-908 FOR CATCH BASIN PLACEMENT AND CURB TRANSITIONS.
- STREET CONSTRUCTION MATERIALS AND CONSTRUCTION STANDARDS SHALL MEET NC DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND ROADWAY STANDARD DRAWINGS AS REVISED JANUARY 2012 (AND AS SUBSEQUENTLY AMENDED), EXCEPT WHERE TOWN OF WEDDINGTON STANDARDS ARE MORE STRINGENT.
- ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MOST CURRENT NCDENR AND UNION COUNTY STANDARDS. EROSION CONTROL MEASURES SHALL BE REMOVED AT PROJECT COMPLETION WHEN DEEMED NO LONGER NECESSARY BY THE ENGINEER. ALL GRADED AREAS NOT UNDER PAVEMENT AND WITHIN THE RIGHT-OF-WAY OR EASEMENTS SHALL BE PREPARED, FERTILIZED AND LIMED, SEED, AND MULCHED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- ALL DRAINAGE STRUCTURES AND PIPE SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
- IF REQUIRED BY THE TOWN, COMPACTION TESTS SHALL BE MADE BY AN INDEPENDENT TESTING LAB AT OWNER'S EXPENSE.
- PROOF ROLLING OF STREET SUBGRADE AND AGGREGATE BASE MATERIAL SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S ENGINEER USING AN OVER LOADED (ON-SITE) TRAILER DUMP WITH 22-25 TONS OF STONE, THIRD AXLE LIFTED. IF RAIN OCCURS BEFORE PLACING STONE ON SUBGRADE THAT HAS BEEN PROOFROLLED, OR IF RAIN OCCURS PRIOR TO PLACING ASPHALT ON STONE BASE THAT HAS BEEN PROOFROLLED, THE SUBGRADE AND STONE BASE MUST BE PROOFROLLED AGAIN. THE ENGINEER SHALL PROVIDE WRITTEN VERIFICATION TO THE TOWN THAT THE SUBGRADE AND AGGREGATE BASE MATERIAL MEET THE DENSITY REQUIREMENTS AS SPECIFIED. FAILURE TO PROVIDE ENGINEER'S VERIFICATION OF THE SUBGRADE AND STONE BASE COURSE COMPACTION COULD RESULT IN DELAY OF FINAL ACCEPTANCE OF THE DEVELOPMENT BY THE TOWN.
- THE FINAL LIFT OF ASPHALT PAVEMENT SHALL NOT BE PLACED UNTIL AFTER 80% OF HOME SITES ARE DEVELOPED. THE FINAL LIFT OF PAVEMENT SHALL NOT BE PLACED FOR STREETS THAT WILL BE USED TO ACCESS FUTURE PHASES UNTIL THOSE PHASES REACH 80% BUILD-OUT.
- FOR ROADS THAT ARE TO BE PRIVATELY MAINTAINED, A REPRESENTATIVE OF THE TOWN MUST BE PRESENT FOR ALL PROOFROLLING AND ASPHALT PAVING OPERATIONS.
- PRIOR TO FINAL ACCEPTANCE, THE DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTING ALL PROBLEMS ASSOCIATED WITH THE PROJECT, INCLUDING THOSE ITEMS NOT NECESSARILY COVERED BY THE PLANS, TO INSURE THE SATISFACTORY COMPLETION OF THE TOTAL PROJECT.

ZONING CODE SUMMARY

DEVELOPER/APPLICANT: MI HOMES OF CHARLOTTE, LLC
5350 SEVENTY-SEVEN DRIVE
SUITE 100
CHARLOTTE, NC 28217

OWNER(S): PIN: 06120012, 06120021
PATRICIA ANN NEAL & KAREN
GODWIN, TRUSTEES

PIN: 06120012A
WANDA MORRIS MOBRAY

SITE ACREAGE: 117.64± ACRES

ZONING: RCD/R40

EXISTING USE: AGRICULTURAL/VACANT

PROPOSED USE: SINGLE FAMILY DETACHED

MAX. DENSITY: 71 LOTS (40,000 SF YIELD)

MAX. LOT COUNT: 71 LOTS (ALLOWABLE)

LOTS PROVIDED: 71

MAX. BUILDING HEIGHT: 35'

FRONT YARD SETBACK: 20'

REAR YARD SETBACK: 30'

SIDE YARD SETBACK: 5'

CONSERVATION AREA: AREA REQUIRED: 58.82 ACRES (50%)
AREA PROVIDED: 70.04 ACRES (60%)

SITE DEVELOPMENT SUMMARY

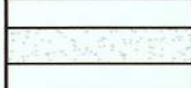



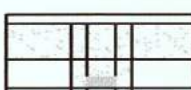
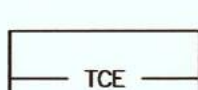
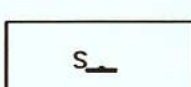

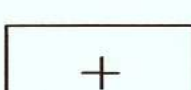


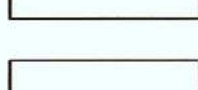

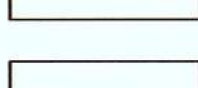

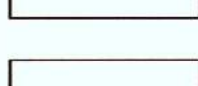
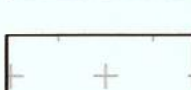

TOTAL LOT AREA: 30.88± ACRES
COMMON OPEN SPACE: 6.64± ACRES
PRIMARY CONSERVATION: 14.89± ACRES
SECONDARY CONSERVATION: 55.15± ACRES
PUBLIC R/W DEDICATION: 10.08± ACRES

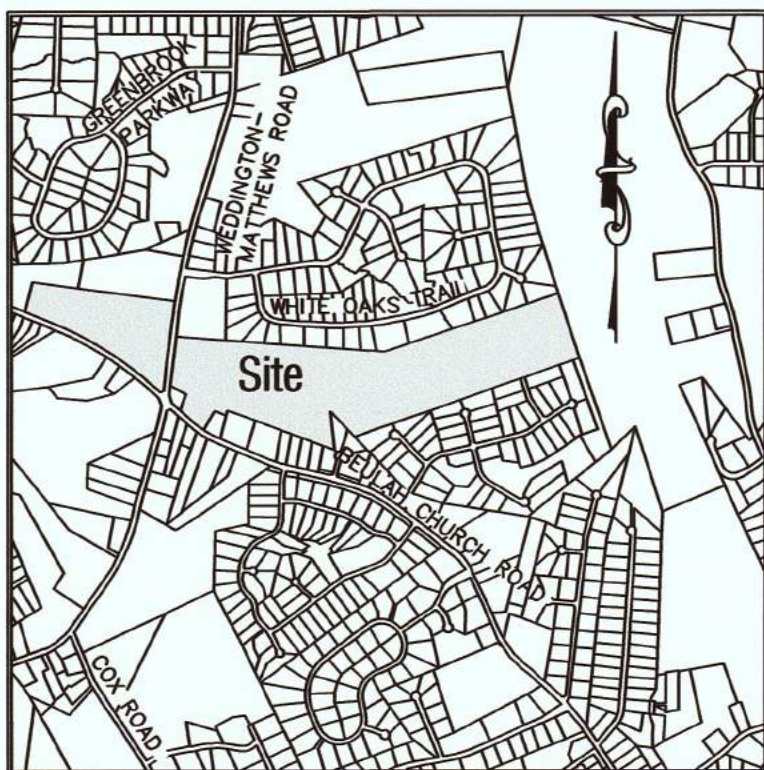
SITE ACREAGE: 117.64± ACRES

LOT SUMMARY

PHASE	SITE	QTY.
WEST:	110' X 130'	20
EAST:	95' X 150'	32
	110' X 175'	7
	110' X 150'	12
TOTAL:		71 LOTS

LEGEND

SYMBOL	DETAIL		
	PROPOSED SIDEWALK	4/C-904	 SANITARY SEWER EASEMENT -/-
	PROPOSED ACCESSIBLE RAMP	5,6,7/C-904	 SANITARY SEWER EASEMENT (FUTURE) -/-
	PROPOSED ACCESSIBLE RAMP	5,6/C-904	 TEMPORARY CONSTRUCTION EASEMENT -/-
	PROPOSED STOP SIGN	-/-	 TEMPORARY CONSTRUCTION EASEMENT (FUTURE) -/-
	PROPOSED STREET SIGN	-/-	 STORM DRAINAGE EASEMENT -/-
	PROPOSED 2'-0" VALLEY CURB	3/C-908	 PUBLIC ACCESS EASEMENT -/-
	PROPOSED 2'-6" CURB & GUTTER	3/C-908	 PUBLIC SIDEWALK & UTILITY EASEMENT -/-
	EXISTING WETLANDS	-/-	 PUBLIC STORM DRAINAGE EASEMENT -/-
	PROPOSED STORMWATER MANAGEMENT AREA	SHT. C-910 TO SHT. C-913	 POST CONSTRUCTION CONTROL EASEMENT -/-



VICINITY MAP N.T.S.

SURVEY DISCLAIMER
BOUNDARY, PHYSICAL & TOPOGRAPHIC SURVEY ISSUE DATE: OCTOBER 16, 2015. PROVIDED BY LAWRENCE ASSOCIATES, 106 W. JEFFERSON STREET, MONROE, NC 28112, (704) 289-1013.



ColeJenest & Stone

Shaping the Environment
Realizing the Possibilities

Land Planning
+ Landscape Architecture
+ Civil Engineering
+ Urban Design

200 South Tryon Street, Suite 1400
Charlotte, North Carolina 28202
p: 704.376.1555 f: 704.376.7851
url: www.colejeneststone.com

**M/I HOMES OF
CHARLOTTE, LLC**
5350 SEVENTY-SEVEN CENTER
DRIVE, SUITE 100
CHARLOTTE, NC 28217

CARRINGTON

WEDDINGTON-MATTHEWS ROAD
WEDDINGTON, NC 28104

OVERALL
DIMENSION
CONTROL PLAN

Project No.

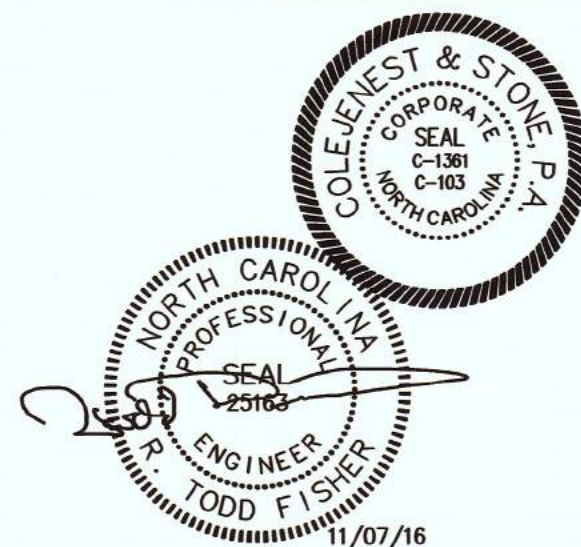
4411

Issued

06/17/16

Revised

07/18/16 - REVISED PER UNION COUNTY PUBLIC WORKS COMMENTS
08/05/16 - REVISED PER NCDENR COMMENTS
08/23/16 - REVISED PER TOWN OF WEDDINGTON COMMENTS
08/23/16 - REVISED PER NCDOT COMMENTS
11/07/16 - REVISED PER UNION COUNTY PUBLIC WORKS COMMENTS
11/07/16 - REVISED PER NCDOT COMMENTS
11/07/16 - REVISED PER TOWN OF WEDDINGTON COMMENTS



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND UNION COUNTY PUBLIC WORKS SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

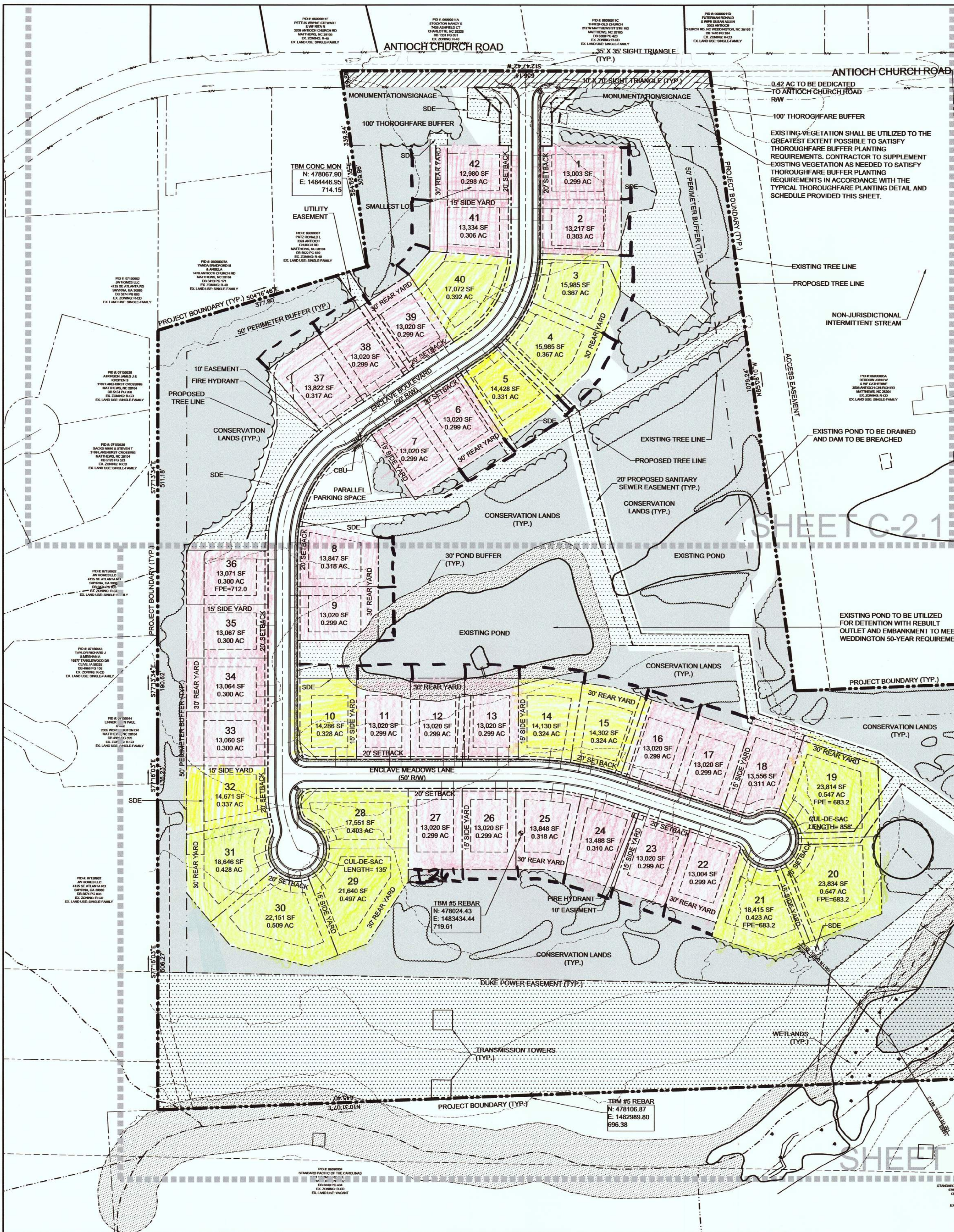
SCALE: 1"=300'

