

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, OCTOBER 9, 2017 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104**

AGENDA

Prayer – Mayor Bill Deter

1. Open the Meeting
2. Pledge of Allegiance
3. Determination of Quorum
4. Public Comments
5. Additions, Deletions and/or Adoption of the Agenda
6. Consent Agenda
 - A. Approve Reduction of Bond #1140892 for The Falls at Weddington from \$261,653 to \$67,797
 - B. Call for Public Hearing to be held November 13, 2017 at 7:00 p.m. at the Weddington Town Hall to consider Rezoning from R-40 to R-CD for property located at Weddington Matthews Road and Hemby Road, Parcel Number 06120002B
7. Approval of Minutes
 - A. September 11, 2017 Town Council Regular Meeting Minutes
8. Public Hearings and Consideration of Public Hearings
 - A. Conditional Rezoning for a Columbarium at Weddington United Methodist Church
 - B. Conditional Rezoning Amendment for Additional Parking spaces and Change in Lighting Requirement for All Saints Anglican Church
 - C. Text Amendment to Section 46-76(d)(16), 58-8(a)(14), and Appendix D Regarding Landscaping Near Power Lines
 - D. Text Amendment to Section 22-1 Titled Excessive Noise Prohibited; Exemptions; And Section 58-19 Titled Noise
 - E. Canisteo Conservation Subdivision (formerly Deal Road Subdivision) Preliminary Plat/Construction Plans
9. Old Business
 - A. Discussion and Consideration of Calling for Public Hearing to be held November 13, 2017 at 7:00 p.m. at the Weddington Town Hall to consider a Text Amendment to Section 58-58(4)(e)(1)– Minimum Lot Size
 - B. Discussion and Consideration of Final Plat for Harlow’s Crossing Subdivision (formerly Carrington

Subdivision)

10. New Business
 - A. Discussion of Disbanding Public Safety Committee
 - B. Discussion and Consideration of Entry Monument and Landscaping for Harlow's Crossing Subdivision
11. Update from Planner
12. Code Enforcement Report
13. Update from Finance Officer and Tax Collector
14. Public Safety Report
15. Transportation Report
16. Council Comments
17. Closed Session pursuant to NCGS 143-318.11 (A)(3) to consult with attorney on matters protected by the attorney-client privilege relating to Providence Volunteer Fired Department versus Town of Weddington AND Town of Weddington versus Cox Motorsports
18. Adjournment

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: The Falls at Weddington Phase 1 Map 1 - Bond Reduction (1140892)

The Falls at Weddington, LLC is requesting a performance bond reduction for completed improvements within The Falls at Weddington Subdivision Phase 1 Map 1. An inspection letter verifying the satisfactory completion of construction items from LaBella Associates is attached.

Staff recommends approval of the reduction for bond number 1140892 from \$261,653 to \$67,797.00.

September 20, 2017

Ms. Lisa Thompson, Zoning Administrator/Town Planner
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: The Falls Phase 1 Map 1
Roadway Performance Bond Reduction

Dear Lisa:

USI conducted a field inspection which verified the satisfactory completion of construction activities as shown in the performance bond estimate dated September 18, 2017 (Attachment 1). NCDOT has inspected these streets and approved of the construction to date (Attachment 2), and Union County has accepted the utilities (Attachment 3).

The items on the Engineer's estimate show the remaining work to be completed. Therefore, the current performance bond may be reduced to the amount of \$67,797.00 as shown on the estimate.

If you have any questions, please contact us at 704-342-3007.

Sincerely,

US Infrastructure of Carolina, Inc.

Bonnie A. Fisher, P.E.
Senior Engineer

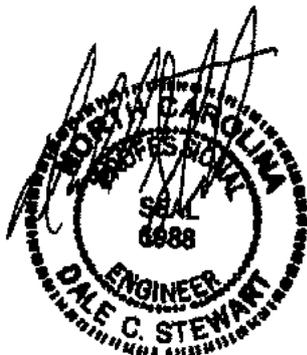
cc: Robb Klauk, LandDesign

Attachments

BOND ESTIMATE FOR FALLS AT WEDDINGTON PHASE 1 MAP 1

Prepared By: LandDesign
Date: 9-19-2017

UNIT	UNIT COST	QUANTITY	AMOUNT	% COMPLETE	BOND AMOUNT
MOBILIZATION	\$10,000 ls	1	\$10,000	0%	\$10,000
EROSION CONTROL	\$15,000 ls	0	\$0	0%	\$0
DECLARATION RECORDATION	\$10 ls	1	\$10	0%	\$10
STORM DRAINAGE:					
15" RCP	\$23 per lf	0	\$0	0%	\$0
18" RCP	\$29 per lf	0	\$0	0%	\$0
24" RCP	\$39 per lf	0	\$0	0%	\$0
30" RCP	\$58 per lf	0	\$0	0%	\$0
15" FES	\$710 each	0	\$0	0%	\$0
18" FES	\$860 each	0	\$0	0%	\$0
24" FES	\$1,020 each	0	\$0	0%	\$0
DETENTION FACILITY	\$25,000 each	1	\$25,000	0%	\$25,000
SURVEY & AS-BUILTS	\$1 each	1.0	\$5,000	0%	\$5,000
CATCH BASIN	\$2,030 each	0	\$0	0%	\$0
STREET INFRASTRUCTURE:					
2'-0" VALLEY	\$12 per lf	0	\$0	0%	\$0
CONCRETE SIDEWALK	\$4 sf	0	\$0	0%	\$0
CONCRETE WHEELCHAIR RAMPS	\$600 each	0	\$0	0%	\$0
8" ABC	\$12 per sy	0	\$0	0%	\$0
1.5" S9.5B INTERMEDIATE COURSE	\$7.50 per sy	0	\$0	0%	\$0
1.5" S9.5B SURFACE COURSE	\$7.50 per sy	1897	\$14,228	0%	\$14,228
SEWER AND WATER					
8" SANITARY SEWER	\$37 per lf	0	\$0	0%	\$0
SANITARY SEWER MANHOLES	\$3,200 per each	0	\$0	0%	\$0
SEWER SERVICES	\$665 per each	0	\$0	0%	\$0
8" WATERMAIN	\$20 per lf	0	\$0	0%	\$0
2" WATERMAIN	\$8 per lf	0	\$0	0%	\$0
WATER SERVICES	\$750 per each	0	\$0	0%	\$0
FIRE HYDRANTS	\$4,000 per each	0	\$0	0%	\$0
BLOW-OFF ASSEMBLIES	\$1,110 per each	0	\$0	0%	\$0
TIE-IN TO EX. WM	\$2,176 per each	0	\$0	0%	\$0
PUMP STATION	\$381,000 per each	0	\$0	0%	\$0
6" FORCEMAIN	\$27 per lf	0	\$0	0%	\$0
SUBTOTAL:					\$54,238
1.25 x BOND AMOUNT					\$67,797
TOTAL BOND AMOUNT					\$67,797



9/18/17



ROY COOPER
Governor
MICHAEL L. HOLDER
Acting Secretary

January 20, 2017

Lee Jensen
Union County Planning Department
P.O. Box 1398
Monroe, NC 28111

SUBJECT: Inspection of Subdivision Roads – Falls at Weddington, Phase 1B

Dear Mr. Jensen:

This letter is to advise you that this office has made a recent inspection of the road(s) under construction in the subject subdivision. These roads appear to be constructed in accordance with NCDOT standards with regards to subgrade, stone base, curb and gutter, first layer of asphalt and drainage.

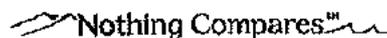
If you have any questions, please contact me at the number below.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Tony J. Pope". The signature is fluid and cursive, with the first and last names being the most prominent.

Tony J. Pope
Engineering Technician

:tp



State of North Carolina | Department of Transportation | Highway Division 10
130 S. Sullerland Avenue | Monroe NC 28112
704 218 5100 T
704 292 1800 F

Attachment 2



UNION COUNTY PUBLIC WORKS

February 7, 2017

RRJ Land Investments, LLC
Attn: Jonathan Keith
811 Coral Ridge Drive
Coral Springs, FL. 33071

**RE: Letter of Final Acceptance for the Development: The Falls at Weddington
Lots 83-106; 117-124**

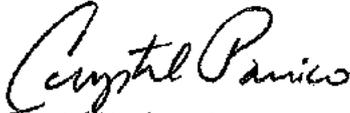
Mr. Keith:

This Letter of Final Acceptance pertains to the Development Phase referenced above. If you have requested that UCPW accept less than the entire Development Phase Project, such reduced portion of the Development Phase Project for which acceptance is given is identified on Exhibit A, attached and incorporated herein by reference. That part of the Development Phase Project for which acceptance is given, whether the entire Development Phase Project or only such portion as identified on Exhibit A, shall be referred to in this letter as the "Accepted Portion of the Development Phase Project." Article 5 of the Union County Water and Sewer Extension Ordinance (the "Ordinance") is enclosed for your convenience. Capitalized terms in this letter shall have the meanings set forth in the Ordinance, unless otherwise clearly required by the context.

UCPW has determined that all conditions imposed pursuant to Section 5.1 of the Ordinance for the Accepted Portion of the Development Phase Project have been satisfied. As to the Accepted Portion of the Development Phase Project, UCPW will release authorization to set water meters in accordance with the provisions in Section 5.2 of the Ordinance. The date of this letter will begin the warranty required pursuant to Section 5.5 of the Ordinance. You are requested to contact UCPW three months prior to expiration of the applicable warranty in order that a warranty inspection may be conducted in accordance with Section 5.6 of the Ordinance.

Please contact UCPW should you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Crystal Panico".

Crystal Panico, PE
New Development Program Manager

Cc: Robb Klauk- Landdesign Engineering
Ashley Whitley- UC Billing
Robert Friend- UC Customer Service
Nadine Bennett- Town of Weddington

COP/lkm

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: Rezoning Parcels from R-40 to R-CD

The Town Council is requested to consider a rezoning application from Hopper Communities, Inc. for property located at 5532 Weddington-Matthews Road (parcel 06-120-002B) from R-40 to R-CD. The tract is approximately 1.910 acres.

The applicant is seeking rezoning in order to develop the land for residential conservation purposes.

Adjacent Property Uses are as follows:

North- R-40, Single Family Home

South- R-CD, Mobile Homes

East: R-40, Single Family Home

West: R-CD, Mobile Homes

Land Use Plan Consistency Statement

State Statute requires that all zoning regulations shall be made in accordance with a comprehensive plan. When adopting or rejecting any zoning amendment, the governing board shall also approve a statement describing whether its action is consistent with an adopted comprehensive plan or any other officially adopted plan that is applicable, and briefly explaining why the board considers the action taken to be reasonable and in the public interest. That statement is not subject to judicial review.

Proposed Land Use Consistency Statement

The subject parcel is designated for Traditional Residential on the Weddington Land Use Plan. However, the rezoning meets the goals of the land use plan in that it ensures the conservation of open space and scenic views; protects areas that are within wetlands and streams; minimizes the visual effect of development from surrounding properties and roadways; and maintains the town's strong single-family residential character.

Recommendation

Given the purposes of the R-CD and the consistency with Land Use Plan, staff recommends rezoning parcel 06-120-002B from R-40 to R-CD and adopting the statement of land use plan consistency.

Attachments:

Application

Site Map

Land Use Plan Goals and Policies

Land Use Plan Map

TOWN OF WEDDINGTON

1924 Weddington Road
Weddington, NC 28104
704 846-2709
704 844-6372 (fax)

ZONING MAP CHANGE APPLICATION

Date of Application 9/21/17 Check # _____

I. Applicant/Owner Information

A. Applicant's Name Hopper Communities, Inc
Address 229 E Kingston Ave, Charlotte NC 28203
Phone 704-805-4802

II. Property Location

A. Property Location 5532 Weddington Matthews Rd
Weddington NC 28104

B. Tax Map Book _____ Map _____ Parcel(s) 06120002B

C. Dccd Book 3095 Page 860

D. Existing Zoning R-40 Proposed Zoning R-CD

E. Existing Use Vacant

F. Property Size 1.91 AC (Sq. Ft./Acres)

III. Other Required Information (Attach the Following)

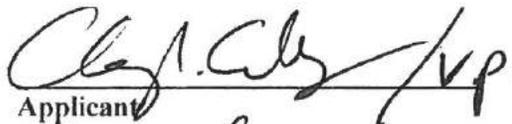
- A. The application shall be accompanied by two (2) copies of a map, drawn to an appropriate scale. This map shall be prepared by a certified engineer or registered licensed surveyor, and shall be signed and certified to be correct by the preparer. If the proposed rezoning is not a partial lot rezoning, a Union County tax map may be submitted in lieu of a sealed survey according to the discretion of the Zoning Administrator. The map shall contain the following:
1. If not in a subdivision of record, the subject property plus such additional property as to show the location of the subject property with reference to the nearest street intersection, railroad, stream or other feature easily identifiable on the ground. In addition, all property lines which abut the property shall be shown as well as the names and addresses of all abutting property owners.

REZONING APPLICATION

2. If the property is in a subdivision of record, a map of such portion of the subdivision drawn to scale, that would relate the subject property to the closest street intersection, and in addition, the name of the subdivision and the plat book and page number on which the plat is recorded. In addition, the names of all abutting property owners shall be indicated.
 3. Existing location of building on lot and a listing of uses of all structures.
 4. Zoning classification of all abutting lots.
- B. The applicant shall include the names and addresses of all abutting property owners as shown on the current records of the Union County Tax Supervisor's Office. Abutting property shall be construed to mean and include property on the opposite side of any street, stream, railroad, road or highway from the property sought to be rezoned, and, in the event the owner of the property sought to be rezoned owns other property adjoining the property sought to be rezoned, the adjoining property shall also be construed to mean and include property adjoining the other property of the owner which adjoins the property sought to be rezoned. Applicants shall use Attachment "A" (As many sheets as necessary to list abutting property owners).
- C. Certification from owner of record that applicant has authorization to apply for this zoning action. (This is needed only if the applicant is not the property owner).
- D. State whether or not the applicant or owner, owns, has a proprietary interest, or in any way has any other contractual interest in any land which is contiguous to the land which is the subject of this request. If so, please provide a sufficient legal description of such land and state the interest of the applicant or owner.
- E. Application processing fee. Attached check, payable to the *Town of Weddington* in the amount of \$715.00

I hereby certify that all of the information provided for this application and all attachments is true and correct to the best of my knowledge.

REZONING APPLICATION

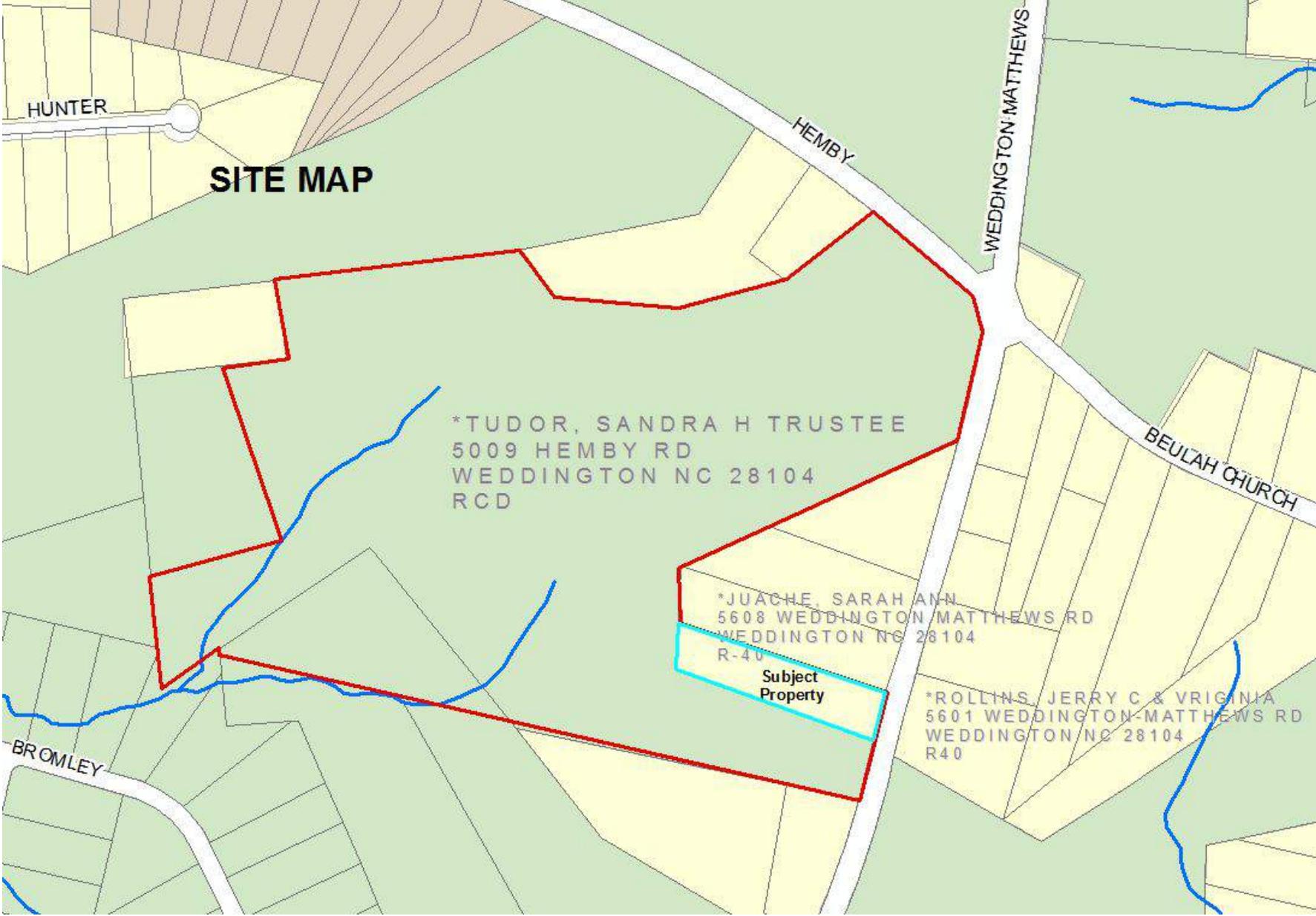

Applicant
Hopper Communities, Inc.

9/21/17
Date

Received by the Town of Weddington


Zoning Administrator

9/21/17
Date



III. GOALS AND POLICIES

Future Land Use. Weddington's *Land Use Plan* is the fulfillment of input and conversation that has transpired while planning for the Town's future. Land Use policies build the framework on which land use decisions can be founded. They are aimed at providing guidance in the location of future land uses and the redevelopment of existing land uses. Land use is dynamic rather than static. It is a process that is marked by public input and is dependent upon continued participation of residents, property owners and business owners for its success. The Land Use plan is that component of this document that links all the factors impacting Weddington. The purpose of the Land Use plan is to institute an ostensibly efficient direction to delineate Weddington's future development patterns - where the community members want to go and how the Town leaders can get there.

The Future Land Use map is not the zoning map for the Town. The Future Land Use map is conceptual and is intended to guide future land use decisions. Future land uses are developed in the context of all of the Plan's goals and policies.

Land Use Goals:

- Goal 1: To ensure that all new development takes place in a manner that conserves open space and scenic views.
- Goal 2: To limit development activities on environmentally sensitive lands.
- Goal 3: Minimize the visual effect of development from surrounding properties and roadways.
- Goal 4: To maintain the town's strong single-family residential character.
- Goal 5: To retain a mix of land uses that reinforces Weddington's unique small town character.
- Goal 6: To ensure that the type, location, and scale of existing commercial and future commercial development in the Town provides goods and services for the residents of Weddington and neighboring communities.

Goal 7: Through the conditional zoning process, provide smaller lot sizes to accommodate a variety of age and income groups, and broader residential preferences, so that the community's population diversity may be enhanced.

Land Use Policies:

Policy 1: Preserve open space and scenic views through appropriate zoning regulations. Require open space preservation in both conventional and conservation subdivisions and commercial developments.

Policy 2: Preserve the Town's natural resources. Depending upon the fragility of the resource, restrictions should limit or prohibit construction, grading, and even vegetative clearing.

Policy 3: Limit development to areas of the Town that have suitable soil and topographic characteristics for development.

Policy 4: Limit development in designated 100-year floodplains, wetlands and along natural waterways to reduce the risk of significant damage and injury to life and property.

Policy 5: Ensure that development is consistent with the Town's quality and aesthetic values, thereby protecting property values.

Policy 6: Retain the character of the community by ensuring that new residential development consists of single-family homes.

Policy 7: Continue to allow manufactured housing in Weddington on individual lots within Residential (R) zoning districts in accordance with NCGS 160A-383.1.

Policy 8: Prohibit medium and high-density residential development and large-scale commercial development that could create potential traffic and safety problems for the Town.

Policy 9: Ensure that the scale and design of commercial development is consistent with the unique small-town character of Weddington. Limit such development to small-scale retail and service businesses, serving Town residents and surrounding communities, particularly specialty shops and restaurants and prohibit regional scale retail and service commercial establishments. Provide

for open space preservation in new and/or expanded commercial developments.

Policy 10: Minimize the number of street curb cuts to avoid traffic congestion and ensure public safety.

Policy 11: Ensure that land uses abutting residential development are compatible with the scale, intensity and overall character of existing and planned neighborhoods.

Policy 12: Consider land use descriptions shown in **Exhibit 1** and the Future Land Use Map shown in **Exhibit 2** in making zoning and development decisions.

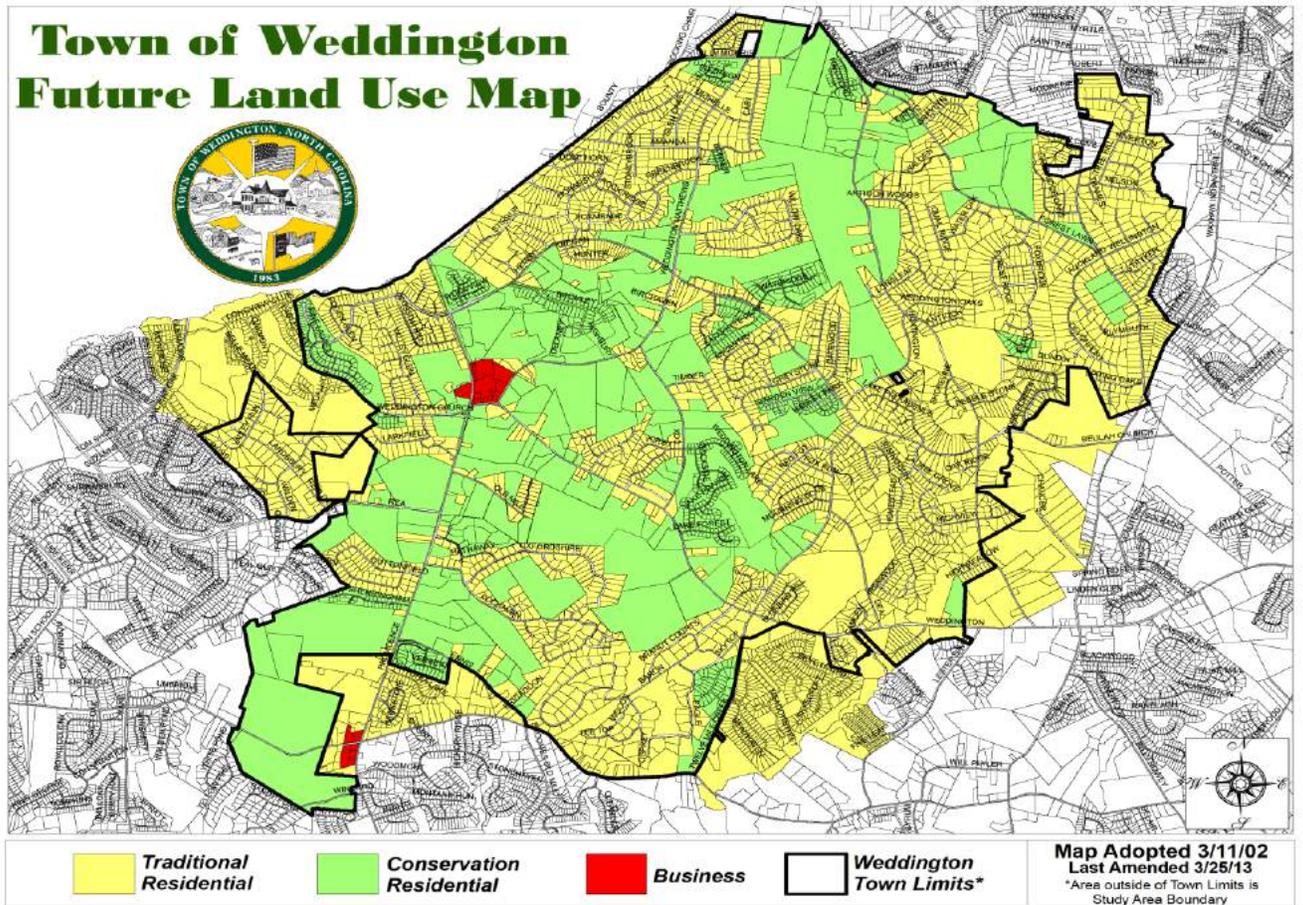
Exhibit 1: Future Land Use Categories

Land Use	Description
Traditional Residential	This category applies to areas where most of the lots and parcels are less than six acres in area. Most of this area is platted and is, or will be zoned for 40,000 square foot lots at a density of approximately one dwelling unit per acre, in accordance with the Town’s current Residential (R-40, R-40D, R-60, R-80, RE and RCD conventional) zoning districts.
Conservation Residential	This category applies to the areas within the Town that are currently zoned RCD or are six acres or greater in area. Some of this area has not been developed while some of the area is currently a conventional or conservation subdivision. Conventional subdivisions shall have minimum lot sizes of 40,000 square feet, plus be subject to a 10% open space requirement. Conservation subdivisions shall be subject to a conditional zoning permit and allow for smaller lot sizes, yet retain a density of approximately one dwelling unit per 40,000 square feet.
Neighborhood Business	Existing commercially zoned (MX, B-1(CD) or B-2(CD)) parcels that lie in the vicinity of the “Town Center” or near the intersection of New Town Road and NC 16. This area is intended for neighborhood scale businesses that serve the needs of Weddington’s residents and surrounding communities. All new commercial development in the Town Center is subject to additional requirements found in the Downtown Overlay District.

Policy 13: Through the conditional zoning process, provide for alternative smaller lot sizes to accommodate a variety of age and income groups, which promotes community, residential, and population diversity.

Policy 14: Allow alternative smaller lots to promote residential and population diversity in the community.

INSERT
Exhibit 2: Future Land Use Map



**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, SEPTEMBER 11, 2017 – 7:00 P.M.
WEDDINGTON TOWN HALL**

MINUTES

PAGE 1 OF 9

DRAFT

Mayor Bill Deter offered an invocation prior to the opening of the meeting

1. OPEN THE MEETING

Mayor Deter opened the September 11, 2017 Regular Town Council Meeting at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Mayor Deter led the Pledge of Allegiance.

3. DETERMINATION OF QUORUM

Quorum was determined with all Councilmembers present.

Staff Present: Town Attorney Anthony Fox, Town Planner/Administrator Lisa Thompson, Town Clerk Karen Dewey

Visitors: Boyd Stanley, Chris Duggan, Barbara Gutierrez, Philip Gutierrez, Liz Callas, Rob Dow, Sandy Simpson, Jeff Perryman

4. PUBLIC COMMENTS

There were no public comments.

5. ADDITIONS, DELETIONS AND/OR ADOPTION OF THE AGENDA

Motion: Mayor Pro Tem Titherington made a motion to approve the agenda as presented.

Vote: The motion passed with a unanimous vote.

6. CONSENT AGENDA

A. Adopt Proclamation P-2017-05 Proclaiming September 10-16 as Suicide Prevention Week

B. Reduction of Bond number 0192527 for the Weddington Preserve Subdivision from \$2,923,144.50 to \$579,478.51

C. Call for Public Hearing to be held October 9, 2017 at 7:00 PM at the Weddington Town Hall to consider the following:

- 1) Conditional Rezoning for a Columbarium at Weddington United Methodist Church**
- 2) Conditional Rezoning Amendment for Additional Parking Spaces and Change in Lighting Requirement for All Saints Anglican Church**
- 3) Text Amendment to Section 46-76 (d)(16), 58-8 (a)(14), and Appendix D Regarding Landscaping Near Power Lines**

4) Canisteo Subdivision (formerly Deal Road Subdivision) Preliminary Plat/Construction Plans

D. Adopt Resolution R-2017-07 Petition NCDOT to Accept Ambassador Court into State Maintained Secondary Road System

Mayor Pro Tem Titherington presented a question to Staff about item 6D under the consent agenda. He asked if NCDOT requires the road to be brought up to standard before they take it over or will they accept in current condition.

Ms. Thompson responded that NCDOT requires the road to be brought up to standard.

Mayor Pro Tem Titherington asked if adopting this resolution is premature.

Ms. Thompson apologized and asked if the item can be tabled, she believes the resolution may be premature.

Mayor Deter clarified that by adopting the resolution, the Town is not accepting the roads, the Town is encouraging NCDOT to accept the roads. Councilmember Smith agreed.

Councilmember Propst asked if there need to be further conversation about the components.

Mayor Deter clarified that NCDOT doesn't have to accept our resolution.

Mr. Fox explained that the resolution shows authority from the Town as to the willingness of the town to allow the street to be accepted by NCDOT. The NCDOT standards will require that they will not accept the street until they determine it has been built to their standards. The Town needs to make sure that it isn't implying in any way that the road meets NCDOT standards, or that the town will bring it up to NCDOT standards.

Motion: Mayor Pro Tem Titherington made a motion to table item 6D Adopt Resolution R-2017-07 Petition NCDOT to Accept Ambassador Court into State Maintained Secondary Road System.

Vote: The motion passed with a unanimous vote.

Motion: Mayor Pro Tem Titherington made a motion to approve the consent agenda as amended.

Vote: The motion passed with a unanimous vote.

7. APPROVAL OF MINUTES

A. August 14, 2017 Town Council Regular Meeting Minutes

Mayor Pro Tem Titherington presented a correction to the original date of the lease agreement in the motion made under agenda item 8B. He also amended a statement in agenda item 9C to read, "Planning Board leads the charge on **managing** a lot of the growth the Town sees".

Motion: Mayor Pro Tem Titherington made a motion to approve the August 14, 2017 Town Council Regular Meeting Minutes as amended.

Vote: The motion passed with a unanimous vote.

8. OLD BUSINESS

A. Review and Consideration of Calling for a Public Hearing to be held October 9, 2017 at 7:00 p.m. at the Weddington Town Hall to Consider a Text Amendment to Section 22-1 Titled Excessive Noise Prohibited; Exemptions; And Section 58-19 Titled Noise

Councilmember Smith presented an update and background on the noise ordinance. He noted that the topic has been discussed in the past few meetings and that there have been some issues around Town and we have nothing in place to address excessive noise. Councilmember Smith offered for the public hearing, Attachment 2, the original text from staff with the Council changes. He stated that the Planning Board recommended that the Town follow the county ordinance, but that doesn't allow the Town to make any changes either deleting or adding to it to suit the Town needs. The modification of the ordinance to suit the Town needs is Attachment 2 (*attachment is hereby submitted for the record*). Councilmember Smith has spoken to the Councilmembers individually and addressed the concerns with going forward.

Councilmember Propst stated that she wants more discussion on this because her issue is *Section 22.2 Operating Gas and Electric Lawnmowers*. She doesn't want to tell residents when they can mow their yards. In the county ordinance, the time restriction doesn't take into account the amount of daylight during summer months. She expressed her concern over the time restrictions and sees no problem with residents mowing their lawn in daylight hours.

Councilmember Smith stated that if Council wants to delete that section, that's fine. The intent of this ordinance is not to handcuff or be tight fisted.

Councilman Buzzard stated that the county has 7 a.m. to 9 p.m. restrictions, so the suggested text for the Town is actually an hour longer.

Councilmember Propst disagreed.

Mayor Pro Tem Titherington clarified that in the county ordinance, noise is allowed between 7 a.m. and 9 p.m. as long as the equipment has the proper muffler.

Councilmember Smith stated that he doesn't necessarily want to follow the county ordinance; the Town can modify the ordinance.

Councilmember Propst expressed that she doesn't feel that the Town needs to tell residents when they are allowed to mow their yards.

Councilmember Buzzard clarified that if the county ordinance is adopted, by default, the Town will tell the residents when they can mow their yard.

Councilmember Propst doesn't believe the Town should adopt the county ordinance as it is, she believes the Town should write its own ordinance.

Mayor Pro Tem Titherington stated that he believes the intent of the text is to regulate the noise from commercial operators running several of the mowers early in the day, creating a nuisance for the neighbors.

Mayor Deter offered potential solution to change wording from motor driven domestic tools to commercial tools.

Councilmember Smith declared Rules of Procedure, believing that Mayor Deter was out of order in

Mayor Deter explained that his intent was not entering into debate, but only to offer a suggestion for Council resolution.

