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**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, OCTOBER 10, 2016 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104
AGENDA**

Prayer – Mayor Bill Deter

1. Open the Meeting
2. Pledge of Allegiance
3. Determination of Quorum
4. Presentations
 - A. [Presentation of the Union County Curbside Collection Program - Ed Goscicki and Ron Gilkerson](#)

PUBLIC ADDRESS TO THE COUNCIL

Any individual or group who wishes to address the Council may do so at this time. Each speaker will have three (3) minutes to make their remarks and shall obey reasonable standards of courtesy in their remarks. Typically, this is a time for the Mayor and Council to hear from the public and not respond. If questions are raised, a member of the Town Council or Staff may contact the individual after the meeting to help address issues raised. If the item you wish to speak about is a Public Hearing item, address your concerns during that time and not under the Public Comment period.

5. Public Comments
6. Additions, Deletions and/or Adoption of the Agenda

CONSENT AGENDA

The Council may designate a part of the agenda as the "Consent Agenda." Items placed on the consent agenda are judged to be non-controversial and routine. Any member of the Council may remove an item from the consent agenda and place it on the regular agenda while the agenda is being discussed and revised prior to its adoption at the beginning of the meeting. All items on the consent agenda shall be voted on and adopted by a single motion, with the minutes reflecting the motion and vote on each item.

7. Consent Agenda
 - A. [Call for Public Hearing for Review and Consideration of Text Amendment to Section 46-45\(f\) Addresses and Cluster Mailboxes](#)
 - B. [Consideration of Proclamation for Domestic Violence Awareness Month.](#)
8. Approval of Minutes
 - A. [Approval of August 29, 2016 Special Town Council Meeting Minutes](#)
 - B. [Approval of September 8, 2016 Special Town Council Meeting Minutes](#)

C. Approval of September 12, 2016 Regular Town Council Meeting Minutes

PUBLIC HEARINGS

The Public must sign up before the beginning of the meeting to speak on an item under Public Hearings. The Mayor will recognize speakers in the order in which their names appear on the sign-up sheet. The Council sets the rules for the Public Hearing. The rules may include, but are not limited to, rules fixing the maximum time allotted to each speaker; providing for the designation of spokespersons for groups of persons supporting or opposing the same positions; providing for the selection of delegates from groups of persons supporting or opposing the same positions when the number of persons wishing to attend the hearing exceeds the capacity of the Town Hall; and for providing for the maintenance of order and decorum in the conduct of the hearing.

Each speaker must address the Council from the lectern and begin their remarks by giving their name and address. Each speaker will have three (3) minutes to make remarks. A speaker may not yield any of his or her time to another speaker. Speakers must be courteous in their language and presentation. Personal attacks on the Council or members of the public will not be tolerated.

The Mayor may determine whether a speaker has gone beyond reasonable standards of courtesy in his or her remarks and shall rule on objections from other members of the Council on discourteous behavior. A majority vote of the Council may overrule the Mayor's ruling on standards of courtesy. Speakers may leave written comments and/or supporting documents, if any, with the Town Clerk to the Council.

9. Public Hearing and Consideration of Public Hearing

- A. Review and Consideration of Preliminary Plat for the major subdivision, Weddington Pond (formerly Sugar Magnolia)

10. Old Business

- A. Review and Consideration of Threshold Church Construction Documents
- B. Review and Consideration of Final Plat, Phase 1 Map 1 for the major subdivision the Enclave at Weddington.
- C. Review and Consideration of modified agreement with N-Focus for Interim Planner Position

11. New Business

- A. Review and Consideration of Entry Monument and Landscape Construction Documents for the major subdivision the Enclave at Weddington
- B. Review and Consideration of Final Plat, Phase 1 Map 2 for the major subdivision the Enclave at Weddington
- C. Review and Consideration of the Woods Final Plat Phase 1
- D. Review and Consideration of Town Events
- E. Review and Consideration of additional landscaping /plantings in our highway medians

12. Update from Planner

13. Code Enforcement Report

14. Update from Finance Officer and Tax Collector

15. Public Safety Report

16. Transportation Report

17. Council Comments

18. Adjournment



Purpose of Today's Meeting



- Educate Towns about County's Solid Waste management responsibilities and cost of services
- Discuss options for SW Collection
- Establish a framework for future action



A cooperative approach to solid waste collections will enhance services to our customers and could reduce cost



- Improved customer service through standardized, high-level solid waste collection franchise system
- Customers will still have a choice of more than one pre-approved waste hauler
- Additional curbside services available
- Potential cost savings to open market approach
- Dedicated waste stream will generate revenue for enhanced recycling and alternative waste disposal programs throughout County



Union County Provides a Broad Spectrum of Solid Waste Services



- Operate a Construction and Demolition Landfill
- Provide MSW Transportation and Disposal
- Provide Scrap Tire and White Goods Recycling



- Provide six convenience site locations for residents to dispose of household waste and recycling
- Provide volume reduction services for pallets and yard debris

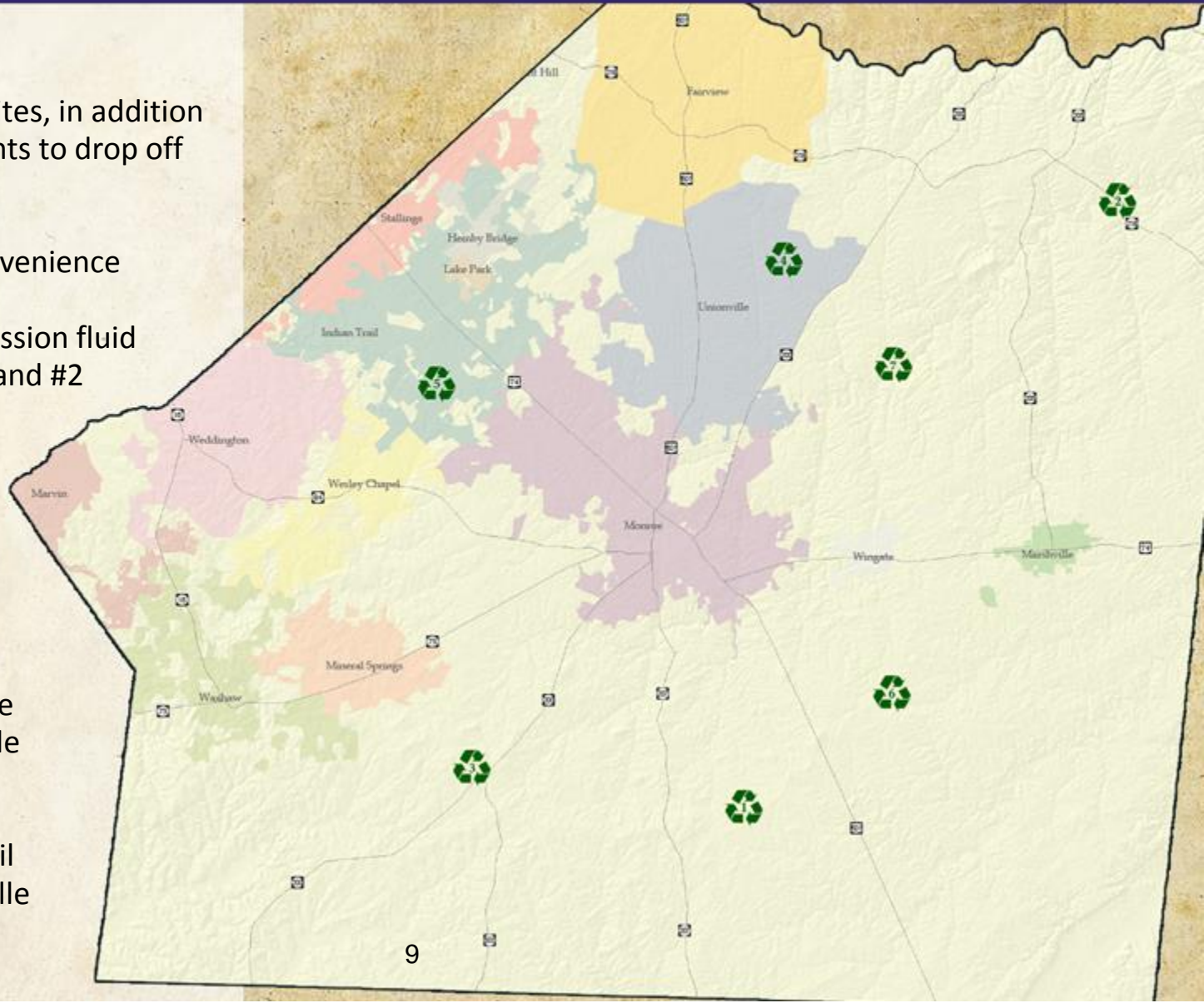


- Educate the residents within the County of solid waste disposal and recycling
- Provide recycling and household hazardous waste collection services



Convenience Center Sites

- Six convenience center sites, in addition to the landfill, for residents to drop off recycling items
- Items accepted at all convenience center sites:
 - Motor oil and transmission fluid
 - Plastic Containers #1 and #2
 - Steel cans, spiral cans and aluminum cans
 - Glass
 - Paper
 - Corrugated cardboard
 - Electronics
- Six sites are:
 - Armfield Mill : Monroe
 - New Salem : Marshville
 - Parkwood : Monroe
 - Piedmont : Monroe
 - Sun Valley : Indian Trail
 - White Store : Marshville





Construction & Demolition Services

- New operating provisions were initiated that allowed us to operate more efficiently by isolating our fill sequence within the landfill
- Facility improvements made in 2015 to cover material, slope maintenance, and our draining system
- Recognized in July, 2015 North Carolina Department of Environment and Natural Resources (NCDENR) Solid Waste Inspection for "landscape" improvements





MSW Services



- Primarily designed to serve the needs of commercial haulers that pick up Municipal Solid Waste (MSW), commonly known as garbage, from the residents and businesses within our community
- Union County collected 71,784 tons of MSW volume in 2015
- 68,410 tons of MSW projected in FY 2016, with a total tonnage of over 60,200 tons through March with an expected year end volume of over 78,000



Composting

- Yard waste materials such as grass clippings, leaf mulch, tree limbs and land clearing debris
- On-site grinding will produce a variety of mulch products that includes dyed hardwood mulch for landscape beautification
- Customers will be able to buy compost and mulch at a very reasonable price for use in landscaping and soil amendment potting mix for raised beds and organic gardens





Solid waste management is an “enterprise” of the County, funded solely by user fees

- Only our MSW and C&D programs make money
- All other programs lose money and must be supported with revenue from MSW and C&D





County is mandated by the State to provide disposal options for all wastes collected in the County

- Garbage (MSW)
- Recyclable
- Yard Waste
- Construction Debris
- Household Hazardous wastes
- Used Oil
- Tires
- White Goods





Household Hazardous Waste Day



- The Solid Waste division holds an annual Household Hazardous Waste (HHW) Collection Day in April
- Over 600 residents dropped off products, such as paints, cleaners, oils, batteries and pesticides, that contain potentially hazardous ingredients and require special care when disposing of them
- Their efforts helped keep hazardous materials out of our landfills and protect our groundwater
- The overwhelming response from our residents on HHW Day is, ***"Thank you for doing this and please do it again."***



Currently Curbside Collection in Weddington, Marvin and Wesley Chapel is an open market

- Citizens contract directly with haulers
- No prescribed level of service:
 - Recycling
 - Yard waste
 - Bulk item pick up
- No accounting of the waste stream
- No protection for increasing curbside collection and disposal fees

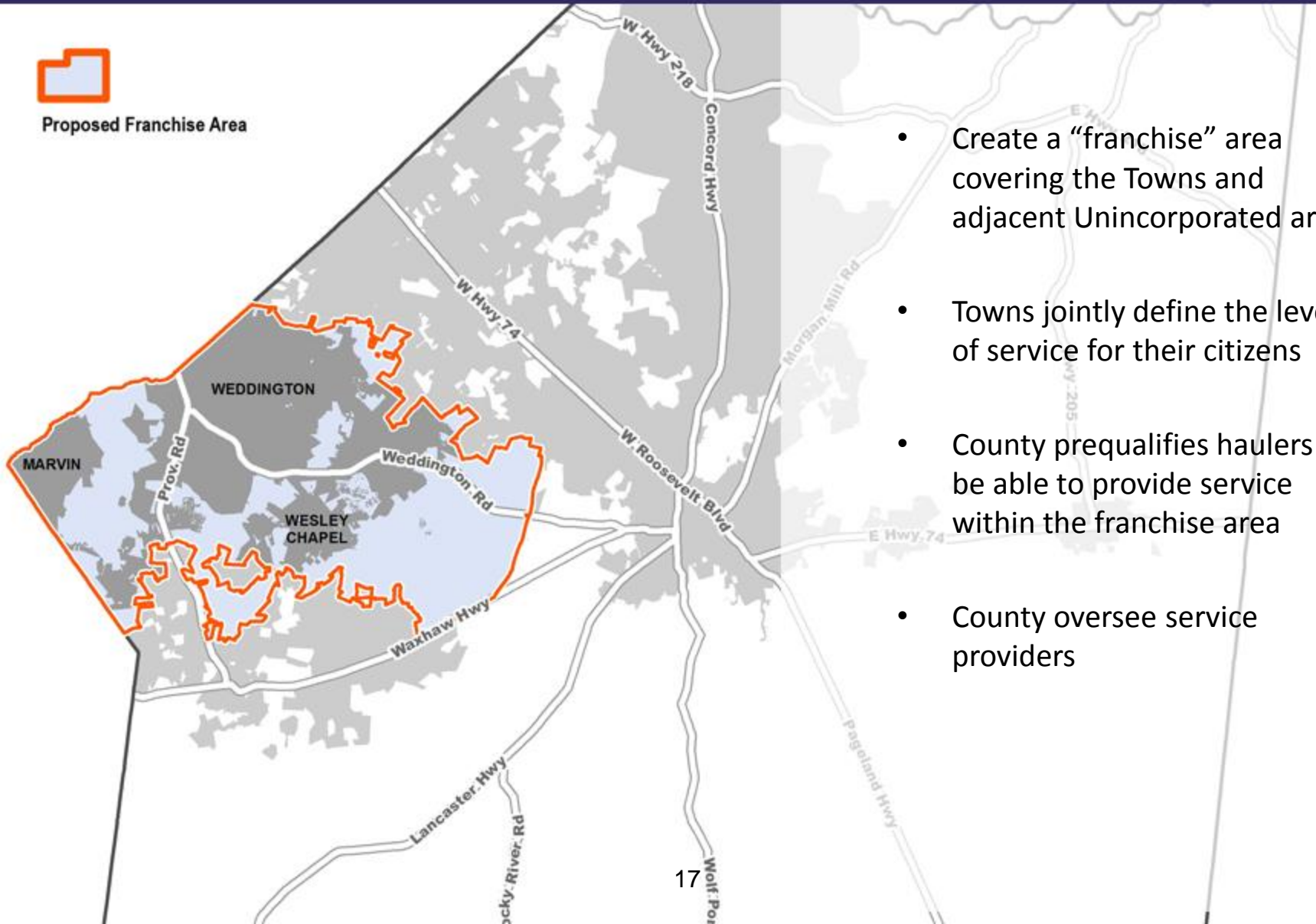




Cooperative Approach



Proposed Franchise Area



- Create a “franchise” area covering the Towns and adjacent Unincorporated areas
- Towns jointly define the levels of service for their citizens
- County prequalifies haulers to be able to provide service within the franchise area
- County oversee service providers