0 150' 300' 600'

C-200

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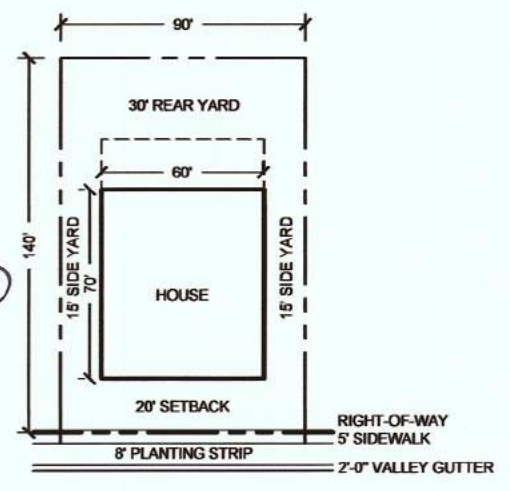
DEVELOPMENT SUMMARY

PID #: 06090008A, 06090008B, 06090008C, 06090008D
COMBINED PARCEL SIZE: 53.52 ACRES
0.42 ACRES TO BE DEDICATED TO ANTIOCH CHURCH ROAD R/W
REMAINING ACREAGE = 53.10 ACRES
DEVELOPER: WLV, LLC
811 CORAL RIDGE DR
CORAL SPRING, FL 33071
EXISTING ZONING: R-CD
EXISTING USE: SINGLE-FAMILY, VACANT
PROPOSED USE: CONVENTIONAL SUBDIVISION
SUPPLEMENTAL REGULATIONS:
MINIMUM LOT SIZE: 12,000 SF
MAXIMUM LOT SIZE: NONE
MINIMUM LOT WIDTH: 80' @ BUILDING LINE
FRONT YARD SETBACK: 20 FEET
SIDE YARD SETBACK: 15 FEET (25 FEET ON CORNER LOTS)
REAR YARD SETBACK: 30 FEET
BUILDING HEIGHT: 35 FEET MAXIMUM
SMALLEST LOT: 13,003 SF (0.299 AC)

MINIMUM REQUIRED CONSERVATION LAND:
SITE SQUARE FOOTAGE: 2,331,036 SF
50% GROSS AREA: 1,165,518 SF
PROPOSED CONSERVATION LAND: 1,275,608 SF
29.28 ACRES (55.1%)
MAXIMUM LOT YIELD:
CONVENTIONAL SUBDIVISION: 42 LOTS
PROPOSED LOTS: 42 LOTS
BUFFERING ALONG THOROUGHFARES:
WHERE SIDE AND REAR LOT LINES ABUT ALONG A MAJOR OR MINOR THOROUGHFARE AS DESIGNATED ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION (MUMPO) THOROUGHFARE PLAN AS ADOPTED BY THE TOWN, THE SUBDIVIDER SHALL PROVIDE A NATURAL BUFFER BETWEEN THE LOT LINES PARALLEL TO THE THOROUGHFARE AND THE THOROUGHFARE ROAD RIGHT-OF-WAY. THE NATURAL BUFFER SHALL MATERIALLY SCREEN ALL PRINCIPAL AND ACCESSORY USES FROM PUBLIC VIEW FROM THE THOROUGHFARE. THE BUFFER SHALL CONSIST OF A NATURAL PLANTING OR A BERM WITH NATURAL PLANTING. ANY WALLS, FENCES OR OTHER CONSTRUCTED DEVICES SHALL BE ALLOWED WITHIN THE BUFFER AREA, AND SHALL BE APPROVED BY THE ZONING ADMINISTRATOR.
BUFFER WIDTH REQUIREMENTS:
CONSERVATION DISTRICT # 100 FOOT BUFFER WIDTH
9 TREES AND 20 SHRUBS PER 100 LINEAR FEET
UTILITIES: CONNECTIONS TO UNION COUNTY PUBLIC WATER AND SEWER TO BE PROVIDED.
CONSERVATION LAND/OPEN SPACE:
THE FUTURE OWNERSHIP OF RECREATION AND OPEN SPACE LANDS IN THE PROPOSED SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE ENCLAVE AT WEDDINGTON HOMEOWNERS ASSOCIATION.
SIGNAGE/MONUMENTATION:
SUBDIVISION WALL AND MONUMENT TO BE APPROVED BY PLANNING BOARD.

CONSERVATION LAND CALCULATIONS

ANTIOCH CHURCH ROAD WEST	SQUARE FEET	ACRES
SQUARE FEET	2,331,036	53.10
UNDISTURBED OPEN SPACE SF	925,614	21.25
UTILITY EASEMENTS SF	619,378	14.22
FIFTY PERCENT	309,689	7.11
REQUIRED CONSERVATION LANDS (50%)	1,156,518	26.55
CONSERVATION LANDS PROVIDED	1,235,303	28.36
PERCENTAGE	53.4%	53.4%

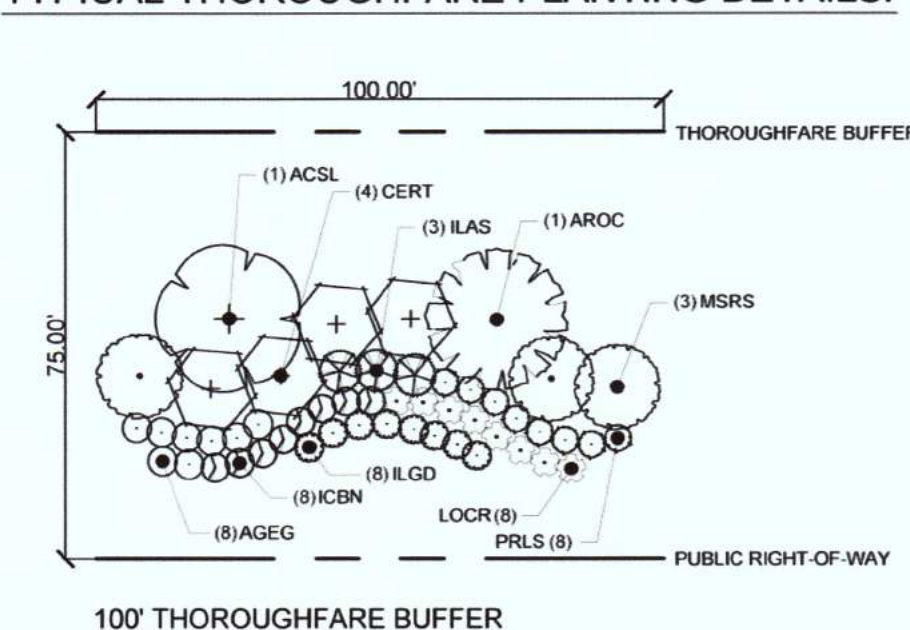


GENERAL NOTES:
1. ALL DRAINAGE STRUCTURES AND PIPE SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
2. IF REQUIRED BY THE TOWN, COMPACTION TESTS SHALL BE MADE BY AN INDEPENDENT TESTING LAB AT THE OWNER'S EXPENSE.
3. PROOF ROLLING OF STREET SUBGRADE AND AGGREGATE BASE MATERIAL SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S ENGINEER USING AN OVER-LOADED (ON-SITE) TRIAXIAL DUMP WITH 22-25 TONS OF STONE, THIRD AXLE LIFTED. IF RAIN OCCURS BEFORE PLACING STONE ON SUBGRADE THAT HAS BEEN PROOFROLLED, THE SUBGRADE AND STONE BASE MUST BE PROOFROLLED AGAIN. THE ENGINEER SHALL PROVIDE WRITTEN VERIFICATION TO THE TOWN THAT THE SUBGRADE AND AGGREGATE BASE MATERIAL MEET THE DENSITY REQUIREMENTS AS SPECIFIED. FAILURE TO PROVIDE ENGINEER'S VERIFICATION OF THE SUBGRADE AND STONE BASE COURSE COMPACTION COULD RESULT IN DELAY OF FINAL ACCEPTANCE OF THE DEVELOPMENT BY THE TOWN.
4. THE FINAL LIFT OF ASPHALT PAVEMENT SHALL NOT BE PLACED UNTIL AFTER 80% OF HOME SITES ARE DEVELOPED. THE FINAL LIFT OF PAVEMENT SHALL NOT BE PLACED FOR STREETS THAT WILL BE USED TO ACCESS FUTURE PHASES UNTIL THOSE PHASES REACH 80% BUILD-OUT.
5. FOR ROADS THAT ARE TO BE PRIVATELY MAINTAINED, A REPRESENTATIVE OF THE TOWN MUST BE PRESENT FOR ALL PROOFROLLING AND ASPHALT PAVING OPERATIONS.
6. PRIOR TO FINAL ACCEPTANCE, THE DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTING ALL PROBLEMS ASSOCIATED WITH THE PROJECT, INCLUDING THOSE ITEMS NOT NECESSARILY COVERED BY THE PLANS, TO ENSURE THE SATISFACTORY COMPLETION OF THE TOTAL PROJECT.
7. ALL CONSTRUCTION MATERIALS AND CONSTRUCTION STANDARDS SHALL MEET N.C. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND ROADWAY STANDARD DRAWINGS AS REVISED JANUARY 2012 (AND AS SUBSEQUENTLY AMENDED) EXCEPT WHERE SHOWN OTHERWISE. WEDDINGTON STANDARDS ARE MORE STRINGENT.
8. ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MOST CURRENT NCDENR AND UNION COUNTY STANDARDS. EROSION CONTROL DEVICES SHALL BE REMOVED AT PROJECT COMPLETION WHEN DEEMED NO LONGER NECESSARY BY THE ENGINEER. ALL GRADED AREAS NOT UNDER PAVEMENT AND WITHIN THE RIGHT-OF-WAY OR EASEMENTS SHALL BE PREPARED, FERTILIZED AND LIMITED, SEED, AND MULCHED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. THE FUTURE OWNERSHIP AND MAINTENANCE FOR CONSERVATION LANDS AND OPEN SPACE SHALL BE PROVIDED BY THE ENCLAVE AT WEDDINGTON HOMEOWNERS ASSOCIATION.
10. SUBDIVISION WALL AND MONUMENT SIGNAGE SHALL REQUIRE APPROVAL OF THE TOWN OF WEDDINGTON PLANNING BOARD.

PLANT SCHEDULE 100' THOROUGHFARE BUFFER

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HGT
	AROC	1	Acer rubrum 'October Glory'	October Glory Red Maple	B & B	3"Cal	14'-16'
	ACSL	1	Acer saccharum 'Legacy'	Legacy Sugar Maple	B & B	3"Cal	14'-16'
	CERT	4	Cercis canadensis texensis 'Texas White'	Texas White Redbud	B & B	2.5"Cal	10'-12'
	ILAS	3	Ilex x attenuata 'Savannah'	Savannah Holly	B & B		6'-8'
	MSRS	3	Magnolia stellata 'Royal Star'	Royal Star Magnolia	B & B	2"Cal	8'-10'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	O.C.
	AGEG	8	Abelia x grandiflora 'Edward Goucher'	Edward Goucher Abelia	5 gal	24"-30"	5' O.C.
	ICBN	8	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gal	30"-36"	5' O.C.
	ILGD	8	Ilex glabra 'Densa'	Inkberry Holly	5 gal	30"-36"	5' O.C.
	LOCR	8	Loropetalum chinense 'Ruby'	Ruby Loropetalum	5 gal	24"-30"	5' O.C.
	PRLS	8	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	5 gal	30"-36"	5' O.C.

TYPICAL THOROUGHFARE PLANTING DETAILS:



LEGEND
CONSERVATION LANDS

PARCELS TO BE COMBINED	PARCEL NUMBER	OWNER	MAILING ADDRESS	CITY	STATE	ZIP	CONTACT	PHONE
	06090005	WLV LLC	825 CORAL RIDGE DR	CORAL SPRINGS	FL	33071	ROB STIEGELE	(954) 324-1738
	06090005B	BLUE SKY PROPERTIES LIMITED PARTNERS	3410 ANTIOCH CHURCH RD	MATTHEWS	NC	28105		
	06090008	CROTHERS WILLIAM R & WF BUFF H	3410 ANTIOCH CHURCH RD	MATTHEWS	NC	28104		
	06090008A	BLUE SKY PROPERTIES LIMITED PARTNERS	3410 ANTIOCH CHURCH RD	MATTHEWS	NC	28105		

THE ENCLAVE AT WEDDINGTON
SINGLE FAMILY SUBDIVISION
WLV, LLC, TOWN OF WEDDINGTON, SANDY RIDGE TOWNSHIP, UNION COUNTY, NC
OVERALL SITE PLAN

REVISIONS:
10/21/15 - UNION COUNTY RED LINES
11/17/15 - CD SUBMITTAL PACKAGE
12/08/15 - REVISIONS PER NCDOT COMMENTS
01/06/16 - PER TOWN NCDOT UCFW COMMENTS
01/25/16 - REVISIONS PER US COMMENTS

DATE: SEPTEMBER 18, 2015
DESIGNED BY: BBB
DRAWN BY: BBB
CHECKED BY: RK
SCALE: 1"=40'
PROJECT #: 101209
SHEET #:
C-2.0

LandDesign
223 N Graham Street, Charlotte, NC 28202
V: 704.333.0325 F: 704.332.1246
www.LandDesign.com
NC Reg. Firm License: C-0658



01/27/2016

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson Town Administrator/Planner

DATE: October 23, 2017

SUBJECT: Harlow's Crossing (Formerly Carrington Subdivision) - Final Plat Phase 1 Map 1

M/I homes is seeking re-approval of their final plat application for 20 of their 71 lots on 117.64 acres located at the northeast and northwest corners of Weddington-Matthews Road and Beulah Church Road/Hemby Road intersection.

The Town Council approved the final plat application for Carrington phase 1; map 1 and 2 on June 12, 2017 with the following conditions:

- The emergency access road, gate, and fencing shall be constructed and maintained by the Carrington HOA consistent with the CCRs.
- Bond Estimates shall be approved by USI.
- Performance and Maintenance Agreements shall be reviewed by the Town Attorney.
- CCR's shall be reviewed by the town attorney.
- 15 evergreen trees, 8-10' tall shall be planted in the tree save area that was disturbed along the Waybridge Subdivision border. The plants shall be installed by January 2018 and approved by the Town Planner.
- The 500' line of site line shall be depicted on the final plat at both entrances.