Mayor Pro Tem Titherington stated that he is interested in hearing Mayor Deter's perspective.

Councilmember Smith believes that by entering into discussion, Mayor Deter is violating the Rules of Procedure, and should pass the gavel to another Councilmember.

Mayor Deter offered to pass the gavel to Mayor Pro Tem Titherington and Councilmember Smith stopped him by explaining that Rules of Procedure required the Mayor pass the gavel at the beginning of the meeting.

Mayor Deter read from the Rules of Procedure: *The mayor shall preside at meetings of the council unless he or she becomes actively engaged in debate on a particular proposal, in which case he or she will request for another council member to preside over the debate. The Councilmember agreeing to preside must not have entered into the debate prior to accepting the gavel and thus biasing the process. There is no requirement that a Councilmember be compelled to take the gavel. The mayor shall resume presiding as soon as action on the matter is concluded.*

Councilmember Smith explained that the reason he was brought up was for the last year and a half he has received comments from people attending Town Council meetings. He is not trying to make an issue out of it.

Mayor Pro Tem Titherington stated that Councilmember Smith may have wanted to check with how the Council felt about it and that he would appreciate everybody's opinion on the matter.

Mayor Deter stated to Council in interest of keeping the meeting moving, he was trying to facilitate something versus debate.

Mr. Fox stated the issue is whether or not it constitutes debate. If the council deems that it does constitute debate, then the rule does provide for the gavel to be passed to a Councilmember who has not engaged in the debate. If they accept the gavel, the mayor may engage in debate. It does not put a time period on when it has to happen, according to the rules of procedure.

Councilmember Smith stated that it had been brought to his attention and its fine, if that's what the Council wants.

Councilmember Propst stated that she realizes the Town needs a noise ordinance. She is concerned about telling people when they can mow their yards. As a citizen of this community, she hasn't seen a big issue regarding complaints of noise issues on people mowing their lawns. She just wanted to see what the rest of the council felt about telling residents they can't mow when it's still daylight.

Mayor Pro Tem Titherington agreed with Councilmember Propst. He believes the intent is commercial noise; the problem isn't going to be the individual running a mower. He asked if looking at the county ordinance, can the Town make it a commercial application.

Mr. Fox stated that if the Council is trying to protect health, safety, and welfare, whether it's characterized as commercial or residential, shouldn't matter because the same noise being generated during an hour

that's otherwise prohibited for commercial but okay for residential. He believes that will be a problem. Mr. Fox refocused the Council stating that this agenda item is calling for a public hearing, there may be information given at the public hearing that may sway the Councilmembers and the ordinance can be changed at that time.

Councilmember Propst stated that she wanted a little conversation about it tonight. She says no one else has any other issues.

Councilmember Smith confirmed that the call for public hearing was for the text in attachment 2 in the council packet.

- Motion:** Councilmember Smith made a motion to call for a public hearing to be held on Monday October 9, 2017 at Weddington Town Hall to consider a text amendment to Section 22-1 Titled Excessive Noise Prohibited; Exemptions; And Section 58-19 Titled Noise (Attachment 2-original text with Town Council changes).
- Vote:** The motion passed with a unanimous vote.

B. Update on the Hemby Road Fire Station and Notification of Wesley Chapel Volunteer Fire Department's Intent to not Purchase the Fire Station at this Time

Mayor Pro Tem Titherington gave an update: We agreed on terms and in principal on everything, it was just a timing issue that they need to work through. So, at this time they sent a note that they are going to table their desire to purchase to a future date. That was communicated to the Town late last week. Mr. Fox stated that technically they withdrew their exercise option without prejudice.

C. Review and Consideration of the Receipt and Acceptance of Communication from Wesley Chapel Volunteer Fire Department Withdrawing their Option to Purchase the Real and Personal Property Located at 5025 Hemby Road and to the Consent to Withdrawal Without Prejudice by the Town *(Communication from Wesley Chapel Volunteer Fire Department is hereby submitted for the record)*

Mayor Pro Tem Titherington explained that this is the communication Mr. Fox mentioned. Mayor Pro Tem recommends that Council accept communication from Wesley Chapel Volunteer Fire Department withdrawing their option to purchase the real and personal property located at 5025 Hemby Road and to consent to withdrawal without prejudice by the Town. There was no further discussion.

- Motion:** Mayor Pro Tem Titherington made a motion to accept communication from Wesley Chapel Volunteer Fire Department withdrawing their option to purchase the real and personal property located at 5025 Hemby Road and to consent to that withdrawal without prejudice by the Town.
- Vote:** The motion passed with a unanimous vote.

D. Discussion of Town Survey

Ms. Thompson presented the update. She explained that the price from the Urban Institute at UNC-

Charlotte was reduced from \$15,000 to \$10,000, if staff will do more of the data input and help with questions. There was also a proposal from Benchmark for \$8,500. If Town decides to do paper survey, Benchmark will do the data input for up to 500 surveys for a fixed fee of \$10,000. Council received examples from both proposals.

Mayor Pro Tem Titherington stated that he appreciates Ms. Thompson going back to reduce the cost. If the Urban Institute does need to go door to door for the survey, will that be included in the \$10,000. Ms. Thompson answered that it will; the data input is what takes so much time and makes the difference in cost.

Mayor Pro Tem Titherington asked if they had a preference for electronic versus mailing the survey or combination of both. Ms. Thompson stated that she would get back with an answer.

Councilmember Propst asked about references for each. Ms. Thompson responded that Benchmark helped with the survey in Wesley Chapel. They were having some issues with council set questions and how the answers were coming in, Benchmark helped fix it. Wesley Chapel liked Benchmark.

Mayor Deter asked if Council had opportunity to check the Survey Monkey example. Ms. Thompson stated that Benchmark has more municipal based survey examples. Urban Institute is more for academic research.

Mayor Deter stated that he was impressed with Survey Monkey; he believes the electronic survey gives Town more flexibility versus a paper survey. He asked Ms. Thompson if Town sends the electronic link for the survey to the residents via email, it could eliminate the data input, which could have an impact on the cost. He would like to make sure that Benchmark can take the data and get the cross tabs for the data the Council wants.

Mayor Pro Tem Titherington agreed that Survey Monkey is a good tool; it allows for open questions and a lot of verbatim feedback. He is concerned that the Town builds in methodology for residents so that all are aware of the survey and if they want, they can have a paper copy. The Town doesn't want to exclude anybody by not providing a paper survey. He asked if Benchmark has scanning capabilities to put results into the system which could eliminate the keystrokes for the data.

Mayor Deter suggested sending a notice before the survey to the resident email list and getting word out so residents know it's happening.

Councilmember Propst stated that she would like to get the survey going; it's not under consideration this month, so the Council can't vote on it. She would like to make this happen before the last quarter of the year with the last newsletter.

Mr. Fox stated that the Council can suspend the rules and amend the agenda to add consideration of the town survey.

Motion: Mayor Pro Tem Titherington made a motion to suspend rules to amend agenda item 8D from Discussion of Town Survey to Discussion and Consideration of Town Survey.

Vote: The motion passed with a unanimous vote.

Motion: Councilmember Propst made a motion to authorize Staff to enter into contract with Benchmark, not to exceed \$8,500, to conduct the town survey.

Vote: The motion passed with a unanimous vote.

9. NEW BUSINESS

A. Review and Consideration of Adopting Ordinance O-2017-11 Brunch Bill

Mayor Deter presented the Brunch Bill. This will authorize the sale of alcohol beginning at 10:00 a.m. on Sundays.

Motion: Councilmember Smith made a motion to adopt Ordinance O-2017-11 Brunch Bill- To Allow the Sale of Alcoholic Beverages Before Noon on Sundays at Licensed Premises.

Vote: The motion passed with a unanimous vote.

10. UPDATE FROM PLANNER

Ms. Thompson presented the update. She stated that the Town has received a questionnaire about development in the area, proposed land uses and population from Patriot Transportation Engineering in Raleigh with respect to NC 16 widening from Rea Road to Waxhaw Parkway.

Staff will be inspecting the Cox property with code enforcement and a deputy to ensure compliance with the Settlement Agreement.

11. CODE ENFORCEMENT REPORT

Mayor Pro Tem Titherington asked about item 3: Highway 84 and Twelve Mile Creek intersection. He confirmed that a letter was sent. Ms. Thompson explained that the property owner has been into Town Hall to clarify how he is planning to shred the debris and stumps. Ms. Thompson has given him one month to complete it.

Mayor Deter asked about item 6: 102 Antioch Plantation Drive. He asked if the property owner has been notified. Ms. Thompson explained that she is not sure of the date and nothing was done in writing, however she called the property owner, and he has until Friday to get the utility building removed.

Mayor Deter requested that contact with property owner be made a part of the note in the code enforcement report.

12. UPDATE FROM FINANCE OFFICER AND TAX COLLECTOR

Mayor Pro Tem Titherington requested a question be passed along for Ms. Gaylord: Is there a projection when the local option sales taxes, beer and wine tax and utility franchise taxes, which have not been received from the state, will be distributed.

13. PUBLIC SAFETY REPORT

Councilmember Smith stated that he has made several attempts to contact the Public Safety Advisory Committee with little to no response. With Council agreement, he would like to put on next month's agenda for discussion and consideration to disband the committee.

Mayor Deter asked if disbanding the committee will require discussion and consideration by the Council.

Mr. Fox stated that there may need to be an amendment to the ordinance.

Council agreed to add to October Regular Meeting Agenda.

14. TRANSPORTATION REPORT

Councilmember Buzzard stated that he had no updates as he missed the last CRTPO meeting.

Mayor Deter stated that there is a meeting this Wednesday at Old Armory for Staff and elected officials.

Mayor Pro Tem Titherington sent a note to Ms. Thompson regarding the complaint at the intersection of Antioch Church Road and Forest Lawn- that intersection is on the NCDOT list and it certainly getting worse. He asked if Ms. Thompson would check with DOT for other options.

Mayor Deter stated that he was at that intersection this morning at the request of a resident. He took car counts- He wanted to see how many cars backed up on Antioch Church Road trying to make a left turn. At 6:45 AM there was no back up. At 7:15-the count peaked at about 15 cars and by 7:45 back down to nothing. As a layman, it looked like the issue was the traffic light at Tilley Morris and Antioch Church turns red, traffic backs up so people trying to turn left can't because the traffic is backed up through there.

Councilmember Smith has been exchanging email with a resident in Brookhaven who has been dealing with DOT on this. The resident will follow up with email exchange. They have taken pictures and car counts. Councilmember Smith suggested connecting with that resident and see what DOT has been doing and what paths they are taking.

Councilmember Propst asked if it is in part of the fact the roundabout is still being constructed and rearranged traffic a lot. I'm finding myself in lines in places that don't normally have the lines, because cars are being rerouted. Everybody is experiencing the back up

Mayor Deter stated that the Brookhaven side is Indian Trail, our side is Weddington, and there is a portion that is Union County and Stallings.

15. COUNCIL COMMENTS

Councilmember Propst: Thank everybody on this nice beautiful night for coming out. I appreciate you being involved in your community and please stay informed and keep in contact and come more often. Thank you.

Councilmember Smith: I won't repeat, but echo her comments. Thank you.

Councilmember Buzzard: I am impressed that we have as many people out on this night as we do on any other nights. Thank you all for attending.

16. ADJOURNMENT

Motion: Councilmember Smith made a motion to adjourn the September 11, 2017 Regular Town Council Meeting at 7:43 p.m.
Vote: The motion passed with a unanimous vote.

Bill Deter, Mayor

Adopted: _____

Karen Dewey, Clerk

DRAFT

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: Weddington United Methodist Church CZ Rezoning Request

Weddington United Methodist Church requests a Conditional Rezoning (CZ) for property located on the southeast corner of NC16 and Hwy 84 to construct a columbarium in front of the existing cemetery.

Application Information

Date of Application: July 10, 2017
Applicant Name: Weddington United Methodist Church
Parcel ID#: 06150075
Property Location: 13901 Providence Road
Existing Zoning: RCD
Proposed Zoning: RCD (CZ)
Existing Use: Offices/Fellowship Hall/Cemetery
Proposed Use(s): Columbarium
Parcel Size: 5.43 acres

Project Information

The columbarium area includes a new sidewalk, fountain, pavers, benches and brick columbarium walls with niche units, and a precast concrete top. The project is broken up in three phases. Phase one includes 192 niches, phases two and three have 72 niches. The applicant will remove and refurbish the existing fence to use between the units.

The ordinance defines a cemetery as property used for the dead, which may include the commercial sale and location of burial lots, crypts or vaults for use exclusively on the subject property. A cemetery shall not be used for the preparation or embalming of bodies; or the cremation of bodies. Setbacks for cemeteries shall be measured from the nearest structure or grave sites.

Cemeteries are conditional uses in the R-CD zoning district. The use may be permitted after review through the conditional district rezoning process.

Cemeteries require a minimum of 5 acres and have the following setbacks:

Front Setback-75 feet

Rear Setback-40 feet

Side Setbacks-50 feet

The site will be accessed off of Providence Road.

Section 58-175 titled Off-street Parking requires 1 space per employee during the shift of greatest employment plus parking on private internal roads for cemeteries. Approximately 3 parking spaces will be removed to accommodate the new proposed structure. The church owns the property across the street for over-flow parking, if necessary; therefore staff does not recommend additional parking spaces for this use.

Because the existing cemetery use remains, staff does not believe additional screening buffers are needed, however, staff does recommend that the applicant plant the landscaping as shown on the elevation/site plan to break up the large walls and fencing between the sidewalk and parking lot and the columbarium.

The Conditional Rezoning requires two public involvement meetings, a Planning Board recommendation, a public hearing and Town Council review.

The required public involvement meetings for this project were held on July 31, 2017. One person attended the meeting for informational purposes only.

The Planning Board reviewed the plans on August 28, 2017. Questions were raised about the type of lights that are proposed and plans for expansion/phasing. The applicant explained that the lights would be ornamental, not parking lot pole lights and the existing security light on the building would remain. The applicant hopes to do all 3 phases at once; depending on finances and has no plans for expansion.

The Board unanimously recommended approval with staff's conditions and the additional condition that the lighting be consistent with the church conditional zoning requirements.

Staff reviewed the previous conditional use submittals from WUMC. In 2014 a plan for two soccer fields and one baseball field with parking was reviewed by Town Council. A condition of that approval was that a lighting plan shall come back to Town Council for approval and comply with the Town Lighting Ordinances. Prior to that, two CUP's were approved for a family life center and mobile classrooms. Both had the condition that lights had to conform to the Town Lighting Ordinance.

Section 14-85 exempts area lighting with an upscale architectural style such as the nostalgic lanterns. These decorative post-mounted fixtures are generally non-cutoff by the IESNA but are acceptable. The maximum lumens generated from each fixture shall not exceed 9,500 initial lamp lumens per fixture, and each fixture must be equipped with a solid top to reduce the amount of *light* going into the sky. There are no other timing restrictions in the lighting ordinance.

Recommended Conditions of Approval

1. Any proposed lighting shall comply with Town Lighting Ordinance;
2. The landscaping shown on the plan shall be required; any deviation shall require DRB review and approval; plant material shall be approved by the zoning administrator; and
3. Any future revisions to the approved site plan and other approved documents must comply with *Section 58-271 (i)* of the *Weddington Zoning Ordinance*;

Town Council Action

Staff recommends approval of the conditional zoning application for the Weddington United Methodist Church columbarium with the conditions as outlined above.

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: All Saints Anglican Church – Conditional District Amendment

All Saints Anglican Church requests an amendment to their Conditional Rezoning (CZ) for property located at 5328 Hemby Road to construct 18 parking spaces and amend the condition that the parking lot lights must be off at 9:30 p.m.

Application Information

Date of Application: July 11, 2017
Applicant Name: All Saints Anglican Church
Parcel ID#: 06120012Q
Property Location: 5328 Hemby Road
Existing Zoning: RCD (CZ)
Existing Use: Church
Parcel Size: 7.95 acres

Project Information

The church rezoning was approved on July 13, 2015. Phase 1 included a 13,900 sq ft multi-purpose building, parking, detention pond, two access drives off Hemby Road, and the required landscape buffering. The applicant received their certificate of occupancy with a condition that the 9' staggered evergreen bushes/trees that supplement the required landscaping along the rear property line be planted prior to December 1, 2017.

The church now seeks to amend their plans and lighting condition as stated above.

The church is requesting that the parking lot lights remain on throughout the night for security purposes. The applicant's photos are included in the packet along with their explanation.

The new parking spaces are proposed for the West side of the church with a sidewalk connection to the existing sidewalk. The spaces will be internal to the existing access drive. The town engineer concluded that the approved stormwater management plans show the total impervious area at 98,313 sq ft. The total proposed to date is 85,555 sq ft. The additional impervious area that is being proposed will have to come out of the future Phase 2 amount by 17,047 sq ft. In addition, the Town has a recorded Operation and Maintenance agreement with the Church. In order to ensure that stormwater control structures installed as part of development are functioning as intended, the Town monitors the ongoing maintenance and inspection of these structures by their owners. In accordance

with the Agreement, regular maintenance and inspections of the onsite stormwater pond are to be conducted by the owner and a subsequent inspection report generated by a Professional Engineer. Reports are to be kept on file by the owner and submitted to the Town as requested. The Town requested a signed and sealed inspection report for the onsite detention pond to be completed and submitted to the Town by November 15, 2017. Any defects or maintenance needs found during the inspection are required to be addressed promptly.

Review Process

The conditional rezoning amendment process requires two public involvement meetings, a Planning Board recommendation, a public hearing and Town Council review.

The required public involvement meetings for this project were held on August 7, 2017. Approximately 15 people attended the on-site meeting and approximately 13 people attended the evening meeting.

Notes taken by staff from the daytime meeting are as follows:

- I've had no issues with the church use but I have concerns about this lighting proposal
- We were assured a berm at the beginning of the project
- Why don't you consider motion lights?
- There is a difference between dim street lights and bright LED parking lot lights
- There has been a lack of communication between the church and the neighborhood, we'd like to be informed of what's being planned
- I'm more comfortable with a motion light
- The detention area looks like a mosquito pit
- Are there any plans to develop the lawn area in the back?
- Will future buildings/development on this site have lighting?
- This feels like a done deal, the community and our comments have no effect on the decision makers
- Why not have ground lighting instead of the overhead lights?
- What are other churches doing for parking lot lights?
- Has your building been vandalized? Is there a real issue?
- Are you adding any more lighting or requesting the current parking lot lights to remain on?
- I recommend you have security lights on your building
- Did you know about the parking issues when this project started? Why are you needing an amendment so soon?
- Does the Latter Day Saints church have lights?
- What is the time frame for the sanctuary building?

Notes taken by staff from the evening meeting are as follows:

- The lights are needed for safety reasons
- There is a lot of new construction in the area that attracts crime
- The lights will keep kids out of the parking lot at night. It is a deterrent.
- Thieves could park there and access adjacent neighborhoods
- The parking spaces were a part of the original plan which had to be amended for detention purposes.
- Lights help to discourage vandalism
- The church had issues in the past

- On rare occasions we have late evening meetings or masses. The lights are needed as people walk to their cars
- The LED lights are pointed down and save money. They do not have light trespassing across the property line
- The new parking has easy access for handicap persons to the building

The Planning Board reviewed the amendment on August 28, 2017. The following excerpt was taken from the draft minutes.

Board member Prillaman stated that he drove by the property and confirmed that the lights are very low key. He asked if the neighbors of the church, specifically next door and across the street, have any issue with the lights.

Board member Klink stated that neighbors he has spoken with have a big problem with the lighting and they are unhappy with the current 9:30 cut off time.

The Applicant stated that the concern is having kids hanging out unseen. With the current construction, darkness provides opportunity for people to do things that they shouldn't be doing. The lighting doesn't permeate anybody's yard. One can see the lights, but they aren't shining in anybody's yard or into anybody's house.

Board member Prillaman explained that he drove around to compare lighting. He found a church farther away down Hemby, more remote, where kids would probably be hanging out. Weddington United Methodist Church has more lights from building shining out-they are security lights not street lights.

Board member Hogan believes that the surrounding homeowners will be affected by housing going in east of the church -they will have streetlights also. He stated that when driving around, he found lights throughout the town that are not shut off at 9:30. If it's a security and safety issue, maybe have an agreement to turn off the lights at midnight.

Board member Vivian suggested motion lights.

Chairman Dow asked what has been done in other situations: Weddington United Methodist Church has security lights on back and in parking lots that go off at a certain time. He confirmed that the security lights do not go off.

Board member Harrison is concerned with setting a precedent. She asked for confirmation if there were security lights on the outside of the church. The Applicant responded that there was no exterior security lighting, only interior emergency lighting required by code.

Board member Hartman asked the applicant if there had been any incidents. The Applicant responded that there were only thefts while under construction. The Applicant stated that a motion light has been considered, but wildlife would set the light off at all hours.

Chairman Dow asked if the Applicant has considered a gate at the driveway.

Board member Prillaman stated that Optimist Park has a gate that controls entry and exit and serves as a deterrent.

Board member Klink stated that as a Planning Board, one of our goals is to preserve rural character. By lighting up the place it becomes more like a city.

A motion recommending approval for the additional parking spaces was passed unanimously.

A motion to recommend denial on the amendment to the lighting condition passed unanimously.

The original conditions from the conditional district rezoning are listed below:

1. Any engineering associated with construction document submittals must be reviewed and approved by Town Engineer, Bonnie Fisher with USI, according to the Construction Plan Guidelines.
2. County Water plans to be approved by Union County Public Works.
3. All signage must comply with *Chapter 58, Article 5 of the Weddington Code of Ordinances*.
4. Any future proposed Lighting Plan must be approved by the Town Council and shall comply with Town Lighting Ordinance.
5. Any future revisions to the approved site plan and other approved documents must comply with *Section 58-271 (i) of the Weddington Zoning Ordinance*.
6. Prior to commencement of construction, Construction Documents shall be approved by the Weddington Town Council in accordance with Section 58-271 of the *Weddington Code of Ordinances*.
7. Varieties of azalea and spirea must be included on the Town's approved plant species list, unless the applicant receives administrative approval for a variety not included in the list.
8. Landscaping with a southern boundary abutting Tax Parcel 06120012 (as shown on site plan) must be completed during Phase 1 ~~concurrent with Phase II, or within 3 years of the Conditional Zoning Approval for Phase I, or when zoning permit is issued for TP 06120012, whichever comes first.~~
9. Prior to commencement of construction, the applicant must obtain approved driveway permits from DOT.
10. Nothing may be planted or constructed within 10 feet of the fire hydrant located on the property.
11. Landscaping along the rear property line to be supplemented with evergreen bushes/trees sufficient to provide visual screening.
12. No bell shall be installed without an approved amendment to the conditional zoning approval. (no sound emitting)
13. All scheduled activities, exempting the Easter and Christmas holidays, are Restricted to the hours of operation from 7:00AM – 9:30PM
14. Applicant must receive Town Council approval for any or all lights that will remain on for security purposes past 9:30PM exempting Easter and Christmas Holiday services.
15. Provide designs for a pork chop island at western entrance to restrict left turn access onto church property at that entrance (design included in packet).
16. Applicant must receive Town Council approval before extending church uses to any additional activities such as daycare or "mother's morning out."

During the construction plan approval, condition 11 was clarified by Town Council to state "Landscaping along the rear property line is to be supplemented with evergreen bushes/trees to provide visual screening. Bushes/trees must be 9 feet tall at planting and staggered to provide a complete visual screen.

Town Council Action

The Town Council shall have the authority to:

approve the plans; deny approval of the plans; or approve the plans with any modifications that are agreed to by the applicant.

\$1,200.00

Town of Weddington Conditional Zoning Application

Application Number: _____ Application Date: _____

Applicant's Name: ALL SAINTS ANGLICAN CHURCH

Applicant's Phone: 704-246-8023

Applicant's Address: 5328 HEMBY RD, MATTHEWS, NC 28104

Property Owner's Name: ALL SAINTS ANGLICAN CHURCH

Property Owner's Phone: 704-246-8023

If applicant is different from the property owner, please provided a notarized authorization from the property owner.

Property Location: 5328 HEMBY RD

Parcel Number: 06-120-0129 Deed Book and Page: _____

Total Acreage of Site: 7.950 Existing Zoning: RC-D

Application Fee: \$1,200.00 Check Number: _____

All applications must include a site plan, drawn to scale, and supporting text that, as approved, will become a part of the Ordinance amendment. The site plan, drawn by an architect, landscape architect, or engineer licensed to practice in North Carolina, shall include any supporting information and text that specifies the actual use or uses intended for the property and any rules, regulations, and conditions in addition to all predetermined Ordinance requirements, will govern the development and use of the property. The applicant acknowledges that he/she will reimburse the Town for all engineering and consulting services associated with the review of the conditional zoning request prior to any zoning permits being issued by the Town for such project. The applicant shall, at a minimum, include as part of the application, each of the items listed below.

Please include the following:

- ✓ A boundary survey showing the total acreage, present zoning classifications, date and north arrow.
- ✓ The owner's names, addresses and the tax parcel numbers of all adjoining properties.

Planning Board Review

The applicant shall submit at least ten (10) copies of the application to the Zoning Administrator for transmittal to the Planning Board and other appropriate agencies. The zoning administrator shall present any properly completed application to the planning board at its next regularly scheduled meeting occurring at least 15 days after the application has been deemed complete and ready for submission to the planning board. The Planning Board by majority vote may shorten or waive the time provided for receipt for a completed application. The Planning Board shall have thirty days from the date that the application is presented to it to review the application and to take action.. If such period expires without action taken by the Planning Board, the application shall then be transferred to the Town Council without a Planning Board recommendation.

Action by Town Council

Conditional Zoning District decisions are a legislative process subject to judicial review using the same procedures and standards of review as apply to general use district zoning decisions. Conditional zoning district decisions shall take into account applicable adopted land use plans for the area and other adopted land use policy documents and/or ordinances.

Public Hearing Required

Prior to making a decision on rezoning a piece of property to a Conditional Zoning District, the Town Council shall have held a public hearing. Notice of such public hearing shall have been given as prescribed in section 12.1.7 of the Zoning Ordinance. Once the public hearing has been held, the Town Council shall take action on the petition.

The Town Council shall have the authority to:

- a. Approve the application as submitted.
- b. Deny approval of the application
- c. Approve application with modifications that are agreed to by the applicant.
- d. Submit the application to the Planning Board for further study. The Planning Board shall have up to thirty-one (31) days from the date of such submission to make a report to the Town Council. If no report is issued, the Town Council can take final action on the petition. The Town Council reserves the right to schedule and advertise a new public hearing based on the Planning Board's report.

To the best of my knowledge, all information herein submitted is accurate and complete.

Philip J. Gutierrez
Signature of Property Owner

JUL 11, 2017
Date

Philip J. Gutierrez
Signature of Applicant

JUL 11, 2017
Date

PHILIP J. GUTIERREZ
JUNIOR WARDEN
ALL SAINTS ANGLICAN CHURCH



All Saints Anglican Church

5328 Hemby Road
Matthews, North Carolina 28104

704-246-8023
www.allsaintscharlotte.com

July 11, 2017

Ms. Lisa Thompson
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

Dear Ms. Thompson,

All Saints Anglican Church is requesting the following two changes to the conditional zoning application that was approved on January 26, 2015.

1. Increase the parking on the West side of the church with an additional eighteen spaces and sidewalk connecting the parking to the existing sidewalk. These spaces will be taken from the lawn area and not change the current road connecting it with the parking on the North side of the building.
2. A change to the requirement to have the parking area lights turn off at 9:30 PM. We request that the lights be allowed to stay on until dawn for security reasons. The lighting does not encroach on any of the surrounding properties. Enclosed, please find four pages of photographs of the building during the day and at night. All photographs were taken at the rear of the East parking area, facing West.
 - a. Page 1 shows the church parking area during the day.
 - b. Page 2 shows the parking area at night, from the building facing out into the parking area, and the containment of lighting within the property.
 - c. Page 3 shows the parking area at night from the dumpster pad facing the building, and the limited coverage of the lighting to only the parking areas.
 - d. Page 4 shows the same view of the parking area as the page 3 pictures, but the parking area lights are off. Only the security lighting in the building is on. It shows that this entire area is vulnerable to unwanted activity since it is behind the building and hidden from Hemby road.

I look forward to an opportunity to discuss this with you and the Planning Board.

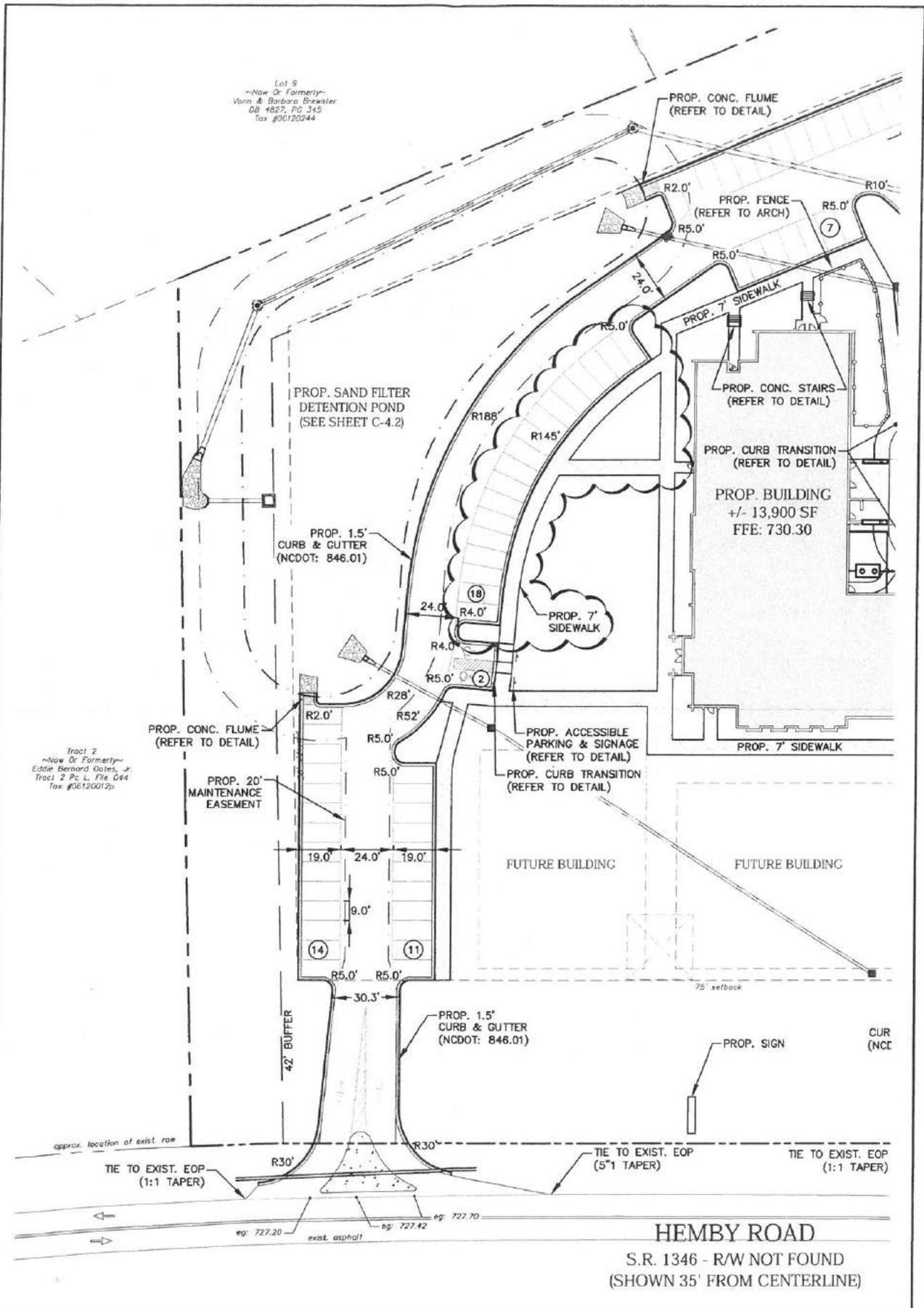
Sincerely,

A handwritten signature in cursive script that reads "Philip J. Gutierrez".