Recycling Capabilities

- Provide cost-effective and convenient single stream recycling for paper products, cardboard, plastic bottles, metal cans, aluminum foil, milk and drink cartons
- Provide yard waste recycling for bulk pick-up of grass, leaves shrub and tree trimmings or composting
- Potential pre-consumer food waste pick-up for fruit and vegetable scraps, coffee filters, coffee grounds, and tea bags for composting





County's Management of Curbside Collection

- County establishes minimum qualifications for haulers
- County provides oversight of hauler's service delivery
 - Acts as advocate for customers on service issues
- County manages private company contract performance
 - Tracks recyclable collection
 - Tracks tonnage of waste
 - Directs disposal





Cost savings could be realized through direct management of curbside collection contracts

- Establish exclusive franchise areas
- Prequalified haulers would bid for an entire service area
- More efficient collection would lower costs
- County and/or municipality could
 1. establishes Solid Waste User Fee(s) to fund collection services and management of those services, or
 2. Have haulers contract directly with citizens around approved rate structure



Discussion

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Dorine Sharp

DATE: **October 10, 2016**

SUBJECT: Call for a Public Hearing for Review and Consideration of Text
Amendment to Section 46-45(f) Addresses and Cluster Mailboxes

This was presented to Council at the September meeting, that we would be calling for a Public Hearing because staff was contacted by Union County asking if we would permit Union County do all the addressing for the subdivisions. The Planning Board heard this at their September meeting and these are the revisions that will come before you in November at the Public Hearing should Council decide to have staff call for it.

Sec. 46-45. - Final major subdivision plat submission and review.

(f)

Addresses and cluster mailboxes.

(1)

Final plats must include the location of cluster mailbox units (CBU) to serve all the lots included on the plat. The plat must also include a note stating that all CBU locations will be approved by the USPS. If the roadways on the plat are labeled as public rights-of-way, then the plat must also include a note stating that all CBU locations must be approved by NCDOT.

(2)

The applicant may request an address for the property following final plat approval. ~~The zoning administrator will assign an address and facilitate approval from Union County Emergency Services.~~ All addresses will be assigned by the Union County Tax Administrator's office.

(3)

Every lot shall display the distinctive house number assigned to that lot by ~~the zoning administrator~~ Union County and recognized by Union County Emergency Services. The individual house number shall be no less than four inches in height and shall be in a contrasting color to the background. The house number shall be displayed in one of the following fashions:

a.

If the number is displayed on a house, the number shall be placed upon the front of the house in such a position as to remain plainly visible to all traffic coming to the premises from either direction, or

b.

If a house is more than 100 feet from the roadway or is not clearly visible from the roadway, the number shall be displayed within 50 feet of the roadway, and on a surface that is plainly visible to all traffic coming to the premises from either direction.

**PROCLAMATION
DOMESTIC VIOLENCE AWARENESS MONTH**

WHEREAS, domestic violence affects all Union County residents, and far too many people suffer abuse at the hands of a spouse, partner, parent, child, or sibling; these victims can be of any age, race, religion, or economic status and the resulting damage is inflicted not only on the victims, but their children, families, and communities; and

WHEREAS, domestic violence includes not only physical but also mental abuse, emotional abuse, financial abuse, sexual abuse, and isolation; and

WHEREAS, domestic violence is widespread, including one in three Americans who have witnessed an incident of domestic violence with an annual cost to US companies of \$3.5 billion in lost work time, increased health care costs, higher turnover, and lower productivity; and

WHEREAS, according to the North Carolina Coalition Against Domestic Violence, there have been 819 women, men, and children murdered as a result of domestic violence since January 1, 2002 in North Carolina; and

WHEREAS, according to the North Carolina Council for Women, domestic violence programs across the state responded to over 114,034 crisis calls and provided services to over 57,000 victims last year; and

WHEREAS, the key to prevention is education, community awareness, having zero tolerance for domestic violence, and requiring accountability by the abuser; and

WHEREAS, Union County recognizes the importance of having collaborations by multiple partners to promote social norms, policies and laws that support gender equity and foster intimate partnerships based on mutual respect, equality, and trust; and

NOW, THEREFORE, be it resolved that I, Bill Deter, Mayor of the Town of Weddington, do hereby proclaim October 2016 as Domestic Violence Awareness Month in Union County and urge all citizens to support this observance. I further urge our citizens to increase their awareness and education of this destructive force which deeply affects a large number of families in our State each year and to become part of the efforts to stop violence in families.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the Town of Weddington to be affixed this the 10th day of October 2016.

Bill Deter, Mayor of the Town of Weddington

**TOWN OF WEDDINGTON
SPECIAL TOWN COUNCIL MEETING
MONDAY, AUGUST 29, 2016 – 7:00 P.M.
MINUTES**

The Town Council of the Town of Weddington, North Carolina, met in a Regular Session at the Weddington Town Hall, 1924 Weddington Road, Weddington, NC 28104 on August 29, 2016, with Mayor Bill Deter presiding.

Present: Mayor Bill Deter, Mayor Pro Tem Don Titherington, Councilmembers Scott Buzzard, Janice Propst, Michael Smith, Town Attorney Shalanna Pirtle, Town Administrator/Clerk Peggy S. Piontek

Visitors: Walt Hogan, Re Smith, Rick Flowe, Kim Woods, Tonya Goodson, and Leslie Gaylord

Mayor Bill Deter offered the Invocation prior to the opening of the meeting.

Item No. 1. Open the Meeting Mayor Deter opened the August 29, 2016 Special Town Council Meeting at 7:00 p.m.

Item No. 2. Pledge of Allegiance Mayor Deter led in the Pledge of Allegiance.

Item No. 3. Determination of Quorum There was a quorum.

Item No. 4. Review and Consideration of the Employee Handbook Council had a lengthy discussion on changes to several sections of the Employee Handbook. Selections discussed were as follows:

Employee Status – It was discussed if these changes will be for new hires after the date of approval by Council or will be applied to current staff members also.

- Full-time will now be at least 40 hours per week on a regular and consistent basis.
- Part-time will now be at least 20 hours per week on a regular and consistent basis.

Employee Classification – The Town Council made the following changes to this section: The exempt or non-exempt status of a job is determined by the Town **COUNCIL** in accordance with the FLSA regulations and standards.

- Town Administrator is an “exempt” position, Planning and Zoning Administrator, Tax Collector, Finance Officer and Administrative Assistant are “non-exempt” positions.

Absences and Tardiness – The Town Council wants the following sentence deleted:

- “The responsibility for determining whether an absence is excused or unexcused rests with the employee’s supervisor.”

Vacation Policy – The Town Council made the following changes:

- Employees will no longer accrue vacation days but will receive an annual allotment at the beginning of each fiscal year which corresponds to their years of service.
- *Note that “business days” must correlate to normal scheduled hours worked (i.e. if an employee normally works 30 hours per week, vacation usage shall be paid at 6 hours per day).*
- *Payout should be made at employees’ rate of pay times number of hours they are regularly scheduled to work.*
- *First year vacation no vacation to be used; however, this may be negotiable at time of hire.*
- *Sick and vacation time should not be used on a regular (weekly/bi-weekly) basis to bridge the gap between the time worked and the number of hours hired to work. This practice would allow employees to be paid for time that they did not actually work, for example, a 32 hour employee finished in 28 hours. Instead of only seeking pay for 28 hours (the time worked), the employee uses 4 hours of sick/vacation time (even though that employee was not sick or needing vacation) to get to the full 32 hours for which they are expecting to be paid.*
- *Sick time – Give annual allotment but first year use may be limited at time of hire.*

Council requested Town Attorney Pirtle to make the above changes and scheduled another review to be held on Thursday, September 8, 2016 at 5:00 p.m. at Weddington Town Hall.

5. Review and Consideration of process on hiring a replacement for the Town Planner position

Councilman Scott Buzzard suggested so Council is not to be rushed with the hiring process the Town has an option to contract with COG or N-Focus to assist with planning tasks.

Mr. Rick Flowe, a representative from N-Focus provided the Town Council with the history of his career advising he has been providing local government services since 1986. N-Focus offers products to smaller jurisdictions that juggle budgetary issues and he provided an explanation of his service stating that the level and period of service determines cost. N-Focus tries to eliminate any cash flow issues so they create a fixed payment schedule. They provide flexible service, either interim or for an extended length of time.

The Town Council had a lengthy discussion on the process with the following comments;

- The Town use N-Focus until enough applications are received. N-Focus works with a lot of small towns in the area.
- Have N-Focus in to work 2 days a week with the Planning Board Chairwoman Dorine Sharp.
- Council needs to make sure what is going on in the office to have a better understanding of the position.
- Clarification be determined on whether the Town will be getting a Senior or Junior Planner from N-Focus.
- Should the temporary position be filled when the Town Hall is open to the public?
- Will the person here be doing the planning or will it be signed off to someone else?
- Confirmation of roles and responsibilities including matters they cannot handle.

- Councilwoman Janice Propst will contact one of the applicants for the permanent planning position and set up a meeting to determine if they are a consideration.
- Have contract available for approval at the meeting on September 8, 2016.

6. Adjournment

Councilman Smith moved to Adjourn. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

The meeting ended at 10:50 p.m.

Bill Deter, Mayor

Attest:

Peggy S. Piontek, Town Clerk

**TOWN OF WEDDINGTON
SPECIAL TOWN COUNCIL MEETING
MONDAY, SEPTEMBER 8, 2016 – 5:00 P.M.
MINUTES**

The Town Council of the Town of Weddington, North Carolina, met in a Special Session at the Weddington Town Hall, 1924 Weddington Road, Weddington, NC 28104 on September 8, 2016, with Mayor Bill Deter presiding.

Present: Mayor Bill Deter, Councilmembers Scott Buzzard, Janice Propst, Town Attorney Shalanna Pirtle, Town Administrator/Clerk Peggy S. Piontek and Finance Officer Leslie Gaylord

Absent: Councilman Michael Smith

Visitors: Tonya Goodson, Kim Woods and Walt Hogan

Mayor Bill Deter offered the Invocation prior to the opening of the meeting.

Item No. 1. Open the Meeting Mayor Deter opened the September 8, 2016 Special Town Council Meeting at 7:00 p.m. and announced that Councilman Mike Smith was absent.

Item No. 2. Pledge of Allegiance Mayor Deter led in the Pledge of Allegiance.

Item No. 3. Determination of Quorum There was a quorum.

5. Review and Consideration of process on hiring a replacement for the Town Planner position

Councilman Scott Buzzard advised that he contacted N-Focus and they can only provide a Certified Senior Planner for the month of September for one day a week on Fridays. They can provide a Senior Planner two days a week in October and they can provide a Junior Planner for two days a week to start immediately in September. It was suggested by them to have both come next Friday, September 16th, to take an overview of the system. By consensus Council agreed to have a Junior Planner on site two days a week on Mondays and Wednesdays to determine what our needs are.

Mayor Pro Tem Titherington moved to approve hiring N-Focus to provide a Junior Planner for 16 hours a week for two days a week preferably Monday and Friday not to exceed \$500 a week and the contract will run through the end of September with renewal at Council discretion and to discuss moving to a Senior Planner. All were in favor, with votes recorded as follows:

AYES: Councilmembers Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

Councilwoman Janice Propst advised she spoke with one of the planner position applicants and she is very much interested in interviewing. Councilwoman Propst informed her that the Town will get back with her within the next 10 days. Council had a discussion to determine who will participate in the

interview. The applicant's best hours are the middle of the day and her worst day is on Thursdays. Councilwoman Propst will get in touch with the applicant to determine a convenient time for interviews and will let Council know.

Mayor Pro Tem Titherington made a motion to enter into Closed Session under NCGS 143-318.11(a)(3) Consult with attorney to protect attorney/client privilege. All were in favor, with votes recorded as follows:

AYES: Councilmembers Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

Mayor Pro Tem Titherington made a motion to enter back into Open Session. All were in favor, with votes recorded as follows:

AYES: Councilmembers Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

Item No. 4. Review and Consideration of the Employee Handbook

Council had a lengthy discussion on changes to several sections of the Employee Handbook. Selections discussed were as follows:

- Compensation - get a document Council is comfortable with and not specific to current employees, changes could be concerning to current employees but intent is to minimize any issues with current staff
- How to implement vacation
- Leave of absence
- Jury duty compensation
- Parental leave
- Failure to follow health insurance wellness program will result in employee incurring any additional expenses
- Over the counter drugs
- Travel policy not to exceed \$50 per day
- Credit card purchases over \$100 must be approved by Finance Officer
- Restriction of sharing of passwords
- Former employees prospective employer references and recommendations must be sent through Town Administrator
- 401K should be a match starting in fiscal year 2017/2018.

6. Adjournment

Councilwoman Propst moved to Adjourn. All were in favor, with votes recorded as follows:

AYES: Councilmembers Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

The meeting ended at 9:00 p.m.