Per Section 46-45(d)(16) of the Weddington Code of Ordinances - The approved final plat shall be filed within 90 days of approval; otherwise such approval shall be null and void, and the applicant subdividing must begin the procedure for approval from the sketch plan stage.

The applicant wasn't able to record the final plat within the timeframe given and is therefore seeking re-approval of the attached Maps. At this time, they are only platting lots on the northwest side and utility easements on the northeast side.

The Planning Board reviewed the final plat in October and requested that the vicinity map is updated to reflect the mapped areas. This was completed by the applicant.

Staff recommends approval of the final plat with the conditions outlined above.

Tax #06-120-0120
All Saints Anglican
Church Charlotte
Db. 5883, Pg. 409

Tax #06-120-012E
Alan T. Yount &
Cynthia S. Yount
Db. 379, Pg. 350

Tax #06-120-012H
Bobby F. Pope &
Janice M. Pope
Db. 5968, Pg. 269

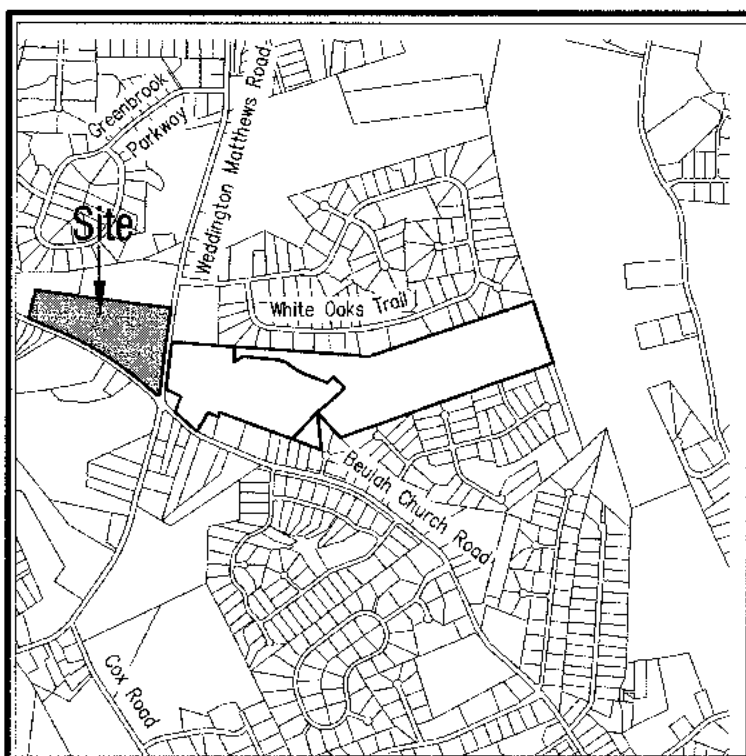


Notes:
10' x 70' and 35' x 35' Sight Triangles
located at all street intersections. (Typical)

Notes:
- Maintenance of all storm drainage easements as shown
on plat is the responsibility of the property owner or assigns
- The purpose of the storm drainage easement (SDE) is to
provide storm water conveyance. Buildings are not permitted
in the easement area. Any other objects which impede
storm water flow or system maintenance are also prohibited.

Note: Roadway Horizontal/Vertical Alignment and Grades
were taken from design plans, not asbuilt data.

Vicinity Map (NTS)



State Plane Coordinate values were
obtained using a Topcon HiPer GPS
using Virtual Reference Stations

Ownership of all Common Open Space (COS) and Conservation Land shall
be retained by MI Homes of Charlotte, LLC until such time as a
Homeowners Association (HOA) entity has been created. Ownership will be
conveyed to that HOA no later than the closing of the last home.

Site Data:

Parcel ID: 06-120-012

Zoning: R-CD/R-40 (Town of Weddington)
Total Lots: 20
Smallest Lot: Lot 2 (13917 sf.)

Street Data: 2,217 LF

Total Area This Map: 26.55 Ac.
Area in New Right of way: 3.01 Ac.
Area in Existing Right of way: 2.00 Ac.
Area in Lots: 8.69 Ac.
Area in COS: 1.13 Ac.
Area in Conservation Area\COS: 11.72 Ac.

Yard Requirements:

Front Yard Setback: 20' (Measured from Street R/W)
Side Yard Setback: 5' (30 feet separation for principal
buildings on adjacent lots, with no side
yard less than five feet.)
Side Street Setback: 15' (Corner lot; i.e., the lot fronting a
street that is not the "front yard" shall
be at least 15 feet.)

Rear Yard Setback: 30'
Max. Building Height: 35'

Owner Information:

M/I Homes of Charlotte, LLC
5250 Seventy-Seven Center Drive
Suite 100
Charlotte, NC 28217
Ph. 704-579-4571
Contact: Marty Davis

Engineer:

ColeJenest & Stone
200 South Tryon Street
Suite 1400
Charlotte, NC 28202
Ph. 704-974-4519
Contact: Joel C. Causey, PE

**LAWRENCE
ASSOCIATES**

106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

Final Record Plat of
Harlow's Crossing - Phase 1 - Map 1

Owner: MI Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Orig. scale: 1" = 100' Date: January 25, 2017

Sheet 1 of 5

REVISIONS

10-5-2017 JLH
10-10-2017 JLH

Drawn By: JLH

Job No. 3756-4047

Drawing file: 3756-4047 RM Phase 1 - Map 1 - Sht 1-2.dwg

Drawing no. 17/022

Flood Certification
I have examined the Flood Insurance Rate Map for Union County North Carolina, Community Panel Number 3710447600J, dated October 16, 2008 and hereby certify that this property is not located in a special flood hazard area as determined by the Federal Emergency Management Agency.

Use of land within a flood way or flood plain is substantially restricted by Article XXIV of the Union County Land Use Ordinance.

Certificate of Survey and Accuracy
State of North Carolina, Union County
I, F. Donald Lawrence, certify that this plot was drawn under my supervision from an actual survey made under my supervision (deed recorded in Book and Page as shown); that the boundaries not surveyed are clearly indicated as dashed lines drawn from adjoining owners deeds as shown; that the ratio of precision as calculated is 1:10,000 or better; that this plot was prepared in accordance with G.S. 47-30 as amended.
This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
Witness my original signature, registration number and seal this the

____ day of _____, A.D., 20____

DRAFT

F. Donald Lawrence, NCPLS L-1290

I, _____, a duly registered Professional Engineer, licensed in the State of North Carolina, do hereby certify that the drainage easements shown on this plot are sufficient to carry the 100 year storm runoff within the easement limits as shown.

N.C.P.E. # _____

Date: _____

(Signature and Seal)

Certificate of Ownership and Dedication

I hereby certify that I am the owner of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Weddington and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicated all streets, alleys, walks, and other sites and easements to public or private use as noted.

Date

Signature of owner(s)

Certificate of approval of the design and installation of streets, utilities, and other required improvements.

I hereby certify that all streets and other required improvements have been installed in as acceptable manner and according to NC Department of Transportation and/or Town of Weddington specifications and standards in the Harlow's Crossing Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Weddington have been given and received.

Mayor of the Town of Weddington, North Carolina Date

Certificate of Approval

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Weddington, North Carolina and that this plat has been approved by the Weddington Town Council for recording in the Office of the Register of Deeds of Union County, North Carolina.

This ____ day of _____, 2008.

Mayor of the Town of Weddington, North Carolina

NOTES

REBAR SET AT ALL CORNERS UNLESS NOTED OTHERWISE.

AREAS COMPUTED USING COORDINATE GEOMETRY.

THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. SURVEY SUBJECT TO FULL TITLE SEARCH.

THIS PROPERTY MAY BE SUBJECT TO RIGHT OF WAYS, EASEMENTS OR RESTRICTIONS EITHER RECORDED OR IMPLIED.

ALL ADJOINING PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".

ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES

LAWRENCE ASSOCIATES MAKES NO GUARANTEES TO THE COMPACTION OR TO THE NONEXISTENCE OF ADDITIONAL SPOILS AREAS.

BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.

STRUCTURES SHOWN ON ADJOINING PROPERTIES WERE TAKEN FROM ENGINEERING PLANS BY OTHERS AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LAWRENCE ASSOCIATES MAKES NO GUARANTEE TO THE ACCURACY OF THEIR LOCATION.

THE PROPERTY OWNER SHALL NOT CONSTRUCT OR PERMIT CONSTRUCTION OR PLACEMENT OF ANY TYPE STRUCTURE, PLANT TREES OR MAKE USE OF THE EASEMENT AREA IN ANY MANNER THAT WILL RESULT IN INTERFERENCE, INTERRUPTION OR IMPEDIMENT OF THE COUNTY'S EASEMENT AND INGRESS/EGRESS.

NCDOT Construction Standards Certification

I hereby certify that the streets on this plat designated as public are or will be in accordance with the minimum right of way and construction standards established by the Board of Transportation for acceptance on the State Highway System.

District Engineer _____ Date _____

State of North Carolina
County of Union

I, _____ Review Officer of Union County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Date _____ Review Officer _____

Curve & Line Table for Sheet 1 of 5

Curve Table				
Curve #	Length	Radius	CHORD BEARING	CHORD
C3	168.46	2303.19	N49°55'19"W	168.42
C4	199.80	3160.19	N55°00'55"W	199.76
C5	428.37	3303.58	N60°32'29"W	428.07
C6	432.26	3333.58	N60°32'29"W	431.96
C7	629.49	4178.87	N51°59'22"W	628.89
C8	47.00	30.00	N52°17'58"E	42.34
C9	42.70	275.00	N87°16'11"W	42.66
C10	34.78	25.00	S51°51'42"E	32.04
C11	184.89	255.00	N32°46'33"W	180.86
C12	7.05	255.00	N54°20'22"W	7.05
C13	39.50	255.00	N59°34'11"W	39.46
C14	102.69	255.00	N75°32'41"W	102.00
C15	109.43	255.00	S80°37'30"W	108.59
C16	41.11	255.00	S63°42'47"W	41.07
C17	28.70	25.00	S88°01'07"E	27.15
C18	17.75	250.00	N57°09'57"W	17.75
C19	100.06	250.00	N70°39'57"W	99.39
C20	5.96	25.00	S75°18'15"E	5.94
C21	15.07	25.00	S51°12'34"E	14.84
C22	113.87	50.00	S80°49'02"W	90.81
C23	127.32	50.00	S57°22'21"E	95.60

Curve Table				
Curve #	Length	Radius	CHORD BEARING	CHORD
C24	21.03	25.00	S73°46'25"W	20.41
C25	113.41	250.00	N69°08'06"W	112.44
C26	4.39	250.00	N53°38'07"W	4.39
C27	47.59	275.00	S60°05'23"E	47.53
C28	103.15	275.00	S75°47'34"E	102.54
C29	24.86	275.00	S89°07'41"E	24.86
C30	34.94	225.00	N87°16'11"W	34.90
C31	47.14	30.00	N37°48'29"W	42.44
C32	122.41	225.00	S70°43'05"E	120.91
C33	48.80	25.00	N37°46'38"E	41.41
C34	132.35	205.00	N36°38'13"W	130.06
C35	180.09	205.00	N80°17'56"W	174.36
C36	56.58	25.00	N9°42'04"E	45.25
C37	46.24	3290.19	N53°52'55"W	46.24
C38	129.77	3290.19	N55°24'52"W	129.76
C39	16.21	3290.19	N56°41'07"W	16.21
C40	49.05	3433.58	N57°14'09"W	49.05
C41	110.20	3433.58	N58°33'52"W	110.20
C42	110.47	3433.58	N60°24'21"W	110.47
C43	110.86	3433.58	N62°15'09"W	110.85
C44	64.64	3433.58	N63°43'00"W	64.64

Line Table		
Line #	Direction	Length
L1	S09°26'30"W	8.24
L2	S07°42'08"W	134.72
L3	N48°02'07"W	66.62
L4	N47°49'36"W	168.74
L5	N52°01'03"W	86.47
L6	N53°12'15"W	102.71
L7	N56°49'35"W	44.80
L8	N64°15'22"W	90.97
L9	N65°52'59"W	100.00
L10	N66°38'01"W	125.00
L11	N67°17'35"W	125.00
L12	N67°58'50"W	146.43
L13	N67°58'50"W	150.49
L14	N67°17'35"W	125.35
L15	N66°38'01"W	125.37
L16	N65°52'59"W	100.82
L17	N64°15'22"W	91.40
L18	N56°49'35"W	59.62
L19	N47°40'26"W	44.00
L20	S70°11'19"W	28.30

Line Table		
Line #	Direction	Length
L21	S70°11'19"W	22.49
L22	S07°59'28"W	51.57
L23	N06°52'14"E	41.29
L24	N06°50'35"E	90.25
L25	N06°55'13"E	71.61
L26	N07°17'57"E	98.06
L27	N07°10'31"E	67.22
L28	N07°14'25"E	100.15
L29	N07°14'58"E	52.81
L30	N07°25'12"E	48.76
L31	N07°15'39"E	57.26
L32	N07°01'26"E	52.87
L33	N06°51'58"E	50.96
L34	N07°13'55"E	53.83
L35	N07°04'19"E	42.43
L36	N07°25'48"E	49.48
L37	N07°34'13"E	50.81
L38	N08°08'37"E	48.03
L39	N08°08'37"E	48.03
L40	N07°34'13"E	50.94

Line Table		
Line #	Direction	Length
L41	N07°25'48"E	49.56
L42	N07°04'19"E	42.47
L43	N07°13'55"E	53.86
L44	N06°51'58"E	50.99
L45	N07°01'26"E	52.80
L46	N07°15'39"E	57.19
L47	N07°25'12"E	49.23
L48	S82°49'16"E	100.61
L49	N88°16'54"E	9.20
L50	N88°16'54"E	15.99
L51	S55°07'55"E	79.43
L52	S82°07'53"E	10.22
L53	S82°07'53"E	104.10
L54	N82°07'53"W	24.58
L55	N82°07'53"W	77.74
L56	S88°16'54"W	92.41
L57	S88°16'54"W	16.76
L58	N82°49'16"W	100.50
L59	N07°12'18"E	109.86
L60	N07°17'57"E	98.10