Philip J. Gutierrez
Junior Warden
All Saints Anglican Church

Lot 9
 ~Now Or Formerly~
 Vann & Barbara Brewster
 DB 4827, PG 345
 Tax #06120244

Tract 2
 ~Now Or Formerly~
 Eddie Bernard Gates, Jr.
 Tract 2 P.C.L. #76 044
 Tax #06120012p



HEMBY ROAD
 S.R. 1346 - R/W NOT FOUND
 (SHOWN 35' FROM CENTERLINE)

PROJECT NO: 14-075
 DATE: 05.16.17
 DESIGNED BY: udp
 SCALE: 1"=40'

All Saints Anglican Church

All Saints Anglican Church

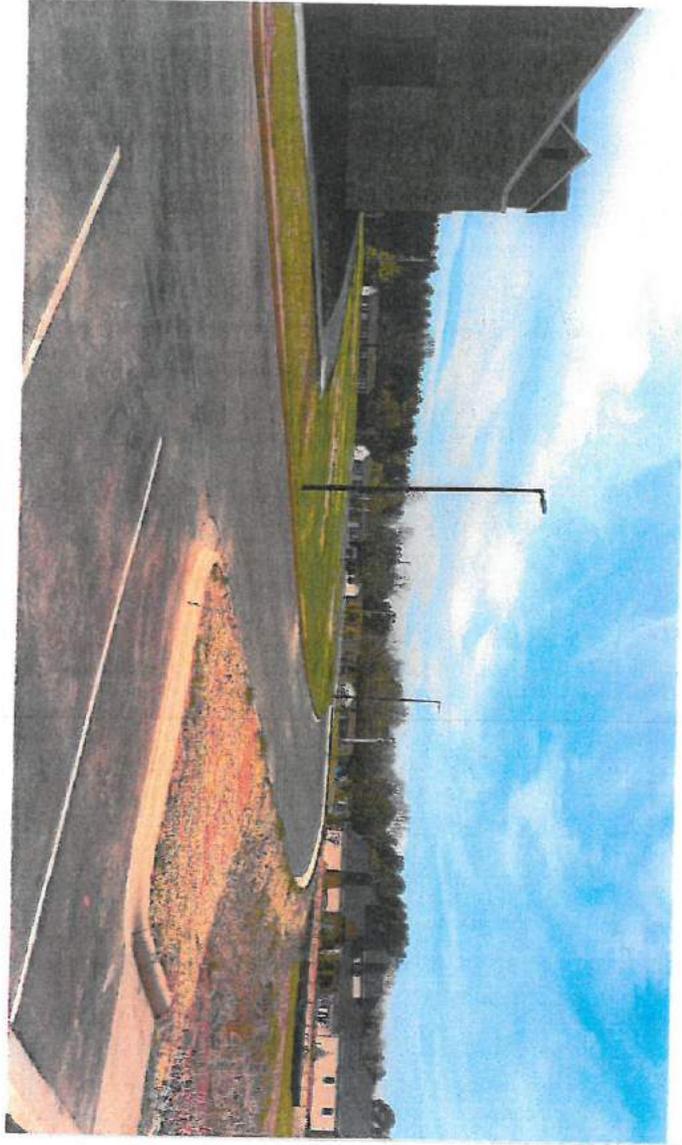
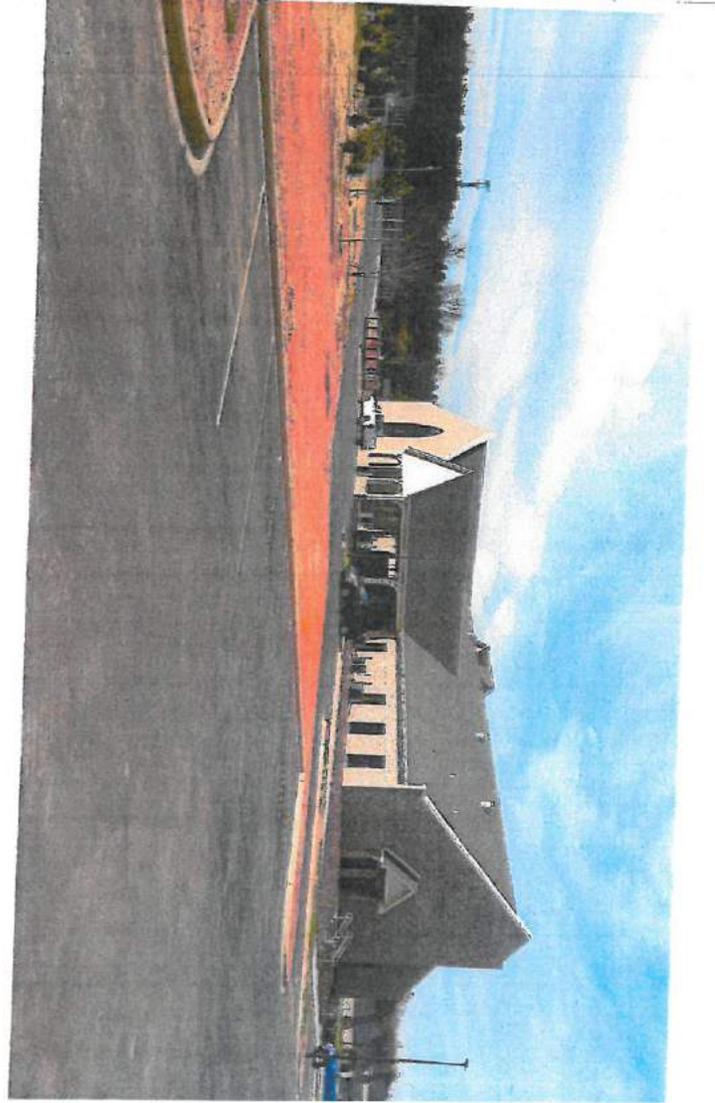


B-2
 SHEET NO

Bulletin #2
Parking Revision

1312 Matthews-Mint Hill Rd
 Matthews, NC 28105

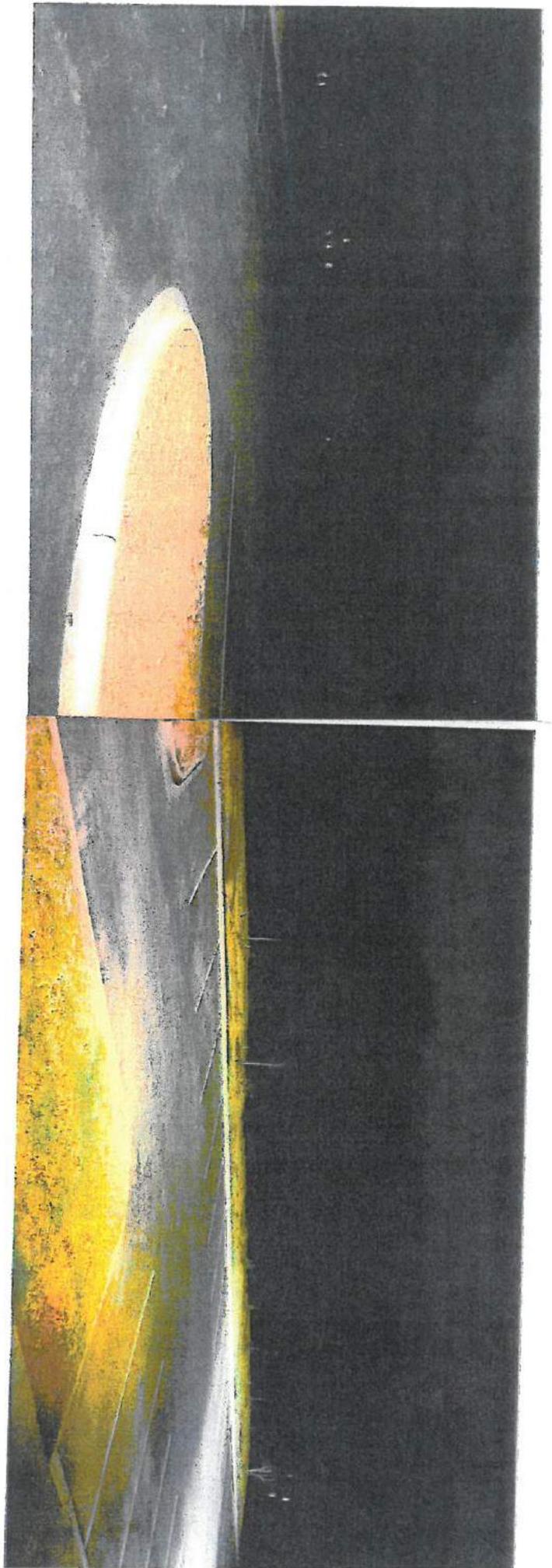
URBAN DESIGN PARTNERS
 1318-e6 central ave. # 704-334-3303
 charlotte, nc 28206 f. 704-334-3305

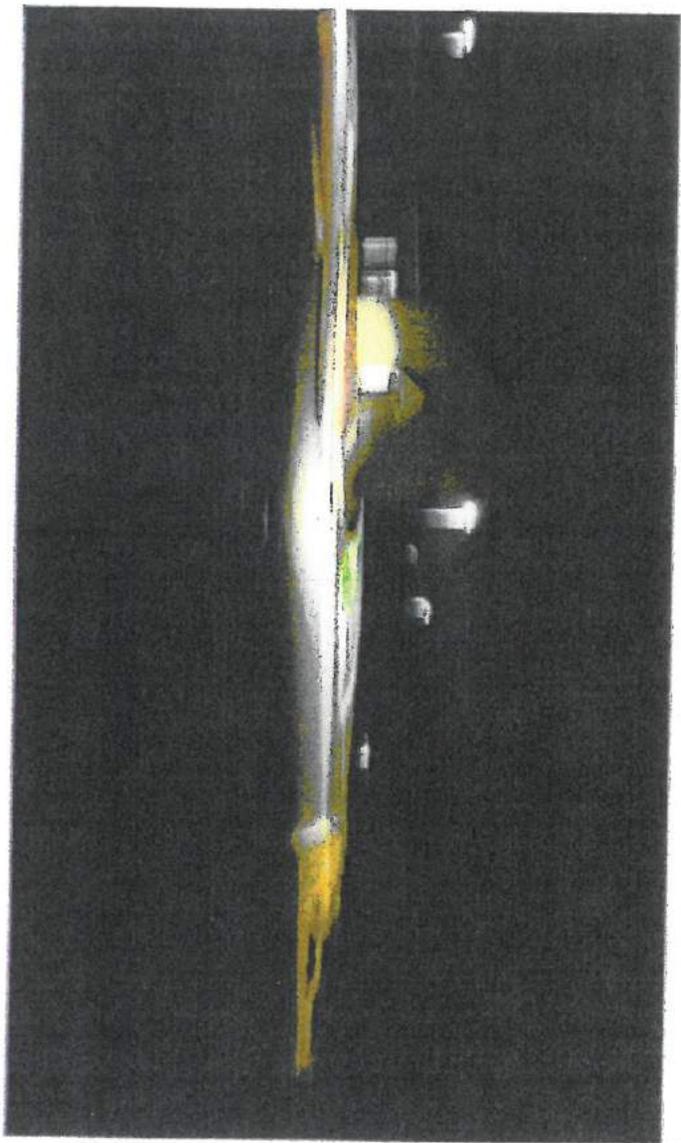


①

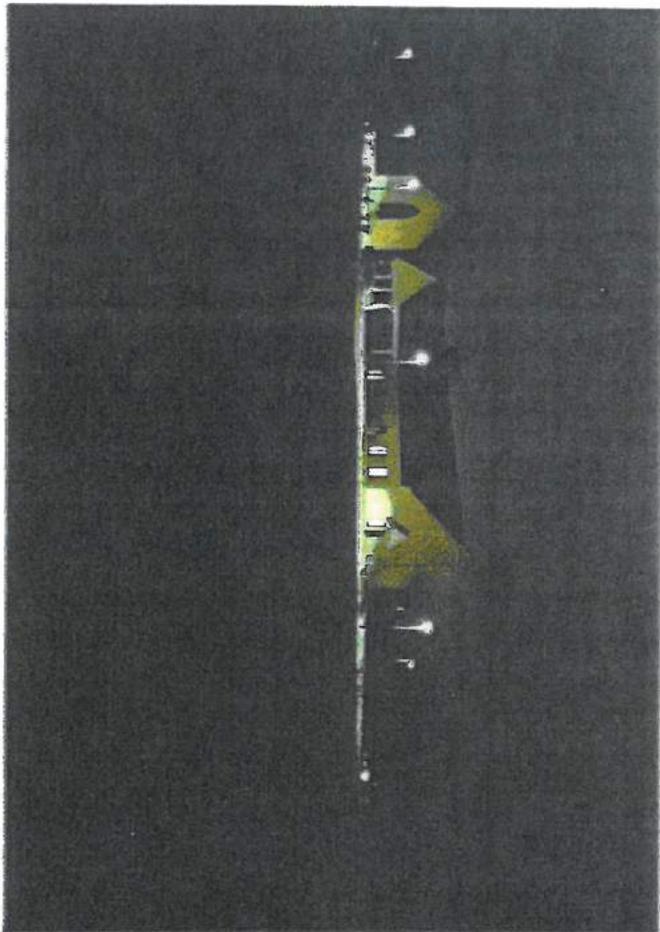


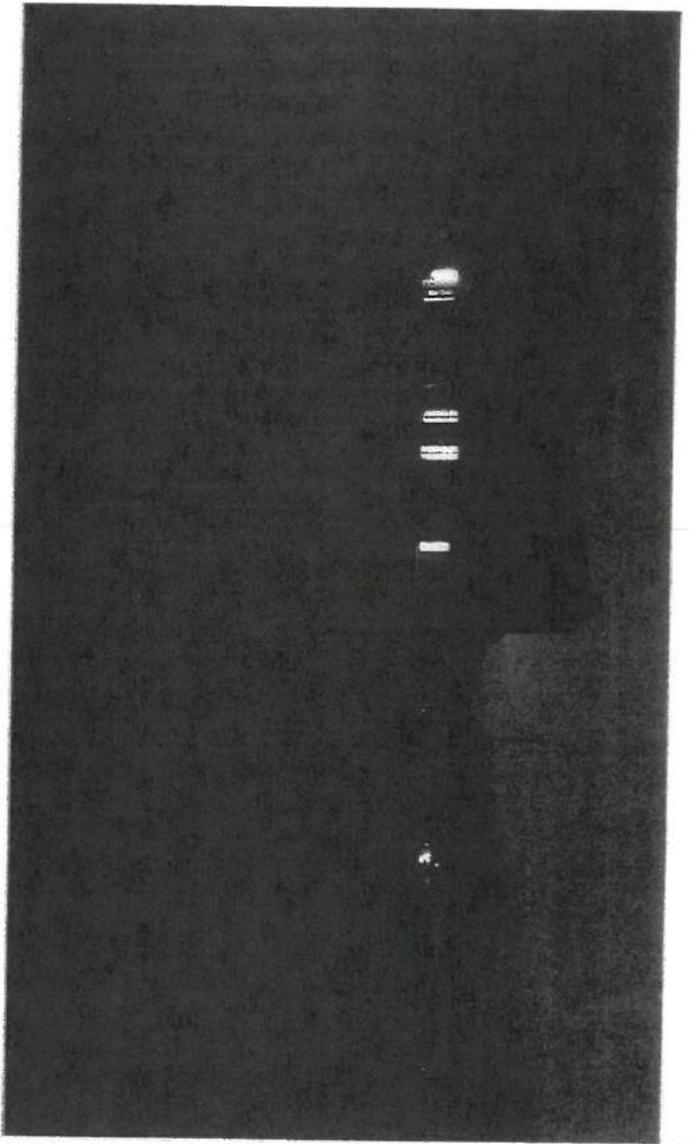
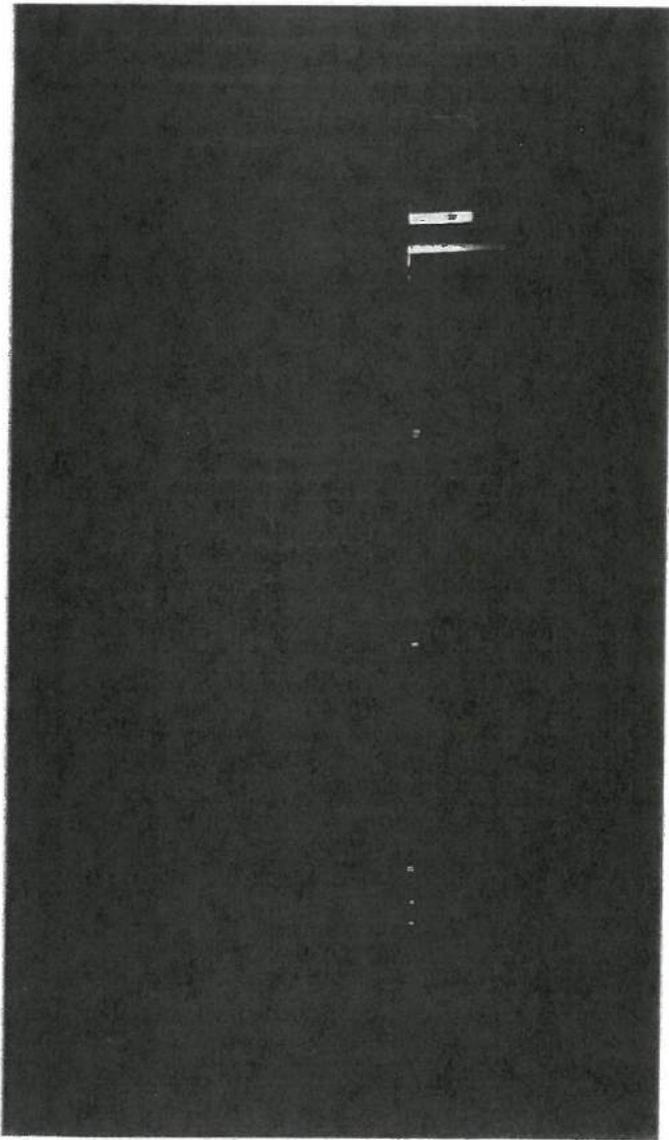
2





3





(11)

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: Text amendment to Sections 46-76(d)(16), 58-8 (a)(14), and Appendix D

Union Power presented information on planting the appropriate trees within or near power line easements. After seeing the presentation, the Planning Board agreed that the Town should revise the ordinances.

Section 46-79 currently does not allow landscaping within the right of way. However, the issue seems to be the canopy of the trees near the utility lines. Figure 1 shows the street trees in front of Brookhaven. Within a few years the canopies of all these trees will be topped. Staff drafted text to further regulate landscaping near overhead lines in **bold**.



Figure 1

In addition, Union Power reviewed the plant list. An asterisk was added to species that cannot be located within the utility right of way.

The Planning Board reviewed the text on August 28, 2017 and unanimously recommended approval with the condition that hedge bamboo be removed from appendix D.

Since the last Planning Board and Council meetings, staff made a few changes for clarification purposes. The additional changes are **highlighted**.

Land Use Plan Consistency Statement

The amendment is consistent with the Land Use Plan because it will conserve the scenic views and minimize the visual effect of development from surrounding properties and roadways. The amendment is reasonable and in the public interest because it keeps trees from being topped by the utility companies and will help prevent future HOA's from having to replant the buffers.

Staff Recommendation

Staff recommends approval of the text amendment to Sections 46-76(d)(16), 58-8 (a)(14), and Appendix D and the Land Use Plan Consistency Statement as provided.

Sec. 46-76. - Road standards and buffering along thoroughfares.

(d) *Buffering along thoroughfares.*

(16) If aboveground utilities are to remain in the buffer yard, then all landscaping, including the location of a berm, must be located **as follows** ~~outside the right-of-way for the utilities.~~

a. Overhead. Trees next to power lines shall be planted using the table below. The measurement shall be made from the nearest edge of the tree trunk.

Distance from Power Line	Tree Specification
40 feet or greater	Any tree listed in Appendix D
18 feet or greater— 30 feet	Small Maturing Trees Listed in Appendix D. However, except trees as marked with an asterisk (*) shall not be located within the utility right-of-way.
0—18 feet	Shrubs with a mature height of 10 feet less than wire height 20'.

b. Underground. Roots planted near underground utility or power lines may be damaged in the event that repairs are required. Utmost care shall be taken when planting new trees and when carrying out any excavation work near trees.

Sec. 58-8. - Screening and landscaping.

(a) Screening required by any of the following or by any other section of this chapter shall be provided in accordance with the following standards:

(14) If aboveground utilities are to remain in the buffer yard, then all landscaping, including the location of a berm, must be located **as follows** ~~outside the right-of-way for the utilities.~~

a. Overhead. Trees next to power lines shall be planted using the table below. The measurement shall be made from the nearest edge of the tree trunk.

Distance from Power Line	Tree Specification
40 feet or greater	Any tree listed in Appendix D
18 feet or greater—30 feet	Small Maturing Trees Listed in Appendix D. However, except trees as marked with an asterisk (*) shall not be located within the utility right-of-way.
0—18 feet	Shrubs with a mature height of 10 feet less than wire height 20'.

***b. Underground.* Roots planted near underground utility or power lines may be damaged in the event that repairs are required. Utmost care shall be taken when planting new trees and when carrying out any excavation work near trees.**

Appendix D

LARGE MATURING TREES	
Abies firma	Japanese fir
Acer platanoides	Norway Maple
Acer rubrum	Red Maple
Acer saccharinum	Silver Maple
Saccharum	Sugar Maple
Altis laevigata	Sugar hackberry
Amelanchier Canadensis	Serviceberry
Betula negra	River Birch
Carya illinoensis	Pecan
Carya glabra	Shagbark hickory

Carya cordiformis	Pignut hickory
Cedrus deodara	Deodar cedar
Celtis occidentalis	Hackberry
Cryptoeria japonica	Japanese cryptomeria
Cupressocyparis leylandii	Leyland cypress
Diospyros virginiana	Persimmon
Fagus grandiflora	American beech
Fraxinus americana	White ash
Fraxinus pennsylvanica	Green ash
Ginkgo biloba	Ginkgo
Gleditsia triacanthos inermis	Thornless honeylocust
Gymnocladus dioicus	Kentucky coffee <i>tree</i>
Juniperus virginiana	Eastern red cedar
Liquidambar styraciflua	Sweetgum
Liriodendron tulipifera	Tulip poplar
Magnolia acuminata	Cucumber <i>tree</i>
Magnolia grandiflora	Southern Magnolia
Nyssa sylvatica	Black gum
Picea abies	Norway spruce
Picea orientalis	Oriental spruce
Picea pungens	Colorado spruce
Pinus bungeana	Lacebark pine
Pinus echinata	Short leaf pine
Pinus nigra	Austrian pine
Pinus sylvestris	Scotch pine
Pinus thunbergi	Japanese black pine
Pinus taeda	Loblolly pine

Pinus virginiana	Virginia pine
Platanus acerifolia	London planetree
Platanus occidentalis	Sycamore
Pseudotsuga menziesii	Douglas Fir
Quercus acutissima	Sawtooth oak
Quercus alba	White oak
Quercus bicolor	Swamp white oak
Quercus borealis	Northern red oak
Quercus coccinea	Scarlet oak
Quercus falcata	Southern red oak
Quercus laurifolia	Laurel oak
Quercus macrocarpa	Bur oak
Quercus nigra	Water oak
Quercus phellos	Willow oak
Quercus rubra maxima	Eastern red oak
Quercus shumardi	Shumard oak
Quercus velutina	Black oak
Quercus virginiana	Live oak
Salix babylonica	Weeping willow
Sophora japonica regent	Japanese pagoda tree
Taxodium distichum	Bald cypress
Tilia cordata	Littleleaf linden
Tsuga caroliniana	Carolina hemlock
Tsuga canadensis	Eastern hemlock
Ulmus alata	Winged elm
Ulmus americana	American elm
Ulmus parvifolia	Lacebark elm

Zelkova serrata	Japanese zelkova
SMALL MATURING TREES *non utility r/w	
Acer buergeranum	Trident maple
Acer campestre	*Hedge maple
Acer ginnala	Amur maple
Acer griseum	Paperbark maple
Amelanchier arborea	Service berry
Betula platyphylla japonica	*Japanese white birch
Carpinus betulus	*European hornbeam
Carpinus carolinana	*American hornbeam
Catalpa bignonioides	*Southern catalpa
Cornus florida	Flowering dogwood
Cornus kousa	Kousa dogwood
Cornus mas	Cornelian-cherry dogwood
Cercis candensis	Eastern redbud
Crataegus phaenopyrum	Washington hawthorne
Cupressus arizonica	*Arizona cypress
Eleganus angustifolia	Russian olive
Eriobotrya japonica	Loquat
Halesia carolina	*Carolina siverbell
Hammamelis mollis	Chinese witch-hazel Ilex
Fagus sylvatica	*European beech
Fosteri	Foster holly
Ilex opaca	*American holly
Ilex opaca hume	*Hume holly
Ilex x attenuata 'Fosteri'	Foster hybrid holly

Ilex x attenuata savannah	*Savannah holly
Kowlrwutera bipinnata	*Chinese flame <i>tree</i>
Koelreutaria paniculata	Golden raintree
Lagerstroemia indica	Crepe myrtle
Magnolia soulangeana	Saucer magnolia
Magnolia stellata	Star magnolia
Malus floribunda	Flowering crabapple
Malus hybrida	Flowering crabapple
Morus alba	*White mulberry
Morus alba 'Pendula'	Weeping white mulberry
Osmanthus americanus	Devilwood
Ostrya virginiana	*Ironwood
Oxydendrum arboreum	*Sourwood
Paulownia tomentosa	*Empress <i>tree</i>
Prunus carolinana	Carolina cherry laurel
Prunus cerasifera 'Atropurpurea'	Pissard plum
Prunus cerasifera pissardii	Purpleleaf plum
Prunus cerasus	Sour cherry
Prunus serrulata kwanzan	*Kwanzan cherry
Prunus subhirtella pendula	Weeping cherry
Prunus yedoensis	*Yoshino cherry
Pyrus calleryana	*Callery pear
Pyrus calleryana Bradfordi	*Bradford pear
Pyrus calleryana 'Redspire'	*Redspire pear
Pyrus calleryana 'Capital'	*Capital pear
Quercus acuta	Japanese evergreen oak
Quercus glauca	Ring cupped oak

Ulmus parvifolia	*Chinese elm
Viburnum rufidulum	Southern blackhaw
SHRUBS	
Abelia grandiflora	Glossy abelia
Abelia x grandiflora	Kaleidoscope abelia
Aucuba japonica	Japanese aucuba
Azalea hybrida	Glendale azalea
Azalea indica	Indian azalea
Azalea obtusum Kaempferi	Kaempferi azalea
Bambusa multiplex	*Hedge bamboo
Berberis julianae	Wintergreen barberry
Berberis thunbergii	Japanese barberry
Camellia japonica	Camellia
Camellia sasanqua	Sasanqua camellia
Chaenomeles speciosa	Flowering quince
Cleyera japonica	Cleyera
Euonymus alatus	Winged euonymus
Euonymus japonicus	Evergreen euonymus
Eleagnus pungens	Eleagnus
Forsythia intermedia	Forsythia
Hammamelis virginiana	Witch-hazel
Hydrangea quercifolia	Oakleaf hydrangea
Ilex aquifolium	*English holly
Ilex cornuta	Chinese holly
Ilex cornuta burfordi	Burford holly
Ilex cornuta burfordi nana	Dwarf burford holly

<i>Ilex crenata</i> 'convexa'	Convex japanese holly
<i>Ilex crenata</i> 'hetzi'	Hetzi japanese holly
<i>Ilex crenata</i> 'roundifolia'	Roundleaf japanese holly
<i>Ilex</i> 'Emily Brunner'	Emily brunner holly
<i>Ilex glabra</i>	Inkberry holly
<i>Ilex latifolia</i>	Lusterleaf holly
<i>Ilex pernyi</i>	Perny holly
<i>Ilex vomitoria</i>	Yaupon holly
<i>Jumperus chinensis</i> pfitzeriana	Pfitzer jumper juniper
<i>Jumperus chinensis</i> hetzi	Hetzi jumper juniper
<i>Laurus nobilis</i>	Laurel
<i>Ligustrum japonicum</i>	Japanese privet
<i>Ligustrum lucidum</i>	Glossy privet
<i>Ligustrum vicaryi</i>	Vicary goldern privet
<i>Loropetalum chinense</i>	Loropetalum
<i>Mahonia lealei</i>	Leatherleaf mahonia
<i>Myrica cerifera</i>	Wax myrtle
<i>Nandina domestica</i>	Nandina
<i>Osmanthus fortunei</i>	Fortune tea olive
<i>Osmanthus fragrans</i>	Fragrant tea olive
<i>Osmanthus heterophyllus</i>	Holly osmanthus
<i>Osmanthus heterophyllus</i> roundifolius	Curly leaf tea olive
<i>Photinia fraseri</i>	Fraser photinia
<i>Photinia serrulata</i>	Chinese photinia
<i>Pieris floribunda</i>	Mountain andromeda
<i>Pieris japonica</i>	Japanese andromeda
<i>Pittosporum tobira</i>	Pittosporum

Prunus laurocerasus	English laurel
Prunus laurocerasus angustifolia	Narrow leaf english laurel
Podocarpus macrophyllus maki	Podocarpus
Pyracantha coccinea	Scarlet firethorn
Raphiolepis umbellata	Yeddo-hawthorn
Spirea cantoniensis	Reves spirea
Spirea thunbergi	Thunberg spirea
Spirea prunifolia plena	Bridalwreath spirea
Spirea vanhouttei	Vanhoutte spirea
Taxus cuspidata	Japanese yew
Viburnum prunifolium	Blackhaw viburnum
Viburnum rhytidophyllum	Leatherleaf viburnum
Viburnum tinus	Laurestinus viburnum

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: September 11, 2017

SUBJECT: Text amendment to Section 22-1 and 58-19 Regarding Noise

The Planning Board reviewed a text amendment which addresses various noise complaints received by the Town at their May meeting. Questions and concerns were raised around enforcement issues, the nature of complaints received by staff, and how the new text language relates to the County noise ordinance.

The Planning Board discussed the ordinance again on June 26th. They mentioned the temporary nature of these complaints and the responsibilities of HOA's.

The Planning Board suggested adopting the County nuisance ordinance which covers noise. The County ordinance would not bring additional exposure to the Town and the deputies are familiar with the regulations. They mentioned that most of the differences between the draft provided by staff and the county ordinance are regulated by either State laws or covered by the Town's animal control ordinances.

The Board discussed adding our own civil penalties section. Board members in favor of the civil penalty stated that it gives staff and the deputy's options for enforcement and it could expedite compliance. Others were concerned about the legal fees, responsibility, liability and exposure the Town will undertake.

By a vote 5:1 the Board recommended to replace Section 22-1 with verbiage that adopts the County Ordinance and adds it as Appendix D. In addition they'd like the attorney to review the new language and note any exposure and shift of responsibility to the Town by adding civil penalties. Section 58-19 within the zoning ordinance shall be replaced with a reference to new Section 22-1.

The Town Council reviewed the text prior to calling for a public hearing at the August meeting and decided not to move forward with the County ordinance, allowing the Town to freely amend our own from time to time, if needed. A discussion occurred around domestic versus commercial lawn mowing activities. The attorney stated that restricting commercially generated noise activities while allowing residentially generated noise activities will be a problem. If the Town doesn't want to regulate lawn maintenance activities it will have to remove the sentence entirely. The only change made since calling for the public hearing was to add (e) under section 22-2 Particular Sounds Prohibited. It was added here since target shooting is a more constant noise than game-hunting which the town is exempting from the noise ordinance.

Staff recommends approval of the text amendment to Section 22-1 and 58-19 Regarding Noise.

Sec. 22-1. - Excessive noise prohibited; exemptions. –Unreasonably loud noise.

(a) It is unlawful for any person to make, continue, or cause to be made any unreasonable and excessive noise which injures, endangers, or disturbs the comfort, repose, health, peace, or safety of others within the town limits.

(b) **In determining whether a *noise* is unreasonably loud, the following factors incident to such *noise* shall be considered:**

- (1)Time of day;
- (2)Proximity to residential structures;
- (3)Whether the *noise* is recurrent, intermittent or constant;
- (4)The volume and intensity;
- (5)Whether the *noise* has been enhanced in volume or range by any type of electronic or mechanical means;
- (6)The character and zoning of the area; and
- (7)Whether the *noise* is subject to being controlled without unreasonable effort or expense to the creator thereof.

Sec. 22-2. Particular sounds prohibited.

The following acts and activities, among others, are hereby declared to be unreasonably loud and disturbing sound levels in violation of section 22-1. This enumeration shall not be construed to be an exclusive list of activities or acts which violate section 22-1:

(a) **Operating a truck for refuse collection except on Monday through Saturday between the hours of 6:00 a.m. and 10:00 p.m. The violator is the operator of the truck, the employer of the operator, and/or the person whom owns the truck used by the operator.**

(b) **Construction operations, including any building and land disturbing activities except Monday through Friday between the hours of 6:00 a.m. and 9:00 p.m., Saturday between the hours of 8:00 a.m. and 9:00 p.m. and Sunday between the hours of 10:00 a.m. and 9:00 p.m.**

(c) **Operating electric and gas lawnmowers and other motor-driven domestic tools out-doors except Monday through Saturday between the hours of 6:00 a.m. and 9:00 p.m. and Sunday between the hours of 9:00 a.m. and 9:00 p.m.**

(d) **It shall be unlawful to operate or allow the operation of any motor vehicle in the town:**
(1) **By spinning tires, racing engines or other operations which create unreasonably loud and disturbing noises.**
(2) **To amplify sound produced by a radio, tape player, compact disc player or other sound-making device or instrument from within the motor vehicle so that the sound is audible from a distance of 50 or more feet from the source of the sound.**

(e) **Trap shooting, skeet shooting or other target shooting between the hours of 9:00 a.m. and 10:00 p.m. on property where such activities are authorized and regulated by Chapter 34 Article II of the Weddington Code of Ordinances.**

Note: Animal Nuisances – see Appendix A.