Bill Deter, Mayor

Attest:

Peggy S. Piontek, Town Clerk

DRAFT

TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, SEPTEMBER 12, 2016 – 7:00 P.M.
MINUTES

The Town Council of the Town of Weddington, North Carolina, met in a Regular Session at the Weddington Town Hall, 1924 Weddington Road, Weddington, NC 28104 on September 12, 2016, with Mayor Bill Deter presiding.

Present: Mayor Bill Deter, Mayor Pro Tem Don Titherington, Councilmembers Scott Buzzard, Janice Propst, Michael Smith, Town Attorney Anthony Fox, Town Administrator/Clerk Peggy S. Piontek, Finance Officer Leslie Gaylord, and Planning Board Chairman Dorine Sharp

Visitors: Joe Morreale, Union County Commissioner Richard Helms, Pam De Maria, Bill Price, David A. Weirch, Jeremia S. Murphy, Walton Hogan, Barbara Harrison, Scott Herr, Reid Owen, Robert Price, Richard Wilson, Joel Cansey, Luke Hardy, Louie Rodriguez, Jason Marton and Liz Callis

Mayor Bill Deter offered the Invocation and advised that former Council Member Ken Evans passed away today. Mayor Deter asked for thoughts to go to the Evans Family for their loss.

Item No. 1. Open the Meeting Mayor Deter opened the September 12, 2016 Regular Town Council Meeting at 7:00 p.m.

Item No. 2. Pledge of Allegiance Mayor Deter asked Boy Scout Luke Hardy to lead in the Pledge of Allegiance.

Item No. 3. Determination of Quorum There was a quorum.

Item No. 4. Special Presentation

A. Certificate of Appreciation for Deputy Rodriguez

Mayor Deter read the Certificate of Appreciation and presented a plaque to Deputy Louie Rodriguez. Deputy Rodriguez gave a brief description of his previous career path, expressed his excitement about his new opportunity of working with children in Union County Public Schools and his appreciation to the Town of Weddington.

B. Boy Scout Luke Hardy on Eagle Scout Project

Boy Scout Luke Hardy provided Council with a thorough description and drawings on the installation of a flag pole in front of Town Hall. Luke has chosen this as his Eagle Scout Project.

C. Bond Presentation for Union County Public Schools - Mr. Jason Marton

Mr. Marton stated that he was here to explain the purpose of the upcoming referendum that will be on the ballot for the 2016 November election. He presented to Council:

- The achievements of Union County Schools
- Their Bond history
- Why the Bond is needed and described the projects planned for those funds
- The estimated tax impact of \$.16 per \$1,000.00 house value and provided and answered frequently asked questions they have incurred.

D. Dr. David Cook to address Council on partnership with the Town and the Artists Music Guild

Mr. Cook was unable to attend the meeting.

Item No. 5. Public Comments

Barbara Harrison stated that she received an email after the 2016 Easter Egg Hunt from Jan Taylor and read a portion of it. The email thanked Ms. Harrison for bringing the events to Weddington because it has provided our community an opportunity to come together. Ms. Harrison expressed her appreciation and thanks to Mayor Deter, Peggy Piontek and Tonya Goodson for all their hard work and for continuing the tradition expressing confidence that the Festival will be better than last year.

Union County Commissioner Richard Helms stated that he is the Commissioner designated as the liaison to Weddington. He said that an agreement has been reached on the fire contract that brings advantages to municipalities. It states that if the department dissolves the equipment has to stay in the area they were serving. Commissioner Helms has gotten some flack because he agrees on the school needs for the bonding issues and feels it enables the citizens to determine where they want their tax dollars to be applied. Commissioner Helms encouraged everyone to contact him with questions and said he is very proud of Weddington. His cell phone number can be found on the County website. Commissioner Helms stated that he, Frank Aikmus and Pam De Maria are running for two seats on the County Commission.

Councilman Mike Smith – Thank you for all the hard work you have done with the fire service.

Union County Commissioner Helms stated his race is important but not nearly as important as the Board of Education. The Board of Education accounts for over 50% of the resources that the County brings in. He feels it's extremely important. Joe Morreale, who is running, was at the meeting. Commissioner Helms said his business acumen is needed on the Board of Education. Commissioner Helms expressed his pleasure that Miss Heintel will be on the Board of Education this year and he believes it will be a fantastic working relationship and that it's a new day.

Mr. Joe Morreale stated he is running for the Union County School Board for District 5. He said Ms. Heintel will be on the Board as she is running unopposed and hopefully the Town Council will see one of them at future meetings. Mr. Morreale provided some of his professional and personal background. He provided his children's current education level acknowledging that they had great opportunities with the Weddington schools and hopes to bring the same wonderful opportunities to other students in Union County. Mr. Morreale explained his position with the Family Dollar Corporation explaining that he needs to justify every dollar and that policy should also be applied to the School Board. He knows

transportation has been an issue and that would be something he plans to focus on. Mr. Morreale stated that we don't have a transportation committee and if elected he would like to investigate that possibility. He explained that a recently lower efficiency rating on transportation is something he would like to focus on. Other matters that are important to him are:

- Continuity in the school by providing a stable learning environment for teachers to thrive in
- Retention of teachers
- The repetitive redistricting of the students is disruptive to them and the cause of turmoil
- Working with our local government

Mr. Morreale thanked the Council for the opportunity to speak and would appreciate everyone's support by voting for him.

Ms. Pam De Maria stated that she is running for Union County Commissioner and provided some background on her personal and professional life stating that her first job was as a teacher and she is very interested on how we handle funding for Union County schools. Ms. De Maria stated it's very hard when you enter politics as an unknown but she is a hard worker and is prepared to give 100%. She has no special interests and expressed that public education is important to her. Ms. De Maria is concerned about jobs and public safety in the County.

Item No. 6. Additions, Deletions and/or Adoption of the Agenda

Councilman Scott Buzzard moved to add Review and Consideration of N-Focus Services as item 10B. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington
NAYS: None

Mayor Pro Tem Don Titherington moved to adopt the agenda as amended. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington
NAYS: None

Item No. 7. Consent Agenda

- A. Consideration of Proclamation – Constitution Week (COPY ATTACHED HERETO AND MADE A PART OF THE RECORD)**
- B. Review and Consideration of SR-2 Resolution for Bonner Drive (COPY ATTACHED HERETO AND MADE A PART OF THE RECORD)**
- C. Call for Public Hearing for Review and Consideration of Preliminary Plat for the major subdivision, Weddington Pond (formerly Sugar Magnolia)

Mayor Pro Tem Titherington moved to approve the Consent Agenda as written. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

Item No. 8. Approval of Minutes - None

Item No 9. Public Hearing and Consideration of Public Hearing

A. Review and Consideration of Carrington Preliminary Plat

Mayor Deter opened the Public Hearing.

Mr. Scott Herr – I am the Vice President of Land Acquisition for MI homes and we have prepared for your approval the Carrington Subdivision submittal. MI Homes has been around since 1976 and has built over 100,000 homes in our history and here in Charlotte we have built and closed on 475 homes this year. The plan being presented to you received unanimous Planning Board recommendations for approval. What you see here is the result of cooperation between the Town Planning staff, the Planning Board and the neighbors to the property. Initially there was more density on one side of the road but the Planning Board felt that although it technically complied with the ordinance it would be better to move density over to the other side of the property where it can be tucked away and less visible from the road and we were happy to do that. In addition to that, as you know, we have a very long border with the Waybridge Community and we worked very closely with their HOA over a series of months to help describe the enhanced landscaping along the connection point. Making this connection point not an official road but just an emergency access as well as educating them as to how the stormwater runoff was going to impact the property. We also agreed to adopt language from their HOA documents into the HOA documents on our property so there is a cohesive look when it comes to the landscaping between the two communities. We believe all the cohesiveness with staff, Planning Board and the neighbors has resulted in what we think is a greater plan. I'd like to highlight that in addition to meeting the technical specifications of the ordinance we also think it meets the spirit of the ordinance. This is a Conservation Subdivision that exceeds the amount of open space that's required in the ordinance. The amenity center is not just a pool and cabana, it's a series of three parks - the smaller 2 are about 1.3 acres and the larger one is over 3 acres. We are hoping as the neighborhood takes shape these public spaces draw the residents out of their homes and into the common areas forming relationships and making new friends and build a true community.

Mayor Deter Closed the Public Hearing.

Planning Board Chairman Dorine Sharp – You have the memo that Julian Burton wrote about this property. It is 71 houses. This number came from the yield plan. When we have a Conservation Subdivision they have to lay out the subdivision with one acre lots with 10 percent open space and that's the number of lots that they can build even though they are building smaller lots. Mr. Burton did review the yield plan to verify that each one of those was buildable lots and 71 was the number. Originally when it first came to the Planning Board there were 26 lots on the west side of Weddington Matthews Road and we felt there was too much density on that side of the roadway so we asked them to move 6

lots to the other side which they did. We even made some suggestions about the configuration of the lots on the west side to minimize the view from the road. They did a very good job and the Planning Board was pleased with the revision. They had their PIMs in December. The neighborhood will be public water and sewer. The entrances will be off of Weddington Matthews Road which is partway down the hill from the traffic light and there will be no entrances from Hemby Road or Beulah Church Road and they are working on the right and left turn lanes.

Mayor Deter – How far is the distance from the intersection to the entrance of the subdivision?

Mr. Herr – About 600 feet.

Planning Board Chairman Sharp – The other thing that the Planning Board and the staff were concerned about was connectivity with that number of homes on the east side of Weddington Matthews Road and having only one way in and out. Originally it was planned for connectivity but the Waybridge Subdivision has a stub for future connectivity. Even though we didn't require a through road we did require that they have some sort of access and gate. I am assuming that you and the Waybridge HOA are going to determine who does what as far as the gate is concerned.

Mr. Herr – The builder of Waybridge put up the gate and we are willing to put up an additional one to the extent that emergency services personnel believe that is appropriate.

Mayor Deter – There is a gate in there now which I believe meets the requirement. What they are going to do from the other side of the gate is run a gravel road that will connect into the paved subdivision.

Planning Board Chairman Sharp – Again, that's for emergency services.

Mayor Pro Tem Titherington – So that's an emergency activated gate?

Planning Board Chairman Sharp – Yes.

Mayor Pro Tem Titherington – Is that gate there currently an emergency activated gate or does that need to be installed?

Mayor Deter – We checked with Wesley Chapel Volunteer Fire Department. It's a gate that they need to be able to open. It's a plastic chain with a tie.

Mayor Pro Tem Titherington – I would still make it a condition that Wesley Chapel Volunteer Fire Department signs off on the gate they currently installed and that it meets their requirements.

Planning Board Chairman Sharp – So basically you would like some sort of letter from Wesley Chapel stating that the gate that they are going to install meets their needs.

Mayor Pro Tem Titherington – Correct.

Councilman Buzzard – What is currently installed I think is the key here.

Planning Board Chairman Sharp – The currently installed is Waybridge.

Mayor Deter – I think back in 2006 the Planning Board said that they need to put a gate there because it's a gated community for future access. They put the gate there a couple of months ago as Carrington was being developed. The question I'm hearing is we need verification from Wesley Chapel that the gate meets their requirements for width to ensure access and whatever the emergency service needs.

Planning Board Chairman Sharp – It's in the ordinance as an emergency access gate so therefore it has to meet whatever the emergency services needs it to have. US Infrastructure submitted on September 1st the construction plan review which the applicant has a copy of and is working on the construction documents which will come to you at some point.

Councilwoman Janice Propst – There is a typographical error in their letter. Can you just let them know that they have a sentence “ensure the headwater *does* flow on to the adjacent properties” so we just need it to say “*does not* flow onto the adjacent properties”.

Planning Board Chairman Sharp – The first item under conditions was the final approval of construction documents and the second condition is approval in permitting by Union County Public Works for their water and sewer.

Mayor Pro Tem Titherington – Again, on the gate we have that squared away. Walk through with me product information paragraph 2. It appears that MI does not own the land and have an option? So they were talking a little bit about conveyance?

Mr. Herr – Yes, we currently have an option on the land to be proposed once the approval process is completed.

Mayor Pro Tem Titherington – Is that normal and customary for us, Ms. Sharp, to say that if they don't close at whatever gets approved tonight it then conveys the land to the current owners?

Planning Board Chairman Sharp – Yes, it would convey over to any new owner such as Sugar Magnolia was an approved Preliminary Plat and when it was purchased it moved over to the new owners. They are redoing it but what was currently approved just changed ownership.

Mayor Pro Tem Titherington – That's three years to have action on it and if they don't it will expire. Is that correct?

Planning Board Chairman Sharp – Correct.

Mayor Pro Tem Titherington – The applicant is proposing right and left hand turn lanes in both directions. Are you going to commit to that?

Mr. Herr – Yes.

Mayor Pro Tem Titherington – As we look at the fall line on the west portion. We actually had USI work with All Saints Anglican Church because when their original documents came in they were

changing some of the fall lines which may have contributed to abutting prior neighbors. Your last four lots to the west will abutt that so what is the fall line for property does it fall back on the Anglican, in that same area or are we pitching to the front of the road?

Mr. Herr – Do you know off the top of your head what the grading looks like right here - is the water flowing back towards the road and the retaining pond?

Mayor Pro Tem Titherington – So this section here is where we had to work with the property owners to make sure they didn't change the grading you have actually done that grading coming forward, is that correct?

Mr. Herr – That's correct, we are pitching everything back towards Weddington Matthews Road.

Mayor Pro Tem Titherington – To the retaining pond?

Mr. Herr – That's correct.

Mayor Pro Tem Titherington - We have discussed the typo in the USI letter being corrected. It looked to me USI's letter had a fair amount of questions they wanted to have verified. We have actually had some calculations being redone as it relates to pre-da-1c is being recalculated so those calculations will be made a condition.

Planning Board Chairman Sharp – Right. Condition #1 says: "Development subject to review and final approval of Construction Documents by Town's Engineering Consultant US Infrastructure." That's the first condition on the last page of your memo. It also says: "Applicant must provide proof of approval before commencing with construction." So they can't start anything until all of this has been taken care of.