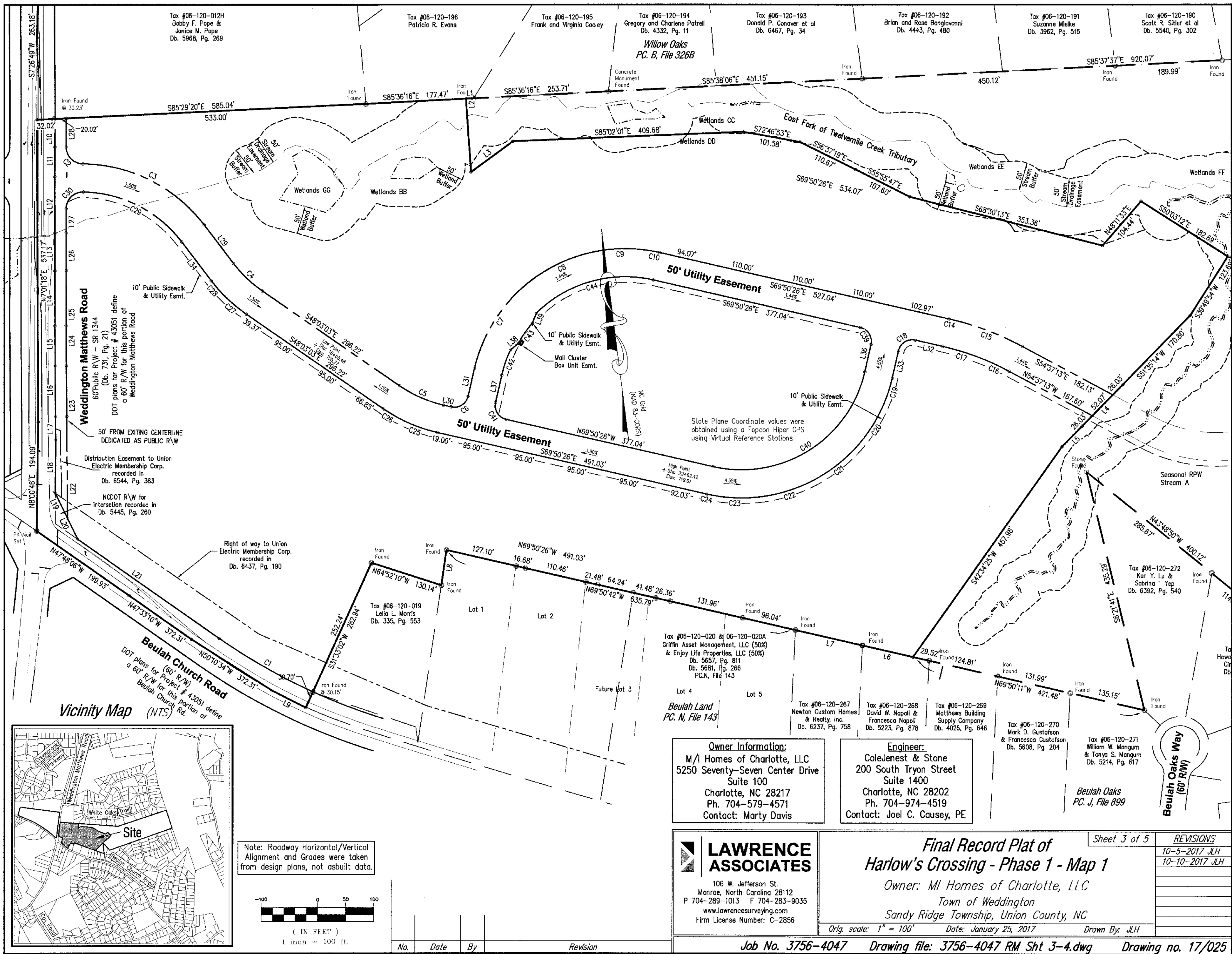
Line Table		
Line #	Direction	Length
L61	N06°55'13"E	71.69
L62	N06°50'35"E	90.27
L63	N06°52'14"E	41.09
L64	N07°59'28"E	51.48
L65	N07°24'16"E	10.39
L66	N55°07'55"W	108.94
L67	N74°25'19"W	21.19
L68	N55°07'55"W	29.76
L69	N35°50'31"W	21.19
L70	N55°07'55"W	98.21
L71	S56°49'35"E	44.80
L72	S64°15'22"E	46.41
L73	S65°52'59"E	63.60
L74	S65°52'59"E	39.09
L75	S66°38'01"E	126.60
L76	S67°17'35"E	126.53
L77	S67°58'50"E	12.21
L78	S64°15'22"E	46.41

Ownership of all Common Open Space (COS) and Conservation Land shall be retained by MI Homes of Charlotte, LLC until such time as a Homeowners Association (HOA) entity has been created. Ownership will be conveyed to that HOA no later than the closing of the last home.

Note: Roadway Horizontal/Vertical Alignment and Grades were taken from design plans, not asbuilt data.

LAWRENCE ASSOCIATES 106 W. Jefferson St. Monroe, North Carolina 28112 P 704-289-1013 F 704-283-9035 www.lawrencesurveying.com Firm License Number: C-2856	Final Record Plat of Harlow's Crossing - Phase 1- Map 1 Owner: MI Homes of Charlotte, LLC Town of Weddington Sandy Ridge Township, Union County, NC	Sheet 2 of 5	REVISIONS 10-10-2017 JLH
	Orig. scale: _____ Date: January 25, 2017 Drawn By: JLH		

Job No. 3756-4047 Drawing file: 3756-4047 RM Phase 1 - Map 1 - Sht 1-2.dwg Drawing no. 17/022



Owner Information:
M/I Homes of Charlotte, LLC
5250 Seventy-Seven Center Drive
Suite 100
Charlotte, NC 28217
Ph. 704-579-4571
Contact: Marty Davis

Engineer:
ColeJenest & Stone
200 South Tryon Street
Suite 1400
Charlotte, NC 28202
Ph. 704-974-4519
Contact: Joel C. Causey, PE

LAWRENCE ASSOCIATES
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Firm License Number: C-2856

Final Record Plat of
Harlow's Crossing - Phase 1 - Map 1
Owner: M/I Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC
Orig. scale: 1" = 100' Date: January 25, 2017 Drawn By: JLH

Sheet 3 of 5

REVISIONS
10-5-2017 JLH
10-10-2017 JLH

Job No. 3756-4047 Drawing file: 3756-4047 RM Sht 3-4.dwg Drawing no. 17/025

No.	Date	By	Revision

Line & Curve Table for Sheet 3 of 5

Line Table		
Line #	Direction	Length
L1	S85°17'36"E	13.75
L2	S03°12'43"W	130.05
L3	N60°59'21"E	92.19
L4	S51°35'14"W	104.14
L5	S51°35'14"W	51.23
L6	N69°51'42"W	92.34
L7	N69°49'02"W	121.67
L8	S15°42'23"W	63.16
L9	N56°01'34"W	67.16
L11	S07°14'58"W	52.72
L12	S07°14'25"W	100.11
L13	S07°10'31"W	67.25
L14	S07°17'57"W	97.92
L15	S06°55'13"W	71.37
L16	S06°50'35"W	90.23
L17	S06°52'14"W	41.31
L18	S07°42'05"W	94.93
L19	S18°44'32"E	49.45
L20	S18°44'32"E	41.85
L21	S47°40'26"E	306.80

Line Table		
Line #	Direction	Length
L22	N06°52'14"E	180.84
L23	N06°50'35"E	90.20
L24	N06°55'13"E	71.29
L25	N07°17'57"E	97.88
L26	N07°10'31"E	67.26
L27	N07°14'25"E	42.71
L28	N07°22'55"E	50.56
L29	S29°58'45"E	86.43
L30	S69°50'26"E	13.99
L31	N20°09'34"E	50.00
L32	N69°50'26"W	50.00
L33	S20°09'34"W	50.00
L34	N29°58'45"W	86.43
L36	S20°09'34"W	50.00
L37	N20°09'34"E	50.00
L38	N55°54'06"E	18.97
L39	N28°51'15"E	19.01

Curve Table				
Curve #	Length	Radius	CHORD BEARING	CHORD
C1	191.81	1040.10	S52°57'25"E	191.54
C2	46.81	30.00	S37°18'52"E	42.20
C3	249.73	275.00	N55°59'42"W	241.24
C4	70.97	225.00	S39°00'54"E	70.67
C5	85.57	225.00	S58°56'45"E	85.05
C6	39.27	25.00	N65°09'34"E	35.36
C7	194.53	275.00	S40°25'29"W	190.50
C8	110.75	275.00	S72°13'37"W	110.00
C9	110.75	275.00	N84°41'57"W	110.00
C10	15.94	275.00	N71°30'05"W	15.94
C11	181.22	450.00	S72°13'37"W	180.00
C12	181.22	450.00	N84°41'57"W	180.00
C13	26.09	450.00	N71°30'05"W	26.08
C14	7.03	525.00	N69°27'26"W	7.03
C15	132.44	525.00	N61°50'49"W	132.09
C16	50.87	475.00	N57°41'17"W	50.84
C17	75.32	475.00	N65°17'54"W	75.24
C18	39.27	25.00	S65°09'34"W	35.36
C19	47.08	275.00	N25°03'50"E	47.02
C20	95.48	275.00	N39°54'54"E	95.00

Curve Table				
Curve #	Length	Radius	CHORD BEARING	CHORD
C21	95.48	275.00	N59°48'28"E	95.00
C22	95.48	275.00	N79°42'03"E	95.00
C23	95.48	275.00	S80°24'23"E	95.00
C24	2.97	275.00	S70°09'01"E	2.97
C25	76.39	275.00	S61°52'58"E	76.15
C26	28.19	275.00	S50°59'16"E	28.18
C27	56.02	275.00	S42°12'55"E	55.92
C28	30.72	275.00	S33°10'46"E	30.71
C29	202.72	225.00	N55°47'23"W	195.93
C30	47.73	30.00	S52°49'12"W	42.85
C31	72.76	425.00	N25°03'50"E	72.67
C32	147.56	425.00	N39°54'54"E	146.82
C33	147.56	425.00	N59°48'28"E	146.82
C34	147.56	425.00	N79°42'03"E	146.82
C35	147.56	425.00	S80°24'23"E	146.82
C36	4.59	425.00	S70°09'01"E	4.59
C37	118.06	425.00	S61°52'58"E	117.68
C38	43.57	425.00	S50°59'16"E	43.55
C39	39.27	25.00	N24°50'26"W	35.36
C40	353.43	225.00	N65°09'34"E	318.20

Curve Table				
Curve #	Length	Radius	CHORD BEARING	CHORD
C41	39.27	25.00	S24°50'26"E	35.36
C42	46.78	225.00	S26°06'55"W	46.69
C43	43.60	218.00	S42°22'41"W	43.53
C44	225.76	225.00	S81°24'52"W	216.41



LAWRENCE ASSOCIATES

106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

Final Record Plat of
Harlow's Crossing - Phase 1 - Map 1

Owner: MI Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Orig. scale: Date: January 25, 2017 Drawn By: JLH

Sheet 4 of 5

REVISIONS

10-5-2017 JLH

10-10-2017 JLH

Job No. 3756-4047 Drawing file: 3756-4047 RM Sht 3-4.dwg Drawing no. 17/025

CAD FILE \\LAWRENCE-SERVER\Lawrence Projects\3756-4047 Carrington\3756-4047 Sht 3-4.dwg 10/19/2017 by: James Helms

Match Sheet 3 of 5

Phase 1 - Tract 1
34.69 Ac.
1,511,211 sf.

55.37 Ac.
2,411,747 sf.

LINE TABLE

LINE	LENGTH	BEARING
L1	62.49	N36°57'59"W
L2	51.23	N51°35'14"E
L3	104.14	N51°35'14"E
L4	170.80	N51°35'14"E
L5	123.69	N39°49'54"E
L6	182.69	N50°03'12"W
L7	104.44	S48°11'33"W
L8	353.36	N68°30'13"W
L9	107.60	N55°55'47"W
L10	110.67	N56°37'19"W

State Plane Coordinate values were obtained using a Topcon Hiper GPS using Virtual Reference Stations

Dashed flood line indicates the approximate location of the 100 Year Flood Line taken from Union County GIS, not field located.

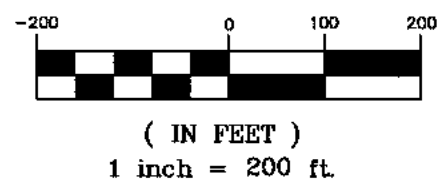
Solid flood line indicates the portion of 100 year flood line that was field run.

Owner Information:

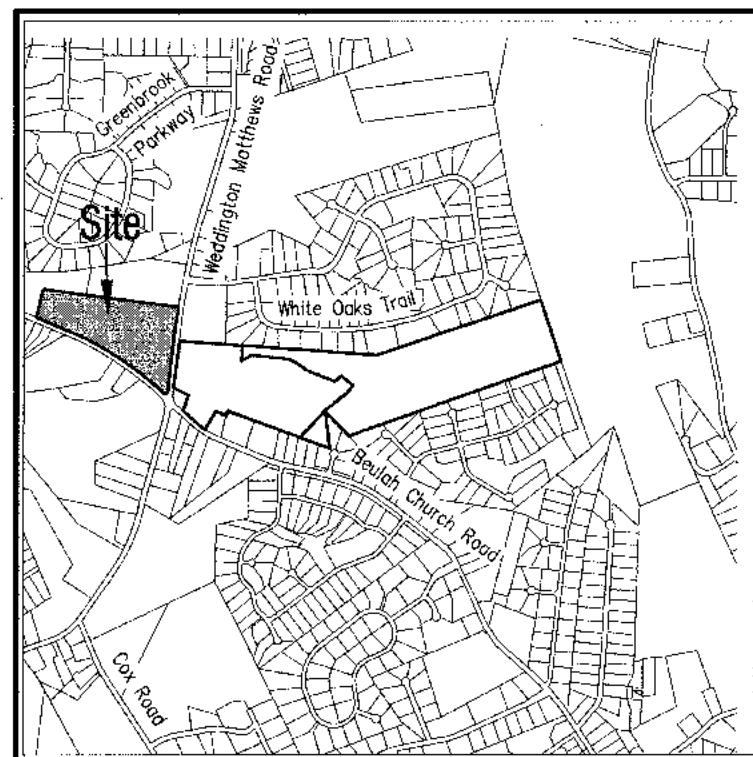
M/I Homes of Charlotte, LLC
5250 Seventy-Seven Center Drive
Suite 100
Charlotte, NC 28217
Ph. 704-579-4571
Contact: Marty Davis

Engineer:

ColeJenest & Stone
200 South Tryon Street
Suite 1400
Charlotte, NC 28202
Ph. 704-974-4519
Contact: Joel C. Causey, PE



Vicinity Map (NTS)



LAWRENCE ASSOCIATES

106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

**Final Record Plat of
Harlow's Crossing - Phase 1 - Map 1**

Owner: M/I Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Orig. scale: 1" = 200' Date: August 28, 2017 Drawn By: JLH

Job No. 3756-4047 Drawing file: 3756-4047 RM Sht 5.dwg Drawing no. 17/022

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: November 13, 2013

SUBJECT: Harlow's Crossing – Entrance Monument Sign

The Town Council shall review and consider an entry monument sign application and plans for the Harlow's Crossing Subdivision (formerly Carrington).