Sec. 22-3 Exemptions.

- (a) The following uses and activities shall be exempt from this section:
- (1)Noises of safety signals, warning devices, and emergency pressure relief valves.
 - (2)Noises resulting from any authorized emergency, fire or law enforcement vehicle.
 - (3)Noise resulting from the activities of a temporary duration permitted by law for which a license or permit therefore has been granted by the town.

(4) Any aircraft or railroad equipment operated in conformity with or pursuant to state or federal law. Any aircraft operating under technical difficulties, in any kind of distress, under emergency orders of air traffic control or being operated pursuant to the declaration of an emergency under federal air regulations shall also be exempt.

(5) Noise resulting from agricultural and horticultural operations conducted in a reasonable manner on property classified as a bona fide farm for ad valorem tax purposes.

(6) Noise resulting from emergency work necessary to restore property to a safe condition following a fire, accident or natural disaster, or to restore public utilities, or to protect persons or property from imminent danger.

(7) Noise resulting from any military or law enforcement activities of the federal, state, or any local government, to include military observances.

(8) Noise resulting from any event held in recognition of a community celebration, or national, state, or county events or public festivals or parades.

(9) Noise from lawful fireworks and noise makers on holidays and at religious ceremonies.

(10) Noise created by any public recreational activity.

(11) Game-hunting activities on property where such activities are authorized and regulated by Chapter 34 Article II of the Weddington Code of Ordinances.

(b) This provision shall not be applied to a shooting range in existence prior to adoption of this code section, provided there has been no substantial change in use of the range.

Sec. 22-4. -Enforcement and penalties.

(a) **Civil penalty.** Violation of this section shall subject the offender(s) to a civil penalty in the amount of \$100.00. In the event there is more than one violation within any 30-day period, then the civil penalty shall be increased for each additional violation ~~over one~~ during such period, as follows. The date of the first violation shall establish the beginning date for the initial 30-day period.

The penalty shall be: Second offense within same 30-day period: \$250.00

Third offense within same 30-day period: \$500.00

Fourth offense within same 30-day period: \$750.00

Fifth and any subsequent offense within same 30-day period: \$1,000.00

(1) Once the 30-day period has expired from the "first violation," the next violation shall be considered to be a first violation for the purposes of establishing a new 30-day period.. In the event there are more than six violations within any 12-month period, then each violation after six shall subject the violator(s) to a civil penalty of \$1,000.00 per event.

(2) Under circumstances where a citation is issued, the fine must be paid within 5 business days of the issue date and time. The town attorney, or designee, is authorized to file suit on behalf of the town to collect any unpaid citations, and the town administrator, or designee, is authorized to verify and sign complaints on behalf of the town in such suits. A sheriff's deputy, animal control officer enforcing subject matter jurisdiction, or other person duly authorized to enforce the noise control ordinances may issue a citation for violations of this article.

(b) **Remedies.** This article may also be enforced through equitable remedies issued by a court of competent jurisdiction pursuant to G.S. 154A-123.

(c) **Criminal penalty.** In addition to, or in lieu of, such civil penalties or other remedies, violation of this article shall constitute a misdemeanor pursuant to G.S. 14-4.

Sec. 58-19. - Noise.

~~Every use of land must be operated in such a way that regularly recurring noises are not disturbing or unreasonably loud and do not cause injury, detriment or nuisance to any person of ordinary sensitivities.~~

See Section 22-1

TOWN OF WEDDINGTON

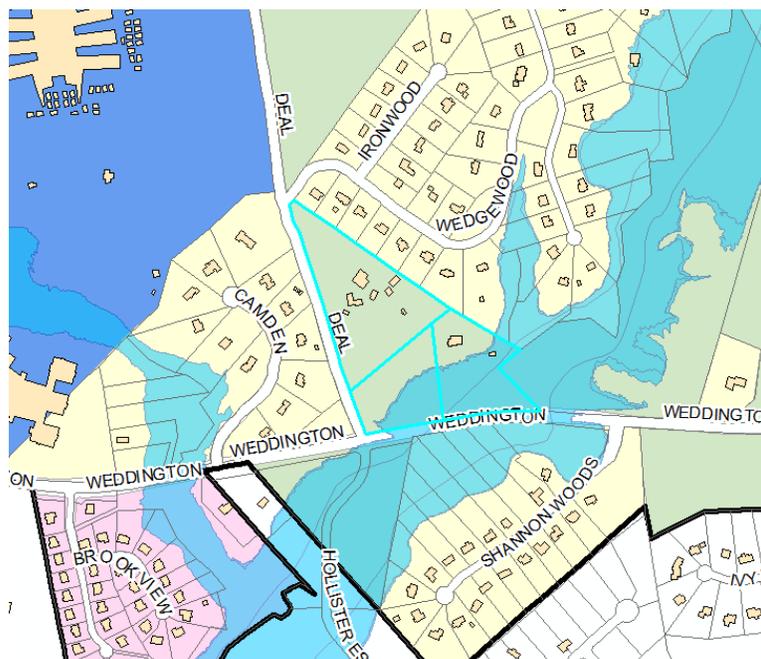
MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: Canisteo (formerly Deal Road) R-CD Conservation Subdivision - Preliminary Plat



Cameron Helms with Deal Road Ventures, LLC submitted a preliminary plat and construction plans for a 15 lot subdivision on 19.96 acres located at northeast corner of Highway 84 and Deal Road.

Application Information:

Date of Application: June 23, 2017
Applicant/Developer Name: Cameron Helms- Deal Road Ventures, LLC
Parcel ID#: 06099011A, 06072003A, 06072003E
Property Location: Northeast corner of Deal Rd and Highway 84
Zoning: R-CD
Existing Land Use: Residential
Proposed Land Use: Residential Conservation

Project Information:

The proposed subdivision contains 15 lots on 19.96 acres with a total density of .75 units per acre. The average lot size is 18,686 SF.

This is a conservation subdivision where 50% of the gross acreage must be retained as conservation land. 8.97 acres is required and 9.08 acres has been provided.

The 100' viewshed buffer* includes a 10' landscape buffer along the thoroughfares to screen residential lots from the thoroughfare. A 50' buffer surrounds the property which also includes a 10' landscape buffer.

The subdivision will be served by Union County Public Water and Sewer.

The subdivision is accessed by an entrance off of Deal Road. The entrance is 600'+ from Highway 84 which is NCDOT's minimum standard.

The Town Engineer approved the construction plans and they have been submitted to other outside review agencies including NCDOT, Public Works, NCDEQ and the Army Corps of Engineers.

A draft maintenance plan and CCRs have been submitted for review.

Project History:

Two public involvement meetings were held on Monday, April 3, 2017.

The sketch plan was approved by the Planning Board on April 24, 2017 with a condition that the Town Council allows an exception for a private driveway access in lieu of the marginal access street on the submitted yield plan.

The yield plan was amended after the Planning Board meeting to provide a public road right of way on lots abutting Highway 84 and a private driveway along Deal Road. In doing so, the applicant lost one lot bringing the yield plan from 16 lots to 15 lots. An exception was granted for the 15 lot yield plan on May 8, 2017 for the shared driveway along Deal Road as long as the overall layout does not change.

The Planning Board reviewed the preliminary plat/construction plans on August 28, 2017. Questions were raised around grading and stormwater and the effect that Rea Road Extension will have on this property. The Board unanimously recommended approval.

Since the last meeting staff discussed the Highway 84 widening as part of the Rea Rd Extension with NCDOT. NCDOT originally asked for 50' of right of way on Highway 84 and 30' from center for right of way on Deal Road. Staff based the 100' buffer from that right-of-way line per NCDOT's comments.

The proposed preliminary design provided by Calyx Engineers dated 8/25/2017 shows the right of way encroaching onto the subject property an additional 50' in some areas. The applicant has

agreed to amend the plans to accommodate the additional right of way on Highway 84 with a 100' buffer from the new proposed line.

The preliminary design also shows additional right of way needed on Deal Road to accommodate new turn lanes at the future signalized intersection. The construction limits are within the current 60' right of way already proposed. The Deal Road buffer along lots 1, 13-15 will be approximately 72' once acquisition is finalized and 100' north of the proposed Canisteo Drive access.

Town Council Action

Staff recommends approval of Canisteo Subdivision with the following conditions:

1. The Applicant must provide approvals from all local, state, and federal agencies prior to commencing construction.
2. The maintenance plan and agreement shall be reviewed by the town attorney.

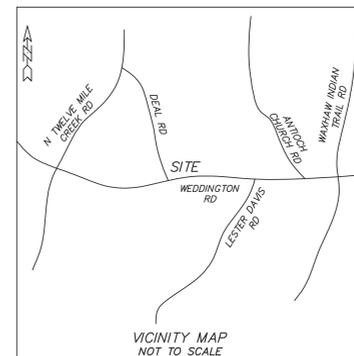


Know what's below.
Call before you dig.

CANISTEO

WEDDINGTON, NORTH CAROLINA

DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274, INDIAN TRAIL, NC 28079
P: 704.400.9837



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd., Ste 200 Charlotte, NC 28208
704.343.0608
www.drggrp.com



CONSTRUCTION
DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704.400.9837

PRELIMINARY PLAT

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED BY CAROLINA SURVEYORS, INC.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT DEAL ROAD ARE TO BE COORDINATED WITH THE NCDOT ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DIRECT VEHICULAR ACCESS TO DEAL ROAD FROM LOTS IS PROHIBITED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NONSTANDARD ITEMS (E.G. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO UNION COUNTY, NCDENR AND NCDOT DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.

CANISTEO GENERAL NOTES:

- STREET CONSTRUCTION MATERIALS AND CONSTRUCTION STANDARDS SHALL MEET NC DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES AND ROADWAY STANDARD DRAWINGS AS REVISED JANUARY 2012 (AND AS SUBSEQUENTLY AMENDED).
- ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MOST CURRENT NCDENR AND UNION COUNTY STANDARDS. EROSION CONTROL MEASURES SHALL BE REMOVED AT PROJECT COMPLETION WHEN DEEMED NO LONGER NECESSARY BY THE ENGINEER. ALL GRADED AREAS NOT UNDER PAVEMENT AND WITHIN THE RIGHT-OF-WAY OR EASEMENTS SHALL BE PREPARED, FERTILIZED AND LIMED, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- ALL DRAINAGE STRUCTURES AND PIPE SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
- IF REQUIRED BY THE TOWN OF WEDDINGTON, COMPACTION TESTS SHALL BE MADE BY AN INDEPENDENT TESTING LAB AT OWNERS EXPENSE.
- THE FINAL LIFT OF ASPHALT PAVEMENT SHALL NOT BE PLACED UNTIL 80% OF HOME SITES ARE DEVELOPED. THE FINAL LIFT OF PAVEMENT SHALL NOT BE PLACED FOR STREETS THAT WILL BE USED TO ACCESS FUTURE PHASES UNTIL THOSE PHASES REACH 80% BUILD-OUT.
- PROOF ROLLING OF STREET SUBGRADE AND AGGREGATE BASE MATERIAL SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S ENGINEER USING AN OVER LOADED (ON-SITE) TRIAXLE DUMP WITH 22-25 TONS OF STONE, THIRD AXLE LIFTED. IF RAIN OCCURS BEFORE PLACING STONE ON SUBGRADE THAT HAS BEEN PROOFROLLED, OR IF RAIN OCCURS PRIOR TO PLACING ASPHALT ON STONE BASE THAT HAS BEEN PROOFROLLED, THE SUBGRADE AND STONE MUST BE PROOFROLLED AGAIN. THE ENGINEER SHALL PROVIDE WRITTEN VERIFICATION TO THE TOWN THAT THE SUBGRADE AND AGGREGATE BASE MATERIAL MEET THE DENSITY REQUIREMENTS AS SPECIFIED. FAILURE TO PROVIDE ENGINEER'S VERIFICATION OF THE SUBGRADE AND STONE BASE COURSE COMPACTION COULD RESULT IN DELAY OF FINAL ACCEPTANCE OF THE DEVELOPMENT BY THE TOWN.
- PRIOR TO FINAL ACCEPTANCE, THE DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTING ALL PROBLEMS ASSOCIATED WITH THE PROJECT, INCLUDING THOSE ITEMS NOT NECESSARILY COVERED BY THE PLANS, TO INSURE THE SATISFACTORY COMPLETION OF THE TOTAL PROJECT.

ENGINEER'S NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
- CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
- THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
- PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER PRIOR TO ACTIVATION OF FACILITIES.
- EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
- A LICENSED UTILITY CONTRACTOR WILL INSTALL THE TAPS AND METERS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO CMUD STANDARDS AND REGULATIONS.
- SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE HYDRANTS.
- IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
- IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
- FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
- CONTRACTOR SHALL FLUSH ALL ONSITE STORM DRAINAGE AND HAUL OFF ALL ACCUMULATED MATERIAL AT COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROTECT DOWN STREAM PROPERTIES AND BMP INSTALLATIONS FROM EXCESSIVE SEDIMENT ACCUMULATION. UPON COMPLETION OF CLEANING, CONTRACTOR SHALL PROVIDE WRITTEN CONFIRMATION TO OWNER AND REQUEST INSPECTION OF PROJECT BY ENGINEER FOR FINAL INSPECTION.

SITE DATA

TAX MAP NO: 06099011A, 06072003A, 06072003E
MUNICIPALITY: TOWN OF WEDDINGTON (UNION COUNTY NC)

SITE AREA: +/- 17.93 ACRES (781,133 SF)
AREA EXCLUDING R/W DEDICATION: +/- 19.96 ACRES (869,433 SF)
STREET LENGTHS: CANISTEO DRIVE: 291 LF
SETH DRIVE: 466 LF
ETHAN WAY: 314 LF
1,071 LF

TOTAL: RCD
ZONING: CONSERVATION SUBDIVISION
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

TOTAL LOTS ALLOWED: 15 LOTS (PER MAX YIELD PLAN)
TOTAL LOTS PROVIDED: 15 LOTS
DENSITY: 0.84 D.U.A.

OPEN SPACE REQUIRED: 50% CONSERVATION = 8.97 ACRES (390,566 SF)
(LOTS AND ROW EXCLUDED FROM CONSERVATION AREA)
50.64% = 9.08 ACRES (395,601 SF)

OPEN SPACE PROPOSED: 20'
FRONT YARD SETBACK: 30'
REAR YARD SETBACK: 15' (30' HOME SEPARATION)
SIDE YARD SETBACK: 15' SIDE CORNER LOTS
MINIMUM LOT WIDTH: 80' (AT BUILDING LINE)
MINIMUM LOT SIZE: 12,000 SF
SMALLEST LOT SIZE: 13,708 SF
AVERAGE LOT SIZE: 18,686 SF
MAXIMUM BUILDING HEIGHT: 35'

CONTACTS:

DEVELOPER: DEAL ROAD VENTURES, LLC
CAMERON HELMS
113 INDIAN TRAIL ROAD #274
INDIAN LAND, NC 28079
CAM@CAMERONS-INC.COM
704.400.9837

OWNER: DEAL ROAD VENTURES, LLC
CAMERON HELMS
113 INDIAN TRAIL ROAD
INDIAN LAND, NC 28079
CAM@CAMERONS-INC.COM
704.400.9837

CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
MARC VAN DINE, PLS, PE
2459 WILKINSON BOULEVARD, SUITE 200
CHARLOTTE, NC 28208
MARC@DRGRP.COM
704.343.0608

SURVEYOR: CAROLINA SURVEYORS, INC
THOMAS WHITE
P.O. BOX 267
PINEVILLE, NC 28134
704.889.7601

SHEET	SCHEDULE
C0.00	COVER SHEET
-	SURVEY
C1.00	DEMOLITION PLAN
C1.01	SITE CONTEXT
C2.00	SITE PLAN
C3.00	EROSION CONTROL PHASE I
C3.01	EROSION CONTROL PHASE II
C3.02	EROSION CONTROL PHASE III
C3.03	EROSION CONTROL NOTES
C4.00	GRADING PLAN
C4.10	STORM DRAINAGE PLAN
C4.11	DRAINAGE AREA PLAN
C4.12	DETENTION POND DETAILS
C4.13	STORMWATER MANAGEMENT PLAN
C6.00	PLANTING PLAN
C7.00	DEAL ROAD ISD PLAN
C7.10	CANISTEO DRIVE PLAN AND PROFILE
C7.11	SETH DRIVE PLAN AND PROFILE
C7.12	ETHAN WAY PLAN AND PROFILE
C9.00	SITE DETAILS
C9.01	SITE DETAILS
C9.02	SITE DETAILS
C9.03	SITE DETAILS

COVER SHEET



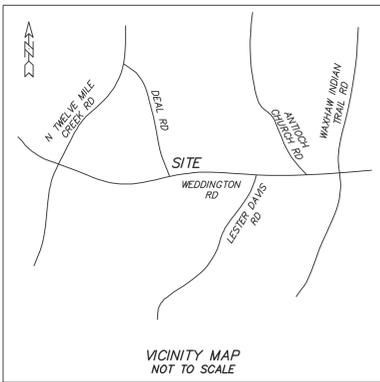
SCALE: NTS

PROJECT #: 635-002
DRAWN BY: BG
CHECKED BY: MVD

OCTOBER 3, 2017

REVISIONS:

C0.00



GENERAL NOTES:

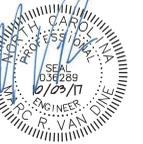
1. PRECONSTRUCTION MEETING REQUIRED PRIOR TO DEMOLITION.
2. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DEMOLITION OR RELOCATION WITH APPLICABLE UTILITY COMPANIES. (IE: GAS, CABLE, POWER, TELEPHONE, WATER, SEWER, ETC.)
4. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY FIX ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE. THE OWNER WILL PAY TO MOVE OR REPAIR ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION WHICH ARE NOT IDENTIFIED ON CONSTRUCTION DOCUMENTS OR SITE SURVEY.
5. ALL MATERIALS GENERATED BY THE DEMOLITION WILL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF PER LOCAL ORDINANCES.
6. INSTALL 6' CHAIN LINK FENCE AROUND PERIMETER OF WORK AREAS DURING DEMOLITION AND CONSTRUCTION.
7. SAW-CUT CONCRETE AND ASPHALT PAVEMENT, SIDEWALK, OR CURB AND GUTTER BEFORE EXCAVATION WHERE CONSTRUCTION PLANS SHOW TIE-INS.
8. DEAL ROAD AND WEDDINGTON ROAD TO REMAIN OPEN AND UNOBSTRUCTED TO TRAFFIC AT ALL TIMES.
9. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DURING CONSTRUCTION PER TOWN OF WEDDINGTON AND NCCDT GUIDELINES.
10. CONTRACTOR SHALL COORDINATE ALL DEMOLITION OR INSTALLATION WORK ALONG DEAL ROAD AND WEDDINGTON ROAD WITH TOWN OF WEDDINGTON AND NCCDT.
11. REPAIR OR REPLACE ANY ADJACENT CONCRETE CURBING AND/OR SIDEWALK DAMAGED AS A RESULT OF DEMOLITION PROCESS.

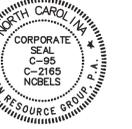


Know what's below.
Call before you dig.

LEGEND

	ASPHALT TO BE REMOVED
	CONCRETE TO BE REMOVED
	GRAVEL TO BE REMOVED
	OVERHEAD POWER TO BE REMOVED
	POWER POLE TO BE REMOVED
	LIGHT POLE TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	UTILITY APPARATUS TO BE REMOVED
	FENCE TO BE REMOVED
	BUILDING TO BE REMOVED





CONSTRUCTION
 DOCUMENTS

CANISTEO
 WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
 113 INDIAN TRAIL ROAD #274
 INDIAN TRAIL, NC 28079
 704.400.9837

SITE PLAN

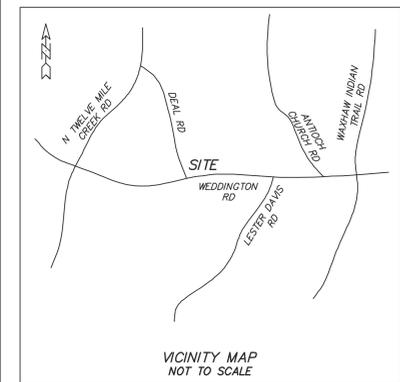
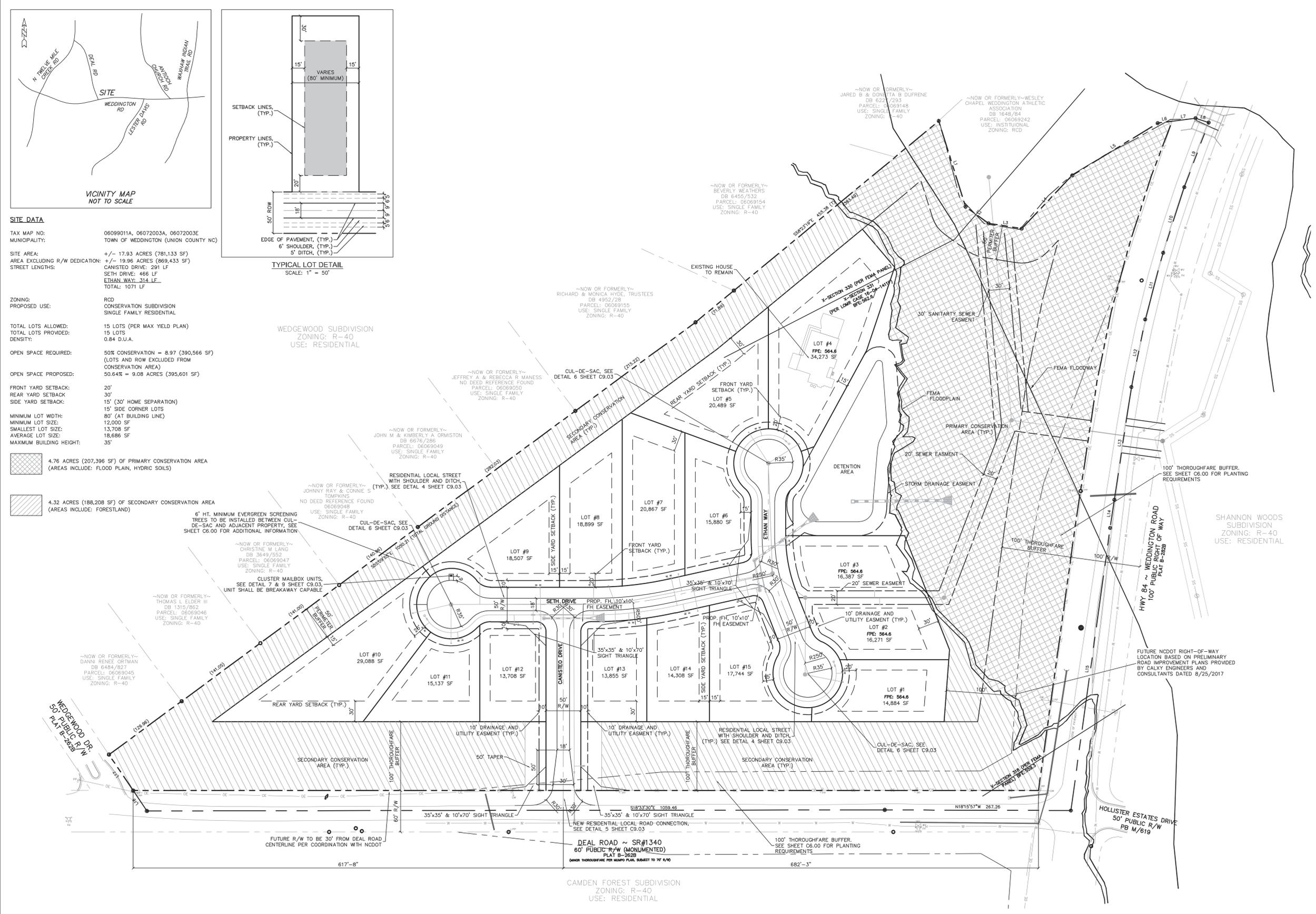


PROJECT #: 635-002
 DRAWN BY: BS
 CHECKED BY: MVD

OCTOBER 3, 2017

REVISIONS:

C2.00



SITE DATA

TAX MAP NO: 06099011A, 06072003A, 06072003E
 MUNICIPALITY: TOWN OF WEDDINGTON (UNION COUNTY NC)

SITE AREA: +/- 17.93 ACRES (781,133 SF)
 AREA EXCLUDING R/W DEDICATION: +/- 19.96 ACRES (869,433 SF)
 STREET LENGTHS: CANISTEO DRIVE: 291 LF
 SETH DRIVE: 466 LF
 ETHAN WAY: 314 LF
 TOTAL: 1071 LF

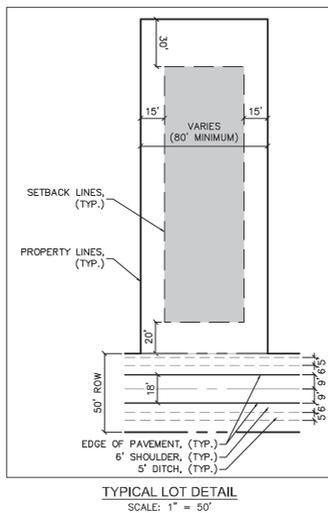
ZONING: RCD
 PROPOSED USE: CONSERVATION SUBDIVISION
 SINGLE FAMILY RESIDENTIAL

TOTAL LOTS ALLOWED: 15 LOTS (PER MAX YIELD PLAN)
 TOTAL LOTS PROVIDED: 15 LOTS
 DENSITY: 0.84 D.U.A.

OPEN SPACE REQUIRED: 50% CONSERVATION = 8.97 (390,566 SF)
 (LOTS AND ROW EXCLUDED FROM CONSERVATION AREA)
 50.64% = 9.08 ACRES (395,601 SF)

OPEN SPACE PROPOSED: 50.64% = 9.08 ACRES (395,601 SF)

FRONT YARD SETBACK: 20'
 REAR YARD SETBACK: 30'
 SIDE YARD SETBACK: 15' (30' HOME SEPARATION)
 SIDE CORNER LOTS: 80' (AT BUILDING LINE)
 MINIMUM LOT WIDTH: 12,000 SF
 MINIMUM LOT SIZE: 13,708 SF
 AVERAGE LOT SIZE: 18,686 SF
 MAXIMUM BUILDING HEIGHT: 35'



4.76 ACRES (207,396 SF) OF PRIMARY CONSERVATION AREA
 (AREAS INCLUDE: FLOOD PLAIN, HYDRIC SOILS)

4.32 ACRES (188,208 SF) OF SECONDARY CONSERVATION AREA
 (AREAS INCLUDE: FORESTLAND)

6' HT. MINIMUM EVERGREEN SCREENING TREES TO BE INSTALLED BETWEEN CUL-DE-SAC AND ADJACENT PROPERTY. SEE SHEET C6.00 FOR ADDITIONAL INFORMATION.

~NOW OR FORMERLY~ CHRISTINE M LANG DB 3649/552 PARCEL: 06069047 USE: SINGLE FAMILY ZONING: R-40
 CLUSTER MAILBOX UNITS. SEE DETAIL 7 & 9 SHEET C9.03. UNIT SHALL BE BREAKAWAY CAPABLE.

~NOW OR FORMERLY~ THOMAS L ELDER III DB 1315/862 PARCEL: 06069046 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ DANNI RENEE ORTMAN DB 6484/827 PARCEL: 06069045 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ JEFFREY A & REBECCA R MANESS NO DEED REFERENCE FOUND. PARCEL: 06069050 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ JOHN M & KIMBERLY A ORMISTON DB 6676/286 PARCEL: 06069049 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ JARED B & DONATA B DUFFRENE DB 6227/293 PARCEL: 06069148 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ WESLEY CHAPEL WEDDINGTON ATHLETIC ASSOCIATION DB 1648/84 PARCEL: 06069242 USE: INSTITUTIONAL ZONING: RCD

~NOW OR FORMERLY~ BEVERLY WEATHERS DB 6453/832 PARCEL: 06069154 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ RICHARD & MONICA HYDE, TRUSTEES DB 4952/228 PARCEL: 06069155 USE: SINGLE FAMILY ZONING: R-40

~NOW OR FORMERLY~ JEFFREY A & REBECCA R MANESS NO DEED REFERENCE FOUND. PARCEL: 06069050 USE: SINGLE FAMILY ZONING: R-40

Copyright © 2017 Design Resource Group, PA. This plan or drawing and any accompanying documents or calculations are the property of Design Resource Group, PA, and are intended solely for the use of the recipient noted. No third party use or modification is permitted without written authorization.



Know what's below.
Call before you dig.