Mayor Pro Tem Titherington – Do we have NCDOT approval for the road widening project or do we need that as well?

Planning Board Chairman Sharp – Where are you with NCDOT?

Mr. Herr – We have been all through one review cycle with them and we are on the second review cycle.

Mayor Pro Tem Titherington – I want to add that as a condition.

Planning Board Chairman Sharp – Okay.

Town Attorney Anthony Fox – You also want a condition to ensure that the emergency access gate which is connected to Havenchase Drive. You need to see that it meets the approval of Wesley Chapel Volunteer Fire Department.

Mayor Pro Tem Titherington – My concern for the emergency access road, I just get a little bit concerned about and/or's and I want to make sure who owns this. It says "Waybridge is currently a

gated community and the developer and/or the Waybridge HOA will be responsible for installing and maintaining a gate on Havenchase Drive.” That tends to get a little vague.

Planning Board Chairman Sharp – When Mr. Burton wrote this we didn’t know that there was going to be one gate that Waybridge would own and maintain and a second gate that Carrington would maintain. So there are going to be two gates.

Mr. Herr – To the extent that emergency service providers are okay with that. If they want one gate then that’s what we will do.

Planning Board Chairman Sharp – So what we are waiting on is finding out what the fire department wants?

Mayor Pro Tem Titherington – I just want to be clear on who owns it so I want to make sure that MI Homes will be the ultimate decider of that emergency gate and is the owner of that emergency gate. I don’t want to hear Waybridge HOA, he said she said.

Mr. Herr – We will be happy to take responsibility for the emergency gate.

Mayor Deter – Let’s add that as a condition.

Town Attorney Fox – That might be subject to the approval of the HOA. If they built the gate and it is already there and their HOA may have to have responsibility so they have to concede the authority over to MI. I would give them the option of one or two. If there is one gate and it’s already in existence and this community has constructed that gate therefore they would have to, as a community, assign that responsibility to MI Homes.

Councilman Buzzard – I think Carrington’s offer was if there is only one gate required they would take over the responsibility of the existing gate.

Mr. Herr – Yes. To the extent that Waybridge conveys that to us.

Mayor Deter – The Waybridge HOA needs to convey the gate.

Mayor Pro Tem Titherington – My biggest concern is that is a dead end road today so the type of gate you need does not have to meet emergency service protocol. The fact that we are now using that for connectivity is requiring emergency services protocol. There is only going to be one gate, I don’t care, but there is going to be an expense potentially to make that an emergency gate. If that gate needs to be upgraded to an emergency services gate who will incur the expense?

Planning Board Chairman Sharp – Can we just state that by the time the final plat comes before the Town Council the configuration of the gate, the number of them and who is going to take care of them must be settled to the satisfaction of the fire department?

Mayor Deter – I think what you are saying is that you want a gate that meets the fire department needs and who is going to maintain and incur the expense.

Planning Board Chairman Sharp – Ownership and maintenance.

Mayor Deter – What I’m hearing is MI said they will maintain that gate but the Waybridge HOA needs to assign that.

Planning Board Chairman Sharp – Or take theirs down and let MI construct it but if they are only going to have one gate and Waybridge’s can be adopted then it makes sense not to incur that expense.

Mayor Deter – I don’t think we want two gates.

Town Attorney Fox – You need to put the responsibility onto MI to coordinate the gate’s control and responsibility of maintenance obligations. To present to the Town the appropriate plan to insure that the gate is going to be properly maintained and satisfies the requirements of the volunteer fire department.

Mayor Pro Tem Titherington moved to approve the Carrington RCD Conservation Subdivision Conditional Zoning Preliminary Plat as outlined with the following conditions:

1. Development subject to review and final approval of construction documents by Town’s Engineering Consultant, US Infrastructure. Applicant must provide proof of approval of the construction documents before commencing with construction. Significant changes to the site plan during construction document finalization may require a second planning board review.
2. Development subject to review and approval/permitting of construction documents by Union County Public Works. Applicant must provide proof of approval of the construction documents before commencing with construction.
3. That NCDOT approval for left and right hand turns is attained.
4. The emergency gate is installed and/or working with the adjoining Waybridge HOA for control and maintenance and to insure that it achieves the safety requirements of the volunteer fire department for emergency access.

All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

B. Review and Consideration of Conditional Rezoning for Threshold Church

Mayor Deter opened and closed the public hearing as no one signed up to speak.

Planning Board Chairman Sharp – I did want to make a comment before we get started. You have two memos in your packet. One in regards to the Rezoning request for Phase II and the other is for the Construction Documents and I don’t see the Construction Documents on the agenda. If you are going to also approve the Construction Documents I’m wondering if you need to amend the agenda either to make it Conditional Rezoning and Construction Documents or make Item C Review and Consideration of the Construction Documents for Threshold Church.

Town Attorney Fox – They do not have the Construction Documents.

Executive Pastor Richard Wilson – I stood here two years ago as we went through our first round of Conditional Rezoning for the property. You approved that so we have been developing the property according to those plans. We have some parking, some clearing and some good stormwater work out there. We have been using the property for small ministry gatherings and things. We have been working closely with Mr. Burton on the Construction Documents as well as the site plan. His resignation took me by surprise and I sent the Construction Documents to an email address that didn't have anyone's name attached to it but it was more of an: info@theTownofWeddington.com. So I am a little surprised.

Mayor Deter – When did you send those?

Pastor Wilson – We sent them a week before Labor Day. He notified me of his resignation on the Wednesday before Labor Day and I sent the documents either that Friday or the day after Labor Day.

Mayor Deter – I think his last day was before Labor Day.

Planning Board Chairman Sharp – His memo says on the Construction Documents the set in your packet so apparently it did not get into your packet.

Pastor Wilson – I have a full half set of our documents right here. Ms. Sharp has seen them because she made comments on them in our Planning Board meeting. We have had our Public Involvement Meetings (PIMS) around the Construction Documents. The Fuderman's were in attendance at one of our PIMS; they actually worked very closely with us through this whole process and have been very supportive. The Lights who are also some of our neighbors have been very supportive of this process. We were really hoping to start going after permits and breaking ground in the next couple of weeks.

Mayor Deter – The dilemma is without the Construction Documents in our packets and time to look at them I don't think we are able to rule and approve the Conditional Rezoning and Construction Documents. I realize that's not convenient for you and this is part of the issue we are facing here when we lose our Town Planner and being a small town we don't have a back up so we are trying to work through that. I am trying to think of a way to help you because right now my understanding is that this would probably have to go on the October agenda.

Planning Board Chairman Sharp – That's your call but I think you need to see the documents.

Mayor Deter – I know I don't want to approve anything I haven't seen and I'm sure Council doesn't either.

Town Attorney Fox – Did you call for a Public Hearing on this rezoning and Construction Documents or just on the rezoning?

Mayor Pro Tem Titherington - Tonight we can go through the review and consideration of Conditional Rezoning then we can get the Construction Documents, get the Planning Board's recommendation of that then we can call a special meeting to review the Construction Documents.

Planning Board Chairman Sharp – The Planning Board has already gone through the Construction Documents.

Mayor Pro Tem Titherington – Then we can just get that and call a special meeting and come in and do that.

There was a brief conversation amongst Council about dates but not specified. By consensus Council agreed to that recommendation of calling for a Special Meeting, the date to be determined after they review their calendars.

Mayor Pro Tem Titherington – What I'm hearing is that we want to move forward hearing the Conditional Rezoning and then for Construction Document review we will call a special meeting for that. By consensus Council agreed.

Planning Board Chairman Sharp – Phase 1 was approved in 2014 and was basically parking and a new driveway. They were using an existing house for office space. Phase II includes a 17,000 square foot building expansion, additional parking, and stormwater management facilities. You have a narrative for proposed uses of the Church in your packet. Public Involvement Meetings were held in July. You have the development standards for a church in the RCD Zoning District. Access and parking, they have an existing driveway and will continue to use the existing driveway. They were required to go through the Traffic Impact Analysis and will be providing a left turn lane and a right deceleration lane. The left turn lane will likely be coordinated with the left turn lane providing access to the subdivision the Enclave but I assume that's probably in consideration with NCDOT at this point. The applicant has already met the landscaping requirements and will have Union County Water and a private septic system. I believe they are hoping to be able to connect to the sewer in the future but right now they have a septic system. US Infrastructure has provided an approval of the stormwater concept plan, and a first review of the full construction document set. If the site plan changes significantly, this will need to come back to the Planning Board but at this point and time Mr. Burton did not anticipate there would be any changes. The site is not within a Floodplain and the recommended condition of approval is:

1. Any revisions to the approved site plan and other documents must comply with our ordinance.

One of the other items that was discussed but the applicant did not have yet was their sign so that will need to be added. Right now their sign says "Future Home of".

Mayor Deter – Would that be part of the Construction Documents?

Planning Board Chairman Sharp – The Planning Board has not seen the sign yet so that will probably come to you as an addendum to the Construction Documents in the future.

Mayor Deter – The first time this came through two years ago I wanted to make everyone aware that he came on a later date, built a nicer bigger church who knew that the septic system was acceptable with what was there. Now that they are building this church the implications are that the septic system either as it is or expanded will be able to handle the use.

Planning Board Chairman Sharp – The applicant has provided the septic approval from Union County Environmental Health.

Mayor Pro Tem Titherington – Ms. Sharp would you clarify:

- US Infrastructure has provided an approval of the stormwater concept plan, and a first review of the full construction document set. The set in your packet has not addressed the first round of comments, but changes to the overall site plan are unlikely.

So if we are going to be calling a special meeting to approve those Construction Documents do we have those first set of comments in?

Planning Board Chairman Sharp – The only problem I see with that is I don't know where Ms. Fisher is on those.

Pastor Wilson – She is working closely with our Civil Engineer.

Planning Board Chairman Sharp – But Ms. Fisher is out of Town until September 20th so I don't know if she has an associate she's also working with.

Mayor Pro Tem Titherington – We should try if we can to have those and if not we will have to put that as a condition to get those. The planning agreement for the first Phase was all done and there were some questions at the last Town Council meeting last month around lighting. So we will deal with that in the Construction Documents phase as well. We should share with them some protocol that we used elsewhere that they might want to have so we can make sure that it all gets bundled up.

Town Attorney Fox – Keep in mind that this is a Conditional Rezoning so to the extent you have a site plan and you have issues around lighting you could incorporate those in the notes of the site plan as to whatever comfort level Council has with it.

Planning Board Chairman Sharp – I think what we did with the Anglican Church was they stated that all of their activities will be done by 9:30 p.m. They will have motion activated lighting.

Pastor Wilson – We agreed to have the lighting put on timers so they would be turned off by 10:00 p.m. and they would not be motion activated because of all the wildlife in the area.

Planning Board Chairman Sharp – I think the Planning Board recommended that there be no lighting requirement cut off time for Easter and Christmas services.

Mayor Pro Tem Titherington – So if we could just use the other protocols so that all comes together at one time that would be great. So do we want to do that as a condition today?

Town Attorney Fox – That needs to be a part of the site plan. This is a Conditional Rezoning, so that needs to part of your approval of the site plan.

Planning Board Chairman Sharp – I think the other question we have is about security lighting. Are you going to have any security lighting that you will want to have on all night?

Pastor Wilson – Not necessarily, unless it's required by the Town.

Planning Board Chairman Sharp – It would not be required by the Town.

Mayor Deter – It will be dark there after 10:00 p.m.

Pastor Wilson – We will have an alarm system.

Planning Board Chairman Sharp – So you are saying that all lighting is turned off by 10:00 p.m. excepting the Easter and Christmas Holidays?

Mayor Deter – Is there lighting in the parking lot?

Pastor Wilson – There is lighting in the parking lot.

Mayor Deter – So all of that lighting will be included in your timer?

Pastor Wilson – Yes.

Town Attorney Fox – Ms. Sharp, the other thing we will need to do is state the consistency since this is a rezoning.

Planning Board Chairman Sharp – Right. Any time you have a Conditional Rezoning you need to state how this project is consistent with the Land Use Plan. The last time we basically stated that Weddington likes to have churches that enhance the area and provide a benefit to the local citizens.

Mayor Pro Tem Titherington – From a Condition perspective we are basically approving this without any conditions or impact from these things with the site plan. Is that the recommendation?

Planning Board Chairman Sharp – You have the one condition of approval from staff and the second condition is about lighting: all lighting is to be turned off by 10:00 p.m. with an exception for the Easter and Christmas Holidays.

Mayor Pro Tem Titherington moved to approve Threshold Church Conditional Rezoning Phase II with recommendations as approved by staff and all engineering associated with Construction Documents to be approved by the engineering consultant US Infrastructure, all lighting plan insures that all lighting on the property is to be turned off by 10:00 p.m. with an exception for the Easter and Christmas Holidays. This is a consistent use with the Land Use Plan that provides value to neighboring communities. All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

Item No. 10. Old Business

A. Discussion and Consideration for Town Hall maintenance

Councilman Mike Smith – In your packet you have some estimates for some work that needs to be done at Town Hall. As you know we have had some previous discussions on the brick work we will need repointing which is repairing old and missing mortar. There are three estimates. I want to review them:

- Dunlap Concrete & Contractual Services – The estimate to do the work is \$5,375.00 and they are offering 1 year warranty on the work and estimates it will take 2-3 weeks to complete the work.
- Patchman – The estimate to do the work is \$5,200.00. He did not return my phone call about warranty and how long it will take him to do the job.

The next estimate is from Chris Wendt Landscaping. You will notice that this one is a little higher in cost because between the time I received the first two and this one some other work that needs to be done appeared so I had them bid on that as well.

- Chris Wendt Landscaping – The estimate to do the work is \$10,430.00. He is offering a two year warranty and stated it will take 7-10 days to do the work.

I have discussed this before with the Council and although the Wendt bid is higher for the work I would put Chris Wendt in the same category as Nu Hue and I believe that he is our best choice for this job considering that this is a historical building.

Mayor Pro Tem Titherington – Thank you for pulling all that together and if you compare Wendt's cost for the same work as the other two Wendt's is lower.