The Planning Board reviewed the application and unanimously approved the entry monument and sign with the condition that Staff confirms that the monument is placed in common open space and not the required conservation area.

The signs will be facing Weddington-Matthews Road. A copy of the site layout, elevations, and landscape plan are included for Planning Board's review.

The columns are 6'9" tall with a stone cap for a maximum height of 7'. The proposed plans include ornamental aluminum fence and lanterns.

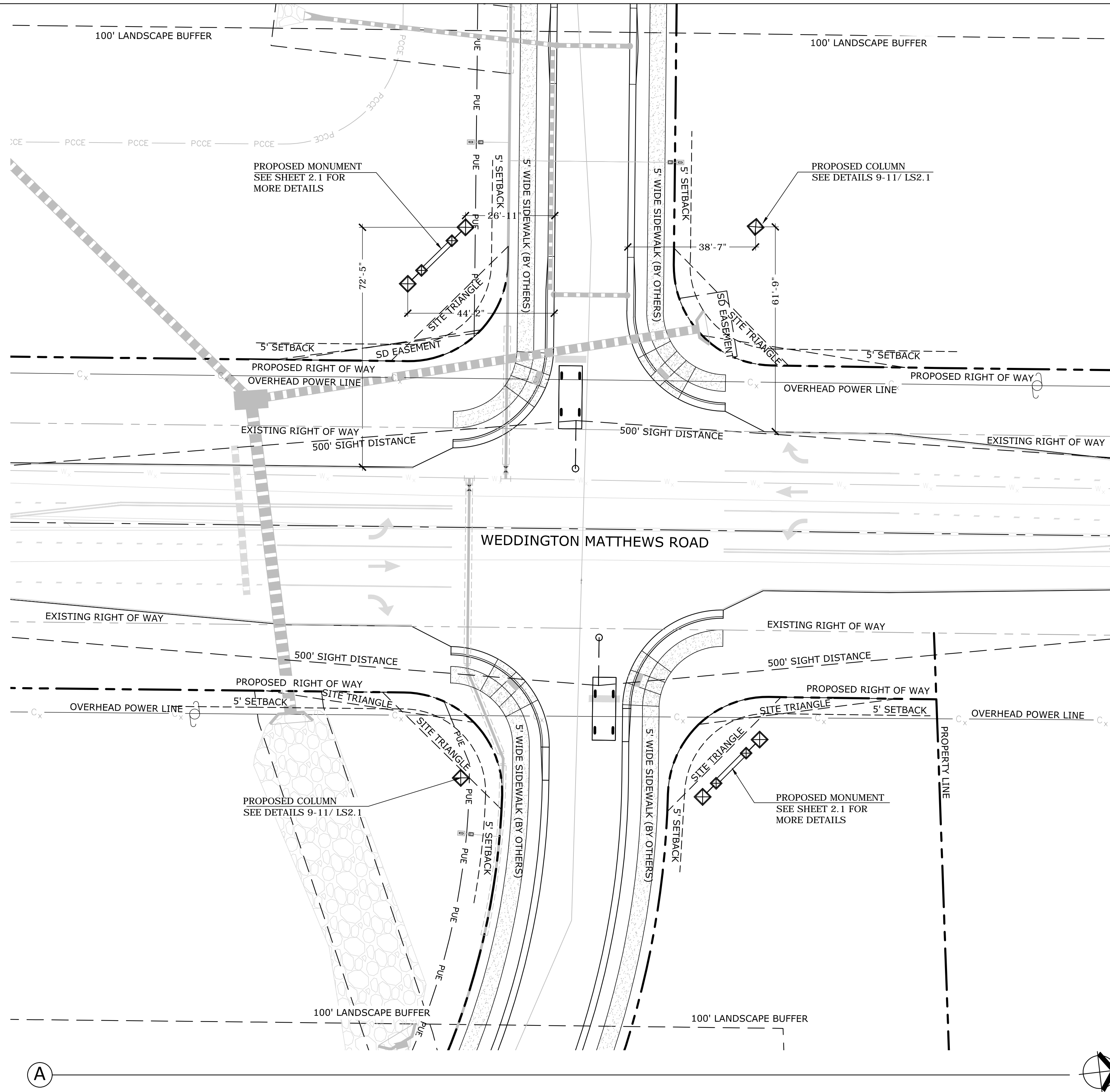
The site plan shows the monument signs and plantings located outside of the sight triangles and 500' line of sight area.

The landscape plan meets the new proposed text which considers distance from the power lines.

The lanterns meet the lighting ordinance requirement.

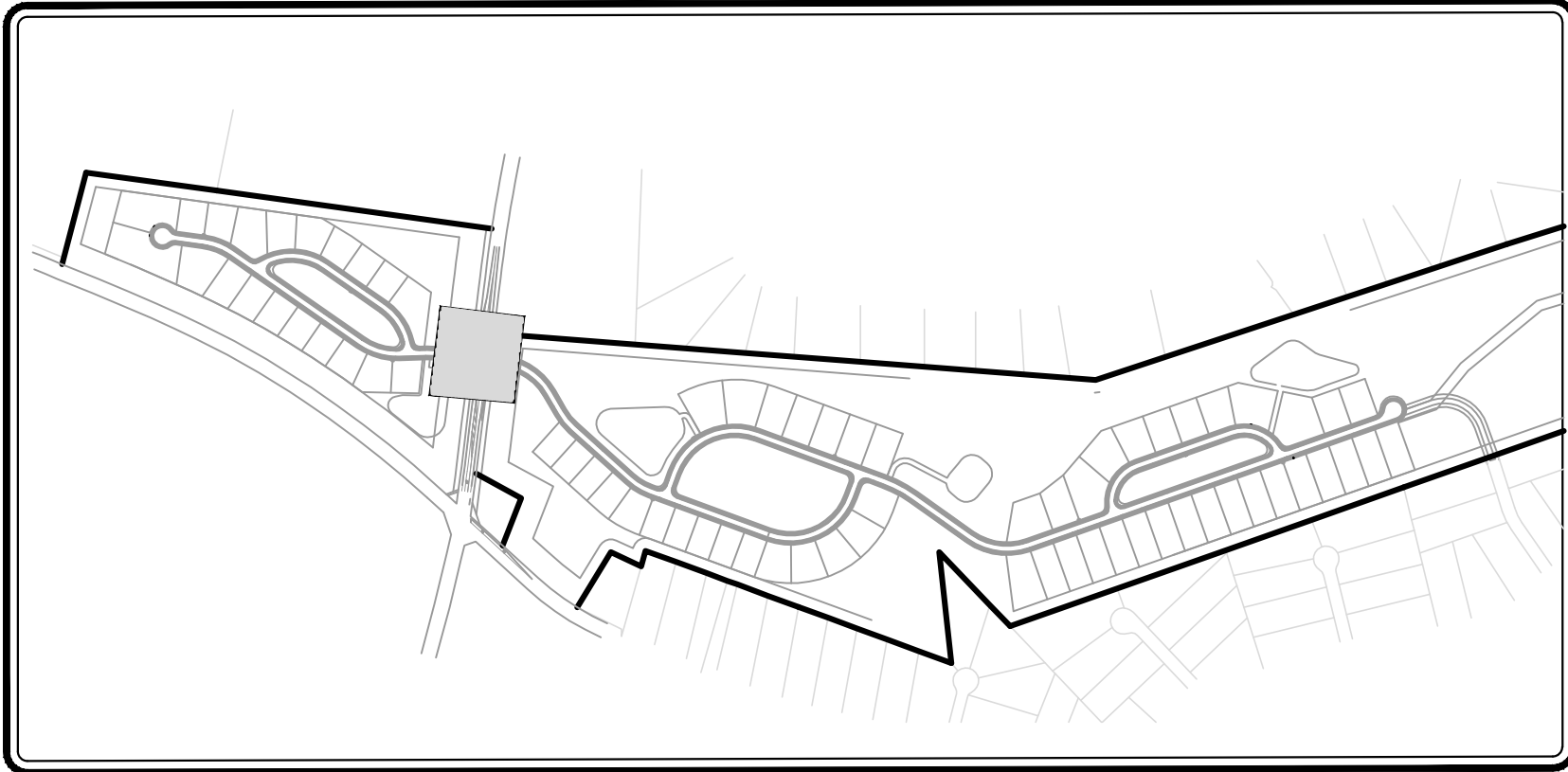
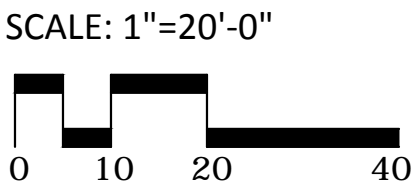
Section 58-152 (f) of the *Weddington Zoning Ordinance* permits two signs per subdivision entrance, behind the right-of-way line with a maximum area of 20 square feet per sign. The signs are in general conformance with the *Weddington Zoning Ordinance*.

Staff recommends approval of the Harlow's Crossing Entry Monument Signs.



GENERAL NOTES: LAYOUT PLAN

1. SURVEY INFORMATION REPRODUCED FROM DRAWINGS TITLED "BOUNDARY, PHYSICAL, AND TOPOGRAPHY SURVEY OF PATRICIA ANN NEAL AND LINDA K. GODWIN TRUSTEE PROPERTY", LOCATED IN THE TOWN OF WEDDINGTON, SANDY RIDGE TOWNSHIP, UNION COUNTY, NORTH CAROLINA. SURVEYED SEPTEMBER 21, 2015 BY LAWRENCE ASSOCIATES, 106 W. JEFFERSON ST., MONROE, NC 28112, PH: 704-289-1013
2. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED ON THE PLAN.
3. THE CONTRACTOR SHALL LAYOUT AND ADJUST FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY DIMENSIONS IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DICREPENCIYS.
5. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
6. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
7. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROTECT ALL EXISTING SITE IMPROVEMENTS AND UTILITIES DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL CONTACT UTILITY PROTECTION SERVICES 72 HOURS PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS, INSPECTIONS, FEES, AND CHARGES.
9. ALL WALKWAYS LEADING TO ENTRANCES ARE TO BE CENTERED ON DOORWAYS UNLESS OTHERWISE NOTED ON THE DRAWING.
10. AT LOCATIONS WHERE EXISTING PAVEMENT ABUTTS NEW PAVEMENT, CONTRACTOR SHALL BLEND NEW PAVEMENT TO EXISTING CONDITIONS. PAVEMENTS SHALL ALIGN BOTH VERTICALLY AND HORIZONTALLY. PONDING AT JOINTS WILL NOT BE ACCEPTED.
11. PROVIDE MINIMUM 1/8" PER FOOT CROSS SLOPE IN DIRECTION OF SURFACE DRAINAGE ON ALL WALKWAYS.
12. WHERE NEW CONCRETE PAVEMENT MEETS EXISTING CONCRETE OR VERTICAL SURFACES PROVIDE 1/2" EXPANSION JOINT. WHERE NEW CONCRETE PAVEMENT MEETS EXISTING ASPHALT, SAW CUT EDGE OF ASPHALT AND BUTT NEW PAVEMENT TIGHT. SCORING JOINTS SHALL MATCH EXISTING CONDITION WHERE NEW CONCRETE PAVEMENT REPLACES EXISTING OR ABUTTS EXISTING CONCRETE PAVEMENT.
13. FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.
14. WHERE NEW ASPHALT PAVEMENT MEETS EXISTING ASPHALT, SAW CUT EXISTING ASPHALT. ALL NEW PAVEMENTS SHALL MEET EXISTING PAVEMENTS FLUSH.

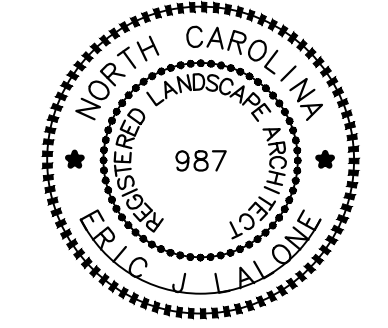


SITE REFERENCE MAP
NOT TO SCALE

BID SET - RELEASED FOR CONSTRUCTION

LAYOUT PLAN
HARLOW'S CROSSING
M/I HOMES
WEDDINGTON, NC

#	DATE	DESCRIPTION	BY



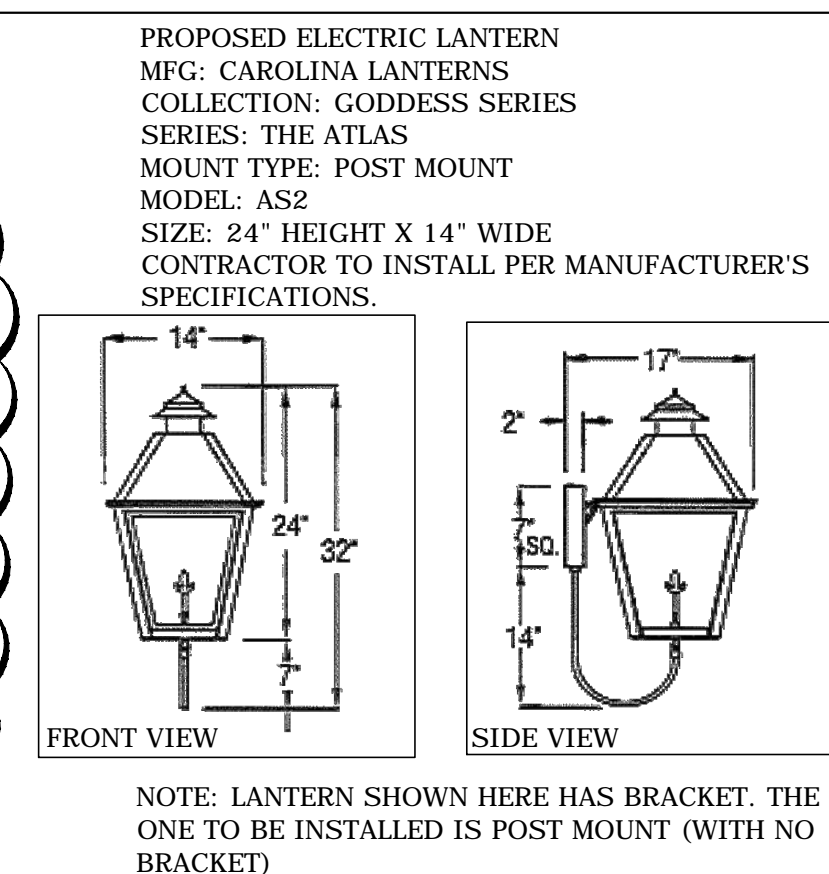
CLARB CERTIFIED
LANDSCAPE ARCHITECT

DATE | 07-07-17
DRAWN | MSD
DESIGNED | E.J.L.
CHECKED | E.J.L.
PROJECT # |

SHEET TITLE
LAYOUT PLAN
SHEET NUMBER

LS 2.0
LAND USE #





2 DETAIL: SIGN
SCALE: 1/2" = 1'-0"

MANUFACTURED STONE VENEER
INSTALL STONE VENEER ONLY
ON FRONT OF WALL.
MFG: CENTURION
STYLE: RUSTIC
COLOR: CALIFORNIA RUSTIC

STUCCO SIGN FACE

NATURAL STONE LEDGER
4" THICK. COLOR TO
MATCH CAP.