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

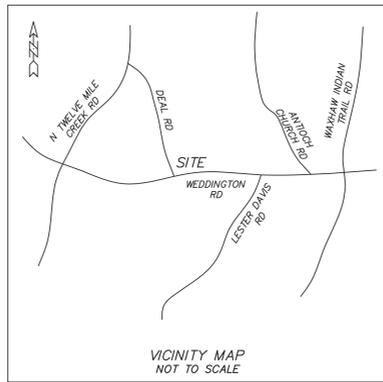
EROSION CONTROL LEGEND	
	TEMPORARY SILT FENCE (SEE DETAIL 1/C9.01)
	BAFFLE FENCE (SEE DETAIL 5/C9.01)
	HIGH HAZARD SILT FENCE (SEE DETAIL 9/C9.02)
	TREE PROTECTION FENCE W/SILT FENCE
	PROPERTY LINE
	LIMITS OF CONSTRUCTION/DENUDED LIMITS
	DRAINAGE AREA BOUNDARY
	HARDWARE CLOTH & GRAVEL INLET PROTECTION (SEE DETAIL 2/C9.00)
	SILT FENCE OUTLET (SEE DETAIL 1/C9.00)
	WATTLE (SEE DETAIL 8/C9.02)

BASIN R1

DRAINAGE AREAS/REQ'D STORAGE	
Total drainage area (TDA)	7.8 ac
Disturbed area (DA)	7.8 ac
Required sediment storage (1800xTDA)	14040 cf

BASIN CONFIGURATION	
Bottom elevation	558 msl
Sediment Storage Elevation	562 msl
Riser Elevation	564 msl
Emergency Spillway	562.25 msl
High Water Elevation	564 msl
Top of Embankment	566 msl

BASIN EFFICIENCY	
Sediment storage provided:	24299 OKAY
Sediment storage required:	14040 cf
Surface Area Provided	11771 OKAY
S.A. Required (435cft ³ /Q10) **	10725 sf



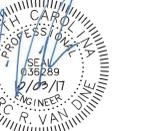
NOTE:

- ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OF DIVISION OF WASTE RESOURCES RULES AND REGULATIONS. [15A NCAC 4B .0110]
- THIS EROSION CONTROL PLAN IS FOR PERMITTING PROPOSED GRADING SHOWN, UTILITIES, STORM DRAINAGE, PERMANENT POND, ROADS AND ALL EROSION CONTROL MEASURES. PERMIT DOES NOT INCLUDE FINAL LOT GRADING. HOME BUILDERS/CONTRACTOR WILL BE REQUIRED TO SUBMIT LOT EROSION CONTROL PLANS. NO CONSTRUCTION OF THE HOMES PRIOR TO LOT EC PLAN APPROVAL



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgroup.com

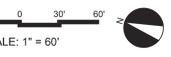


CONSTRUCTION DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA

DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704-400-9837

EROSION CONTROL PHASE I



PROJECT #: 635-002
DRAWN BY: RX
CHECKED BY: MVD

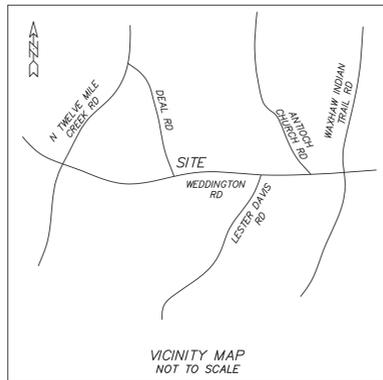
OCTOBER 3, 2017
REVISIONS:



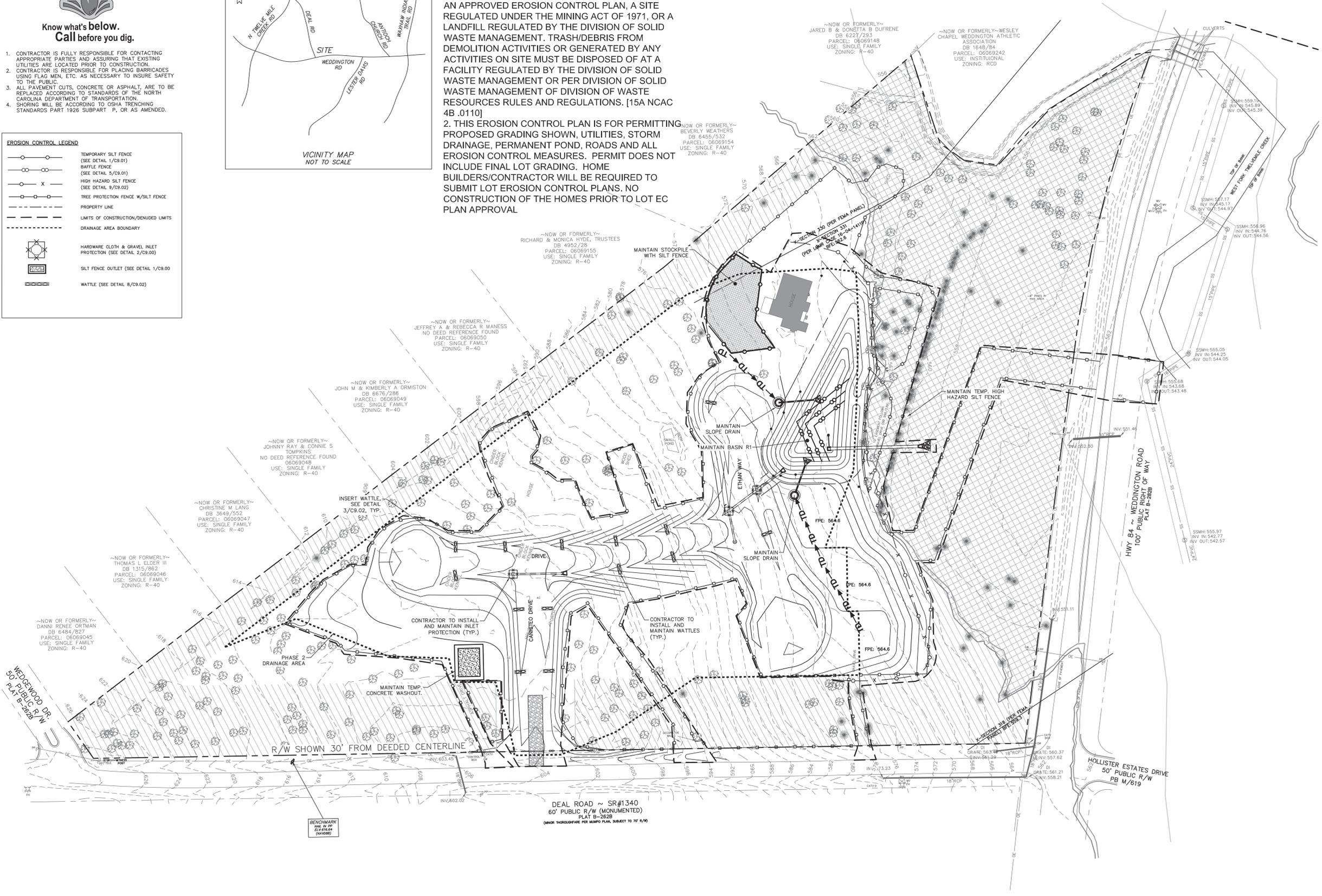
Know what's below.
Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

EROSION CONTROL LEGEND	
	TEMPORARY SILT FENCE (SEE DETAIL 1/C9.01)
	SILT FENCE (SEE DETAIL 5/C9.01)
	HIGH HAZARD SILT FENCE (SEE DETAIL 9/C9.02)
	TREE PROTECTION FENCE W/SILT FENCE (SEE DETAIL 9/C9.02)
	PROPERTY LINE
	LIMITS OF CONSTRUCTION/DENUDED LIMITS
	DRAINAGE AREA BOUNDARY
	HARDWARE CLOTH & GRAVEL INLET PROTECTION (SEE DETAIL 1/C9.00)
	SILT FENCE OUTLET (SEE DETAIL 1/C9.00)
	WATTLE (SEE DETAIL 8/C9.02)

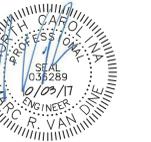


NOTE:
1. ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OF DIVISION OF WASTE RESOURCES RULES AND REGULATIONS. [15A NCAC 4B .0110]
2. THIS EROSION CONTROL PLAN IS FOR PERMITTING PROPOSED GRADING SHOWN, UTILITIES, STORM DRAINAGE, PERMANENT POND, ROADS AND ALL EROSION CONTROL MEASURES. PERMIT DOES NOT INCLUDE FINAL LOT GRADING. HOME BUILDERS/CONTRACTOR WILL BE REQUIRED TO SUBMIT LOT EROSION CONTROL PLANS. NO CONSTRUCTION OF THE HOMES PRIOR TO LOT EC PLAN APPROVAL



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgpa.com



CONSTRUCTION DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704-400-9837

EROSION CONTROL PHASE II



PROJECT #: 635-002
DRAWN BY: RX
CHECKED BY: MVD

OCTOBER 3, 2017
REVISIONS:

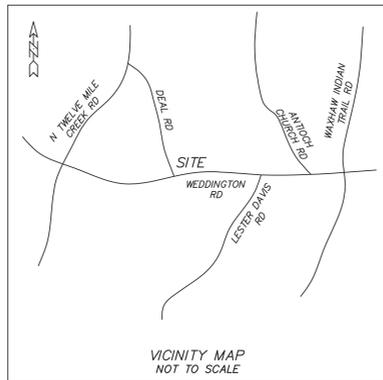
C3.01



Know what's below.
Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

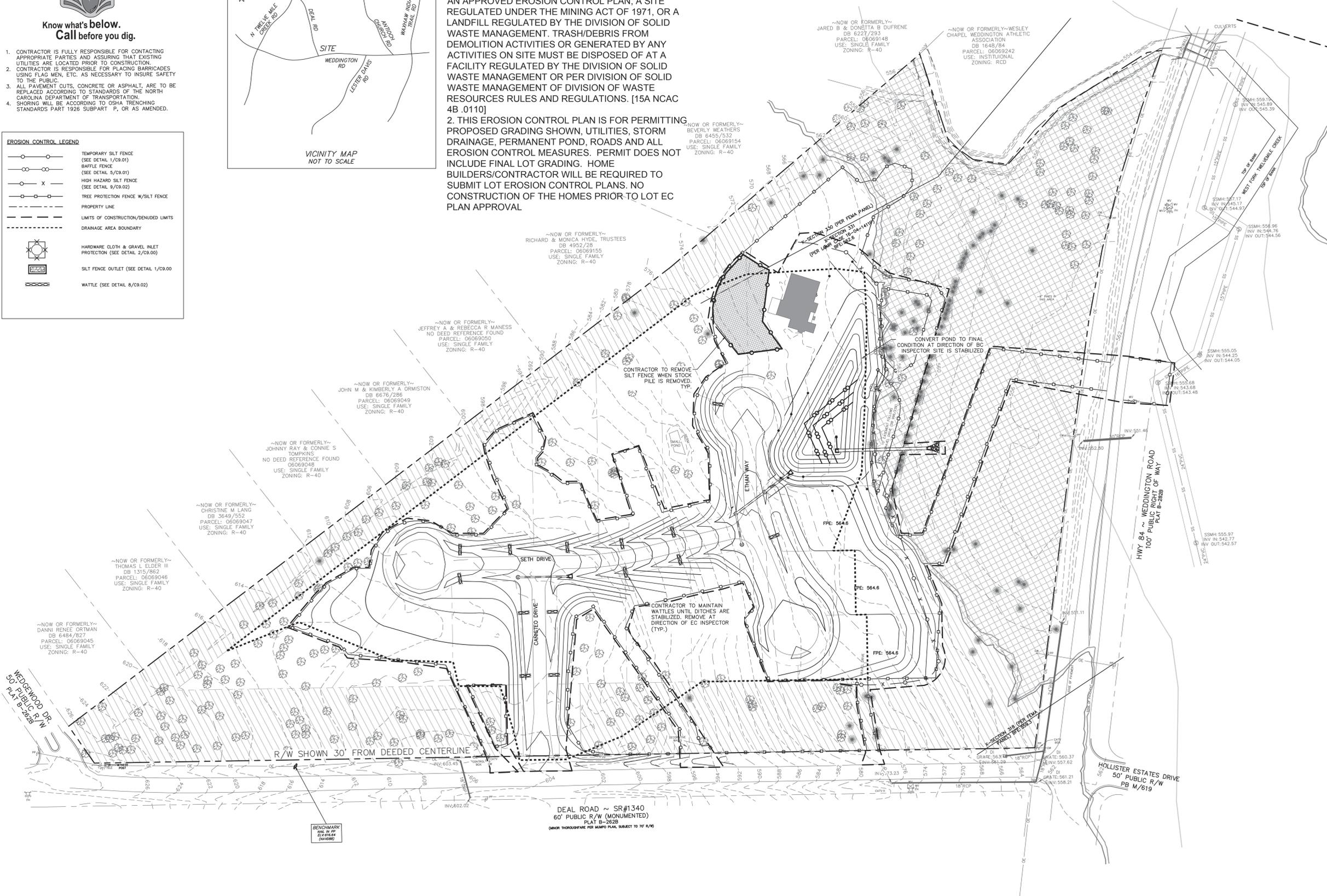
EROSION CONTROL LEGEND	
	TEMPORARY SILT FENCE (SEE DETAIL 1/C9.01)
	BAFFLE FENCE (SEE DETAIL 5/C9.01)
	HIGH HAZARD SILT FENCE (SEE DETAIL 9/C9.02)
	TREE PROTECTION FENCE W/SILT FENCE (SEE DETAIL 9/C9.02)
	PROPERTY LINE
	LIMITS OF CONSTRUCTION/DENUDED LIMITS
	DRAINAGE AREA BOUNDARY
	HARDWARE CLOTH & GRAVEL INLET PROTECTION (SEE DETAIL 1/C9.00)
	SILT FENCE OUTLET (SEE DETAIL 1/C9.00)
	WATTLE (SEE DETAIL 8/C9.02)



NOTE:

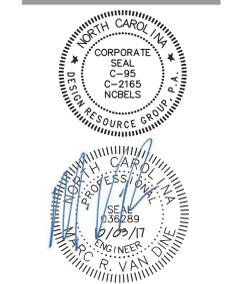
1. ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OF DIVISION OF WASTE RESOURCES RULES AND REGULATIONS. [15A NCAC 4B .0110]

2. THIS EROSION CONTROL PLAN IS FOR PERMITTING PROPOSED GRADING SHOWN, UTILITIES, STORM DRAINAGE, PERMANENT POND, ROADS AND ALL EROSION CONTROL MEASURES. PERMIT DOES NOT INCLUDE FINAL LOT GRADING. HOME BUILDERS/CONTRACTOR WILL BE REQUIRED TO SUBMIT LOT EROSION CONTROL PLANS. NO CONSTRUCTION OF THE HOMES PRIOR TO LOT EC PLAN APPROVAL



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgroup.com



CONSTRUCTION DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704-400-9837

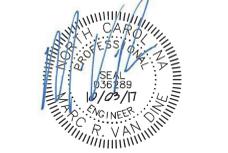
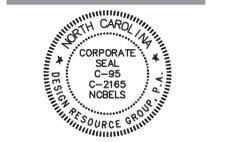
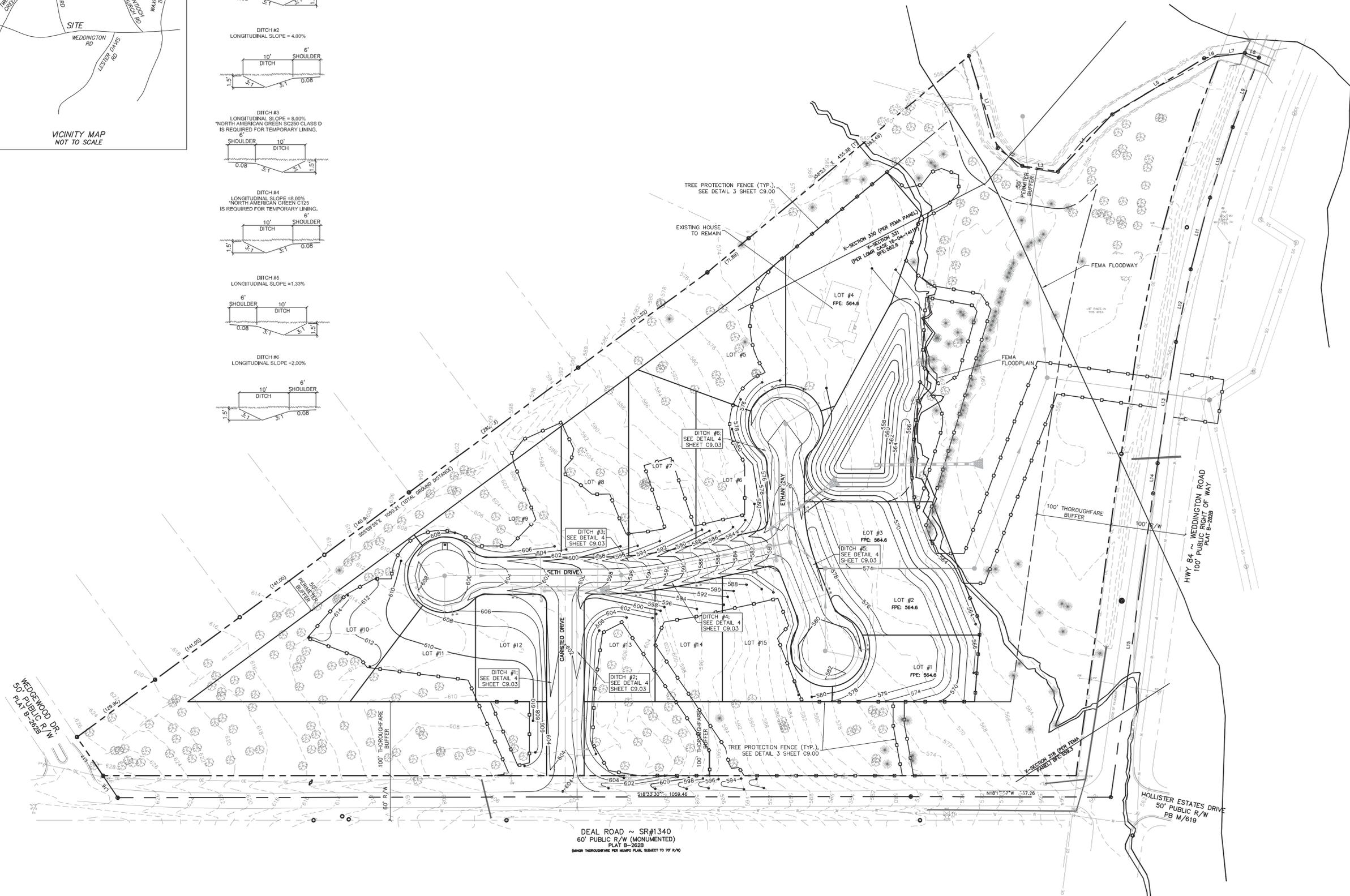
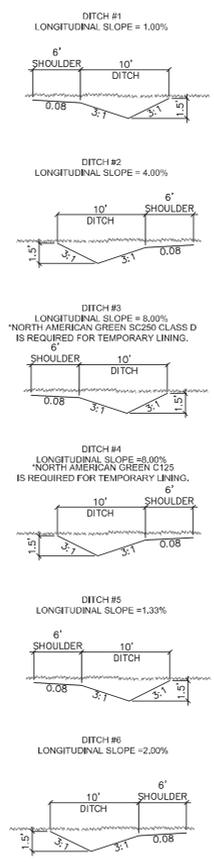
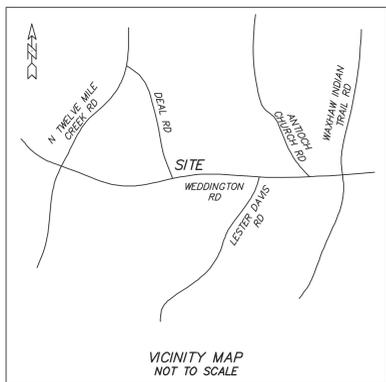
EROSION CONTROL PHASE III

SCALE: 1"=60'

PROJECT #: 635-002
DRAWN BY: RX
CHECKED BY: MVD

OCTOBER 3, 2017
REVISIONS:

Copyright © 2017 Design Resource Group, PA. This plan or drawing and any accompanying documents or calculations are the property of Design Resource Group, PA, and are intended solely for the use of the recipient noted. No third party use or modification is permitted without written authorization.



CANISTEO
WEDDINGTON, NORTH CAROLINA

DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704.400.9637

GRADING
PLAN



PROJECT #: 635-002
DRAWN BY: BS
CHECKED BY: MVD

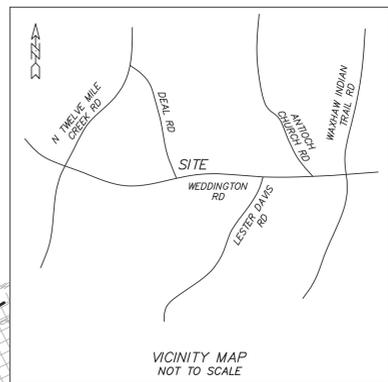
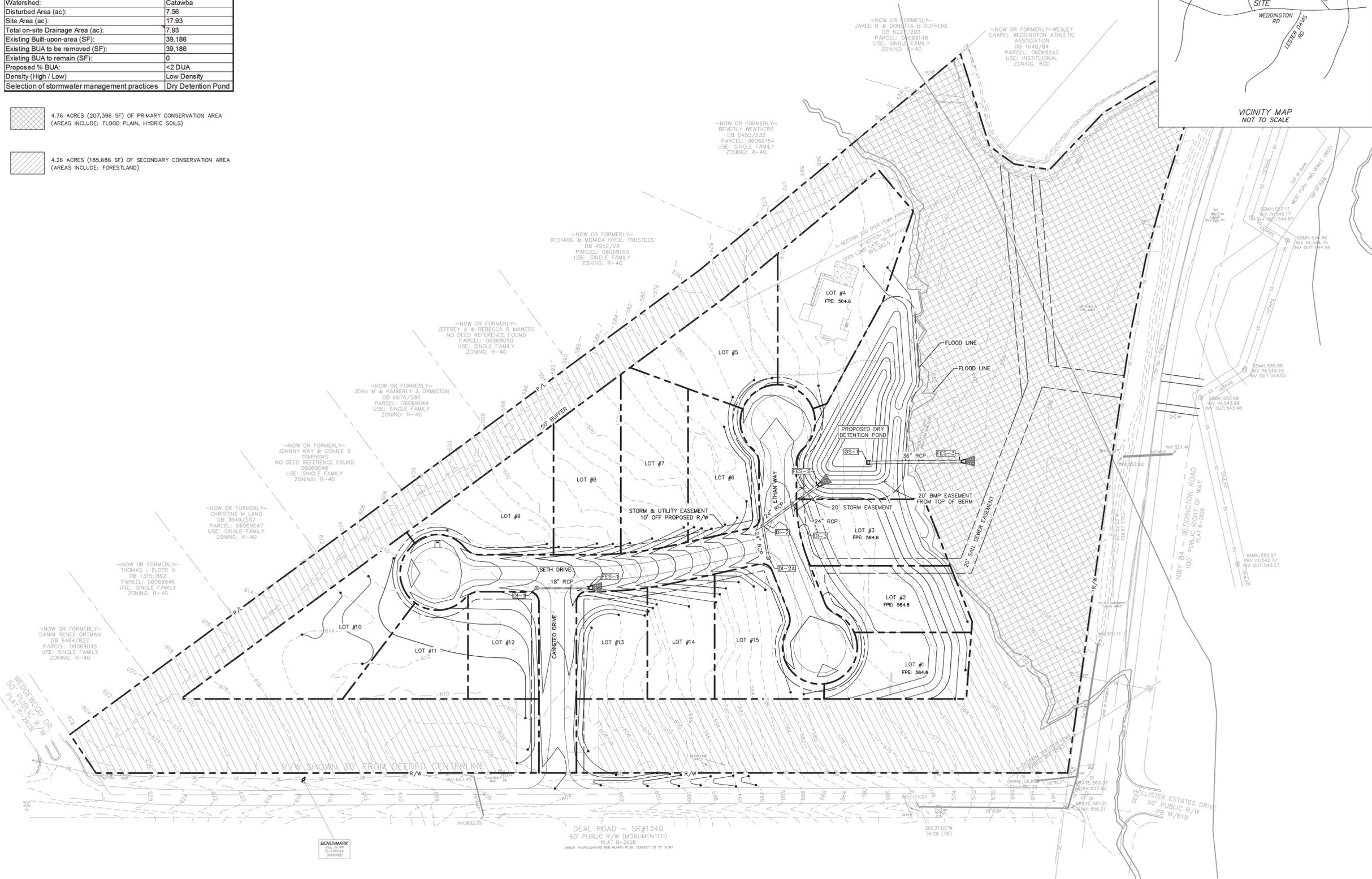
OCTOBER 3, 2017

REVISIONS:

DEAL ROAD STORMWATER MANAGEMENT SUMMARY	
Original Parcel ID Number(s):	06099011A, 06072003A, 06072003E
Development Type:	Single-Family
Watershed:	Catawba
Disturbed Area (ac):	7.56
Site Area (ac):	17.93
Total on-site Drainage Area (ac):	7.93
Existing Built-upon-area (SF):	39,186
Existing BUA to be removed (SF):	39,186
Existing BUA to remain (SF):	0
Proposed % BUA:	<2 DUA
Density (High / Low):	Low Density
Selection of stormwater management practices:	Dry Detention Pond

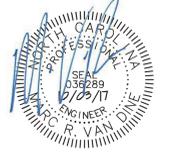
 4.76 ACRES (207,396 SF) OF PRIMARY CONSERVATION AREA
(AREAS INCLUDE: FLOOD PLAIN, HYDRIC SOILS)

 4.26 ACRES (185,686 SF) OF SECONDARY CONSERVATION AREA
(AREAS INCLUDE: FORESTLAND)



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd. Ste 200 Charlotte, NC 28208
704.343.0608
www.drgpa.com



CONSTRUCTION
DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704-400-9837

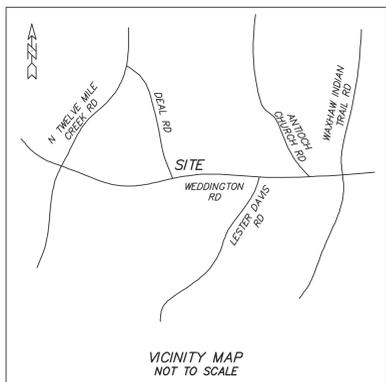
**STORMWATER
MANAGEMENT
PLAN**

SCALE: 1" = 60'

PROJECT #: 635-002
DRAWN BY: JDB
CHECKED BY: MVD

OCTOBER 3, 2017

REVISIONS:



VICINITY MAP
NOT TO SCALE

THOROUGHFARE BUFFER
*REQUIRED: 9 TREES/20 SHRUBS PER 100 LF

DEAL ROAD = ±1,300 LF
REQUIRED: 117 (2") CALIPER TREES
260 SHRUBS

PROVIDED: 232 LF EXISTING VEGETATION (DENSE EVERGREEN PINE TREES TO MEET TREE/SHRUB BUFFER REQUIREMENT)
1,068 LF EXISTING TREES TO MEET TREE REQUIREMENT
214 EVERGREEN SHRUBS (1,068/100) X 20 = 214

WEDDINGTON ROAD = ±990 LF
REQUIRED: 90 TREES
198 SHRUBS

PROVIDED: 990 LF EXISTING VEGETATION (DENSE EVERGREEN PINE TREES) TO MEET TREE/SHRUB BUFFER REQUIREMENT

50' PERIMETER BUFFER = ±1,320 LF
REQUIRED: 119 TREES
264 SHRUBS

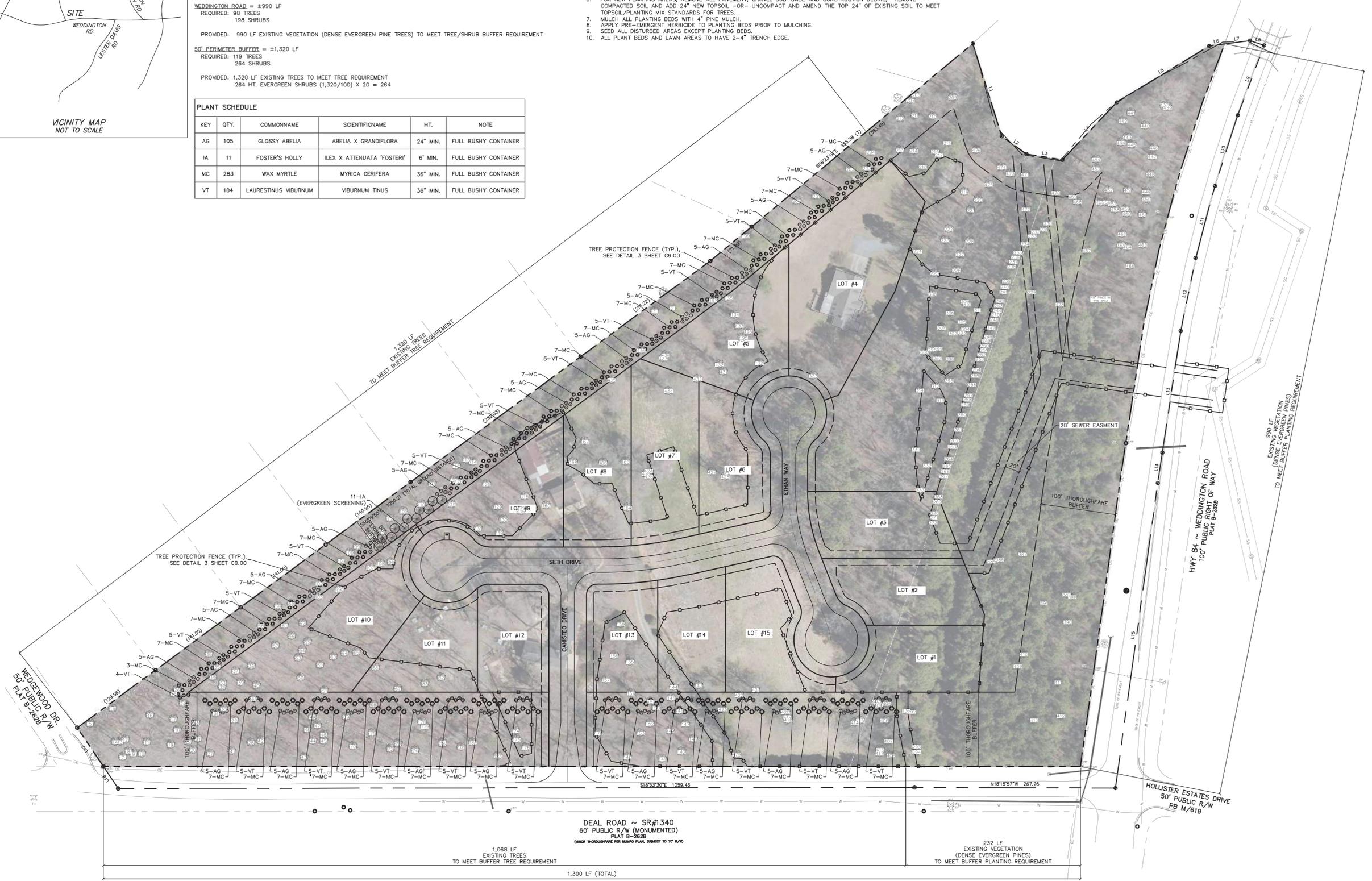
PROVIDED: 1,320 LF EXISTING TREES TO MEET TREE REQUIREMENT
264 HT. EVERGREEN SHRUBS (1,320/100) X 20 = 264

PLANT SCHEDULE

KEY	QTY.	COMMONNAME	SCIENTIFICNAME	HT.	NOTE
AG	105	GLOSSY ABELIA	ABELIA X GRANDIFLORA	24" MIN.	FULL BUSHY CONTAINER
IA	11	FOSTER'S HOLLY	ILEX X ATTENUATA 'FOSTER'	6" MIN.	FULL BUSHY CONTAINER
MC	283	WAX MYRTLE	MYRICA CERIFERA	36" MIN.	FULL BUSHY CONTAINER
VT	104	LAURESTINUS VIBURNUM	VIBURNUM TINUS	36" MIN.	FULL BUSHY CONTAINER

PLANTING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR THEIR OWN PLANT COUNT AND VERIFYING ALL QUANTITIES. **HEIGHT AND WIDTH TO MEET SIZE SPECIFIED.**
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- CONTRACTOR TO REVIEW PLANT SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND DURING PROPOSAL PREPARATION FOR QUALITY CONTROL AND VALUE ENGINEERING.
- LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY CONFLICTS WITH TREES AND UTILITIES SHALL BE RESOLVED WITH THE LANDSCAPE ARCHITECT.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL -OR- UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- MULCH ALL PLANTING BEDS WITH 4" PINE MULCH.
- APPLY PRE-EMERGENT HERBICIDE TO PLANTING BEDS PRIOR TO MULCHING.
- SEED ALL DISTURBED AREAS EXCEPT PLANTING BEDS.
- ALL PLANT BEDS AND LAWN AREAS TO HAVE 2-4" TRENCH EDGE.



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgroup.com



CONSTRUCTION
DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704.400.9837

**PLANTING
PLAN**

SCALE: 1"=60'

PROJECT #: 635-002
DRAWN BY: BS
CHECKED BY: MVD

OCTOBER 3, 2017

REVISIONS:



CONSTRUCTION
DOCUMENTS

CANISTEO
WEDDINGTON, NORTH CAROLINA
DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN TRAIL, NC 28079
704.400.9837

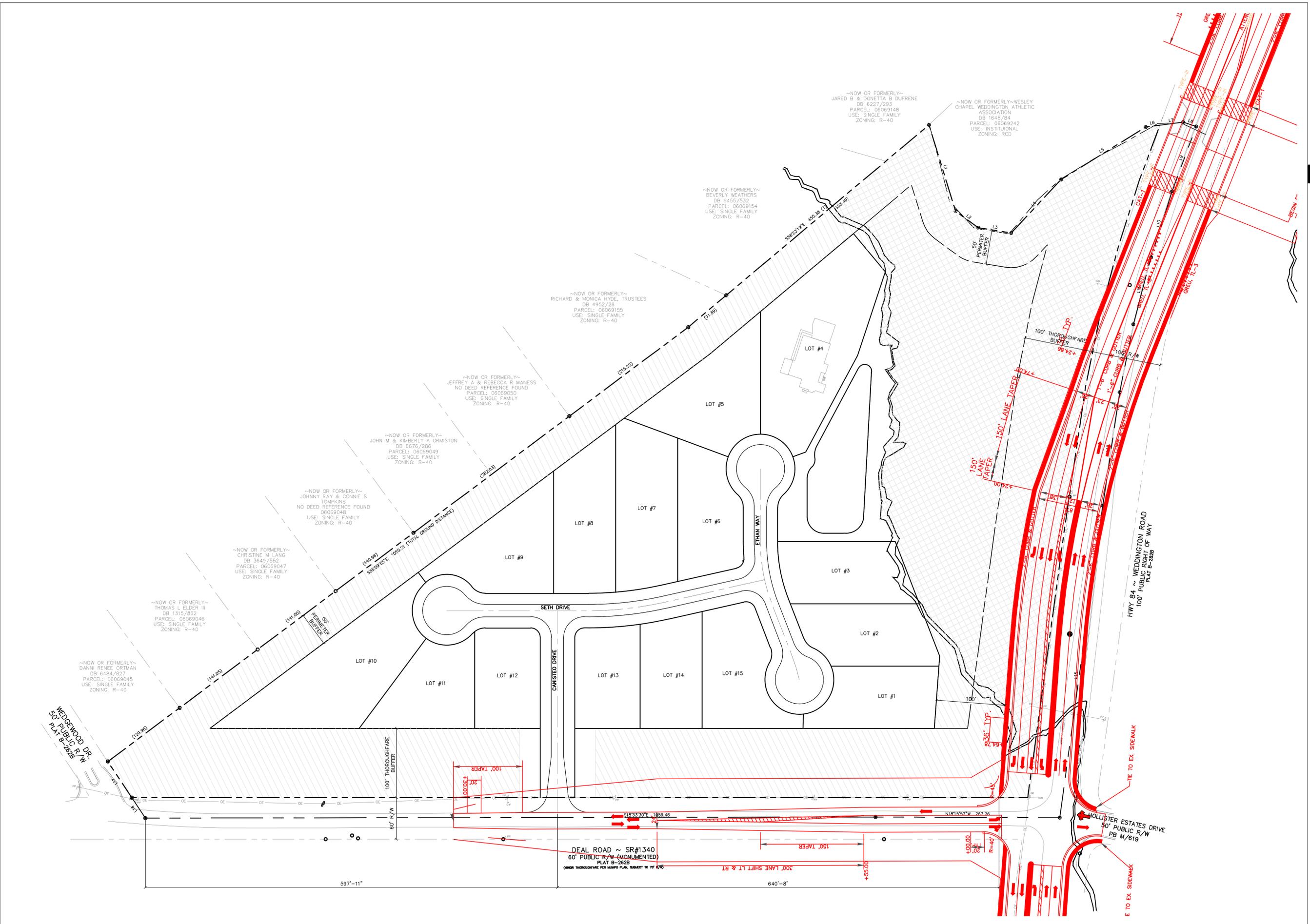
**SITE
PLAN EXHIBIT**

30 0 30 60
SCALE: 1"=60'

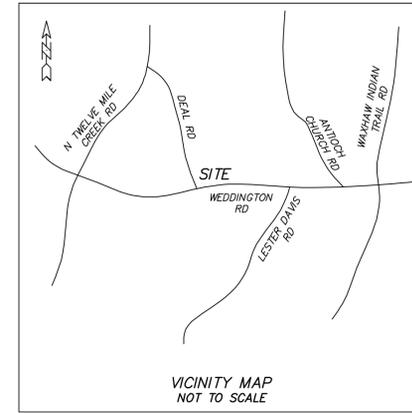
PROJECT #: 635-002
DRAWN BY: BG
CHECKED BY: MVD

SEPTEMBER 27, 2017

REVISIONS:



Modified Yield Plan approved in May 2017.