Councilman Smith – You are correct, if you compare apples to apples his bid was actually lower; it was \$3,600.00.

Councilman Smith moved to approve Chris Wendt to do the re-pointing and brick repair on the Town Hall not to exceed \$10,430.00. **(COPY ATTACHED HERETO AND MADE A PART OF THE RECORD)**. All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington
NAYS: None

Councilman Smith – We have had some leaks in the roof that has plagued Town Hall apparently for a very long time and has been attempted to be repaired on several occasion and I'm hoping to find a permanent solution to this and not a band-aid. You have three estimates for roof repairs:

- Steve Larsh – The estimate to do the work is \$6,450.00, is offering a 1 year warranty and it will take 1-2 days to complete the work.
- Roofing 21 – The estimate to do the work is \$5,800.00, is offering a 1 year warranty and it will take him 2-3 days to complete the work.
- Lundberg Specialty Services – The estimate to do the work is \$3,168.00, is offering a 5 year warranty and it will take 2 days to complete the work.

I did a lot of checking on all the contractors and I'm going with the lowest one for this. He has been in business for 31 years, is well known and has had great reviews. What I really like about this contractor is he's offering a 5 year warranty on his work and said he's doing that because he knows he won't have to come back.

Mayor Deter – The estimate indicates that three squares of shingles will be required and we have one square in the garage. I'd like to get them out of the garage and it can save us about \$100 to \$150.

Councilman Smith – It makes sense to use them so it matches.

Councilman Smith moved to approve Lundberg Specialty Services to do the roof repair on the Town Hall not to exceed \$3,168.00. **(COPY ATTACHED HERETO AND MADE A PART OF THE RECORD)**. All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

B. Review and Consideration of N-Focus Services

Councilman Buzzard – I spoke with N-Focus after our meeting on Thursday and they do not offer just a Junior Planner to come out on site. So what they are offering is to meet our two days a week that we are asking for in the September time frame would be to have a Senior Planner on site on Fridays and then have a Junior Planner on site on Mondays and I wanted to make sure Council was aware of it and because it is different than what we discussed.

Councilwoman Janice Propst – How will they coordinate knowing what's going on between the two?

Councilman Buzzard - The Senior Planner will do more of the tough planning work and the Junior Planner will assist her with that and work through her and that sort of stuff.

Councilwoman Propst – The Senior Planner is going to do most of the site plan work?

Councilman Buzzard – That's correct and they do have access to one another if they have questions back and forth. The Junior Planner would have access throughout the week to the Senior Planner if there are questions that come up that they can work through.

Councilwoman Propst – The first day will be the Senior Planner on Friday.

Councilman Buzzard – Actually no, we will have both the Junior and Senior Planner on site on this Friday. We are trying to coordinate with Ms. Sharp to make sure that she is here, Ms. Woods should be here and I'm going to try and be here on Friday if the Council is okay with that direction.

Mayor Deter – Does anyone have any questions?

Town Attorney Fox – If you are looking now to engage with N-Focus in your motion to engage, do you have a contract yet or agreement yet?

Councilman Buzzard – No, on Thursday we had a motion to engage N-Focus.

Town Attorney Fox – This is a personnel tweak.

Mayor Deter – So you just want to get an alignment? I'm looking around at Council and I think everyone is aligned. So it doesn't require a motion?

Town Attorney Fox – No.

Mayor Deter – While we are on the subject can we get an update from Councilwoman Propst where we are with interviewing the one applicant we previously discussed?

Councilwoman Propst – On Thursday we discussed coordinating our calendars so I will get with everyone by tomorrow and get our calendars before going on to speaking with her.

Item No. 11. New Business

A. Review and Consideration of Trash Collection at Town Hall

Mayor Deter – We have been fortunate to have complimentary trash collection for the last several years and like a lot of things it's going away. We went out and got some quotes. Our current complimentary trash collection is done by Waste Connections (God Bless America). Ms. Piontek has gone out and gotten some quotes and there is a sheet that provides the costs.

- Waste Connections estimate is \$46.00 per month, 2 carts weekly and 1 recycle bi-weekly
- Waste Pro estimate is \$45.00 per month, 2 carts weekly and 1 recycle bi-weekly
- RCS estimate is \$40 per cart monthly, 2 carts weekly and no recycling available

Councilwoman Propst – I spoke with Ms. Piontek before the meeting. When I saw the information in the packet I knew this company because RCS is the company that provides us the port a johns for all of our events and for Easter they always give us those port a johns for free. When I saw that today I knew that wasn't true because I know they do recycling so I picked up the phone (they live in Weddington) and called the owners. I asked them to correct me if I am wrong and she said no we did not put it on the pricing so its \$40.00 for one solid waste cart and one recycle bin and they will do a pick up once a week. It's \$40.00 a month for them to do the entire service. Now that's not 2 carts but I don't know that we really need 2 carts except for events. If we do we can discuss that but they do recycle.

Mayor Deter – So they do recycle. It's a question of usage. Does the Town go through 2 carts a week or can we get by with one cart a week? I don't know. I just know it always seems to be full carts out there.

Councilwoman Propst – Do you really need two carts a week?

Town Administrator Peggy Piontek – I agree with Mayor Deter. It's always full out there. The problem is that the company has been doing it for free; they pick up when they have the time. There's no way to judge how much trash we use but there are four of us here and deputies.

Councilwoman Propst – I think 2 carts for four people is a lot of waste. I didn't discuss 2 carts with them I just discussed 1 waste bin and 1 recycle bin. They do come on the same day and again they are \$40.00 per month versus the others.

Mayor Pro Tem Titherington – My take is that we have had Waste Connections here for several years, they are already here and they will do the drops we need for the festival events and get down to 2 carts and 1 recycle. We are talking about a cart difference and they have been doing it for a while. I prefer to stay with Waste Connection for consistency. They understand who we are and we have known them for a long time.

Mayor Deter – Right. Any other comments?

Councilman Buzzard – You said RCS is local to Weddington?

Councilwoman Propst – They are native of Weddington and have lived here all their lives. They were started by Joe Hudson and Joe has graciously provided for every event that we have had. When it comes to the Easter Egg Hunt, we don't pay anything for the port a johns, when it comes to the Christmas Event and Festival they only charge us half price for all the port a johns. It's just the service they provide because they are citizens of the community.

Mayor Deter – The port a johns for the festival was \$575.00, which is half of what they charge \$100.00 per day.

Councilwoman Propst – For Easter it's free. They are a busy company so it's not like, I'm just saying they live here and they can contribute to the Town.

Mayor Pro Tem Titherington – Make your motion, Janice.

Councilwoman Propst moved to approve RCS because they do contribute to our festivals and give us a lot of free service on our festivals. **(COPY ATTACHED HERETO AND MADE A PART OF THE RECORD)**. All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

B. Review and Consideration of Enclave at Weddington Final Plat Phase 1 Map 1

Planning Board Chairman Sharp – The Enclave at Weddington is an approved conservation subdivision located on 53.52 acres. Phase 1 Map 1 includes 13 of the 42 approved lots. The subdivision is located on Antioch Church Rd and is being developed by Meritage Homes.

Conservation Land

The conservation land calculations indicate that 29.28 acres of the 53.52 acres has been dedicated to

conservation land. 13.564 acres are included within Map 1.

Utilities

- The Enclave at Weddington is to be served by Union County Public Water and Sewer.

Access and Traffic Analysis

- The subdivision will be accessed by one entrance on Antioch Church Road.
- The Town Planner, in coordination with Justin Carroll, determined that the subdivision did not meet the threshold for a formal Traffic Impact Analysis. The applicant is providing a left turn lane in to the site and coordinating with NCDOT for design approvals.

PIMS

- PIMs were held on June 2nd and June 3rd, 2015, both at Town Hall and on-site.

Additional Information:

- Lot 40 is the largest lot at 17,072 square feet.
- Lot 42 is the smallest lot at 12,961 square feet.
- The Cluster Mailbox Unit location and hydrant are both shown on the plat.
- The subdivision will include curb and gutter, and sidewalks will be provided on one side of the street and around the cul-de-sacs.

Construction Documents

- USI provided final approval for the construction documents on May 9th, 2016.

Recommended Conditions:

1. Bond estimates to be approved by the Town's engineering consultant.
2. Bond instruments to be reviewed and approved by the Town Attorney, and the final bond instruments must be submitted to the Town prior to recording of the final plat.
3. Each remaining lot to be recorded in the Enclave at Weddington subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not the responsibility of the Town of Weddington and shall be maintained by the Enclave at Weddington Homeowners Association or its Developer.
4. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.

Planning Board Action (August 22nd, 2016):

Recommended Approval with Conditions (Unanimous)

Mayor Pro Tem Titherington – I try to avoid surprises but this is a good example because this was TDON Development that previously came before the Council and has now changed to a different organization. One of our concerns as a Town is safety. It goes along with our health and welfare which we are very concerned about. That road has a turn where your property comes into and it is right across the street from Threshold Church. Some of the things we discussed with Jonathon Keith who was a representative of TDON Development agreed to a right hand turn lane in there. I know NCDOT gets into these conversations sometimes whether it's not required by NCDOT, but the Town can actually say NCDOT plus when it comes with the health, safety and welfare. One of my concerns is hopefully Ms. Sharp or Ms. Piontek reached out to you ahead of time advising that we had a commitment from Mr. Keith for a right hand turn lane and you can see that in the documents so maybe you can help address that for us tonight.

Mr. Reid Owen – I am with Meritage Homes. On that plan there was the original submittal of February of this year. It showed a flared turn out and that was extended at your request in April and was on the final approved plans by NCDOT. Mr. Burton reviewed that and agreed to the additional length of that flared section. I have copies of the plans here if you would like to see them.

Mayor Pro Tem Titherington – For Council's information, this is for right around that bend and Threshold will literally be right across the street on the left. So you have the left hand turn lane coming south of Threshold and you should have a left hand turn lane coming north going into the Enclave. It was a southbound flare out; preferably right hand turn lane will be put in the mix but at the discretion of being open to that.

Mr. Owen pulled out the original plans, then the revised plans from April 15th showing the extended flare.

Mayor Pro Tem Titherington – How far did they get?

Mr. Owen – I believe it's about an additional 30 feet.

Mayor Deter – The total length. It's not a right hand turn lane but it's a flare out slow down lane, how long is that?

Mr. Owen – The total length is 80 feet.

Councilwoman Propst – So you are saying 80 feet down the road?

Mr. Owen – 80 feet from the center line back down the road, yes.

Mayor Deter – How wide is a flare lane versus a turn lane?

Mr. Owen – A turn lane is 11 feet wide and this is a 6 feet wide additional flare. From here back is 80 feet.

Mayor Deter – The flare being 6 feet wide versus 11 feet wide. My initial concern is that's going to create risk as people try to get in that flare lane and it's 6 feet wide they will be off the road. I don't know what a typical length is whether it's 80 feet or 60 feet.

Mr. Owen – That's an engineering design, it should depend on the speed of your roadway and those types of things.

Mayor Pro Tem Titherington – The speed limit is 45 mph on that stretch of road.

Mr. Owens – That is correct.

Mayor Deter – So if that 45 mph determines the length and if it's 80 feet long, I think a 6 foot wide flare is going to create more problems. If you have 80 feet length and the engineering design at 45 mph said it needs to be 60 feet long, I would say you are good at the 60 but it should be 11 feet wide which is what a turn lane is. I'm looking at Council because I know there was a concern back when we had this discussion with TDON.

Mayor Pro Tem Titherington – The condition as written is: "The developer will include a right turn lane consistent with the Town Engineer and NCDOT approval." That's my biggest concern because a lot of these roads were designed Antioch Church Road at one point was a gravel and farm road and they just paved over that bed. They didn't do any widening or shoulder improvements and we get a little concerned as we have a lot of drop off's. That's why as possible particularly when we have opposing roads similar to what we do with my home grass we built a right hand turn lane just to get particularly younger drivers but all drivers off the road in a safe manner. That being on a bend you weren't here in February but I shared with Jonathon at the time - that I sat there for 45 minutes one afternoon just watching the traffic and the speed of the traffic. I don't have a radar gun and I'm not trained on it but it's moving. So the concern is what would prevent a right hand turn lane from a slow down lane? What's the extra 3-5 feet that we are looking for? Is there a concern there?

Mr. Owen – Those plans were already approved by NCDOT. We have a contractor out there working now. TDON had gotten Mr. Burton's approval basically to proceed with those plans and that's the situation we are confronted with today.

Mayor Pro Tem Titherington – That frontage that you own that does not adversely affect any of the lots that you are looking at or anything like that. Correct? To have a right hand turn lane versus a slow down lane is there anything on that?

Mr. Owen – The lots are set back quite a bit from the road.

Mayor Pro Tem Titherington – Okay.

Mr. Owen - It's just taper distances and those kinds of items as to how that could impact our drainage and other issues along that frontage.

Mayor Pro Tem Titherington – You have other folks. Threshold Church coming in.

Mayor Deter – I know you say you have NCDOT approval but as you look at the minutes, I know this was before you but with TDON it reads pretty clear what the concerns of the Council was which was the safety issue coming around there. I believe we've had other roads approved by NCDOT for a subdivision right over here at Atherton Estates for example. Where there are multiple road cuts and we took them out. I would like to see and am looking at the Council to get their thoughts on a right hand turn lane in there. I don't know what that means in terms of lane length but I think you defined what that is in terms of lane width. It's really driven by some safety concerns and I appreciate the 6 foot wide lane there but in my opinion that makes it even less safe.

Mayor Pro Tem Titherington – Absolutely, and it's part of the reason we had this conversation with TDON early in the development, which is more than 200 cars are coming into that road. Weddington is one of those wonderful communities that doesn't have 1.2 cars per household; we have 3.5 car per household. So I'm looking at 200 homes down there, I'm really looking at more than 500-600 cars, 11 trips per day. I didn't see anything else that concerned me other than the right hand turn lane. I'm with Mayor Deter; we have to have it as a safety issue. Granted it's a small development but when I look at the schools being up there, the reality is that our school buses and parents are dropping off and picking up so the amount of cars that are coming up and down those roads is a safety issue.