1'-1" / 1'-3" / 2'-11" / 7' / 2'-6" / 1'-0" min / 1'-1"

1'-1" / 8" / 2' / 3'-8"

NATURAL STONE WALL CAP. TO MATCH CAP
FOR COLUMNS. TYP. PROVIDE 2" REVEAL OVER
FRONT STONE.

8"X8"X16" CMU BLOCK. GROUT ALL CELLS SOLID

HARD COAT STUCCO DARK BROWN

8"X8"X12" CMU BLOCK. GROUT ALL CELLS SOLID

HORIZONTAL REINFORCING EVERY 2nd. COURSE MIN.
USE #8 DURA-WALL WIRE MESH OR APPROVED EQUAL
#5 VERTICAL REBAR @ 16" O.C. (3'-2" LAP)

PAINT BACK OF WALL WITH ASPHALT PAINT OR
OTHER APPROVED WATER RESISTANT COATING

12"X8"X16" CMU BLOCK. GROUT ALL CORES SOLID
REINFORCE WITH #5@16" O.C., FULL HEIGHT.
CENTER IN 8" CMU ABOVE.
WATERPROOFING

FINISHED GRADE

GRANULAR FILL AS RECOMMENDED BY
STRUCTURAL ENGINEER. WRAP IN GEO FABRIC

4" DIA. DRAIN PIPE WRAPPED IN FABRIC.
DAYLIGHT WHERE POSSIBLE. AS
RECOMMENDED BY STRUCTURAL ENGINEER

CONCRETE FOOTING

4- #5 REBAR CONTINUOUS

#4@16" O.C.

SOIL UNDERNEATH FOOTING SHOULD REMAIN
UNDISTURBED. IF DISTURBED THEN COMPACT
STRUCTURAL FILL TO 95% OF PROCTOR
COMPACTION USING LIFTS UNTIL DESIRED

5 SECTION: MONUMENT SIGN
SCALE: 1/2"=1'-0"

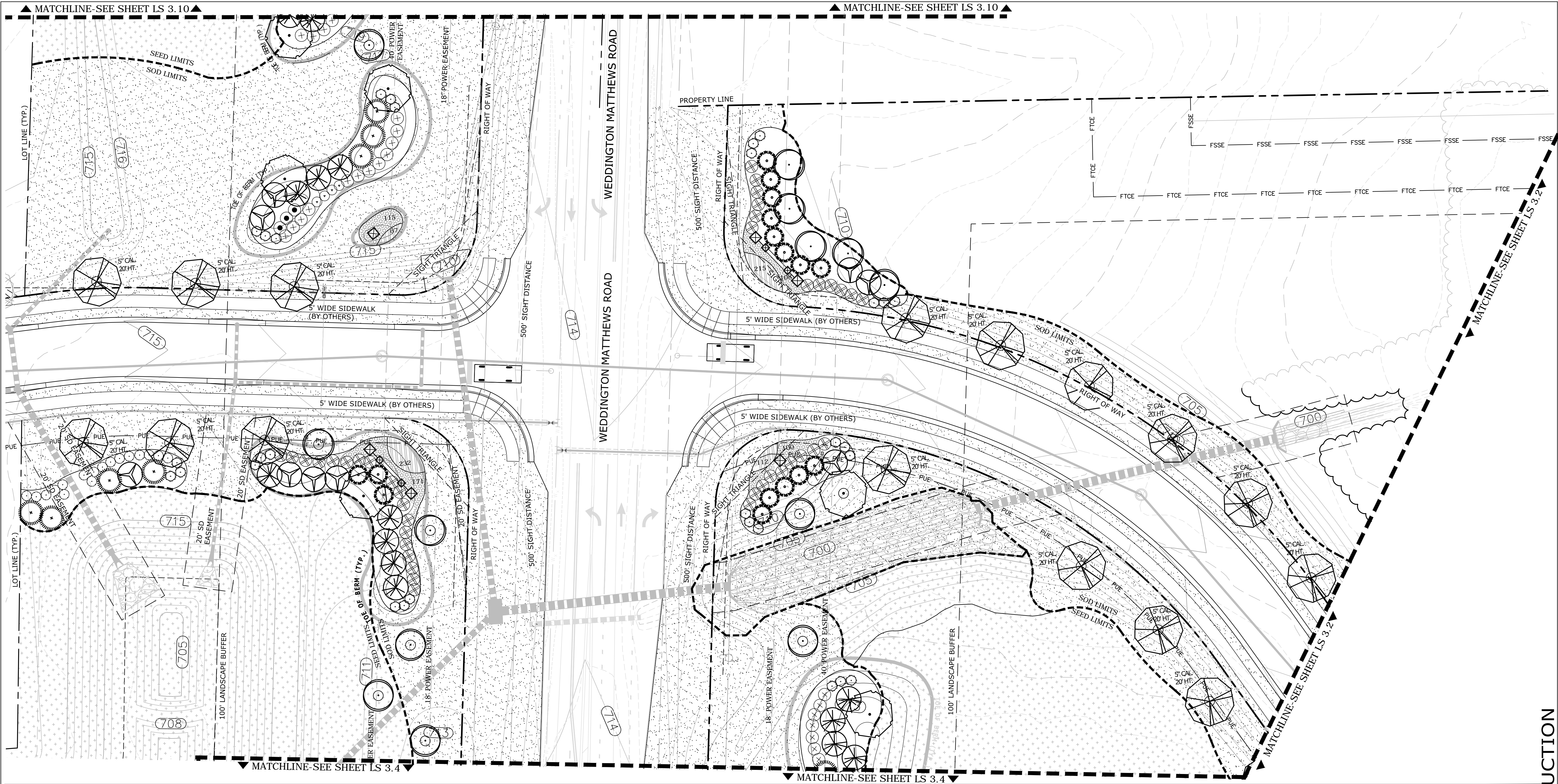
COLUMN WITH PLAQUE

- NATURAL STONE CAP TYP.
- 6" THICK NATURAL STONE CAP TENNESSEE "CRAB ORCHARD". TO BE INSTALLED AS INDICATED IN 2 LAYERS. BOTTOM STONE LAYER TO PROVIDE 1" REVEAL OVER STONE UPPER LAYER TO PROVIDED 2" OVER BOTTOM LAYER. CONTRACTOR SHALL SUBMIT SAMPLE OF PROPOSED NATURAL STONE CAP TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASING.
- PRE-CAST CONCRETE PLAQUE
- 1" THICK PLAQUE W/ENGRAVED AND STAINED M/I HOMES. LOGO TO BE INSET ½". SEE DETAIL MANUFACTURED STONE VENEER 11/L5 2.1.
- INSTALL STONE VENEER ON ALL EXPOSED FACES OF COLUMN. CONTRACTOR SHALL SUBMIT SAMPLE OF PROPOSED STONE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASING.
- MFG.: CENTURION
- STYLE: RUSTIC
- COLOR: CALIFORNIA RUSTIC
- HORIZONTAL REINFORCING EVERY 2ND. COURSE MIN.
- USE #8 DURA-WALL WIRE MESH OR APPROVED EQUAL
- #5 VERTICAL BAR EACH CORNER
- RUBBLE FILLED CORE
- WATERPROOFING (TYP)
- 4"-8"x4"-8"x12" FOOTING
- REINF. W/4 #5 EACH WAY, BOTTOM
- COMPACTED SUBGRADE TO 95% DENSITY. MIN.
- 8"x8"x16" CMU BLOCK GROUT ALL CELLS
- 8"x8"x16" CONT. BOND BEAM, REINF. W/#4 BARS BENT:
- 2'-0"
- 2'-0"
- 6'-6"
- 6"
- 3'-8"
- 4'-10"
- 7'
- 7'-0"
- 9'-0"
- 1'-0" MIN.
- 1'
- 2'-8"
- 1'
- 4'-8"
- (S&Z) 10
- (S&Z) 10

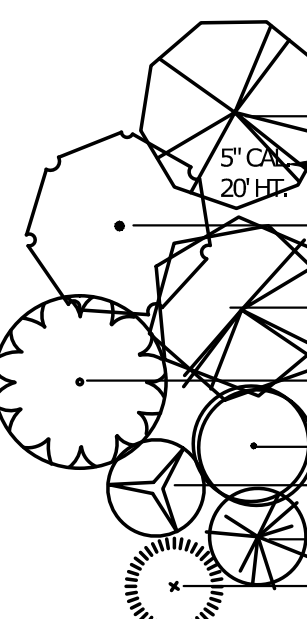
8 SECTION: COLUMN WITH LANTERN
SCALE: 1/2" = 1'-0"

10 SECTION: COLUMN WITH PLAQUE
SCALE: 1/2" = 1'-0"

DATE	07-07-17
DRAWN	MSD
DESIGNED	EIJ
CHECKED	EIJ
PROJECT #	
<hr/>	
SHEET TITLE	
HARDSCAPE DETAILS	
<hr/>	
SHEET NUMBER	
LS 2.1	



PLANT MATERIALS SCHEDULE

COMMON NAME				BOTANICAL NAME		SIZE	SPACING	QUANTITIES PER SHEET															
	TREES						LS 3.1	LS 3.2	LS 3.3	LS 3.4	LS 3.5	LS 3.6	LS 3.7	LS 3.8	LS 3.9	LS 3.10	LS 3.11	LS 3.12	LS 3.13	TOTAL			
	JAPANESE ZELKOVA — PLANT SIZE TO BE AS SHOWN IN PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON PLANT SYMBOL.				ZELKOVA SERRATA	2.5"-3" CAL./12'-14" HT.	AS SHOWN	15	15											32			
	EASTERN RED OAK				QUERCUS RUBRA MAXIMA	2.5" CAL./12'-14" HT.	AS SHOWN	6	6	37	11	9	7	8	5		5			26	123		
	SHUMARD RED OAK				QUERCUS SHUMARDII	3" CAL./10'-12" HT.	AS SHOWN			9	5					9	28			55			
	LACEBARK ELM				ULMUS PARVIFOLIA	3" CAL./10'-12" HT.	AS SHOWN			16		10	13	16	11		5	6	31	108			
	'NATCHEZ' CRAPE MYRTLE				LAGERSTROEMIA INDICA 'NATCHEZ'	3" CAL./10'-12" HT.	AS SHOWN	13	3	15	4	3	3	3	2		1			43			
	EASTERN RED CEDAR				JUNIPERUS VIRGINIANA	8' HT.	AS SHOWN	9			17	10	11	12	11		7			84			
	'LITTLE GEM' MAGNOLIA				MAGNOLIA GRAND. 'LITTLE GEM'	8' HT.	AS SHOWN	13	9	2	23	9	21	21	13		15			124			
	DEODAR CEDAR				CEDRUS DEODORA	10' HT.	AS SHOWN	7		2	35	14	25	23	24		19			159			

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QUANTITIES PER SHEET					
GROUND COVER / ORNAMENTAL GRASSES				LS 3.1	LS 3.2	LS 3.3	LS 3.11	TOTAL	
CREeping LILYTURF	LIRIOPE SPICATA	1 GAL.	12" O.C.	494	180	342	9	1025	
SEASONAL COLOR/ ANNUALS BASED ON TIME OF YEAR. ASSUME 8" SPACING				626				626	

NUMBER INDICATED ON HATCH THROUGHOUT THE DRAWING REFLECTS THE NUMBER OF PLANTINGS IN THAT PARTICULAR AREA.

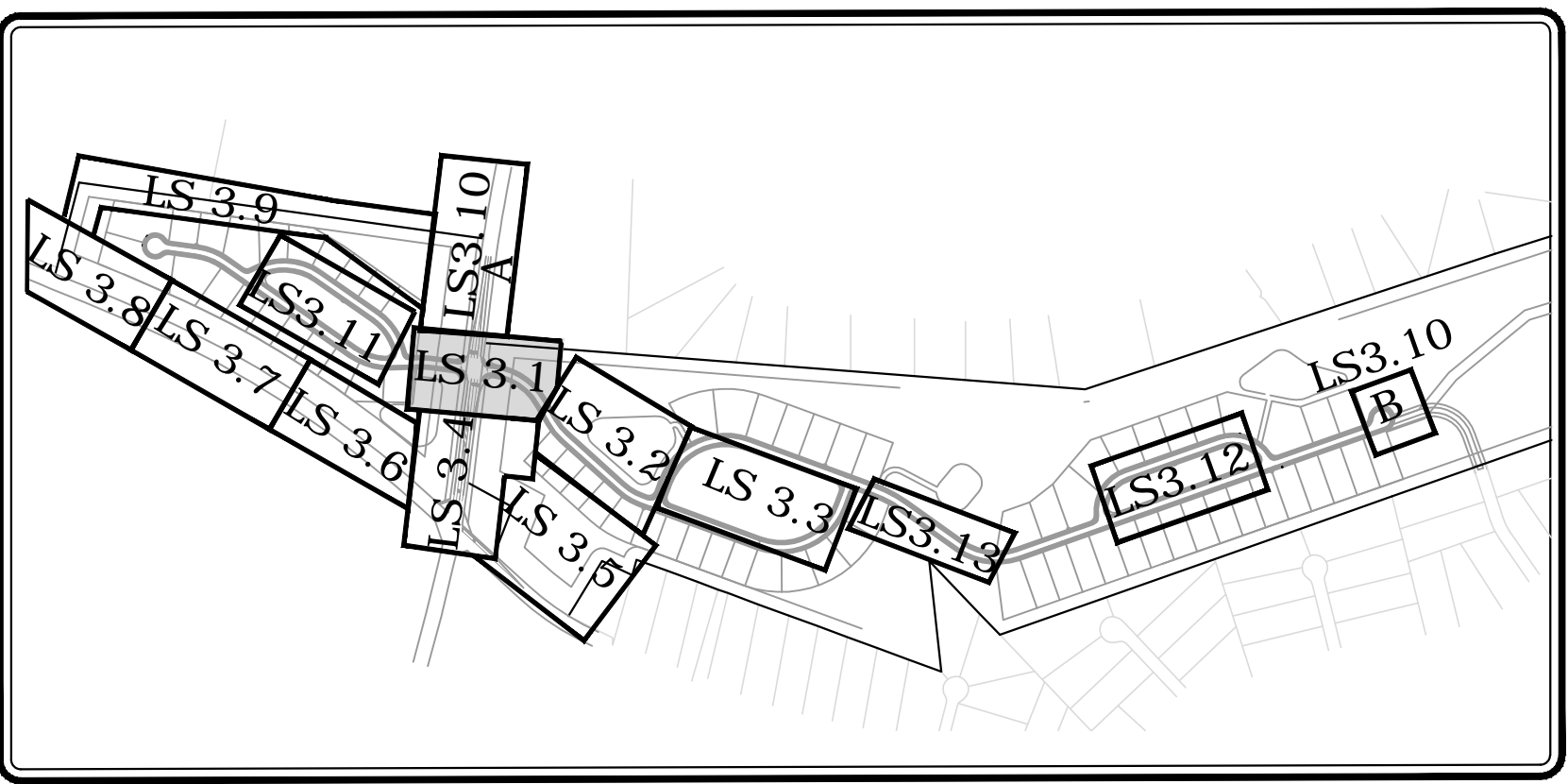
STRAW MULCH

NOTE: ALL SHRUB BEDS SHALL CONTAIN A 4" LAYER OF PINE NEEDLE MULCH TYP.