SITE DATA

TAX MAP NO:	06099011A, 06072003A, 06072003E
MUNICIPALITY:	TOWN OF WEDDINGTON (UNION COUNTY NC)
SITE AREA:	+/- 17.93 ACRES (781,133 SF)
AREA EXCLUDING ROW DEDICATION:	+/- 19.96 ACRES (869,433 SF)
EXISTING ZONING:	RCO
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
TOTAL LOTS ALLOWED:	(SEE CALCULATIONS THIS SHEET)
TOTAL ROW AREA:	26,662 SF (ROW)
TOTAL LOTS PROVIDED:	15 LOTS
DENSITY:	0.83 D.U.A.
OPEN SPACE REQUIRED:	10% = +/- 1.79 ACRES (78,113 SF)
OPEN SPACE PROPOSED:	>10% = 2.54 ACRES (110,552 SF)
FRONT YARD SETBACK:	50'
SIDE YARD SETBACK:	15'
CORNER LOT SIDE YARD SETBACK:	25'
REAR YARD SETBACK:	40'
MINIMUM LOT WIDTH:	120'
MINIMUM LOT SIZE:	40,000 SF

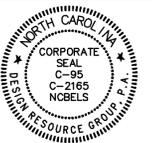
CONTACTS:

DEVELOPER:	DEAL ROAD VENTURES, LLC CAMERON HELMS 113 INDIAN TRAIL ROAD INDIAN LAND, NC 28079 CAM@CAMERONS-INC.COM 704.400.9837
OWNER:	DEAL ROAD VENTURES, LLC CAMERON HELMS 113 INDIAN TRAIL ROAD INDIAN LAND, NC 28079 CAM@CAMERONS-INC.COM 704.400.9837
CIVIL ENGINEER:	DESIGN RESOURCE GROUP, PA MARC VAN DINE, PLS, PE 2459 WILKINSON BOULEVARD, SUITE 200 CHARLOTTE, NC 28208 MARC@DRGRP.COM 704.343.0608
SURVEYOR:	CAROLINA SURVEYORS, INC THOMAS WHITE P.O. BOX 267 PINEVILLE, NC 28134 704.889.7601



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgrp.com

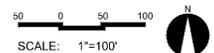


SKETCH PLAN

DEAL ROAD
WEDDINGTON, NORTH CAROLINA

DEAL ROAD VENTURES, LLC
113 INDIAN TRAIL ROAD #274
INDIAN LAND, NC 28079
704.400.9837

MAX YIELD PLAN



PROJECT #: 635-001
DRAWN BY: BG
CHECKED BY: MVD

APRIL 13, 2017

REVISIONS:
1. 05/01/17 PER TOWN COUNCIL

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson, Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: Text amendment to Section 58-58(4)(e)(1) – Minimum Lot Size

One of the action items taken from the Town Council retreat was for the Planning Board to review the minimum lot sizes in the RCD zoning district.

At the June 26, 2017 Planning Board meeting the Board reviewed a handout showing 11 RCD subdivisions approved throughout the last 12 years. The handout detailed the number of lots, average lot size, and units per acre for each subdivision.

A few board members commented on the percentage of lots at or below 13,000 square feet. They believed a RCD conservation subdivision is becoming the rule, rather than the exception. The Land Use Plan talks about using the RCD for certain tracts of land to enable meaningful open space. The worry with a few Planning Board members is the RCD's smaller lots is becoming a given for developers.

However, the Board also believed developers need the flexibility the smaller lots provide them because of different topographical hardships, floodplain, and power line easements, etc. They gave an example of the Enclave subdivision. It has an average lot size of only 14,710 square feet yet has a lower density of .78 units per acre. This demonstrates that there were circumstances causing the smaller average lot size. In this case there are two large ponds, floodplain and power line easements.

By a vote 5:1, the Board recommended a text amendment to change the minimum lot size in a RCD from 12,000 square feet to 15,000 square feet, and for circumstances that cause undue hardships due to topography, easements, floodplains, and the like, the developer may apply to the Town Planner for relief from the minimum requirement. However, under no circumstance shall the minimum lot area be less than 13,000 square feet.

At the July 10, 2017 Regular Town Council Meeting, the Council discussed the flexibility of the RCD. The Council agreed to take no action on the proposed text amendment.

Staff recommends calling for a public hearing to be held November 13, 2017 at 7:00 PM at the Weddington Town Hall to consider a text amendment to Section 58-58(4)(e)(1) – Minimum Lot Size.

Staff has taken the Planning Board's recommendation and provided the following text for Town Council review.

Sec. 58-58. - R-CD residential conservation district.

(4) *Standards for developments located in conservation subdivisions.*

e. *Dimensional standards.*

1. Minimum lot sizes: One of the primary differences between conventional subdivisions and conservation subdivisions is that although the overall allowable density levels between the two are the same, conservation subdivisions allow much smaller lot sizes. Accordingly, lots containing single-family dwellings may have a minimum area of ~~12,000~~ **15,000** square feet. **For circumstances that cause undue hardships such as topography, utility easements, floodplain, and the like, the developer may apply to the Planner for relief from the minimum requirement. However under no circumstance shall the minimum lot area be less than 13,000 square feet.** Easement lots are not permitted in a conservation subdivision.

Attached:
Lot size chart

	Subdivision	Lots	Acres	Units per acre	Average Lot AC	Average Lot SF	COS Required	Provided	
2015	Highclere	45	57	0.79	0.473	20,604	28.31	28.47	50%
2005	Lake Forest Preserve	211	260	0.81	0.4364	19,010	129.12	138.81	53%
2004	Providence Forest Estates	38	45	0.84	0.426	18,557	20.984	21.404	48%
2003	Thte Gardens on Providence	29	33	0.88	0.4557	19,850	16.5	16.6	50%
2015	Weddington Preserve	48	58.06	0.83	0.3968	17,285	29.03	32.15	55%
2014	The Falls	185	234.49	0.79	0.403	17,555	117.245	140.45	60%
2007	Brookhaven	33	47.655	0.69	0.3948	17,197	23.82	28.214	59%
2004	Hadley Park	62	67.163	0.92	0.436	18,992	33.37	33.53	50%
2016	The Enclave	42	53.52	0.78	0.3377	14,710	29.28	28.36	53%
2014	Vintage Creek	90	116.52	0.77	0.359	15,638	58.26	60.68	52%
2005	Stratford Hall	34	38.29	0.89	0.4891	21,305	19.145	19.15	50%
AVERAGES		817	1010.70	0.81	0.42	18,246	45.91	49.80	

19,862 above average best utilization
16,899 worst utilization lot averages

	vintage creek		the falls		brookhaven		enclave		AVERAGE %
	% of lots	no of lots	% of lots	no of lots	% of lots	no of lots	% of lots	no of lots	
13,000	32	30	30	38	0	0	62	26	30.96
14,000	28	26	14	18	33	11	14	6	22
15,000	12	11	3	4	21	7	5	2	10
16,000	12	11	9	11	21	7	0	0	10
17,000	4	4	12	15	9	3	5	2	7
18,000	-	0	2	3	0	0	5	2	2
19,000	6	6	5	7	3	1	0	0	4
20,000	3	3	8	10	0	0	5	2	4
21,000+	2	2	17	22	12	4	5	2	9

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Lisa Thompson Town Administrator/Planner

DATE: October 9, 2017

SUBJECT: Harlow's Crossing (Formerly Carrington Subdivision) - Final Plat

M/I homes is seeking re-approval of their final plat application for 20 of their 71 lots on 117.64 acres located at the north east and west corner of Weddington-Matthews Road and Beulah Church Road/Hemby Road intersection.

The Town Council approved the final plat application for Carrington phase 1; map 1 and 2 on June 12, 2017 with the following conditions:

The emergency access road, gate, and fencing shall be constructed and maintained by the Carrington HOA. Consistent with the CCRs.

Bond Estimates shall be approved by USI.

Performance and Maintenance Agreements shall be reviewed by the Town Attorney.

CCR's shall be reviewed by the town attorney.

15 evergreen trees, 8-10' tall shall be planted in the tree save area that was disturbed along the Waybridge Subdivision border. The plants shall be installed by January 2018 and approved by the Town Planner.

The 500' line of site line shall be depicted on the final plat at both entrances.

Per Section 46-45(d)(16) of the Weddington Code of Ordinances - The approved final plat shall be filed within 90 days of approval; otherwise such approval shall be null and void, and the subdivider must begin the procedure for approval from the sketch plan stage.

The applicant wasn't able to record the final plat within the timeframe given and is therefore seeking re-approval of the attached Maps prior to the 90 day expiration.

Tax #06-120-0120
All Saints Anglican
Church Charlotte
Dc. 5853, Pg. 409

Tax #06-120-012E
Alan T. Teunt &
Cynthia S. Teunt
Dc. 579, Pg. 550

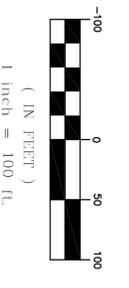
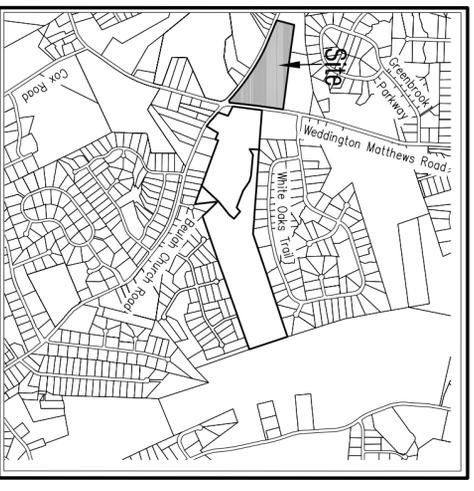
Tax #06-120-012H
Bobby F. Pope &
Janice M. Pope
Dc. 5968, Pg. 269

Notes:
10' x 70' and 35' x 35' Sight Triangles
located at all street intersections. (Typical)

Notes:
- Maintenance of all storm drainage easements as shown
on plot is the responsibility of the property owner or assigns
- The purpose of the storm drainage easement (SDE) is to
provide storm water conveyance. Buildings are not permitted
in the easement area. Any other objects which impede
storm water flow or system maintenance are also prohibited.

Note: Roadway Horizontal/Vertical Alignment and Grades
were taken from design plans, not as-built data.

Vicinity Map (NTS)



No.	Date	By	Revision

Job No. 3756-4047 Drawing file: 3756-4047 RM Phase 1 - Map 1 - Sht 1-2.dwg Drawing no. 17/022

Site Data:
Parcel ID: 06-120-012
Zoning: R-CD/R-40 (Town of Weddington)
Total Lots: 20
Smallest Lot: Lot 2 (13917 sf.)
Street Data: 2,217 LF
Total Area This Map: 26.55 Ac.
Area in New Right of Way: 3.01 Ac.
Area in Existing Right of Way: 2.00 Ac.
Area in Lots: 8.69 Ac.
Area in COS: 1.13 Ac.
Area in Conservation Area: 11.72 Ac.

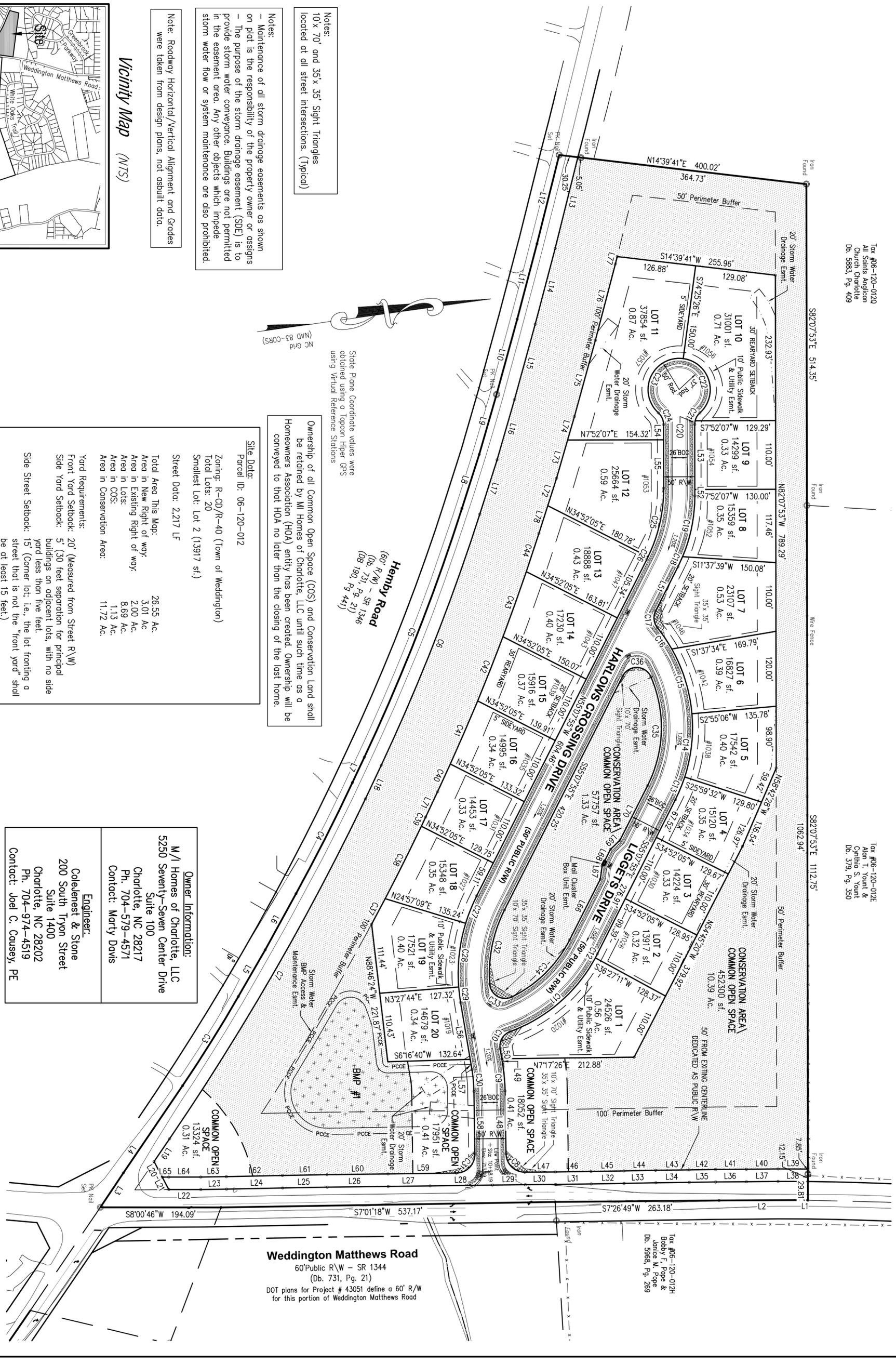
Yard Requirements:
Front Yard Setback: 20' (Measured from Street R/W)
Side Yard Setback: 5' (30 feet separation for principal buildings on adjacent lots, with no side yard less than five feet.)
Side Street Setback: 15' (Corner lot; i.e., the lot fronting a street that is not the "front yard" shall be at least 15 feet.)
Rear Yard Setback: 30'
Max. Building Height: 35'

Owner Information:
M/I Homes of Charlotte, LLC
5250 Seventy-Seven Center Drive
Suite 100
Charlotte, NC 28217
Ph. 704-579-4571
Contact: Marty Davis

Engineer:
Coleman & Stone
200 South Tryon Street
Suite 1400
Charlotte, NC 28202
Ph. 704-974-4519
Contact: Joel C. Causey, PE

Final Record Plat of
Harlow's Crossing - Phase 1 - Map 1
Owner: M/I Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Sheet 1 of 5
REVISIONS
10-5-2017 JH



Weddington Matthews Road
60' Public R/W - SR 1344
(Dc. 731, Pg. 21)
DOT plans for Project # 43051 define a 60' R/W
for this portion of Weddington Matthews Road

Flood Certification
I have examined the Flood Insurance Rate Map for Union County North Carolina, Community Panel Number 3710447600U, dated October 16, 2008 and hereby certify that this property is not located in a special flood hazard area as determined by the Federal Emergency Management Agency.

Use of land within a flood way or flood plain is substantially restricted by Article XXIV of the Union County Land Use Ordinance.

Certificate of Survey and Accuracy
State of North Carolina, Union County
I, E. Donald Lawrence, certify that this plot was drawn under my supervision from an actual survey made under my supervision (deed recorded in Book and Page as shown), that the boundaries not surveyed are clearly indicated as dashed lines drawn from adjoining owners deeds as shown; that the ratio of precision as calculated is 1:10,000 or better; that this plot was prepared in accordance with G.S. 47-30 as amended.
This survey creates a subdivision of land within the _____ county or municipality that has an ordinance that regulates the _____ of land. Witness my original signature, registration number _____ and seal this the _____ day of _____ A.D., 20____.

DRAFT

F. Donald Lawrence, NCPIS L-1290

I, _____, a duly registered Professional Engineer, licensed in the State of North Carolina, do hereby certify that the drainage easements shown on this plot are sufficient to carry the 100 year storm runoff within the easement limits as shown.

N.C.P.E. # _____

Date: _____ (Signature and Seal)

Certificate of Ownership and Dedication

I hereby certify that I am the owner of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Weddington and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicated all streets, alleys, walks and other sites and easements to public or private use as noted.

Date _____ Signature of owner(s) _____

Certificate of approval of the design and installation of streets, utilities, and other required improvements.

I hereby certify that all streets and other required improvements have been installed in as acceptable manner and according to NC Department of Transportation and/or Town of Weddington specifications and standards in the Harlow's Crossing Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Weddington have been given and received.

Mayor of the Town of Weddington, North Carolina Date _____

Certificate of Approval

I hereby certify that the subdivision plot shown hereon has been found to comply with the Subdivision Regulations of the Town of Weddington, North Carolina and that this plot has been approved by the Weddington Town Council for recording in the Office of the Register of Deeds of Union County, North Carolina.

This _____ day of _____, 2008.

Mayor of the Town of Weddington, North Carolina

NOTES

REBAR SET AT ALL CORNERS UNLESS NOTED OTHERWISE.
AREAS COMPUTED USING COORDINATE GEOMETRY.

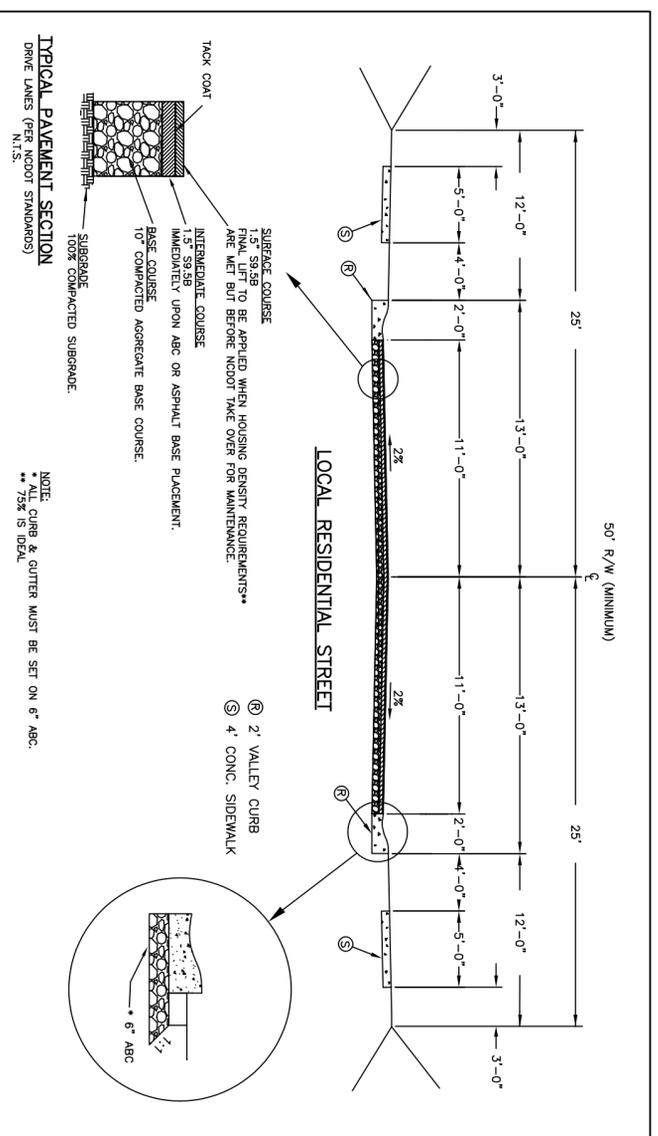
THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. SURVEY SUBJECT TO FULL TITLE SEARCH.

THIS PROPERTY MAY BE SUBJECT TO RIGHT OF WAYS, EASEMENTS OR RESTRICTIONS EITHER RECORDED OR IMPLIED.
ALL ADJOINING PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".
ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES

LAWRENCE ASSOCIATES MAKES NO WARRANTIES TO THE COMPACTION OR TO THE NONEXISTENCE OF ADDITIONAL SPOOLS AREAS.

BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.

STRUCTURES SHOWN ON ADJOINING PROPERTIES WERE TAKEN FROM ENGINEERING PLANS BY OTHERS AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LAWRENCE ASSOCIATES MAKES NO GUARANTEE TO THE ACCURACY OF THEIR LOCATION.



Curve & Line Table for Sheet 1 of 5

Curve #	Length	Radius	CHORD BEARING	CHORD
C3	168.46	2303.19	N49°55'19"W	168.42
C4	199.80	3160.19	N55°00'55"W	199.76
C5	428.37	3303.58	N60°32'29"W	428.07
C6	432.26	3333.58	N60°32'29"W	431.96
C7	629.49	4178.87	N51°59'22"W	628.89
C8	47.00	30.00	N52°17'58"E	42.34
C9	42.70	275.00	N87°16'11"W	42.66
C10	34.78	25.00	S51°51'42"E	32.04
C11	184.89	255.00	N32°46'33"W	180.86
C12	7.05	255.00	N54°20'22"W	7.05
C13	39.50	255.00	N59°34'11"W	39.46
C14	102.69	255.00	N75°32'41"W	102.00
C15	109.43	255.00	S80°37'30"W	108.59
C16	41.11	255.00	S63°42'47"W	41.07
C17	28.70	25.00	S88°01'07"E	27.15
C18	17.75	250.00	N57°09'57"W	17.75
C19	100.06	250.00	N70°39'57"W	99.39
C20	5.96	25.00	S75°18'15"E	5.94
C21	15.07	25.00	S51°12'34"E	14.84
C22	113.87	50.00	S80°49'02"W	90.81
C23	127.32	50.00	S57°22'21"E	95.60

Curve #	Length	Radius	CHORD BEARING	CHORD
C24	21.03	25.00	S73°46'25"W	20.41
C25	113.41	250.00	N69°08'06"W	112.44
C26	4.39	250.00	N55°38'07"W	4.39
C27	47.59	275.00	S60°05'23"E	47.53
C28	103.15	275.00	S73°49'34"E	102.54
C29	24.86	275.00	S89°07'41"E	24.86
C30	34.94	225.00	N87°16'11"W	34.90
C31	47.14	30.00	N37°48'29"W	42.44
C32	122.41	225.00	S70°43'05"E	120.91
C33	48.80	25.00	N37°46'38"E	41.41
C34	132.35	205.00	N36°38'13"W	130.06
C35	180.09	205.00	N80°17'56"W	174.36
C36	56.58	25.00	N84°20'41"E	45.25
C37	46.24	3290.19	N53°52'55"W	46.24
C38	129.77	3290.19	N53°24'52"W	129.76
C39	16.21	3290.19	N56°41'07"W	16.21
C40	49.05	3433.58	N57°14'09"W	49.05
C41	110.20	3433.58	N58°33'52"W	110.20
C42	110.47	3433.58	N60°24'21"W	110.47
C43	110.86	3433.58	N62°15'09"W	110.85
C44	64.64	3433.58	N63°43'00"W	64.64

Line #	Direction	Length
L1	S09°26'30"W	8.24
L2	S07°42'08"W	134.72
L3	N48°02'07"W	66.62
L4	N47°49'36"W	168.74
L5	N52°01'03"W	86.47
L6	N53°12'15"W	102.71
L7	N56°49'35"W	44.80
L8	N64°15'22"W	90.97
L9	N65°52'59"W	100.00
L10	N66°38'01"W	125.00
L11	N67°17'35"W	125.00
L12	N67°58'50"W	146.43
L13	N67°58'50"W	150.49
L14	N67°17'35"W	125.35
L15	N68°38'01"W	125.37
L16	N65°52'59"W	100.62
L17	N64°15'22"W	91.40
L18	N56°49'35"W	59.62
L19	N47°40'26"W	44.00
L20	S70°11'19"W	28.30

Line #	Direction	Length
L21	S70°11'19"W	22.49
L22	S07°59'28"W	51.57
L23	N06°52'14"E	41.29
L24	N06°50'35"E	90.25
L25	N06°55'13"E	71.61
L26	N07°15'39"E	98.06
L27	N07°10'31"E	67.22
L28	N07°14'25"E	100.15
L29	N07°45'8"E	52.81
L30	N07°25'12"E	48.76
L31	N07°15'39"E	57.26
L32	N07°01'26"E	52.87
L33	N06°51'58"E	50.96
L34	N07°13'55"E	53.83
L35	N07°04'19"E	42.43
L36	N07°29'48"E	49.48
L37	N07°34'13"E	50.81
L38	N08°08'37"E	48.03
L39	N08°08'37"E	48.03
L40	N07°34'13"E	50.94

Line #	Direction	Length
L41	N07°25'48"E	49.56
L42	N07°04'19"E	42.47
L43	N07°13'55"E	53.86
L44	N06°51'58"E	50.99
L45	N07°01'26"E	52.80
L46	N07°15'39"E	57.19
L47	N07°25'12"E	49.23
L48	S82°49'16"E	100.61
L49	N88°16'54"E	9.20
L50	N88°16'54"E	15.99
L51	S55°07'55"E	79.43
L52	S82°07'53"E	10.22
L53	S82°07'53"E	104.10
L54	N82°07'53"W	24.58
L55	N82°07'53"W	77.74
L56	S88°16'54"W	92.41
L57	S88°16'54"W	16.76
L58	N82°49'16"W	100.50
L59	N07°12'18"E	109.86
L60	N07°15'17"E	98.10

Line #	Direction	Length
L61	N06°55'13"E	71.69
L62	N06°50'35"E	90.27
L63	N06°52'14"E	41.09
L64	N07°59'28"E	51.48
L65	N07°24'16"E	10.39
L66	N55°07'55"W	108.94
L67	N72°25'19"W	21.19
L68	N55°07'55"W	29.76
L69	N35°50'31"W	21.19
L70	N55°07'55"W	98.21
L71	S56°49'35"E	44.80
L72	S64°15'22"E	46.41
L73	S65°52'59"E	63.60
L74	S65°52'59"E	39.09
L75	S66°36'01"E	126.60
L76	S67°17'35"E	126.53
L77	S67°58'50"E	12.21
L78	S64°15'22"E	46.41

Ownership of all Common Open Space (COS) and Conservation Land shall be retained by MI Homes of Charlotte, LLC until such time as a Homeowners Association (HOA) entity has been created. Ownership will be conveyed to that HOA no later than the closing of the last home.

Note: Roadway Horizontal/Vertical Alignment and Grades were taken from design plans, not as-built data.

District Engineer _____ Date _____

State of North Carolina
County of Union

County, certify that the map or plan to which this certification is affixed meets all statutory requirements for recording.

Date _____ Review Officer _____

LAWRENCE ASSOCIATES

106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

Final Record Plat of
Harlow's Crossing - Phase 1- Map 1

Owner: MI Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Sheet 2 of 5 REVISIONS

Org. scale: _____ Date: January 23, 2017 Drawn By: JH

Job No. 3756-4047 Drawing file: 3756-4047 RM Phase 1 - Map 1 - Sht 1-2.dwg Drawing no. 17/022

Tax #06-120-012H
Bobby F. Pope &
Janice M. Pope
Db. 5968, Pg. 269

Tax #06-120-196
Patrick R. Evans

Tax #06-120-195
Frank and Virginia Cooley

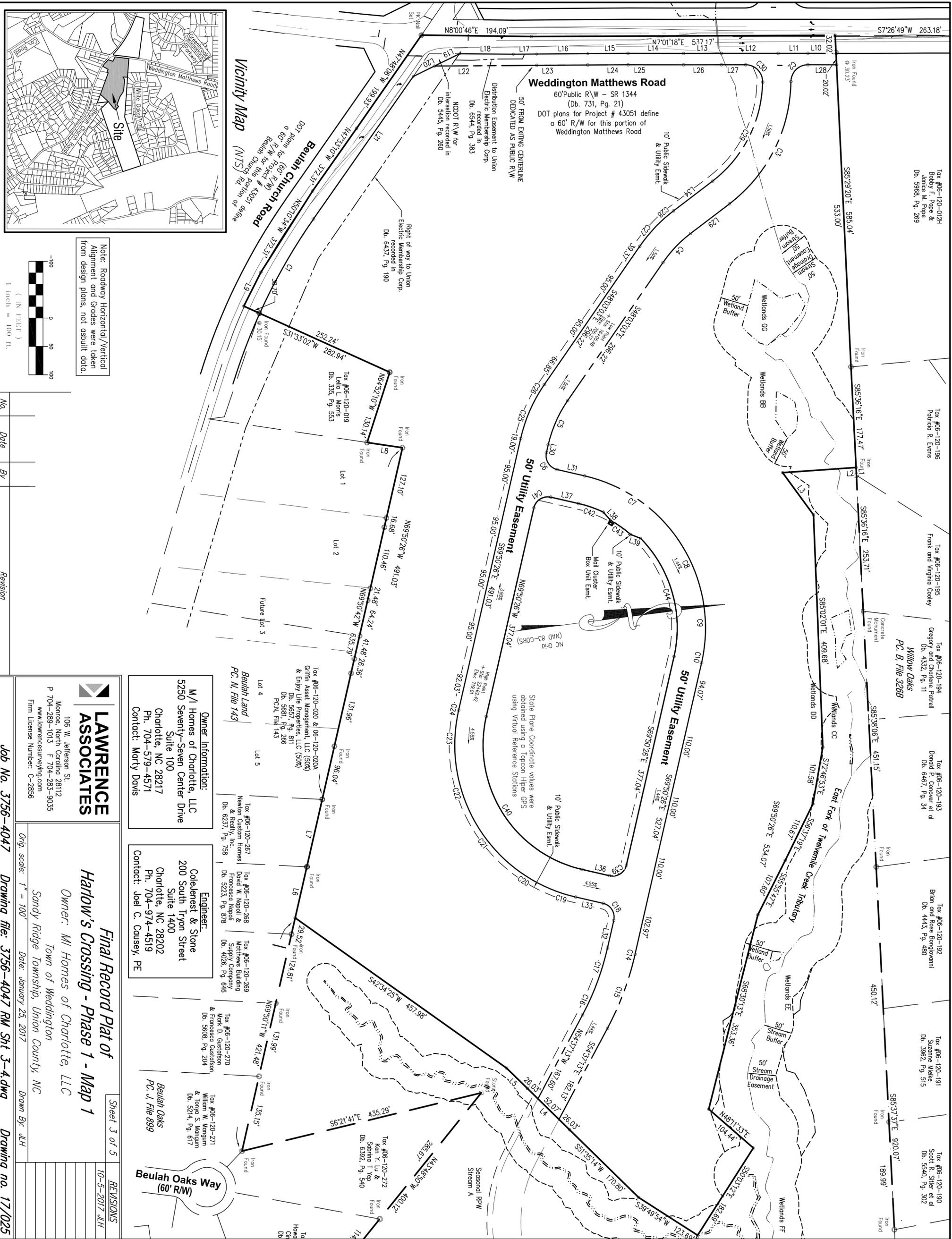
Tax #06-120-194
Gregory and Conchita Pateal
Db. 4332, Pg. 11
Willow Oaks
PC. B. File 3268B

Tax #06-120-193
Donald P. Carver et al
Db. 6467, Pg. 34

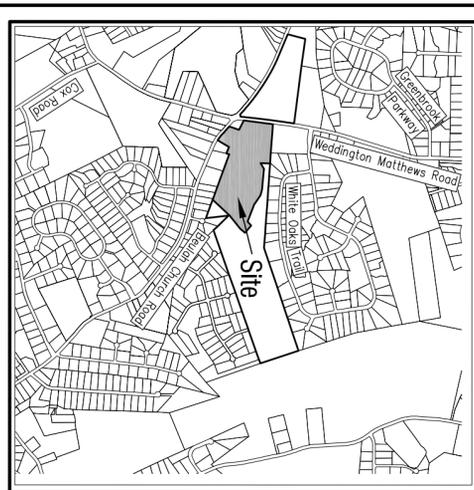
Tax #06-120-192
Brian and Rose Bongiovanni
Db. 4443, Pg. 480

Tax #06-120-191
Suzanne Mielke
Db. 3982, Pg. 515

Tax #06-120-190
Scott R. Siler et al
Db. 5540, Pg. 302



Vicinity Map (NTS)



Note: Roadway Horizontal/Vertical Alignment and Grades were taken from design plans, not asbuilt data.