Planning Board Chairman Sharp – My concern would be that you may run into the same problem that you had with the development on Weddington Matthews Road where NCDOT said we won't allow a right turn lane. So whatever you do it would have to be something that NCDOT would agree to.

Mayor Pro Tem Titherington – We have had the conversation with NCDOT if they look at the counts per day, we are either hitting or projected to hit those counts on a lot of these roads especially with the development that's coming. I have no problem putting a right hand turn lane and if NCDOT wants to come back and say sorry that's a slow down we can get into that conversation. When we have done that in the past we let them know what else is being developed. We are the eyes of the institution right, we are here so I will be glad to engage NCDOT in that conversation if it becomes an issue.

Mr. Owen – What we are asking for is the plat be approved. You have reviewed the drawings and have had comments and then Mr. Burton on your behalf reviewed those drawings so I just do not understand why we are talking about a turn lane today.

Town Attorney Fox – One thing we are at the final plat stage right now. Final plat approval by this Council is subject to being compliant with the preliminary plat approval. Your preliminary plat approval which you inherited had a series of conditions. One of the conditions was to address the right turn lane issue. What I'm hearing from Council is that condition doesn't seem to be met. Council has three things it can do here: It can approve this plat, it can deny this plat or it can approve with conditions. I think what they are entertaining here is whether or not they are not going to approve it and might deny it. Do you want to at least consider a way to get it consistent with conditions that you agreed to in the preliminary plat stage? I think that's where we are.

Mr. Owen – The wording in that was that TDON was going to try to work with NCDOT.

Mayor Pro Tem Titherington – I will reread it. It's dated February 8, 2016 as condition number 7: *That the developer will include a right turn lane consistent with the Town engineer and NCDOT approval.* It

wasn't "may", it wasn't nebulous, it was "will". I'm not trying to be difficult and I understand what you are trying to do. You are in a tough spot because you had a person who sold you this property. We are very specific about this safety issue. If you had a 16 year old child travelling down that road, that's the eyes and ears I'd like to put on it. That's the full grasp of what we are looking at. We can approve it with the condition that this is met but if that's something you are not comfortable with then we need to know that too because that will dictate a different decision from my perspective at least for my vote.

Town Attorney Fox – One option for the Council, if the applicant is willing to take it into consideration is that you could table this until your next meeting and allow some time for them to explore options.

Mr. Robert Price – In reference to the plat, obviously we were here for the recording of the plat based upon the recommendations and the recording of the plat. If it is based upon the conditions for the improvements of the widening how is that subject to recordation of the plat?

Town Attorney Fox – The recordation of the plat is following the final plat approval. This council is not going to allow the plat to be recorded until these conditions are satisfied.

Mr. Price – Even if there is another plat that we have that is up for review on the Planning Board with Phase II? Will it be subject to the Phase II plat from Phase I?

Town Attorney Fox – The Phase II is not before the Council right now. We are just dealing with this Phase.

Mr. Price – Even if it has the association based upon the improvements to the construction drawings for the first set of the plat? I guess where my confusion is that, which you mentioned earlier, the plan that TDON submitted was not applicable back to the actual plat itself. It should have been applicable back to construction drawings. Am I correct in that? It wasn't actually a physical. Was there a preliminary plat that was done by TDON?

Town Attorney Fox – Preliminary plat approval which begins the process before you get to final plat approval so that could be the cue to the start of the process for you to lay out your subdivision and plan it. The final plat is a review by this Council to determine that you have done things that you have committed to do from the preliminary plat stage. The conditions of approval were laid out in the preliminary plat approval that was made by this Council.

Mayor Pro Tem Titherington – We are trying to do this up front so when you get to this stage there are no "Uh Oh's" so that's why we're moving as much of it up front. Then you have that ability at that point if this had a right hand turn lane on it you would have been gone and out of here 20 minutes ago. Unfortunately you are the second person in on this deal. Again, this is the letter of what we all agreed to at the time, we were comfortable with it. All those cars going in and out are a safety issue and a concern for me.

Mayor Deter – I think we summarized it well. Council can approve it, deny it, approve it with the condition 7 or we can delay it and give you time to determine what's involved to meet condition 7. We like to keep things moving for you.

Mr. Price – I think we can easily agree that we probably want to approve it with conditions. I guess it's just understanding what you would want from us based on those conditions are the conditions.

Mayor Deter – I think we just want a drawing with a right hand turn lane.

Mr. Price – You want a turn lane, okay.

Mayor Pro Tem Titherington – We can give the conditions to you. It's out of the minutes. I am assuming Ms. Sharp, that all the other conditions were met? So the development is subject to review and approval from NCDOT, subject to review from USI, development subject review and approval permitting documents from Union County Public Works, declaration of conservation easement constrictions shall be reviewed by the Town, maintenance plan and maintenance agreement shall be reviewed and executed prior to final plat approval by Weddington Town Attorney covenants, conditions and restrictions shall be reviewed by Town Attorney and executed prior to final plat and approved by Town Council and that the developer will put a right turn lane.

Town Attorney Fox – The one issue I have with this approval with conditions as to what the condition is. The condition that you approve it to is the same condition that they are supposed to meet in the preliminary plat. I think the options really are for the Council to approve it, or to deny it, or to table it to its next month's meeting with the hopes that if you want to comply and present a revised plan that shows compliance with that condition.

Mayor Deter – We are not adding a condition, we are simply asking for compliance of the existing conditions.

Mayor Pro Tem Titherington- It sounds like we are going to be coming back together before next month's meeting to work with Threshold Church, so if this is something you think you can get done in two weeks I would have no problem adding it to that agenda and keep you rolling. From my perspective I am not comfortable approving it without the right turn lane.

Planning Board Chairman Sharp – You asked about the recording of the Mylar's. All the conditions do have to be met before the Mylar's are signed by the Mayor. That includes the bond estimates and the bond instruments while you are getting your bonds in place. If you haven't done that yet you can be working on this at the same time and it really doesn't slow you up because we wouldn't sign the Mylar's until the bonds are in place and reviewed by the Town Attorney. Also they have Phase I Map II on the Planning Board agenda for this month, so we can still move forward with that if they have both maps on their agenda that wouldn't matter, it really won't slow up map II at all.

Mayor Pro Tem Titherington – We can do both map I and map II at the next meeting.

Mr. Price – Preferably we would like to move forward with map I if at all possible. Can we at least get the approval of map I? Obviously table map II until the next meeting.

Planning Board Chairman Sharp – Map II will be a Planning Board this month and then Council next time. If you can get everything done within 2 weeks so they can hear that at the same time as Threshold then that would be another option.

Mr. Price – Right, understood.

Mayor Pro Tem Titherington moved to table the Enclave of Weddington RCD Conservation Subdivision Condition Zoning Final Plat Phase 1 Map 1 no later than a month from today but possibly earlier at a Special Meeting to be called by the Town Council. All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

Item No. 12. Update from Planner

Planning Board Chairman Sharp – Shortly before Mr. Burton left he was contacted by Union County asking if we would permit Union County do all the addressing for the subdivisions. Mr. Burton and staff see no issues. We do the addressing, then it has to go to them for approval and this makes the process quicker and easier. Union County is trying to take over the addressing for all the municipalities and coordinate it with their 911 communications. It makes it quicker, easier and removes the burden from staff. There will be a text amendment before the Planning Board this month and we will call for a Public Hearing at your next meeting to remove the addressing from the Zoning Administrator to Union County Administrator. As I mentioned we have map 2 for the Enclave for the Planning Board agenda and an entry monument either for the Falls of Weddington or the Enclave. Because it's part of the construction documents, normally the Planning Board approves the entry monuments however, when it's a Conservation Subdivision it becomes part of the construction documents so the entry monument will also come to you. We have three Planning Board items and then we have a couple other text amendments that we will be working on. I believe Mr. Burton said that the bond amounts now we can only hold 1.25 times the amount and there are several places in our ordinances that say 1.5 times. As a cleanup we will modify them.

Item No. 13. Code Enforcement

Mayor Pro Tem Titherington - What is the percentage of 405 Ambassador Court demolition? If we can have a follow up for next Council meeting on the percentage and then the Town Attorney can move to different options.

Item No. 14. Update from Finance Officer and Tax Collector

Town Finance Officer Leslie Gaylord – You have the monthly financial statements in your packet. I wanted to point out to you under the revenues on the local option sales tax it looks like it's zero for the year but that's because we receive those in arrears so what we have gotten is actually last year's revenues. Next month you should start getting them for this year.

Item No. 15. Public Safety Report

None

Item No. 16. Transportation Report

Councilman Buzzard – The CRTPO opened their public comment period for the regional tier needs. That runs through sometime this month. It's open for 26 days. We had discussed outreach for our community on our website. Outside of that it is frustrating at times because the City of Charlotte holds so much sway as a single entity over such a large area.

Mayor Deter – Any impact or update - last month or two months ago - we discussed the roundabout.

Councilman Buzzard – Yes, I provided that to NCDOT and they were appreciative of efforts that we took and they will add that information to the information they had submitted on the first go around which I believe will be in December when the next call for those types of projects will be held by the CRTPO. When that happens that should have the updated information as far as the cost sharing. The solution is sometime around or about the first quarter of the year.

Mayor Deter – Is that when we will know what the point status is? We discussed doing some matching to add some points.

Councilman Buzzard – Correct. We should be well within the threshold of the projects that were submitted the first time around. It is a second call for projects so there is the potential to have other projects that get put onto that list. If you are looking at how we would have fared with those numbers on the original list, it still would have been well within the range. There is always that possibility but I don't see where we would fall outside of that realm. Again, I don't think there is going to be just that many more projects.

Mayor Deter – It will move us up the list, right?

Councilman Buzzard – Right. There won't be that many new projects that will push us back down on the list so where we fall now I believe we have a very good opportunity for us.

Councilwoman Propst – We should know more information in the first quarter of next year?

Councilman Buzzard – That's correct. That will all be determined when they have that second call for projects.

Mayor Pro Tem Titherington – When you look at that ratio, if I'm correct from the way you explained it in the past, you get two for one for every dollar we invest on safety factor, right? So where are we in relation to the other projects, maybe if we get another \$5,000 to \$10,000 in there?

Councilman Buzzard – No. As far as the points go, that's strictly on the percentage of the project.

Mayor Pro Tem Titherington – Is there any tweaking that we could do in reference to move up that list or is there a way to move up that list to get that project done quicker?

Councilman Buzzard – Once the project is approved there might be something as far as additional monies we want to put in to move it to a quicker project. As far as where we stand right now we have done everything that we can. I submitted a letter with that condition to the monies stating that there was a time factor involved with that because it is this budget cycle. Not to say that it's not available for the

next budget cycle but the approval is just this budget cycle so that should also provide us with some opportunity points.

Item No. 17. Council Comments

Councilwoman Propst – It's a great night to see so many people in the room. I appreciate your coming out and I appreciate the candidates speaking. I appreciate hearing the volunteer service to the community. Thank you.

Councilman Smith - none

Mayor Pro Tem Titherington had no comments.

Councilman Buzzard – I'd like to reiterate what Councilwoman Propst said. I appreciate everyone coming out. It's always good to hear from the public. It's good to hear that we have patriots in positions that are going to affect the lives of our residents.

Mayor Deter – There are two openings coming up on the Planning Board. One term has expired but Brad Prillaman is interested to serve again. Ms. Sharp, as much as I've talked to her, after 14-16 years she says she is out of here. You saw the email I sent to Ms. Piontek asking her to check what we have in the file and put an ad out to see if we can find some people for the Planning Board. As you have seen here tonight it is extremely important to what this Town does.

Planning Board Chairman Sharp – As I mentioned to the Mayor I really do expect to be moving out of Weddington in the next 1-2 years. It's not right to volunteer for a four year commitment and then, to me, to do that knowing that I probably would not fulfill the commitment.

Mayor Pro Tem Titherington – You didn't ask Council for their opinion, Ms. Sharp, so we will reserve judgment.

Planning Board Chairman Sharp – However, I have told Ms. Piontek and the Mayor that if you need me on a part time basis as I've been doing like being here tonight or helping the Zoning Administrator or Planner whenever needed, as long as I'm a resident of Weddington you can call on me to help. I'm just not planning to commit to a four year term.

Mayor Deter – One last item - the Town's Fall Festival is on Saturday, the 17th and we anticipate having 2,000 to 3,000 people showing up for this event. It gets bigger and bigger every year. We went out to get donations to support the festival and the numbers I see right now, we don't have all of our expenses in, but basically our donations exceed our expenses by several thousand dollars which will help us with the Christmas Tree Lighting and the Easter Festival next year. We hope all of you come out, bring the kids. We have rides, fire trucks, UCSO SWAT truck for kids to go into. We hope to see all of you out on the 17th. Richard Helms is going to be one of our baking contest judges, along with Craig Horn and Kim Andrews, the new Principal at Weddington High School. We have some all star judges on the baking contest.

Item No. 18. Adjournment

Councilwoman Propst moved to Adjourn. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, Propst and Mayor Pro Tem Titherington

NAYS: None

The meeting ended at 9:10p.m.

Bill Deter, Mayor

Attest:

Peggy S. Piontek, Town Clerk

PROCLAMATION

PROCLAIMING

CONSTITUTION DAY AND CITIZENSHIP DAY

CONSTITUTION WEEK 2016

WHEREAS, our Founding Fathers, in order to secure the blessings of liberty for themselves and their posterity, did ordain and establish a Constitution for the United States of America; and

WHEREAS, at the culmination of months of deliberation, debate and compromise, on September 17, 1787, the Constitution of the United States of America was signed; and

WHEREAS, September 17, 2016, marks the 229th anniversary of the signing of the Constitution of the United States of America by the Constitutional Convention; and

WHEREAS, through all its changes over the years, the Constitution's foundation has endured and adapted; and it is the supreme law of our land; and

WHEREAS, Constitution Day and Citizenship Day are celebrated on September 17th each year during the celebration of Constitution Week, September 17th through September 23rd; and

WHEREAS, the adoption of the Constitution and the independence guaranteed to American citizens, whether by birth or by naturalization, should be celebrated by appropriate ceremonies and activities during Constitution Week.