ALL ANNUAL BEDS SHALL CONTAIN A 2" MIN LAYER OF SOIL CONDITIONER (FINELY SHREDDED HARDWOODS WITH ORGANICS)

GENERAL NOTES: LANDSCAPE PLAN

- PROVIDE TOPSOIL AMENDMENTS FOR PLANT PITS ONLY. SOIL AMENDMENT FOR ALL LAWN AREAS AND ENTIRE PLANTING BED IS NOT REQUIRED. SEE DETAILS AND NOTES FOR FURTHER INFORMATION. IF PLANTING CONDITIONS (TOPSOIL) ARE UNACCEPTABLE OR WILL DRASTICALLY AFFECT LONG TERM HEALTH AND CONDITION OF PLANTS AND LAWN, NOTIFY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO PROCEEDING.
- AREAS OF THE LAWN MAY CONTAIN CATCH BASINS AND AREA DRAINS. CONTRACTOR SHALL USE BEST JUDGEMENT TO FINE GRADE AROUND CATCH BASINS AND OTHER APPURTENANCES TO MINIMIZE EROSION AND MAINTAIN AESTHETIC VALUE. CONTACT LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES OR IF CATCH BASIN CONDITION CAN BE IMPROVED.
- CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK. SEE DETAILS AND NOTES FOR FURTHER INFORMATION.
- TREES LOCATED IN DRAINAGE WAYS SHOULD BE FIELD ADJUSTED TO PLACE TREES OUTSIDE THE DRAINAGE WAY AND IN AN APPROPRIATE LOCATION.
- CONTRACTOR WILL FLAG ALL PROPERTY LINES, EASEMENT LINES, ETC. TO INSTALL PLANTING AND IRRIGATION AS PER PLANS. CONTRACTOR TO CONTACT OWNER PRIOR TO INSTALLATION IF ANY LOCATIONS ARE UNCLEAR.



SITE REFERENCE MAP

BID SET - RELEASED FOR CONSTRUCTION

Shaping the Future

CHARLOTTE
9800 SOUTHERN PINE BOULEVARD, SUITE 1
CHARLOTTE, NC 28273
TEL: (704) 927-9700
www.cardno.com

Move Up

PLANTING PLAN

HARLOW'S CROSSING

M/I HOMES

WEDDINGTON, NC

#	DATE	DESCRIPTION	BY

CLARB CERTIFIED
LANDSCAPE ARCHITECT

DATE | 07-07-17

DRAWN | MSD

DESIGNED | EIJ

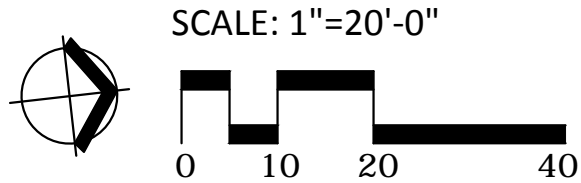
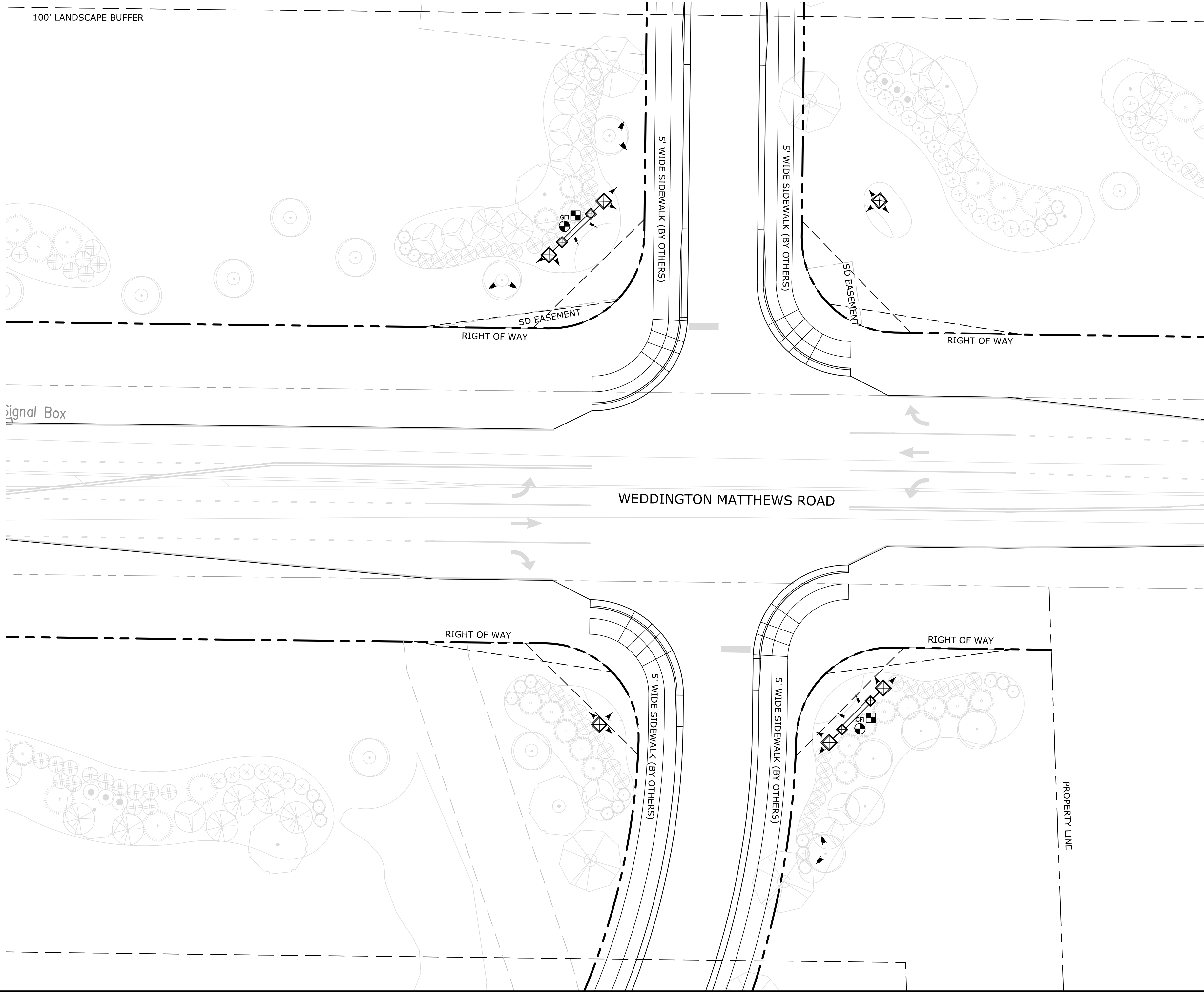
CHECKED | EIJ

PROJECT # |

SHEET TITLE
PLANTING PLAN

SHEET NUMBER
LS 3.1

LAND USE #



LANDSCAPE ACCENT LIGHTING

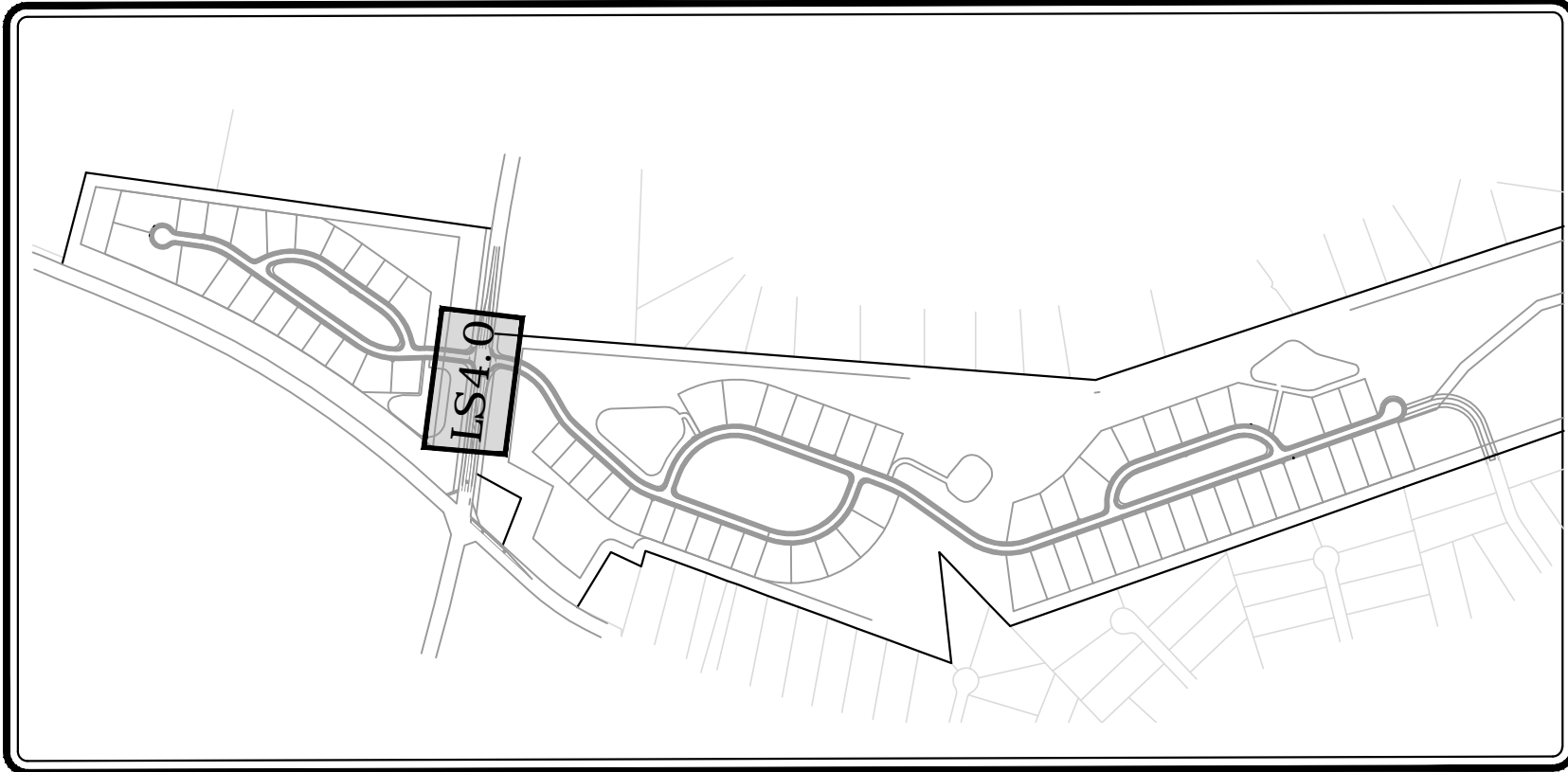
- WALL WASH FIXTURES
TO BE DIRECTED ONTO MAIN MONUMENT AND SIGN
INSTALLED APPROXIMATELY 6' AWAY FROM MONUMENT.
MFG: FX LUMINAIRE (OR APPROVED EQUAL)
MODEL: PB-ZD-3LED-FB
LENS: 1 AMBER & 1 FROSTED
- UPLIGHT FIXTURES
TO UPLIGHT COLUMNS
MFG: FX LUMINAIRE (OR APPROVED EQUAL)
MODEL: FB-3LED-FB
LENS: 1 AMBER & 1 FROSTED
- TO UPLIGHT ORNAMENTAL TREES
MFG: FX LUMINAIRE (OR APPROVED EQUAL)
MODEL: NP-ZD-3LED-FB
LENS: 1 AMBER & 2 FROSTED
- LIGHTING TRANSFORMERS
MFG: FX LUMINAIRE (OR APPROVED EQUAL)
MODEL: LUXOR-300-STAINLESS
TO BE LOCATED BEHIND MONUMENT. CONTRACTOR TO
SCREEN TRANSFORMER BEHIND PLANTINGS AS BEST AS
POSSIBLE FROM ROAD. FINAL LOCATION TO BE APPROVED BY
OWNER
- GROUND FAULT INTERRUPT OUTLET
CONTRACTOR SHALL FURNISH AND INSTALL GFI OUTLET IN
PLANTER BED. FINAL LOCATIONS TO BE APPROVED BY
OWNER.

GENERAL LIGHTING NOTES:

- FIXTURES ARE LOCATED ON PLAN FOR GENERAL
REFERENCE ONLY. ALL LIGHTS TO BE LOCATED IN
PLANTER BED. COORDINATE FINAL LOCATION OF ALL
ELEMENTS WITH LOCAL POWER COMPANY, LANDSCAPE
ARCHITECT, AND OWNER'S REPRESENTATIVE.
- CONTRACTOR TO FIELD ADJUST ALL FIXTURES AFTER
INSTALLATION TO MAXIMIZE LIGHT OUTPUT ON SUBJECT
AND AVOID CONFLICTS WITH OTHER OBJECTS.
- CONTRACTOR TO COORDINATE WITH THE OWNER ON THE
LOCATION OF POWER SUPPLY PRIOR TO INSTALLATION.

GENERAL NOTES:

- CONTRACTOR TO INSTALL METER BASE ON BOTH SIDES OF
WEDDINGTON MATTHEWS ROAD .
- CONTRACTOR TO COORDINATE THE LOCATION OF METER
BASES WITH OWNER PRIOR TO INSTALLATION.