No.	Date	By	Revision

Owner Information:
M/I Homes of Charlotte, LLC
5250 Seventy-Seven Center Drive
Suite 100
Charlotte, NC 28217
Ph. 704-579-4571
Contact: Marty Davis

Engineer:
Coleman & Stone
200 South Tryon Street
Suite 1400
Charlotte, NC 28202
Ph. 704-974-4519
Contact: Joel C. Causey, PE



LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 F 704-283-9035
www.lawrenceurveying.com
Firm License Number: C-2856

Final Record Plat of Harlow's Crossing - Phase 1 - Map 1

Owner: M/I Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Sheet 3 of 5

REVISIONS
10-5-2017 JH

Line & Curve Table for Sheet 3 of 5

Line Table		
Line #	Direction	Length
L1	S85°17'36"E	13.75
L2	S03°12'43"W	130.05
L3	N60°59'21"E	92.19
L4	S51°35'14"W	104.14
L5	S81°35'14"W	51.23
L6	N69°51'42"W	92.34
L7	N69°49'02"W	121.87
L8	S15°42'23"W	63.16
L9	N56°01'34"W	67.16
L11	S07°14'58"W	52.72
L12	S07°14'25"W	100.11
L13	S07°10'31"W	67.25
L14	S07°17'57"W	97.92
L15	S06°55'13"W	71.37
L16	S06°50'35"W	90.23
L17	S06°52'14"W	41.31
L18	S07°42'05"W	94.93
L19	S18°44'32"E	49.45
L20	S18°44'32"E	41.85
L21	S47°40'26"E	306.80

Line Table		
Line #	Direction	Length
L22	N06°52'14"E	180.84
L23	N06°50'35"E	90.20
L24	N06°55'13"E	71.29
L25	N07°17'57"E	97.88
L26	N07°10'31"E	67.26
L27	N07°14'25"E	42.71
L28	N07°22'55"E	50.56
L29	S29°58'45"E	86.43
L30	S69°50'26"E	13.99
L31	N20°09'34"E	50.00
L32	N69°50'26"W	50.00
L33	S20°09'34"W	50.00
L34	N29°58'45"W	86.43
L36	S20°09'34"W	50.00
L37	N20°09'34"E	50.00
L38	N55°54'06"E	18.97
L39	N26°51'15"E	19.01

Curve Table					
Curve #	Length	Radius	CHORD BEARING	CHORD	CHORD
C1	191.81	1040.10	S52°57'25"E	191.54	
C2	46.81	30.00	S37°18'52"E	42.20	
C3	249.73	275.00	N55°59'42"W	241.24	
C4	70.97	225.00	S39°00'54"E	70.67	
C5	85.57	225.00	S58°56'45"E	85.05	
C6	39.27	25.00	N65°09'34"E	35.36	
C7	194.53	275.00	S40°25'29"W	190.50	
C8	110.75	275.00	S72°13'37"W	110.00	
C9	110.75	275.00	N84°41'57"W	110.00	
C10	15.94	275.00	N71°30'05"W	15.94	
C11	181.22	450.00	S72°13'37"W	180.00	
C12	181.22	450.00	N84°41'57"W	180.00	
C13	26.09	450.00	N71°30'05"W	26.08	
C14	7.03	525.00	N69°27'26"W	7.03	
C15	132.44	525.00	N61°50'49"W	132.09	
C16	50.87	475.00	N57°41'17"W	50.84	
C17	75.32	475.00	N65°17'54"W	75.24	
C18	39.27	25.00	S65°09'34"W	35.36	
C19	47.08	275.00	N25°03'50"E	47.02	
C20	95.48	275.00	N39°54'54"E	95.00	

Curve Table					
Curve #	Length	Radius	CHORD BEARING	CHORD	CHORD
C21	95.48	275.00	N59°48'28"E	95.00	
C22	95.48	275.00	N79°42'03"E	95.00	
C23	95.48	275.00	S80°24'23"E	95.00	
C24	2.97	275.00	S70°09'01"E	2.97	
C25	76.39	275.00	S81°52'58"E	76.15	
C26	28.19	275.00	S50°59'16"E	28.18	
C27	56.02	275.00	S42°12'55"E	55.92	
C28	30.72	275.00	S33°10'46"E	30.71	
C29	202.72	225.00	N55°47'23"W	195.93	
C30	47.73	30.00	S52°49'12"W	42.85	
C31	72.76	425.00	N25°03'50"E	72.67	
C32	147.56	425.00	N39°54'54"E	146.82	
C33	147.56	425.00	N59°48'28"E	146.82	
C34	147.56	425.00	N79°42'03"E	146.82	
C35	147.56	425.00	S80°24'23"E	146.82	
C36	4.59	425.00	S70°09'01"E	4.59	
C37	118.06	425.00	S81°52'58"E	117.88	
C38	43.57	425.00	S50°59'16"E	43.55	
C39	39.27	25.00	N24°50'26"W	35.36	
C40	353.43	225.00	N65°09'34"E	318.20	

Curve Table					
Curve #	Length	Radius	CHORD BEARING	CHORD	CHORD
C41	39.27	25.00	S24°50'26"E	35.36	
C42	46.78	225.00	S26°06'55"W	46.69	
C43	43.60	218.00	S42°22'41"W	43.53	
C44	225.76	225.00	S81°24'52"W	216.41	



LAWRENCE ASSOCIATES
 106 W. Jefferson St.
 Monroe, North Carolina 28112
 P 704-288-1013 F 704-283-9035
 www.lawrencesurveying.com
 Firm License Number: C-2856

*Final Record Plat of
 Harlow's Crossing - Phase 1 - Map 1*

Owner: *Ml Homes of Charlotte, LLC*
 Town of *Weddington*
 Sandy Ridge Township, Union County, NC

Sheet 4 of 5

REVISIONS
 10-5-2017 JH

Org. scale:

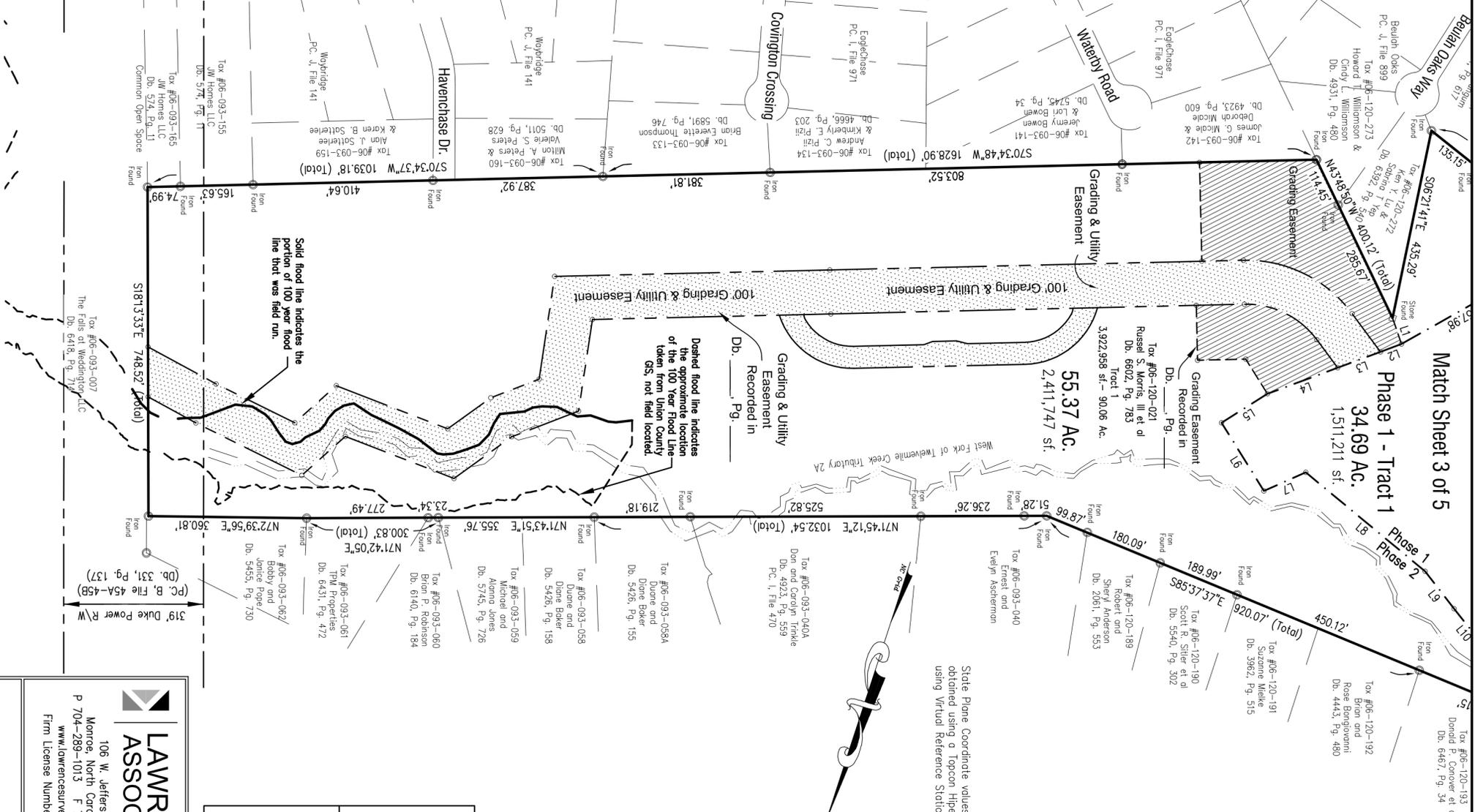
Date: *January 25, 2017*

Drawn By: *JH*

Job No. *3756-4047* Drawing file: *3756-4047 RM Sht 3-4.dwg* Drawing no. *17/025*



Vicinity Map (NTS)



Match Sheet 3 of 5

Phase 1 - Tract 1
34.69 Ac.
1,511,211 sf.

55.37 AC.
2,411,747 sf.



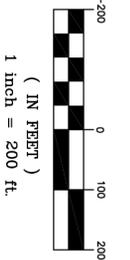
State Plane Coordinate values were obtained using a Topcon HiPer GPS using Virtual Reference Stations

LINE TABLE

LINE	LENGTH	BEARING
L1	62.49	N36°57'59"W
L2	51.23	N51°35'14"E
L3	104.14	N51°35'14"E
L4	170.80	N51°35'14"E
L5	123.69	N39°49'54"E
L6	182.69	N50°03'12"W
L7	104.44	S48°11'37"W
L8	353.36	N68°20'13"W
L9	107.60	N55°55'47"W
L10	110.67	N55°37'19"W

Owner Information:
M/I Homes of Charlotte, LLC
5250 Seventy-Seven Center Drive
Suite 100
Charlotte, NC 28217
Ph. 704-579-4571
Contact: Marty Davis

Engineer:
Coleman & Stone
200 South Tryon Street
Suite 1400
Charlotte, NC 28202
Ph. 704-974-4519
Contact: Joel C. Causey, PE



LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 F 704-283-9035
www.lawrenceurveying.com
Firm License Number: C-2856

Final Record Plat of
Harlow's Crossing - Phase 1 - Map 1
Owner: M/I Homes of Charlotte, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC

Sheet 5 of 5 REVISIONS

Job No. 3756-4047 Drawing File: 3756-4047 RM Sht 5.dwg Drawing no. 17/022
Date: August 28, 2017 Drawn By: JH

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council
FROM: Lisa Thompson, Town Administrator/Planner
DATE: October 9, 2017
SUBJECT: Harlow's Crossing – Entrance Monument Sign

The Town Council shall review and consider an entry monument sign application and plans for the Harlow's Crossing Subdivision (formerly Carrington).

The Planning Board reviewed the application and unanimously approved the entry monument and sign with the condition that Staff confirms that the monument is placed in common open space and not the required conservation area.

The signs will be facing Weddington-Matthews Road. A copy of the site layout, elevations, and landscape plan are included for Planning Board's review.

The columns are 6'9" tall with a stone cap for a maximum height of 7'. The proposed plans include ornamental aluminum fence and lanterns.

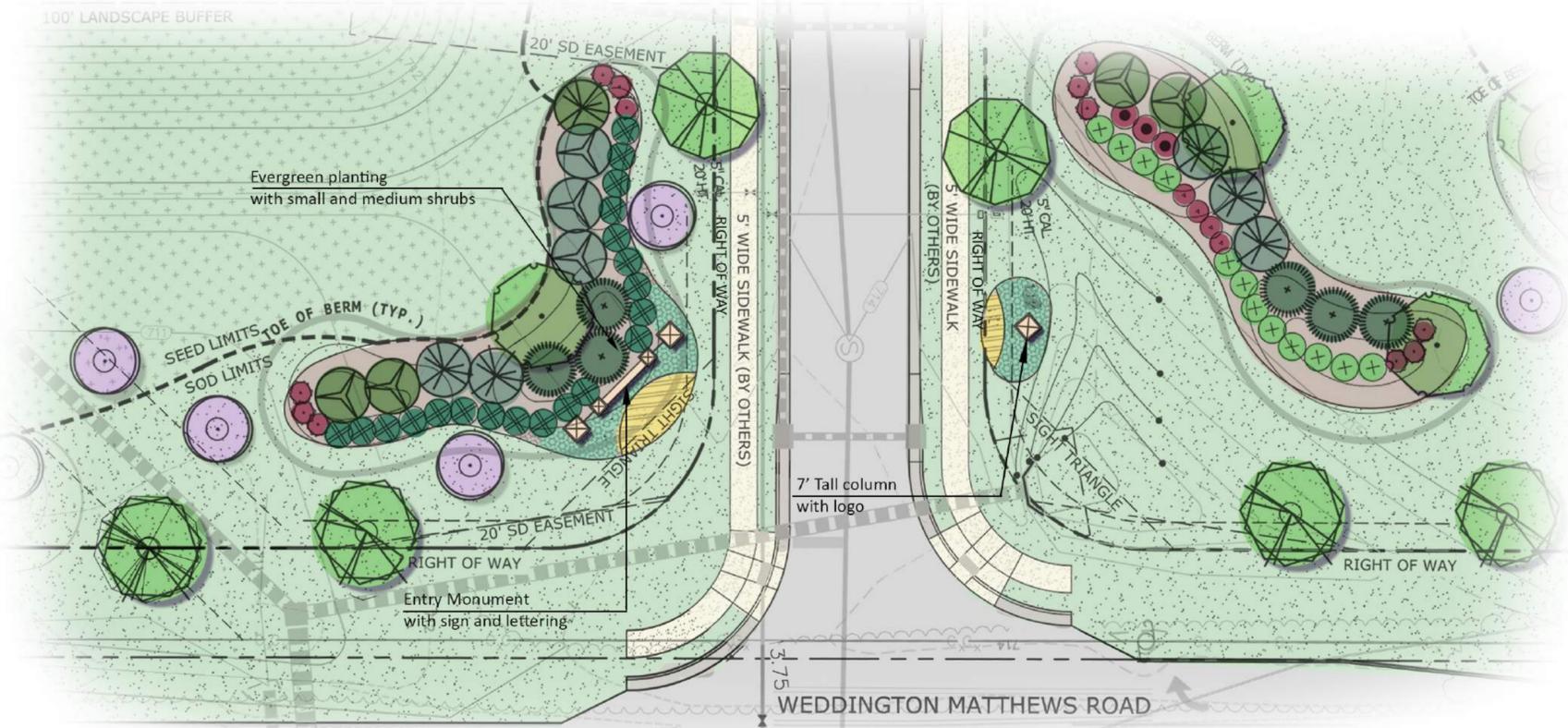
The site plan shows the monument signs and plantings located outside of the sight triangles and 500' line of sight area.

The landscape plan meets the new proposed text which considers distance from the power lines.

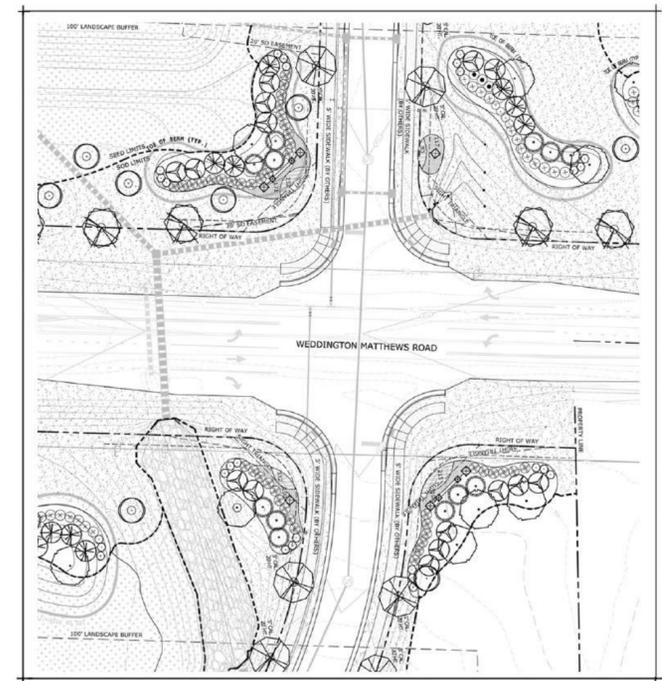
The lanterns meet the lighting ordinance requirement.

Section 58-152 (f) of the *Weddington Zoning Ordinance* permits two signs per subdivision entrance, behind the right-of-way line with a maximum area of 20 square feet per sign. The signs are in general conformance with the *Weddington Zoning Ordinance*.

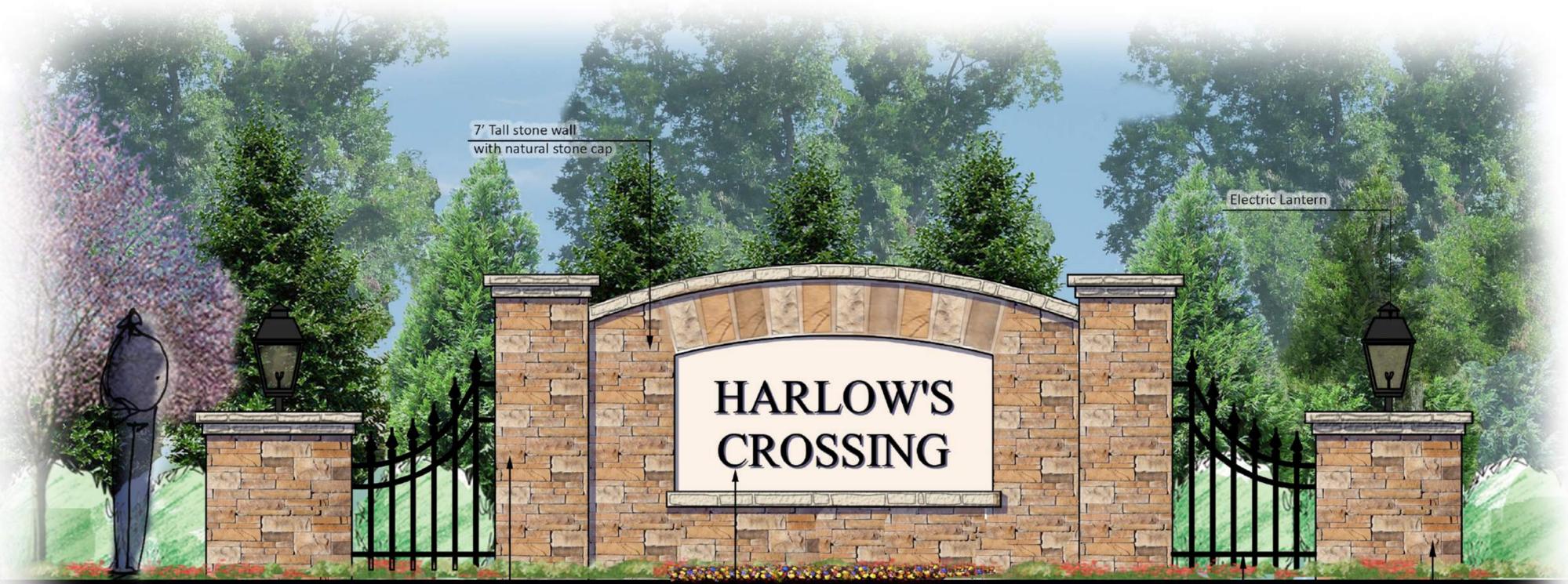
Staff recommends approval of the Harlow's Crossing Entry Monument Signs.



PLAN VIEW
Not to Scale



INTERSECTION PLAN VIEW
Not to Scale



6'-9" Tall stone column with natural stone cap
Stucco back with stud mounted lettering
SIGN MONUMENT ELEVATION
Custom ornamental aluminum fence
3'-9" Tall stone column



7' TALL SINGLE COLUMN ELEVATION

Note:
All caps to be natural stone caps

Harlow's Crossing

Weddington, NC



September 7th, 2017

Entry Monument Concept

▲ MATCHLINE-SEE SHEET LS 3.10 ▲

▲ MATCHLINE-SEE SHEET LS 3.10 ▲



PLANT MATERIALS SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QUANTITIES PER SHEET													
				LS 3.1	LS 3.2	LS 3.3	LS 3.4	LS 3.5	LS 3.6	LS 3.7	LS 3.8	LS 3.9	LS 3.10	LS 3.11	LS 3.12	LS 3.13	TOTAL
TREES				15	15												32
JAPANESE ZELKOVA	ZELKOVA SERRATA	2.5"-3" CAL./12"-14" HT.	AS SHOWN														
EASTERN RED OAK	QUERCUS RUBRA MAXIMA	2.5" CAL./12"-14" HT.	AS SHOWN	6	6	37	11	9	7	8	5		5		26	123	
SHUMARD RED OAK	QUERCUS SHUMARDII	3" CAL./10"-12" HT.	AS SHOWN			9	5						9	28		55	
LACEBARK ELM	ULMUS PARVIFOLIA	3" CAL./10"-12" HT.	AS SHOWN			16							5	6	31	108	
'NATCHEZ' CRAPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'	3" CAL./10"-12" HT.	AS SHOWN	13	3	15	4	3	3	3	2		1			43	
EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	8" HT.	AS SHOWN	9			17	10	11	12	11		7			84	
'LITTLE GEM' MAGNOLIA	MAGNOLIA GRAND 'LITTLE GEM'	8" HT.	AS SHOWN	13	9	2	23	9	21	21	13		15			124	
DEODAR CEDAR	CEDRUS DEODORA	10" HT.	AS SHOWN	7		2	35	14	25	23	24		19			159	
SHRUBS																	
EMILY BRUNNER HOLLY	ILEX x 'EMILY BRUNNER'	8" HT.	8'-0" O.C.	16		30							3		3	42	
GLOSSY ABELIA	ABELIA GRANDIFLORA	3" HT.	5'-0" O.C.	41		50	59	30	42	56	30		26			334	
BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	3" HT.	5'-0" O.C.	24			78	31	40	30	49		28			280	
VICTORY FIRETHORN	PIRACANTHA FORTUNEANA 'VICTORY'	3" HT.	5'-0" O.C.	3			23	11	14	12	18		3			84	
DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	18" HT.	3'-0" O.C.	17	6	27							4			4	
NEEDLEPOINT HOLLY	ILEX CORNUTA 'NEEDLEPOINT'	3" HT.	4'-0" O.C.	4			8	27	9	5	9		15			65	
BURNING BUSH	EUONYMUS ALATA COMPACTA	3" HT.	4'-0" O.C.	4			8	27	9	5	9		17			89	
PAMPAS GRASS	CORTADERIA SELLOANA	3" HT.	4'-0" O.C.	30			26	9	12	11	18		6			124	
SOD																	
BERMUDA				51,120	14,993	144,086	73,870	31,127	31,393	33,317	23,860		30,563	61,401	36,072	15,810	516,219
BERMUDA FESCUE SEED MIX				27,208	2,573		59,096	130,006	51,770	25,505	19,779	47,822	42,445				406,204
WEeping LOVE GRASS	ERAGROSTIS CURVULA										27,312	66,998					94,310

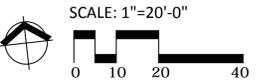
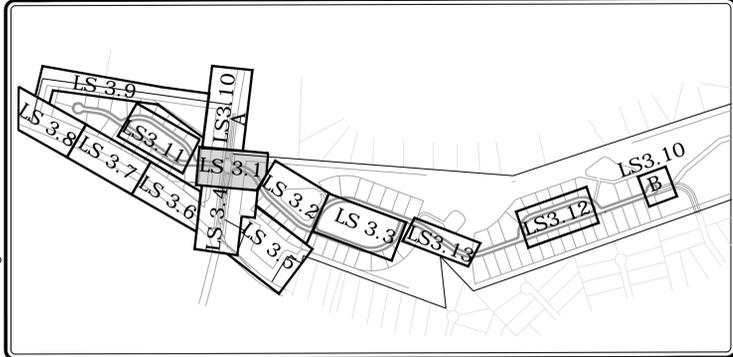
COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QUANTITIES PER SHEET				
				LS 3.1	LS 3.2	LS 3.3	LS 3.11	TOTAL
GROUND COVER / ORNAMENTAL GRASSES								
CREeping LILYTURF	LIRIOPE SPICATA	1 GAL.	12" O.C.	494	180	342	9	1025
SEASONAL COLOR/ ANNUALS BASED ON TIME OF YEAR. ASSUME 8" SPACING				626				626

NUMBER INDICATED ON HATCH THROUGHOUT THE DRAWING REFLECTS THE NUMBER OF PLANTINGS IN THAT PARTICULAR AREA.

STRAW MULCH
NOTE: ALL SHRUB BEDS SHALL CONTAIN A 4" LAYER OF PINE NEEDLE MULCH TYP. ALL ANNUAL BEDS SHALL CONTAIN A 2" MIN LAYER OF SOIL CONDITIONER (FINELY SHREDDED HARDWOODS WITH ORGANICS)

GENERAL NOTES: LANDSCAPE PLAN

- PROVIDE TOPSOIL AMENDMENTS FOR PLANT PITS ONLY. SOIL AMENDMENT FOR ALL LAWN AREAS AND ENTIRE PLANTING BED IS NOT REQUIRED. SEE DETAILS AND NOTES FOR FURTHER INFORMATION. IF PLANTING CONDITIONS (TOPSOIL) ARE UNACCEPTABLE OR WILL DRASTICALLY AFFECT LONG TERM HEALTH AND CONDITION OF PLANTS AND LAWN, NOTIFY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO PROCEEDING.
- AREAS OF THE LAWN MAY CONTAIN CATCH BASINS AND AREA DRAINS. CONTRACTOR SHALL USE BEST JUDGEMENT TO FINE GRADE AROUND CATCH BASINS AND OTHER APPURTENANCES TO MINIMIZE EROSION AND MAINTAIN AESTHETIC VALUE. CONTACT LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES OR IF CATCH BASIN CONDITION CAN BE IMPROVED.
- CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK. SEE DETAILS AND NOTES FOR FURTHER INFORMATION.
- TREES LOCATED IN DRAINAGE WAYS SHOULD BE FIELD ADJUSTED TO PLACE TREES OUTSIDE THE DRAINAGE WAY AND IN AN APPROPRIATE LOCATION.
- CONTRACTOR WILL FLAG ALL PROPERTY LINES, EASEMENT LINES, ETC. TO INSTALL PLANTING AND IRRIGATION AS PER PLANS. CONTRACTOR TO CONTACT OWNER PRIOR TO INSTALLATION IF ANY LOCATIONS ARE UNCLEAR.