NOW, THEREFORE, I, Bill Deter, Mayor of the Town of Weddington do hereby proclaim September 17, 2016, as Constitution Day and Citizenship Day, and September 17 through September 23, 2016, as Constitution Week. I encourage governmental leaders, as well as leaders of civic, social and educational organizations, to conduct ceremonies and programs that bring together community members to reflect on the importance of active citizenship, recognize the enduring strength of our Constitution, and reaffirm our commitment to the rights and obligations of citizenship in this great Nation.

FURTHERMORE, I urge all citizens of Weddington to reflect during this week on the many benefits of our Federal Constitution and the responsibilities and privileges of American citizenship.

IN WITNESS WHEREOF, I have hereunto set my hand this 12th day of September 2016.

Bill Deter, Mayor
Town of Weddington

**NORTH CAROLINA STATE DEPARTMENT OF TRANSPORTATION
REQUEST FOR ADDITION TO STATE MAINTAINED SECONDARY ROAD SYSTEM
TOWN OF WEDDINGTON, NORTH CAROLINA
R-2016-02**

**North Carolina
County of Union**

Road Description: Bonner Drive in the Arbor Oaks Subdivision in the Town of Weddington, North Carolina

WHEREAS, the attached petition has been filed with the Town Council of the Town of Weddington, Union County, requesting that the above described roads, the location of which has been indicated in red on the attached map, be added to the Secondary Road System; and,

WHEREAS, the Town of Weddington is of the opinion that the above described roads should be added to the Secondary Road System, if the roads meet minimum standards and criteria established by the Division of Highways of the Department of Transportation for the addition of roads to the System.

NOW, THEREFORE, be it resolved by the Town of Weddington of the County of Union that the Division of Highways is hereby requested to review the above-described roads, and to take over the roads for maintenance if it meets established standards and criteria.

Adopted this 12th day of September, 2016.

Bill Deter, Mayor

Attest:

Peggy Piontek, Town Administrator

9025 Benfield Road
Charlotte, NC 28269

iamchriswendt@yahoo.com
7049415807

Chris Wendt

Estimate

For: The Town Of Weddington / I.C.O. Michael Smith
1924 Monroe-Weddington Rd, Matthews, NC 28104
Phone:

Estimate No: 4460
Date: Jun 21, 2016

Description	Quantity	Rate	Amount
Lower Chimney: Cut out and remove broken brick on Chimney. Grind out and remove broken or cracked mortar joints.	1.00	\$950.00	\$950.00
Grind out and replace broken brick and loose mortar on upper chimney. The chimney appears to be in dire need some repair and some point up. The chimney is also at the roof. Appropriate steps will have to be taken for the repair. It is not a convenient place to do a repair and several safety measures will have to be taken into consideration.	1.00	\$2,650.00	\$2,650.00
Gutters on the left side of the garage need to be bent back into place and cleaned. Water will stop overflowing in most cases if this is rectified. Contractor will also fix the erosion problem that the broken gutter in need of repair has caused. The contractor and Mike also noticed that the left rear foundation corner has some extensive cracking and settling on it. As of right now it does not appear to have affected the structural integrity of the garage. The contractor is going to recommend a support footing on the corner of the home. The contractor the contractor will dig around all sides of the corner of the foundation and right underneath the footing. Then the contractor will hammer drill into the existing footing. The contractor will then use a number 5 rebar every 6 inches with a 90 degree angle bent down. Then the contractor will pour a high-strength structural concrete encasement supportive footing around the existing footing to add as extra support. And obviously when the water problem is fixed from the gutters and it is maintained in a proper way this should never happen again. If there is any type of drainage overflow or any type of erosion it must be corrected immediately, or it will affect the structural integrity of the ground.	1.00	\$3,555.00	\$3,555.00

Description	Quantity	Rate	Amount
<p>Brick pavers.</p> <p>It is my professional opinion that the majority of the papers that are currently there can be repaired. There are approximately 40 to 50 broken brick pavers that will need to be chiseled out and replaced.</p> <p>Pavers approximately are 400 square feet.</p> <p>Contractor will also use a product called polymeric sand. It is an epoxy based on material that gets brushed into all cracks and joints and then sealed. This creates a watertight lock and also stops weeds and insects for making homes in the cracks making them worse.</p> <p>More importantly, it stops the water from getting down in between the bricks and causing erosion and also in the wintertime expansion and contraction. It is absolutely imperative to do this if those pavers are going to be salvaged.</p> <p>There are several dips or settling points over by the garage where the pavers have formed dips.</p> <p>My advice is to cut these out and repair them.</p> <p>Prior paver installer used a bed of mortar or concrete.</p> <p>My advice would be the repair will go back in according to standard paver installation. All papers will match up as best as possible.</p>	1.00	\$4,150.00	\$4,150.00
<p>Contractor is willing to offer a package deal if all listed work above is completed at the same time.</p> <p>Contractor has also agreed to do a point up in certain areas around the house foundation.</p> <p>This is regular maintenance point up and contractor will notify town management if anything out of the ordinary is discovered.</p> <p>Contractor has also agreed to replace the homes foundation vents as needed.</p> <p>Contractor will swap them out and the town of Weddington will reimburse him for the cost of the vents.</p>	1.00	-\$875.00	-\$875.00
<p>Customer also requested that contractor give an estimate on fixing the grading issue in the front of the town hall.</p> <p>If you're standing in front of the home the area to the left has a negative grade going towards the structure. This means one of two things.</p> <p>The grade to be raised.</p> <p>Or installing a natural drain system to get the water out of there.</p> <p>I would need to look over it once more in detail and give a final recommendation.</p> <p>However from my notes I think installing a natural drain system and allowing the water to escape would be the most appropriate thing to do given the current grade.</p> <p>Approximate cost to repair would be about \$2,650.00</p>	1.00	\$0.00	\$0.00
* Indicates non-taxable item			
Liability insurance is available upon request.		Subtotal	\$10,430.00
No deposit is required.		TAX (0.00%)	\$0.00
Terms are 1/2 at a reasonable halfway point, and the remaining balance upon completion.		Total	\$10,430.00
Contractor will leave the project clean and complete.			
Any additional repairs that will be needed that we cannot see or that come up unexpectedly will be talked about and approved prior to any work being started or completed.			

QUOTE

Lundberg Specialty Services 601 Eagleton Downs Dr. Suite D Pineville, NC 28134 Phone number: <u>704-926-6577</u> Email: <u>jenlundberg@mail.com</u>		Customer: Town of Weddington/Michael Smith Street: 1924 Weddington Rd. City, State, Zip: Weddington, NC 28104 Phone: <u>704-846-2709</u>	
		Date: July 26, 2016	
Description:	Rate	Quantity	Amount
<p><u>Problem:</u></p> <ul style="list-style-type: none"> • Low-pitch valley (approx. 15 ft.) has no way to drain. The water backs up under shingles and leaks under shingle tabs as water rises. Essentially, this is a design flaw in the construction behind the turret. <p><u>Solution:</u></p> <ul style="list-style-type: none"> • Create a 30 degree slope, or pitch, from the valley down to the gutters. This requires a mini-rafter system with plywood over rafters to create positive drainage. • .60 Gauge, E.P.D.M. rubber roofing will cover the new structure over the ½" insulation board applied to plywood. • This will not be visible from the ground, but will be a permanent solution. • Rafters, plywood insulation and a mechanically fastened, fully adhered roof system, E.P.D.M. • Fix all nail pops on roof and seal. • Caulk and seal chimney. • Planning Room: <ol style="list-style-type: none"> 1. Fix leak on left and right side above planning room on metal standing seam roof. 2. Replace flashing, shingles and fascia boards wherever necessary in affected area. <p>Warranty for Work: 5 Years</p>			

Total Investment \$ 3,168.00

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Dorine Sharp, Planning Board Chairman

DATE: October 10, 2016

SUBJECT: Weddington Pond R-CD Conservation Subdivision Conditional Preliminary Plat

Weddington Pond R-CD Conservation Subdivision Conditional Preliminary Plat

Bonterra Builders submits a subdivision preliminary plat application for an 18 lot Residential Conservation Subdivision on 20.51 acres located off Weddington Road (Highway 84). The Planning Board approved the Sketch Plan on December 22nd, 2015.

Application Information:

Date of Application: May 1st, 2016
Applicant/Developer Name: Bonterra Builders
Parcel ID#: 06156005; 06126004; 06126004A
Property Location: Weddington Road
Existing Zoning: R-CD
Proposed Zoning: R-CD (Conservation Subdivision through the Conditional Zoning process)
Existing Land Use: Residential Conservation
Proposed Land Use: Residential Conservation (CZ)
Parcel Size: 20.51 acres.

Project Information:

Weddington Pond is a proposed 18 lot subdivision on 20.51 acres. The subdivision is located on Weddington Road and is being developed by Bonterra Builders, as an R-CD conservation subdivision.

A conservation subdivision must base the number of proposed lots on a yield plan per *Section 46-42 of the Weddington Subdivision Ordinance*. This yield plan must show the number of lots that would be allowed if the tract was developed as a conventional subdivision with 40,000 square foot lots. Conservation subdivisions shall be density neutral (same number of lots as would be permitted in a conventional subdivision). The site density is 0.92 dwelling units per acre.

Conservation Land Summary:

Section 58-58 (4) of the Weddington Zoning Ordinance stipulates that a minimum of 50% of the gross acreage must be retained as conservation land. Conservation lands must remain conservation lands in perpetuity. This is often done by requiring conservation easements and/or review and approval of neighborhood CCR's. Conservation lands are broken down into three tiers and given different priorities. Weddington Pond has provided 9.482 acres of conservation lands. Easements and right-of-ways are not included within the conservation lands.

Utilities

- Weddington Pond is to be served by Union County Public Water and Sewer.

Access and Traffic Analysis

- The subdivision will be accessed by one entrance on Weddington Road, and the plan also includes a road stub for future connectivity.
- The Town Planner, in coordination with Justin Carroll, determined that the subdivision did not meet the threshold for a formal Traffic Impact Analysis.
- The property is near to the Rea Road extension, but will not be directly impacted by the road improvements

PIMS

- PIMs were held on November 2nd, and November 3rd, both at Town Hall and on-site.
- Questions were general in nature and did not indicate any significant concerns about development of the property.

Additional Information:

- Lot 15 is the largest lot at 20,668 square feet or .48 acres.
- Lot 7 is the smallest lot at 14,583 square feet or .34 acres.

Construction Documents

- USI has provided approval of the stormwater concept plan, and provided one round of review comments on the full set of construction documents.

Recommended Conditions of Approval

1. Final Construction Document approval from US Infrastructure prior to any construction
2. Construction document approval from UCPW prior to any construction
3. Common Open Space for the entrance monument and any other common open space must be labeled on the map to distinguish that property from the conservation land.
4. Change Monroe Weddington Road to Weddington Road Highway 84.

Planning Board Action for the Conditional Rezoning:

Recommended approval with conditions (August 22, 2016)

Town Council Action:

Approve/Approve with Conditions/Deny

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Julian Burton, Zoning Administrator/Planner **This matter was continued from the September TC Meeting**

DATE: September 12th, 2016

SUBJECT: Threshold Church CZ Rezoning Construction Documents – Phase II

The Construction Documents were not included in the Sept. packet so the matter was tabled and is being presented tonight with the appropriate attachments.

Threshold Church requests a conditional zoning (CZ) major amendment for Threshold Church located off of Antioch Church Rd. Phase 1 was approved in 2014 and included parking and a new driveway. Phase II includes a 17,000 square foot building expansion, additional parking, and stormwater management facilities.

Construction Documents

- US Infrastructure has provided an approval of the stormwater concept plan, and a first review of the full construction document set. The set in your packet has not addressed the first round of comments, but changes to the overall site plan are unlikely. If the site plan changes significantly, then the Town Planner will consider another planning board review and recommendation to the Town Council.

Recommended Conditions of Approval:

1. All engineering associated with construction documents to be approved by the engineering consultant, US Infrastructure

Planning Board Action for the Conditional Rezoning:

Recommended approval with conditions (July 25th, 2016)

Town Council Action:

Approve/Approve with Conditions/Deny

L	ANGLE
Q	CENTERLINE
Q	CHANNEL
#	NUMBER
o/w	OTHERWISE
d	PENNY
J	PERPENDICULAR
b	POUNDS
R	PLATE
d'	ROUND (DIAMETER)
w/	WITH
w/o	WITHOUT
AB	ANCHOR BOLT
A/C	AIR CONDITION(ING)
ACS DR	ACCESS DOOR
ACS PNL	ACCESS PANEL
ACST	ACUSTICAL
APC	ACOUSTICAL PANEL CEILING
	AIR DRAIN
ADDM	ADDENDUM
ADH	ADHESIVE
ADJ	ADJUSTABLE
ADMIN	ADMINISTRATION
AFF	ABOVE FINISHED FLOOR
AGG	AGGREGATE
AHR	ANCHOR(AGE)
ALT	ALTERNATE
ALUM	ALUMINUM
AND	ANDZEED
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT(URAL)
ASB	ASBESTOS
ASPH	ASPHALT
ASY	ASSEMBLY
AUTO	AUTOMATIC
AUX	AUXILIARY
	ADVISUOUSLY
AWT	ACOUSTICAL WALL TREATMENT