SITE REFERENCE MAP
NOT TO SCALE

BID SET - RELEASED FOR CONSTRUCTION

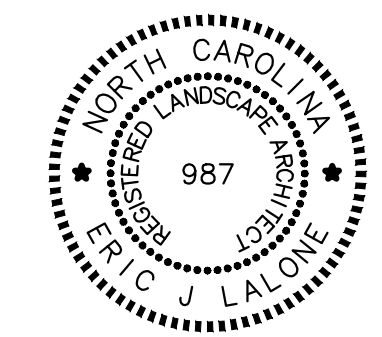
LIGHTING PLAN

HARLOW'S CROSSING

M/I HOMES

WEDDINGTON, NC

#	DATE	DESCRIPTION	BY



CLARB CERTIFIED
LANDSCAPE ARCHITECT

DATE | 07-07-17
DRAWN | MSD
DESIGNED | EIJ
CHECKED | EIJ
PROJECT # |

SHEET TITLE
LIGHTING PLAN
SHEET NUMBER

LS 4.0

LAND USE #



TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council
FROM: Lisa Thompson, Town Administrator/Planner
DATE: November 13, 2017
SUBJECT: **Text amendment for Temporary Lighting**

Section 14-87 requires the town council to review temporary outdoor lighting. Outdoor lighting is typically required for larger events in which Temporary Use Permits are required. Planning Board reviews and approves Temporary Use Permits and a lighting plan is required as a part of the application; therefore staff has made the following changes in bold to allow proposed temporary lights as part of a TUP to be approved by the Planning Board.

Sec. 14-87. - Temporary outdoor lighting.

(a) Any temporary outdoor lighting that conforms to the requirements of this article shall be allowed. **Any temporary lighting as proposed through a Temporary Use Permit shall be reviewed and approved by the Planning Board when considering said permit. Any other** nonconforming temporary outdoor lighting may be permitted by the town council after considering:

- (1)The public and/or private benefits that will result from the temporary lighting;
- (2)Any annoyance or safety problems that may result from the use of the temporary lighting; and
- (3)The duration of the temporary nonconforming lighting.

(b)The applicant shall submit a detailed description of the proposed temporary nonconforming lighting request to the town council in accordance with all applicable submittal procedures, who shall consider the request at the next regularly scheduled meeting. Prior notice of the meeting shall be provided to the applicant. The town council shall render its decision on the temporary lighting request and notify the applicant in writing within two weeks from the date of its decision. A failure of the town council to act on a request shall constitute a denial of the request.

Staff recommends adopting Ordinance Number 2017-16 to amend Section 14-87 – Temporary Outdoor Lighting.

TOWN OF WEDDINGTON

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Leslie Gaylord, Town Finance Officer

DATE: November 13, 2017

SUBJECT: Update from the Finance Officer

AUDIT

- Staff has received and reviewed draft financial statements for FY2017 from the auditors and final audited financial statements should be completed and submitted to the LGC within the next week or two.
- Once the audited financial statements are submitted, staff will make necessary journal entries to update the fund balance accounts on the current year financial statements to reflect accurate assigned and unassigned fund balance amounts.

TAX

- Property taxes were due on September 1 but payable without penalty until January 5.
- Property taxes escrowed by mortgage companies should be received by the Town over the course of the next month.

FY2018 BUDGET

- Staff will make a departmental line item reclass between Capital Expenditures and Consulting for the costs associated with the Town survey. Staff has decided not to move forward in the current year with the financial software upgrade therefore freeing up the budget money associated with this purchase for other uses.

TOWN OF WEDDINGTON
BALANCE SHEET

FY 2017-2018

PERIOD ENDING: 10/31/2017

10

ASSETS

ASSETS

10-1120-000	TRINITY CHECKING ACCOUNT	712,863.67
10-1120-001	TRINITY MONEY MARKET	1,115,096.66
10-1170-000	NC CASH MGMT TRUST	533,623.46
10-1205-000	A/R OTHER	-4.95
10-1211-001	A/R PROPERTY TAX	865,675.54
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	8,885.45
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	10,193.16
10-1232-000	SALES TAX RECEIVABLE	2,349.54
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	2,346,268.11
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	20,583.08
10-1610-003	FIXED ASSETS - EQUIPMENT	118,306.60
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.01
TOTAL ASSETS		<u>5,760,691.33</u>

LIABILITIES & EQUITY

LIABILITIES

10-2120-000	BOND DEPOSIT PAYABLE	75,002.25
10-2605-000	DEFERRED REVENUES-CONV CHARGE	-4.95
10-2620-000	DEFERRED REVENUE - DELQ TAXES	8,885.45
10-2625-000	DEFERRED REVENUE - CURR YR TAX	865,675.54
10-2630-000	DEFERRED REVENUE-NEXT 8	10,193.16
TOTAL LIABILITIES		<u>959,751.45</u>

EQUITY

10-2620-001	FUND BALANCE - UNASSIGNED	2,551,598.54
10-2620-003	FUND BALANCE-ASSIGNED	54,000.00
10-2620-004	FUND BALANCE-INVEST IN FIXED ASSETS	2,512,011.00
10-2620-005	CURRENT YEAR EQUITY YTD	-156,445.40
CURRENT FUND BALANCE - YTD NET REV		-160,224.26
TOTAL EQUITY		<u>4,800,939.88</u>

TOTAL LIABILITIES & FUND EQUITY	<u>5,760,691.33</u>
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TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2017-2018

10/01/2017 TO 10/31/2017

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
REVENUE:				
10-3101-110 AD VALOREM TAX - CURRENT	36,017.89	196,756.31	1,025,000.00	81
10-3102-110 AD VALOREM TAX - 1ST PRIOR	0.00	1,011.72	3,000.00	66
10-3103-110 AD VALOREM TAX - NEXT 8	-4.95	-25.07	1,000.00	103
10-3110-121 AD VALOREM TAX - MOTOR	7,810.24	26,235.51	89,000.00	71
10-3115-180 TAX INTEREST	0.00	71.07	2,250.00	97
10-3231-220 LOCAL OPTION SALES TAX REV	27,229.95	57,982.10	320,000.00	82
10-3322-220 BEER & WINE TAX	0.00	0.00	45,000.00	100
10-3324-220 UTILITY FRANCHISE TAX	0.00	102,692.64	460,000.00	78
10-3340-400 ZONING & PERMIT FEES	3,957.50	18,157.50	35,000.00	48
10-3350-400 SUBDIVISION FEES	0.00	9,625.00	40,000.00	76
10-3830-891 MISCELLANEOUS REVENUES	100.00	474.66	1,000.00	53
10-3831-491 INVESTMENT INCOME	0.00	0.00	5,000.00	100
TOTAL REVENUE	75,110.63	412,981.44	2,026,250.00	80
AFTER TRANSFERS				
	75,110.63	412,981.44	2,026,250.00	
4110 GENERAL GOVERNMENT				
EXPENDITURE:				
10-4110-126 FIRE DEPT SUBSIDIES	61,088.00	244,352.00	737,560.00	67
10-4110-127 FIRE DEPARTMENT	0.00	65.00	10,000.00	99
10-4110-128 POLICE PROTECTION	132,087.00	132,087.00	264,175.00	50
10-4110-192 ATTORNEY FEES - GENERAL	0.00	3,183.72	90,000.00	96
10-4110-193 ATTORNEY FEES - LITIGATION	6,436.46	24,589.33	100,000.00	75
10-4110-195 ELECTION EXPENSE	0.00	0.00	10,000.00	100
10-4110-340 PUBLICATIONS	0.00	0.00	12,000.00	100
10-4110-341 WEDDINGTON FESTIVAL	0.00	0.00	7,000.00	100
10-4110-342 HOLIDAY/TREE LIGHTING	138.71	138.71	6,500.00	98
10-4110-343 SPRING EVENT	0.00	0.00	3,750.00	100
10-4110-344 OTHER COMMUNITY EVENTS	61.20	61.20	1,000.00	94
10-4110-495 COMMITTEE & OUTSIDE	0.00	0.00	1,500.00	100
TOTAL EXPENDITURE	199,811.37	404,476.96	1,243,485.00	67
BEFORE TRANSFERS				
	-199,811.37	-404,476.96	-1,243,485.00	
AFTER TRANSFERS				
	-199,811.37	-404,476.96	-1,243,485.00	
4120 ADMINISTRATIVE				
EXPENDITURE:				
10-4120-121 SALARIES - CLERK	1,869.00	6,562.50	22,000.00	70
10-4120-123 SALARIES - TAX COLLECTOR	3,585.30	14,014.12	47,250.00	70
10-4120-124 SALARIES - FINANCE OFFICER	962.85	3,487.88	14,500.00	76
10-4120-125 SALARIES - MAYOR & TOWN	2,100.00	8,400.00	25,200.00	67
10-4120-181 FICA EXPENSE	651.51	2,483.32	8,500.00	71
10-4120-182 EMPLOYEE RETIREMENT	759.04	2,578.29	10,930.00	76

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2017-2018

10/01/2017 TO 10/31/2017

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4120-183 EMPLOYEE INSURANCE	1,014.50	4,059.50	12,780.00	68
10-4120-184 EMPLOYEE LIFE INSURANCE	12.60	50.40	175.00	71
10-4120-185 EMPLOYEE S-T DISABILITY	12.00	48.00	175.00	73
10-4120-191 AUDIT FEES	0.00	0.00	8,750.00	100
10-4120-193 CONTRACT LABOR	0.00	400.00	0.00	0
10-4120-200 OFFICE SUPPLIES - ADMIN	202.41	1,204.48	10,000.00	88
10-4120-210 PLANNING CONFERENCE	0.00	0.00	1,500.00	100
10-4120-321 TELEPHONE - ADMIN	95.02	403.95	3,500.00	88
10-4120-325 POSTAGE - ADMIN	0.00	900.00	2,000.00	55
10-4120-331 UTILITIES - ADMIN	26.08	1,275.16	4,725.00	73
10-4120-351 REPAIRS & MAINTENANCE -	0.00	0.00	37,500.00	100
10-4120-352 REPAIRS & MAINTENANCE -	2,841.98	32,904.33	60,000.00	45
10-4120-354 REPAIRS & MAINTENANCE -	2,790.50	9,965.50	58,250.00	83
10-4120-355 REPAIRS & MAINTENANCE -	116.00	226.00	1,000.00	77
10-4120-356 REPAIRS & MAINTENANCE -	440.00	1,420.00	6,000.00	76
10-4120-370 ADVERTISING - ADMIN	0.00	113.13	1,000.00	89
10-4120-397 TAX LISTING & TAX	-4.45	-112.35	250.00	145
10-4120-400 ADMINISTRATIVE:TRAINING	150.00	1,675.00	4,000.00	58
10-4120-410 ADMINISTRATIVE:TRAVEL	354.17	772.81	5,000.00	85
10-4120-450 INSURANCE	0.00	13,615.20	15,750.00	14
10-4120-491 DUES & SUBSCRIPTIONS	175.00	14,131.97	16,000.00	12
10-4120-498 GIFTS & AWARDS	0.00	0.00	3,000.00	100
10-4120-499 MISCELLANEOUS	1,281.56	3,043.10	5,000.00	39
10-4120-500 CAPITAL EXPENDITURES	0.00	0.00	35,000.00	100
TOTAL EXPENDITURE	19,435.07	123,622.29	419,735.00	71
BEFORE TRANSFERS	-19,435.07	-123,622.29	-419,735.00	
AFTER TRANSFERS	-19,435.07	-123,622.29	-419,735.00	

4130 PLANNING & ZONING

EXPENDITURE:

10-4130-121 SALARIES - ZONING	5,833.34	23,333.36	71,500.00	67
10-4130-122 SALARIES - ASST ZONING	99.45	232.05	2,950.00	92
10-4130-123 SALARIES - ADMINISTRATIVE	1,307.63	4,793.27	17,000.00	72
10-4130-124 SALARIES - PLANNING BOARD	375.00	1,500.00	5,200.00	71
10-4130-125 SALARIES - SIGN REMOVAL	222.74	1,069.96	3,500.00	69
10-4130-181 FICA EXPENSE - P&Z	597.39	2,357.13	7,750.00	70
10-4130-182 EMPLOYEE RETIREMENT - P&Z	911.76	3,638.58	11,200.00	68
10-4130-183 EMPLOYEE INSURANCE	1,014.50	4,056.50	12,780.00	68
10-4130-184 EMPLOYEE LIFE INSURANCE	19.60	78.40	250.00	69
10-4130-185 EMPLOYEE S-T DISABILITY	12.00	48.00	175.00	73
10-4130-193 CONSULTING	-1,524.00	-3,744.42	41,000.00	109
10-4130-194 CONSULTING - COG	0.00	4,007.50	10,000.00	60
10-4130-200 OFFICE SUPPLIES - PLANNING	202.41	744.91	5,000.00	85
10-4130-201 ZONING SPECIFIC OFFICE	0.00	0.00	2,500.00	100

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2017-2018

10/01/2017 TO 10/31/2017

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4130-215 HISTORIC PRESERVATION	0.00	0.00	1,000.00	100
10-4130-220 INFRASTRUCTURE	0.00	0.00	160,000.00	100
10-4130-321 TELEPHONE - PLANNING &	95.03	594.05	3,500.00	83
10-4130-325 POSTAGE - PLANNING & ZONING	0.00	900.00	2,000.00	55
10-4130-331 UTILITIES - PLANNING & ZONING	26.08	1,384.02	4,725.00	71
10-4130-370 ADVERTISING - PLANNING &	0.00	113.14	1,000.00	89
TOTAL EXPENDITURE	<u>9,192.93</u>	<u>45,106.45</u>	<u>363,030.00</u>	<u>88</u>
BEFORE TRANSFERS	<u>-9,192.93</u>	<u>-45,106.45</u>	<u>-363,030.00</u>	
AFTER TRANSFERS	<u>-9,192.93</u>	<u>-45,106.45</u>	<u>-363,030.00</u>	
GRAND TOTAL	<u><u>-153,328.74</u></u>	<u><u>-160,224.26</u></u>	<u><u>0.00</u></u>	

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: November 13, 2017

SUBJECT: Monthly Report –October 2017

Transactions:	
Utilities Tax Charge	\$12514.41
Releases	\$(113.93)
Refunds	\$212.11
Penalty and Interest Payments	\$(5.12)
Interest Charges	\$119.33
Overpayment	\$(4.95)
Taxes Collected:	
2017	\$(36002.87)
As of October 31, 2017; the following taxes remain Outstanding:	
2007	\$83.43
2008	\$808.16
2009	\$598.83
2010	\$575.29
2011	\$100.56
2012	\$921.46
2013	\$1738.41
2014	\$2369.78
2015	\$2997.24
2016	\$8885.45
2017	\$865675.54
Total Outstanding:	\$884754.15