Cardno
Shaping the Future

CHARLOTTE
9800 SOUTHERN PINE BOULEVARD, SUITE 1
CHARLOTTE, NC 28273
TEL: (704) 927-9700 FAX: (704) 529-3272
www.cardno.com

M/I HOMES
Move Up

PLANTING PLAN
HARLOW'S CROSSING
M/I HOMES
WEDDINGTON, NC

#	DATE	DESCRIPTION



CLARB CERTIFIED
LANDSCAPE ARCHITECT

DATE 107-07-17
DRAWN | MSD
DESIGNED | E|J
CHECKED | E|J
PROJECT # |
SHEET TITLE
PLANTING PLAN
SHEET NUMBER
LS 3.1
LAND USE #

BID SET - RELEASED FOR CONSTRUCTION

TOWN OF WEDDINGTON
BALANCE SHEET

FY 2017-2018

PERIOD ENDING: 09/30/2017

10

ASSETS

ASSETS

10-1120-000	TRINITY CHECKING ACCOUNT	800,163.02
10-1120-001	TRINITY MONEY MARKET	1,115,096.66
10-1170-000	NC CASH MGMT TRUST	533,623.46
10-1211-001	A/R PROPERTY TAX	889,022.99
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	8,819.30
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	10,192.88
10-1232-000	SALES TAX RECEIVABLE	2,335.43
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	2,346,268.11
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	20,583.08
10-1610-003	FIXED ASSETS - EQUIPMENT	118,306.60
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.01
TOTAL ASSETS		5,871,262.54

LIABILITIES & EQUITY

LIABILITIES

10-2120-000	BOND DEPOSIT PAYABLE	75,002.25
10-2620-000	DEFERRED REVENUE - DELQ TAXES	8,819.30
10-2625-000	DEFERRED REVENUE - CURR YR TAX	889,022.99
10-2630-000	DEFERRED REVENUE-NEXT 8	10,192.88
TOTAL LIABILITIES		983,037.42

EQUITY

10-2620-001	FUND BALANCE - UNASSIGNED	2,551,598.54
10-2620-003	FUND BALANCE-ASSIGNED	54,000.00
10-2620-004	FUND BALANCE-INVEST IN FIXED ASSETS	2,512,011.00
10-2620-005	CURRENT YEAR EQUITY YTD	-222,488.90
CURRENT FUND BALANCE - YTD NET REV		-6,895.52
TOTAL EQUITY		4,888,225.12

TOTAL LIABILITIES & FUND EQUITY	5,871,262.54
---------------------------------	--------------

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2017-2018

09/01/2017 TO 09/30/2017

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
REVENUE:				
10-3101-110 AD VALOREM TAX - CURRENT	44,980.76	160,738.42	1,025,000.00	84
10-3102-110 AD VALOREM TAX - 1ST PRIOR	366.41	1,011.72	3,000.00	66
10-3103-110 AD VALOREM TAX - NEXT 8	0.00	-20.12	1,000.00	102
10-3110-121 AD VALOREM TAX - MOTOR	10,129.55	18,425.27	89,000.00	79
10-3115-180 TAX INTEREST	23.52	71.07	2,250.00	97
10-3231-220 LOCAL OPTION SALES TAX REV	30,752.15	30,752.15	320,000.00	90
10-3322-220 BEER & WINE TAX	0.00	0.00	45,000.00	100
10-3324-220 UTILITY FRANCHISE TAX	102,692.64	102,692.64	460,000.00	78
10-3340-400 ZONING & PERMIT FEES	2,442.50	14,200.00	35,000.00	59
10-3350-400 SUBDIVISION FEES	0.00	9,625.00	40,000.00	76
10-3830-891 MISCELLANEOUS REVENUES	150.00	374.66	1,000.00	63
10-3831-491 INVESTMENT INCOME	0.00	0.00	5,000.00	100
TOTAL REVENUE	<u>191,537.53</u>	<u>337,870.81</u>	<u>2,026,250.00</u>	<u>83</u>
AFTER TRANSFERS	<u>191,537.53</u>	<u>337,870.81</u>	<u>2,026,250.00</u>	
4110 GENERAL GOVERNMENT				
EXPENDITURE:				
10-4110-126 FIRE DEPT SUBSIDIES	61,088.00	183,264.00	737,560.00	75
10-4110-127 FIRE DEPARTMENT	0.00	65.00	10,000.00	99
10-4110-128 POLICE PROTECTION	0.00	0.00	264,175.00	100
10-4110-192 ATTORNEY FEES - GENERAL	3,183.72	3,183.72	90,000.00	96
10-4110-193 ATTORNEY FEES - LITIGATION	18,152.87	18,152.87	100,000.00	82
10-4110-195 ELECTION EXPENSE	0.00	0.00	10,000.00	100
10-4110-340 PUBLICATIONS	0.00	0.00	12,000.00	100
10-4110-341 WEDDINGTON FESTIVAL	0.00	0.00	7,000.00	100
10-4110-342 HOLIDAY/TREE LIGHTING	0.00	0.00	6,500.00	100
10-4110-343 SPRING EVENT	0.00	0.00	3,750.00	100
10-4110-344 OTHER COMMUNITY EVENTS	0.00	0.00	1,000.00	100
10-4110-495 COMMITTEE & OUTSIDE	0.00	0.00	1,500.00	100
TOTAL EXPENDITURE	<u>82,424.59</u>	<u>204,665.59</u>	<u>1,243,485.00</u>	<u>84</u>
BEFORE TRANSFERS	<u>-82,424.59</u>	<u>-204,665.59</u>	<u>-1,243,485.00</u>	
AFTER TRANSFERS	<u>-82,424.59</u>	<u>-204,665.59</u>	<u>-1,243,485.00</u>	
4120 ADMINISTRATIVE				
EXPENDITURE:				
10-4120-121 SALARIES - CLERK	1,701.00	4,693.50	22,000.00	79
10-4120-123 SALARIES - TAX COLLECTOR	3,339.99	10,428.82	47,250.00	78
10-4120-124 SALARIES - FINANCE OFFICER	825.30	2,525.03	14,500.00	83
10-4120-125 SALARIES - MAYOR & TOWN	2,100.00	6,300.00	25,200.00	75
10-4120-181 FICA EXPENSE	609.36	1,831.81	8,500.00	78
10-4120-182 EMPLOYEE RETIREMENT	702.84	1,819.25	10,930.00	83

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2017-2018

09/01/2017 TO 09/30/2017

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4120-183 EMPLOYEE INSURANCE	1,014.50	3,045.00	12,780.00	76
10-4120-184 EMPLOYEE LIFE INSURANCE	12.60	37.80	175.00	78
10-4120-185 EMPLOYEE S-T DISABILITY	12.00	36.00	175.00	79
10-4120-191 AUDIT FEES	0.00	0.00	8,750.00	100
10-4120-193 CONTRACT LABOR	0.00	400.00	0.00	0
10-4120-200 OFFICE SUPPLIES - ADMIN	151.00	1,002.07	10,000.00	90
10-4120-210 PLANNING CONFERENCE	0.00	0.00	1,500.00	100
10-4120-321 TELEPHONE - ADMIN	166.07	308.93	3,500.00	91
10-4120-325 POSTAGE - ADMIN	0.00	900.00	2,000.00	55
10-4120-331 UTILITIES - ADMIN	333.57	1,249.08	4,725.00	74
10-4120-351 REPAIRS & MAINTENANCE -	0.00	0.00	37,500.00	100
10-4120-352 REPAIRS & MAINTENANCE -	8,583.62	30,062.35	60,000.00	50
10-4120-354 REPAIRS & MAINTENANCE -	4,112.50	7,175.00	58,250.00	88
10-4120-355 REPAIRS & MAINTENANCE -	0.00	110.00	1,000.00	89
10-4120-356 REPAIRS & MAINTENANCE -	540.00	980.00	6,000.00	84
10-4120-370 ADVERTISING - ADMIN	69.78	113.13	1,000.00	89
10-4120-397 TAX LISTING & TAX	-24.25	-107.90	250.00	143
10-4120-400 ADMINISTRATIVE:TRAINING	1,525.00	1,525.00	4,000.00	62
10-4120-410 ADMINISTRATIVE:TRAVEL	138.62	418.64	5,000.00	92
10-4120-450 INSURANCE	0.00	13,615.20	15,750.00	14
10-4120-491 DUES & SUBSCRIPTIONS	0.00	13,956.97	16,000.00	13
10-4120-498 GIFTS & AWARDS	0.00	0.00	3,000.00	100
10-4120-499 MISCELLANEOUS	1,539.58	1,761.54	5,000.00	65
10-4120-500 CAPITAL EXPENDITURES	0.00	0.00	35,000.00	100
TOTAL EXPENDITURE	<u>27,453.08</u>	<u>104,187.22</u>	<u>419,735.00</u>	<u>75</u>
BEFORE TRANSFERS	<u>-27,453.08</u>	<u>-104,187.22</u>	<u>-419,735.00</u>	
AFTER TRANSFERS	<u>-27,453.08</u>	<u>-104,187.22</u>	<u>-419,735.00</u>	

4130 PLANNING & ZONING

EXPENDITURE:

10-4130-121 SALARIES - ZONING	5,833.34	17,500.02	71,500.00	76
10-4130-122 SALARIES - ASST ZONING	0.00	132.60	2,950.00	96
10-4130-123 SALARIES - ADMINISTRATIVE	1,270.50	3,485.64	17,000.00	79
10-4130-124 SALARIES - PLANNING BOARD	375.00	1,125.00	5,200.00	78
10-4130-125 SALARIES - SIGN REMOVAL	290.36	847.22	3,500.00	76
10-4130-181 FICA EXPENSE - P&Z	592.12	1,759.74	7,750.00	77
10-4130-182 EMPLOYEE RETIREMENT - P&Z	911.76	2,726.82	11,200.00	76
10-4130-183 EMPLOYEE INSURANCE	1,014.50	3,042.00	12,780.00	76
10-4130-184 EMPLOYEE LIFE INSURANCE	19.60	58.80	250.00	76
10-4130-185 EMPLOYEE S-T DISABILITY	12.00	36.00	175.00	79
10-4130-193 CONSULTING	-152.00	-2,220.42	41,000.00	105
10-4130-194 CONSULTING - COG	2,053.75	4,007.50	10,000.00	60
10-4130-200 OFFICE SUPPLIES - PLANNING	151.01	542.50	5,000.00	89
10-4130-201 ZONING SPECIFIC OFFICE	0.00	0.00	2,500.00	100

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2017-2018

09/01/2017 TO 09/30/2017

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4130-215 HISTORIC PRESERVATION	0.00	0.00	1,000.00	100
10-4130-220 INFRASTRUCTURE	0.00	0.00	160,000.00	100
10-4130-321 TELEPHONE - PLANNING &	166.09	499.02	3,500.00	86
10-4130-325 POSTAGE - PLANNING & ZONING	0.00	900.00	2,000.00	55
10-4130-331 UTILITIES - PLANNING & ZONING	442.41	1,357.94	4,725.00	71
10-4130-370 ADVERTISING - PLANNING &	69.79	113.14	1,000.00	89
TOTAL EXPENDITURE	<u>13,050.23</u>	<u>35,913.52</u>	<u>363,030.00</u>	<u>90</u>
BEFORE TRANSFERS	<u>-13,050.23</u>	<u>-35,913.52</u>	<u>-363,030.00</u>	
AFTER TRANSFERS	<u>-13,050.23</u>	<u>-35,913.52</u>	<u>-363,030.00</u>	
GRAND TOTAL	<u><u>68,609.63</u></u>	<u><u>-6,895.52</u></u>	<u><u>0.00</u></u>	

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: October 9, 2017

SUBJECT: Monthly Report –September 2017

Transactions:	
Adjustments <5.00	\$(.20)
Balance Adjustment	\$(6.95)
Refunds	\$36.49
Penalty and Interest Payments	\$(32.53)
Interest Charges	\$121.45
Overpayment	\$(2.00)
Taxes Collected:	
2016	\$(366.41)
2017	\$(45006.24)
As of September 30, 2017; the following taxes remain Outstanding:	
2007	\$83.43
2008	\$808.16
2009	\$598.83
2010	\$575.29
2011	\$100.56
2012	\$936.60
2013	\$1744.56
2014	\$2370.53
2015	\$2974.92
2016	\$8819.30
2017	\$889022.99
Total Outstanding:	\$908035.17



Union County Sheriff's Office

Date of Report

--List of Events

10/1/2017

Alarm Calls

11:07:15AM

For the Month of: September 2017

Subdivision	Incident #	Prime Unit	Date/Time	Priority	Agcy	Street	Zone	Business	City
1	2017249873	9/1/2017	5:55:14	7	UCSO	8208-BLK LAKE PROVIDENCE DR	WED	LAKR	A324 CNR
	ALARMS LAW	7	UCSO	T10					HOOVER, SARAH
	HEARS AN ALARM SOUNDING [09/01/17 05:55:44 MBALDWIN] HAS BEEN GOING OFF FOR ABOUT 20 MIN [09/01/17 05:55:50 MBALDWIN] NO -82 [09/01/17 05:56:17 MBALDWIN] -22 per A314 [09/01/17 06:00:13 Unit:A324] UDTS: {A314} NO NEED TO CHECK STATUS [09/01/17 06:10:01 MGADAIRE] I was unable to locate any residential alarm being activated in the neighborhood. [09/01/17 06:10:28 Unit:A314]								
2	2017249915	9/1/2017	7:04:15	7	UCSO	6009 OXFORDSHIRE RD	WED	STRT	A324 CNR
	ALARMS LAW	7	UCSO	T10					WILLIAMS, DEANGELO
	HALLWAY MTN [09/01/17 07:04:59 MULLIGAN] CPI//800-948-7133//OP 2984 [09/01/17 07:05:31 MULLIGAN] KH -17 ROSALYN WILLIAMS ETA 20 MINS IN A BLK ESCALADE PU [09/01/17 07:11:07 MGARCIA] -22 per A334 [09/01/17 07:13:58 Unit:A324] UDTS: {A334} NO NEED TO CHECK STATUS [09/01/17 07:32:56 ACOPELAND] I walked around the residence and all appeared secure. I spoke with Homeowner she stated she had just left to take the kids to school and knew she locked everything up but might have hit the button on the key pad she carries with her. [09/01/17 07:35:45 Unit:A334]								
3	2017250255	9/1/2017	13:38:33	7	UCSO	6138 HIGHVIEW RD	WED	VALR	W3 CAL
	ALARMS LAW	7	UCSO	T10					PUCKETT, RONALD
	GENERAL BURG [09/01/17 13:39:06 ACHILDERS] EASTWAY LOCK AND KEY / OPER 676 / 800.432.1429 [09/01/17 13:40:07 ACHILDERS] PER AC -22 [09/01/17 13:40:13 ACHILDERS]								
4	2017250516	9/1/2017	18:19:29	7	UCSO	7016 WEDDINGTON BROOK DR	WED	WEDD	B314 N
	ALARMS LAW	7	UCSO	T10					CATO, JAMES
	GARAGE/CAR PORT [09/01/17 18:20:22 MULLIGAN] ADT//877-238-7730//OP DEE [09/01/17 18:20:57 MULLIGAN] Deputy Deese took the call [09/01/17 18:24:52 Unit:B314] All windows and doors secure. No one at home. [09/01/17 18:32:06 Unit:B324]								
5	2017251130	9/2/2017	11:58:11	7	UCSO	3927 N TWELVE MILE CREEK RD	MAT		W1 F
	ALARMS LAW	7	UCSO	T10		WEDDINGTON ELEMENTARY SCHOOL			
	MOTION ROOM 600 // [09/02/17 11:58:35 RGENABE] SENTRY WATCH - OP 89 - 800-362-1961 [09/02/17 11:58:51 RGENABE]								
6	2017251299	9/2/2017	15:42:49	7	UCSO	3142 TILLY MORRIS RD	MAT		W1 F
	ALARMS LAW	7	UCSO	T10					VOGEL, DANIEL

Subdivision	Incident #	Prime Unit	Date/Time	Street	City			
	Nature	Priority	Agcy	Zone	Business			
	CPI OPER 4544 / 800.948.7133 [09/02/17 15:43:16 ACHILDERS] PORCH DOOR [09/02/17 15:51:59 MGARCIA] KH MRS VOGEL 10-15 ETA SILVER/BLUE HYUNDAI SONATA [09/02/17 15:52:29 MGARCIA] UDTS: {W1} NO NEED TO CHECK STATUS [09/02/17 15:58:40 MGARCIA] Waited for homeowner to arrive. Nothing found. False alarm. [09/02/17 16:06:33 Unit:W1]							
7	2017251470	9/2/2017	19:40:59	3702 MATTHEWS WEDDINGTON RD	WED		W1	F
	ALARMS LAW	7	UCSO	T10			HILL, BARRY	
	RANCH HOUSE SINGLE STORY HOUSE SITS 150FT OFF RD SOUTH OF USAVE FRONT WINDOW [09/02/17 19:42:32 LNAVARRO] ADT// OP VIVA// 18772382727 [09/02/17 19:43:21 LNAVARRO] AC SPOKE TO PREMISE// ADV DISPATCH [09/02/17 19:43:38 LNAVARRO] UDTS: {W1} NO NEED TO CHECK STATUS [09/02/17 19:55:36 GSECREST]							
8	2017251976	9/3/2017	10:34:23	6064 OXFORDSHIRE RD	WED	STRT	A324	G
	ALARMS LAW	7	UCSO	T10			DAVIS, THOMAS	
	DEN DR [09/03/17 10:35:09 MULLIGAN] CPI//800-948-7133//OP 3370 [09/03/17 10:35:44 MULLIGAN] All 10-4. Kids set alarm off [09/03/17 10:52:29 Unit:A324]							
9	2017252002	9/3/2017	11:18:34	2105 PONDMEADE LN	WED	BROL	A324	CAL
	ALARMS LAW	7	UCSO	T10			MANTE, EBENEZER	
	GARAGE DR [09/03/17 11:19:00 MULLIGAN] CPI//800-948-7133//OP 3370 [09/03/17 11:19:35 MULLIGAN] PER ALC -22 // PROPER CODE FROM HOME OWNER // OP # 3370 [09/03/17 11:21:44 CSCOTT]							
10	2017253166	9/4/2017	16:23:46	1401 DELANEY DR	WED	BROL	W2	F
	ALARMS LAW	7	UCSO	T10			CONWAY , KEVIN	
	BACK DOOR BURG // LIVING ROOM MOTION [09/04/17 16:24:30 JBROWN] MYALARM // OP 37327 // CB 8776948489 [09/04/17 16:25:09 JBROWN] On scene I spoke to the owners who stated they just got home from vacation and turned off the alarm. The owners stated they also stopped there monitoring service with the alarm company in August and do not know why we were notified. All appeared okay, false alarm. [09/04/17 16:38:36 Unit:W2]							
11	2017254037	9/5/2017	12:55:56	1334 WEDDINGTON HILLS DR	WED	WEDI	C334	F
	ALARMS LAW	7	UCSO	T10			THURBON, BOB	
	SILENT HOLDUP [09/05/17 12:56:17 CGRAHAM] ATT KH [09/05/17 12:56:45 CGRAHAM] MONI // OP KIM // CB 800 419 1730 // REF # 1225498211 [09/05/17 12:57:05 CGRAHAM] {C334} EDE8043 [09/05/17 13:01:22 KMICHAELS] Spoke with Mr. Thurbon. He advised that everything was ok. He put in his alarm code and he said the alarm cleared, he wasnt sure why we were dispatched. [09/05/17 13:04:40 Unit:C334]							
12	2017255900	9/7/2017	7:41:59	13700-110 PROVIDENCE RD	WED		W3	F
	ALARMS LAW	7	UCSO	T10				

Subdivision	Incident #	Prime Unit	Date/Time	Priority	Agcy	Street	Zone	Business	City
18	2017260399	9/11/2017	17:42:00	UCSO	2008 CLIMBING ROSE LN	WED	ROSE	W1	CAL
	ALARMS LAW	7		T10				SOTHARD, VANN	
	FOYER MTN [09/11/17 17:42:39 MULLIGAN] SEC CENT//800-230-6975//OP 7133 [09/11/17 17:43:19 MULLIGAN] AC REQ -22 [09/11/17 17:47:01 TJONES]								
19	2017260420	9/11/2017	18:08:55	UCSO	225 EDEN HOLLOW LN	WED	FALL	A334	F
	ALARMS LAW	7		T10				FALLS MODEL	
	GARAGE DR [09/11/17 18:09:18 MULLIGAN] CPI//800-948-7133//OP WILL [09/11/17 18:09:50 MULLIGAN] I walked around the model home and all doors and windows appeared secure. I observed no suspicious activity. [09/11/17 18:24:41 Unit:A334]								
20	2017260613	9/11/2017	21:37:48	UCSO	1213 PARKHILL CT	WED	HIGH	A324	CAL
	ALARMS LAW	7		T10				LEWIS, RICHARD	
	DEN MOTION DETECTOR [09/11/17 21:38:14 MGADAIRE] NO KH [09/11/17 21:38:18 MGADAIRE] OP JESSICA / AMC / 800-535-2478/ [09/11/17 21:38:59 MGADAIRE] CANCEL PER AC - JESSICA [09/11/17 21:43:56 DMCCALL]								
21	2017260616	9/11/2017	21:39:40	UCSO	3927 N TWELVE MILE CREEK RD	MAT		A310	F
	ALARMS LAW	7		T10	WEDDINGTON ELEMENTARY SCHOOL				
	This is a reopened incident. [09/11/2017 22:22:09 DMCCALL] ELEM DOOR ELCT DOOR 3RD WING [09/11/17 21:40:02 AANGELONE] NO KH YET [09/11/17 21:40:09 AANGELONE] SENTRY WATCH/594/8006324961 [09/11/17 21:40:24 AANGELONE] NO ANSWER FROM SHANNON OR DAWN // KH KRISTEN SEBEK ADV SHE IS UNABLE TO DRIVE DUE TO INJURY/MEDICATION BUT ADV SHE CAN BE REACHED BY -21 // 704-724-0634 [09/11/17 22:09:08 CBOULTON] YOF [09/11/17 22:13:57 AANGELONE] checked doors and windows around the school and everything appeared to be ok. [09/11/17 22:14:40 Unit:A330] Perimeter of the elementary school was checked to the extent possible. With no keyholder response, pinpointing the exact location of alarm was not possible. All appears to be 10-4 at this time. [09/11/17 22:15:24 Unit:A310] DON NOVACK ETA 15-20 MINS IN WHI DODGE STRATUS [09/11/17 22:21:30 DMCCALL] UDTS: {A310} NO NEED TO CHECK STATUS [09/11/17 22:32:02 GSECRET] Assisted by checking building after keyholder arrived. Nothing suspicious observed. [09/11/17 22:46:37 Unit:A313] Walked interior of the school with the responding keyholder. Nothing appeared to be out of place. Alarm most likely storm related. [09/11/17 22:47:21 Unit:A310]								
22	2017261166	9/12/2017	11:29:40	UCSO	633 ENNIS RD	WED		W1	F
	ALARMS LAW	7		T10				MCDOWELL, ROGER	
	GLASS BREAK, FRONT BEDROOM//DINING, REAR BEDROOM, MASTER BEDROOM//ALL GLASS BREAKS [09/12/17 11:30:26 MULLIGAN] SENTRY WATCH//800-632-4961//OP 578 [09/12/17 11:30:56 MULLIGAN] Homeowner advised she has no power in her house. False alarm. [09/12/17 11:39:36 Unit:W1]								
23	2017261357	9/12/2017	15:02:59	UCSO	301 LOHAVEN RD	WED	STRT	B334	CAL
	ALARMS LAW	7		T10	STRATFORD ON PROVIDENCE			DOZIER, NEIL	

Subdivision	Incident #	Prime Unit	Date/Time	Street	City
	Nature	Priority	Agcy	Zone	Business
24	2017261981	9/13/2017 4:47:15	2619 FOREST LAWN DR	WED	C321 N
	ALARMS LAW	7	UCSO T10		JIMINMEZ, CARLOS
	audible living room motion [09/13/17 04:47:41 MGADAIRE] NO KH [09/13/17 04:48:07 MGADAIRE] TIME WARNER / 844-399-6388 [09/13/17 04:48:24 MGADAIRE] {C321} TRUCK BLOCKING ENTRY TO DRIVEWAY [09/13/17 05:22:19 GSECREST] HOMEOWNER'S NUMBER NOT IN SERVICE ANYMORE, ATTEMPTING AC [09/13/17 05:22:30 GSECREST] ALCO ADV ONLY THE ONE NUMBER ON FILE [09/13/17 05:27:38 AANGELONE] Red F350 dually with billet grille parked on driveway blocking entry. Truck is backed in driveway, there is a fence on both sides and the small area in between is overgrown. Unable to get further information from Alarm Company, current phone number is no longer in service unable to check further. [09/13/17 05:29:50 Unit:C321] Truck has obviously been parked here over night, dew on windshield [09/13/17 05:30:41 Unit:C321]				
25	2017262482	9/13/2017 15:06:19	7040 STIRRUP CT	WED	PROW W2 CALM
	ALARMS LAW	7	UCSO T10		MTGOMERY, JOHN
	OUTER GARAGE DOOR [09/13/17 15:06:57 HTRAYWICK] ATT KH [09/13/17 15:07:03 HTRAYWICK] SEC CENT//8002306975//7178 [09/13/17 15:07:43 HTRAYWICK] AC REQ -22/7018 [09/13/17 15:13:20 HTRAYWICK]				
26	2017263013	9/14/2017 4:12:08	100 ANTIOCH PLANTATION DR	WED	ANTI D314 F
	ALARMS LAW	7	UCSO T10		THOMPSON, DAVID
	FOYER MOTION [09/14/17 04:12:55 MBOELK] KH ATT NEXT [09/14/17 04:13:05 MBOELK] CPI SECURITY // 8009487133 // 2984 [09/14/17 04:13:46 MBOELK] All doors and windows appear secure at this time. [09/14/17 04:28:03 Unit:D314]				
27	2017263163	9/14/2017 9:24:58	6717 TREE HILL RD	WED	WELN W2 F
	ALARMS LAW	7	UCSO T10		HAKE, EMILY
	KITCHEN GLASS BREAK [09/14/17 09:25:25 JBROWN] ALARM MON // OP 2 // CB 8005352478 [09/14/17 09:26:10 JBROWN] ALC REQ -22 // OP 42 [09/14/17 09:36:13 JBROWN] On scene I noticed the garage door was open and there were fresh tire tracks in the driveway due to the ground being wet from a previous rain. I could hear the alarm sounding inside of the home. As I was checking the home C-com advised I could 22 per alarm company. I finished checking and the doors and windows appeared to be secure. The homeowner arrived as I was clearing and checked the home and advised everything appeared okay. False alarm. [09/14/17 09:44:29 Unit:W2]				

Incident #	Date/Time	Street	City
Subdivision	Prime Unit	Zone	Business
Nature	Priority	Agcy	
28	2017263412 9/14/2017 14:38:25	3519 WEDDINGTON OAKS DR	WED WEDA W2 F
	ALARMS LAW 7 UCSCO T10		ROSE, GARY
	LIVING RM WINDOW [09/14/17 14:38:56 CGRAHAM] ATT KH [09/14/17 14:39:13 CGRAHAM] CPI // OP 4214 // CB 800 948 7133 [09/14/17 14:39:21 CGRAHAM] 22 by W2. [09/14/17 14:43:08 Unit:C311] No one appeared to be home. The doors and windows appeared to be secure. False alarm. [09/14/17 14:53:12 Unit:W2]		
29	2017265587 9/16/2017 17:39:41	13651 PROVIDENCE RD	WED W1 F
	ALARMS LAW 7 UCSCO T10	SUBWAY WEDDINGTON	
	SILENT HOLDUP ALARM [09/16/17 17:40:05 TJONES] #ULU // PROTECTION ONE // 8002970543 [09/16/17 17:40:32 TJONES] UDTS: {M1} NO NEED TO CHECK STATUS [09/16/17 17:45:18 RGENABE] I spoke with the two employees working and he pushed the alarm button by accident. There did not appear to be anything wrong inside the store, or in their demeanor that indicated anything was wrong inside the store. [09/16/17 17:45:29 Unit:M1]		
30	2017266274 9/17/2017 13:50:23	3927 N TWELVE MILE CREEK RD	MAT W1 F
	ALARMS LAW 7 UCSCO T10	WEDDINGTON ELEMENTARY SCHOOL	
	ROOM 600 MOTION [09/17/17 13:50:44 CSCOTT] NO KH AVAILABLE [09/17/17 13:50:52 CSCOTT] SENTRY WATCH // CB 8006324961 // OP # 89 [09/17/17 13:51:08 CSCOTT]		
31	2017266504 9/17/2017 20:00:24	8125 SHANNON WOODS LN	WED SHAW W1 F
	ALARMS LAW 7 UCSCO T10		STEELE, KRISTI
	panic alarm [09/17/17 20:00:44 MGADAIRE] NO KH [09/17/17 20:00:51 MGADAIRE] ADT / 877-238-7730 / OP 280299 [09/17/17 20:01:15 MGADAIRE]		
32	2017269716 9/20/2017 22:21:51	205 STILLWELL DR	WED VINT A314 F
	ALARMS LAW 7 UCSCO T10		AUDEL, DAVE
	INTERIOR MOTION [09/20/17 22:22:25 MBALDWIN] SEC CEN / 800-230-6975 / OP#7132 [09/20/17 22:22:53 MBALDWIN] I walked the perimeter of the residence. All doors are locked and secure and windows appear to be secure. Nothing on the propety appears to be tamper with nor vandalized. All appears good at this time. [09/20/17 22:40:14 Unit:A314]		
33	2017270089 9/21/2017 9:48:55	616 WINTER WHEAT CT	WED ATHE W1 CAL
	ALARMS LAW 7 UCSCO T10		KIMMERLE, GREG
	EXTERIOR GARAGE DOOR [09/21/17 09:49:22 ACHILDERS] CPI OPER 4214 / 800.948.7133 [09/21/17 09:49:32 ACHILDERS] AC REQ -22 [09/21/17 09:51:08 TJONES]		
34	2017271248 9/22/2017 12:35:36	7324 COBBLECREEK DR	WED COBB W2 F
	ALARMS LAW 7 UCSCO T10		NEWMAN, PERRY AND
	UNDEFINED SIGNAL [09/22/17 12:36:14 CGRAHAM] ATT KH [09/22/17 12:36:17 CGRAHAM] CPI // OP 3370 // CB 800 948 7133 [09/22/17 12:36:48 CGRAHAM] Upon arrival I checked the home and no one appeared to be home. The doors and windows appeared to be secure. False alarm. [09/22/17 12:52:28 Unit:W2]		

Incident #	Date/Time	Street	City
Subdivision	Prime Unit	Zone	Business
Nature	Priority	Agcy	Business
35	2017272375 9/23/2017 15:04:45	5004 PARTRIDGE LN	WED PROL W1 F
	ALARMS LAW 7 UCSCO T10		THANOS, VICKI
	BACK DOOR [09/23/17 15:05:04 NHRBOLICH] ATT KH / OP 7037 / 8003444423 [09/23/17 15:05:16 NHRBOLICH] ALC ADV HOMEOWNER IS 45MIN AWAY / HOUSE SHOULD BE EMPTY [09/23/17 15:08:58 NHRBOLICH] Side door on outbuilding was open. Nothing appears to have been taken. A keyholder will need to check and call us back if something is missing. [09/23/17 15:15:15 Unit:W1]		
36	2017272439 9/23/2017 16:14:04	1928 WEDDINGTON RD	WED M1 F
	ALARMS LAW 7 UCSCO T10	LIBERTY FAMILY MEDICINE	EMERY, APRIL
	FRONT DOOR [09/23/17 16:14:32 NHRBOLICH] ATT KH / OP 7581 / 8006332677 [09/23/17 16:14:49 NHRBOLICH] Alarm reset by people maintaining the fish tanks inside the office. [09/23/17 16:31:51 Unit:M1]		
37	2017273116 9/24/2017 12:14:53	909 BARON RD	WED AERO W2 F
	ALARMS LAW 7 UCSCO T10	JOHN WELFARE	WELFARE, JOHN
	ASAP: AUDIBLE BURGLARY -- LOCATION: 909 BARON RD WEDDINGTON, NC 28173 (RESIDENTIAL) -- SUBSCRIBER: JOHN WELFARE -- SUBSCRIBER CALLBACK: 7049961181 -- AMC EVENT ID: 1681266126 -- AMC: RAPID RESPONSE MONITORING (1RA) -- AMC CALLBACK: 8009323822 -- LAT/LONG: 34.9949684143066/-80.7477798461914 [09/24/17 12:14:53 911UTIL] DISPATCH REQUESTED BY JOHN WELFARE STS IS OUT OF TOWN AND NO ONE SHOULD BE ON SITE. [09/24/17 12:16:06 911UTIL] JOHN # 704 906 6222 / HOME OWNER REQ A -21 [09/24/17 12:36:33 NHRBOLICH] PER HO BRIAN SANCHEZ IS ALLOWED TO BE ON SITE [09/24/17 12:43:02 NHRBOLICH] UDTS: {W2} NO NEED TO CHECK STATUS [09/24/17 12:46:57 KMICHAELS] On scene I checked the front door to see if anyone was home and no one answered. I could see 2-3 dogs inside of the home. I walked around the home and checked the doors and windows and all appeared secure. I found 1 basement window open but the screen was still in place and the shelf with a fan and plants was still in front of the window, confirming that no one had attempted to enter or try to enter through the window. I called the owner, John, and informed him of my findings. False alarm. [09/24/17 12:50:02 Unit:W2]		
38	2017273246 9/24/2017 15:48:13	4006 PINEHILL LN	WED HADL W2 F
	ALARMS LAW 7 UCSCO T10		NASH, JOBY
	KITCHEN WINDOW [09/24/17 15:48:31 NHRBOLICH] ATT KH / OP 4486 / 8009487133 [09/24/17 15:48:42 NHRBOLICH] UDTS: {W2} NO NEED TO CHECK STATUS [09/24/17 16:13:04 KMICHAELS] I walked around the home checking the doors and windows and all appeared to be secure. All the windows still had all the screens in place and no signs of force. I spoke to Joby the owner, and informed her of my findings. I spoke to the neighbor and he stated he has not seen anyone at the home. False alarm. [09/24/17 16:23:27 Unit:W2]		
39	2017273291 9/24/2017 16:55:56	4198 MOURNING DOVE DR	WED WEDO I13 CALM
	ALARMS LAW 7 UCSCO T10		GOLDBERGER, DR. NEAL

Subdivision	Incident #	Prime Unit	Date/Time	Street	City
	Nature	Priority	Agcy	Zone	Business
	GARAGE DOORS ENTRY/EXIT [09/24/17 16:57:29 CGRAHAM] ATT KH [09/24/17 16:57:59 CGRAHAM] AMC // OP 66 // CB 800 535 2478 [09/24/17 16:58:12 CGRAHAM] -22 PER ALC // SPOKE WITH HOWN ON PREMISES GAVE PROPER CODE // OP 66 [09/24/17 17:03:12 CGRAHAM]				
40	2017273723	9/25/2017	8:20:42	6009 HATHAWAY LN	WED STRT A314 CAL
	ALARMS LAW	7	UCSO	T10	SANDLYN, MEG
	SIDE BACK DOOR BURG ALAR [09/25/17 08:21:03 TJONES] #7230 // SECC // 8003444423 [09/25/17 08:21:43 TJONES] 1022 PER OP 7391 [09/25/17 08:31:00 RWALDRON]				
41	2017278790	9/30/2017	1:16:29	4526 ELDERBERRY CT	WED PROW B314 F
	ALARMS LAW	7	UCSO	T10	CLINEBURG, ALBERT
	BURG INTERIOR MOTION [09/30/17 01:16:51 JHUSKEY] SIMPLY SAFE, OP 7493, 800-633-2677 [09/30/17 01:17:11 JHUSKEY] Dep. Paxton took this call. [09/30/17 01:19:19 Unit:B334] UDTs: {B314} NO NEED TO CHECK STATUS [09/30/17 01:40:52 GSECREST] We checked the residence and all appears to be ok. No one came to the door. [09/30/17 01:44:20 Unit:B314] All windows and doors secure. [09/30/17 01:44:55 Unit:B324] ALCO REQ DISPOSITION///ADV WHAT OFFICERS TYPED IN NOTES [09/30/17 02:12:06 AANGELONE]				
42	2017279686	9/30/2017	23:03:25	13639 PROVIDENCE RD	WED W1 N
	ALARMS LAW	7	UCSO	T10 HARRIS TEETER WEDDINGTON	
	PHARMACY 360 MOTION [09/30/17 23:04:00 LNAVARRO] ATT KH [09/30/17 23:04:09 LNAVARRO] IVERIFY// OP 3430// 8008884443 [09/30/17 23:04:27 LNAVARRO] No keyholder response. False alarm. [09/30/17 23:24:38 Unit:W1]				

Total Number of Calls for Month: **42**