BB	BULLETIN BOARD
BEV	BEVEL(ED)
BITUM	BITUMINOUS
BL	BUILDING LINE
BLDG	BUILDING
BLKHD	BULKHEAD
BLW	BELOW
BM	BENCH MARK
BN	BULLNOSE
BOS	BOTTOM OF STEEL
BOT	BOTTOM
BRG	BRACING
BRG PL	BEARING PLATE
BRKT	BRACKET
BRZ	BRONZE
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT UP ROOFING
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
CF	CONTRACTOR FURNISHED
CFE	CONTRACTOR FURNISHED EQUIPMENT
CF/OI	CONTRACTOR FURNISHED & INSTALLED
CF/OI	CONTRACTOR FURNISHED/OWNER INSTALLED
CG	CORNER GUARD
CHFR	CHALK BOARD
CI	CHAMFER
CR	CAST IRON
CH BD	CIRCLE
CIRC	CIRCULAR
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
"CLG, HT,	CEILING HEIGHT
CLO	CLOSET
CLL	CONTRACT LIMIT LINE
CLR	CLEAR(ANCE)
CM	CENTIMETER
CMU	CONCRETE MASONRY UNIT
CMPTR	COMPUTER
CNTR	COUNTER
CO	CLEAN OUT
COL	COLUMN
COMB	COMBINATION
COMM	COMMUNICATOR
CONC	CONCRETE
CONC OPNG	CONCRETE OPENING
CONF	CONFERENCE
CONN	CONNECT
CONSTR	CONSTRUCTION
CONT	"CONTINUE, CONTINUOUS"
CONTR	CONTRACTOR
COORD	COORDINATE
CORR	CORRIDOR
CP	CONTROL PANEL
CPT	CARPET
CPRS	COMPRESS(BLE)
CMPS	COMPOSITE
CRMCF	CIRCUINFERENCE
CRS	COLD ROLLED STEEL
CSK	COUNTERSUNK
CSMT	CASEMENT
CT	CERAMIC TILE
CTR	CENTER
CU	COPPER
CU FT	CUBIC FOOT
CU YD	CUBIC YARD

DEL	DELETE
DEMO	DEMOLISH
DEPT	DEPARTMENT
DET	detail
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIST	DISTANCE
DIV	DIVISION
DMFF	DAMP PROOFING
DR	door
DR FR	DOOR FRAME
DS	DOWN SPOUT
DSGN	DESIGN
DWG	DRAWING
DWR	DRAWER

E	EAST
EA	EACH
EF	EACH FACE
EOB	EXTERIOR GYPSUM BOARD
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
EL	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EJ	EXPANSION JOINT
ELAST	ELASTOMERIC
EMR	EMERGENCY
ENCL	ENCLOSURE(D)
ENTR	ENTRANCE
EOS	EDGE OF SLAB
EP	ELECTRIC PANEL BOARD
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EW	ELECTRIC WATER COOLER
EWS	EYE WASH STATION
EXH	EXHAUST
EXP	EXPOSED
EXPN	EXPANSION
EXP-BT	EXPANSION BOLT
EXT	EXTERIOR

FPA	FIRE ALARM
FAS	FASOIA
FAS BD	FASOIA BOARD
FC BRK	FACE BRICK
FD	FLOOR DRAIN
FDTN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
F/F	FACE TO FACE
FE EL	FINISH FLOOR ELEVATION
FGL	FIBERGLASS
FHC	FIRE HOSE CABINET
FHMS	FLATHEAD METAL SCREW
FHWS	FLATHEAD WOOD SCREW
FIN	FINISH(ED)
FIXT	FIXTURE
FLASH	FLASHING
FLX	FLEXIBLE
FLR	FLOOR
FLR	FILLER
FLR FN	FLOOR FINISH
FLUOR	FLUORESCENT
FN	FENCE
FOC	FACE OF CURB
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF SLAB
FOW	FACE OF WALL
FP	FIREFPROOF
FR	FRAME(D)
FRWG	FRAMING
FRTW	FIRE RETARDANT TREATED WOOD
FSNR	FASSTENB
FT	"FOOT, FEET"
FTG	FOOTING
FURG	FURNING
FURN	FURNISH
FUT	FUTURE
FWC	FABRIC WALLCOVERING

GA	GAGE
GALV	GALVANIZED
GALV STL	GALVANIZED STEEL
GC	GENERAL CONTRACTOR
GRC	GLASS FIBER REINFORCED CONCRETE
GRG	GLASS FIBER REINFORCED GYPSUM
GI	GALVANIZED IRON
QIP	GALVANIZED IRON PIPE
QL	GLASS
QL BLK	GLASS BLOCK
QLZ	GLAZING
QLZ CMU	GLAZED MASONRY UNIT
QPC	GYPSUM PLASTER CEILING
GR	GRANITE
GR FL	GROUND FLOOR
GRDM	GRIMMET
GSB	GYPSUM SHEATHING BOARD
GSU	PREFACED GLAZED MASONRY UNIT
CYP	GYPSUM
CYP BD	GYPSUM BOARD
CYP PLAS	GYPSUM PLASTER
HC	HANDICAP
HD	HEAVY DUTY
HDBD	HARDBOARD
HGR	HANGER
HD JT	HEAD JOINT
HBR	HEADER
HDWB	HARDWARE
HDWD	HARDWOOD
HDWL	HEADWALL
HM	HOLLOW METAL
*HNDRL, HRT	HANDRAIL
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING

ID	INSIDE DIAMETER
IF	INSIDE FACE
IFS	INSIDE FACE OF STUD
INFO	INFORMATION
INC	INCREASE
INCAND	INCANDESCENT
INCL	"INCLUDE(D), (NG)"
INSTL	INSTALL
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
IP	IRON PIPE
IRS	IRON PIPE SIZE
IPR	INSIDE RADIUS
JAN CLO	JANITOR CLOSET
KPL	KICKPLATE
KIT	KITCHEN
KD	KNOCKED DOWN
KO	KNOCKOUT

LAB	LABORATORY
LAD	LADDER
LAM	LAMINATE
LAU	LAUNDRY
LAV	LAVATORY
LF	LINEAR FEET
LH	LEFT HAND
LIB	LIBRARY
LKR	LOCKER
LL	LEAD LINED
LL GB	LEAD-LINED GYPSUM BOARD
LMST	LIMESTONE
LPT	LOW POINT
LT	LIGHT
LT WT	LIGHTWEIGHT
LVR	LOUVER
LWC	LIGHTWEIGHT CONCRETE

m	METER
MAINT	MAINTENANCE
MATL	MATERIAL
MAX	MAXIMUM
MBR	MEMBER
MECH	MECHANICAL
MED	MEDIUM
MEZZ	MEZZANINE
MFG	MANUFACTURING
MFR	MANUFACTURER
MGT	MANAGEMENT
MH	MAN HOLE
MIN	MINIMUM
MIRR	MIRROR
MISC	MISCELLANEOUS
MLDG	MOLDING
MLWK	MILLWORK
mm	MILLIMETER
MO	MASONRY OPENING
MOD	MODULE
MR	MOISTURE RESISTANT
MSP	MOP SINK
MT	METAL THRESHOLD
MTG	MOUNTED
MTG	MOUNTING
MTL	METAL
MTG	MEETING
MULL	MULLION
MVP	MOVABLE
MBM	MEMBRANE WATERPROOFING

N	NORTH
NAT	NATURAL
NCR	NOISE REDUCTION COEFFICIENT
NIC	NOT IN CONTRACT
NOM	NOMINAL
NR	NOISE REDUCTION
NTS	NOT TO SCALE

OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OF/CI	OWNER FURNISHED/CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED & INSTALLED
OH	OPPOSITE HAND
OPNG	OPENING
OPQ	OPAQUE
OPT	OPTIONAL
OPP	OPPOSITE
OR	OPERATING ROOM
ORD	OVERFLOW ROOF DRAIN

PAR	"PARALLEL, PARAPET"
PBD	PARTICLE BOARD
PCC	PRECAST CONCRETE
PCF	POUNDS PER CUBIC FEET
PCP	PORTLAND CEMENT PLASTER
PED	PEDESTAL
PERF	PERFORATED
PERIM	PERIMETER
PH	PENTHOUSE
PHAR	PHARMACY
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLF	POUNDS PER LINEAR FOOT
PLYWD	PLYWOOD
PNL	PANEL
POL	POLISHED

PR	PAIR
PREFAB	PREFABRICATED
PREFIN	PREFINISH
PREFMD	PREFORMED
PRKG	PARKING
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	point
PT	POST-TENSIONED
PTN	PARTITION
PVC	POLYVINYL CHLORIDE (PLASTIC)
PVG	PAVING

QTR	QUARTER
QTY	QUANTITY

R	RADIUS
R	RISER
RA	RETURN AIR
RAB	RABBETED
RB	RUBBER BASE
RB	RESILIENT BASE
RBR	RUBBER
RCR	REFLECTED CEILING PLASTER
RCR	REINFORCED CONCRETE PIPE
RCRN	RECEPTION
RD	ROOM
RDG	RIG "HSD (HARD INSULATION, SOUND)"
REFB	REFERENCE
REF	REFRIGERATOR
REIN ^F	REINFORCE
REQD	REQUIRED
RESIL	RESILIENT
REV	REVISION
RF	RESILIENT FLOORING
RFG	ROOFING
RH	RIGHT HAND
RH	ROOF HATCH
RHR	RIGHT HAND REVERSE
RL	ROOF LEADER
RLG	RAILING
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY

S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SCP	SCUPPER
SD	STORM DRAIN
SECT	SECTION
SF	SQUARE FEET
SHR	SHOWER
SHR HD	SHOWER HEAD
SHV	SHELVING
SM	SMILAR
SPEC	SPECIFICATION
SPKR	SPEAKER
SQ	SQUARE
SS	SERVICE SINK
SP	STAIRNPEE
SS	STANDING SEAM (ROOF)
SST	STAINLESS STEEL
STA	STATION
STD	STANDARD
STL PL	STEEL PLATE
STB	STEEL TUBE
STOP	STOP
STRUCT	STRUCTURE
SUPR	SUPERVISOR
SURF	SURFACE
SUSP	SUSPENDED
SYMM	SYMMETRICAL
SYNTH	SYNTHETIC
SYS	SYSTEM

T/	TOP OF
TEL	TELEPHONE
TEMP	TEMPORARY
THK	TOP OF FINISH FLOOR
THF	THICKNESS
THRESH	THRESHOLD
THRU	THROUGH
TK BD	TACKBOARD
TMPL	TEMPERED GLASS
TO	TOP OF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE, TOP OF
TOF	TOP OF FOOTING
TOJ	TOP OF JOIST
TOL	TOLERANCE
TOM	TOP OF MASONRY
TOP	TOP OF PARAPET
TOS	TOP OF SLAB, TOP OF STE
TOW	TOP OF WALL
TRTD	TREATED
TS	TUBE STEEL
TV	TELEVISION
Typ	TYPICAL
UC	UNDERCUT
UL	UNDERWRITERS LABORATORIE
UNFN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE

VAR	VARIABLES
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VJ	V-JOINT
VNR	VENEER
VR	VAPOR RETARDER

W	"WEST, WIDE"
W/	WITH
W/O	WITHOUT
WB	WOOD BASE
WBL	WOOD BLOCKING
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WF	WIDE FLANGE
WH	WEEP HOLE
WGL	WIRED GLASS
WLD	WELDED
WP	WORKING POINT
WR	WATERPROOFING
WR	WATER REPELLENT
WS	WEATHERSTRIP
WST	WAINSCOT
WT	WEIGHT
W/W	WALL TO WALL
WVF	WELDED WIRE FARRIC

YD YARD

DETAIL MARK

DETAIL NUMBER — — SHEET REFERENCED FROM

SHEET REFERENCED TO

ELEVATION MARK

ELEVATION NUMBER — — SHEET REFERENCED FROM

SHEET REFERENCED TO

INTERIOR ELEVATION MARK

ELEVATION NUMBER — — SHEET REFERENCED FROM

SHEET REFERENCED TO

SECTION MARK

SECTION NUMBER — — SHEET REFERENCED FROM

SHEET REFERENCED TO

ROOM NAME / NUMBER

ROOM NAME — — LOBBY

ROOM NUMBER — — 101

REVISION MARK

REVISION NUMBER — — CURRENT REVISION IS CLOUDED

WINDOW TYPE

WINDOW DESIGNATION — —

CEILING HEIGHT

— '+9'-0" AFF

PARTITION TYPE

PARTITION DESIGNATION — —

DOOR NUMBER

DOOR NUMBER — —

ELEVATION MARKER

—

DEMOLITION MARK

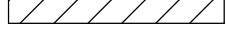
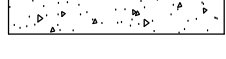
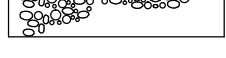
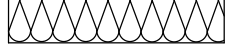
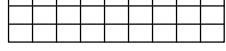


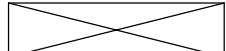
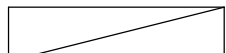
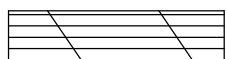



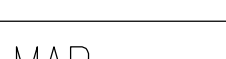
DEMOLITION NOTE NO. — —

KEY NOTE

KEY NOTE NO. — —

FLOOR FINISH TRANSITION MARKER

LINE OF MATERIAL TRANSITION — —

	BRICK
	CONCRETE MASONRY UNIT
	CONCRETE
	CRUSHED STONE
	BATT INSULATION
	RIGID INSULATION
	STEEL
	WOOD FINISHED
	WOOD ROUGH
	WOOD BLOCKING
	PLYWOOD
	GYP SUM WALLBOARD
	INSULATION/FIRE RATING
	EARTH

MADISON HIGHWAY

CEDAR LANE

ASANDA DRIVE

ANTIOCH HIGHWAY

BROOKHAVEN SUBDIVISION

FOREST LAWN DR

SITE

ANTIOCH ELEMENTARY SCHOOL

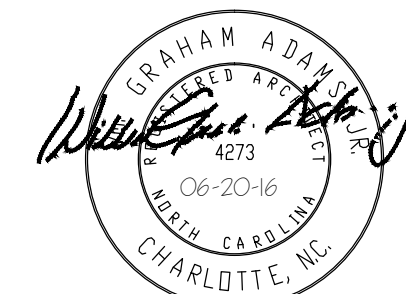
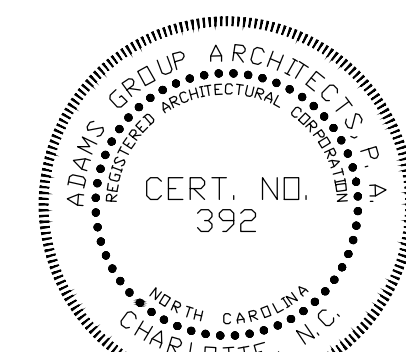
<u>GENERAL</u>	GENERAL INFORMATION
G-101	
<u>CIVIL</u>	
SP-1	COVER SHEET
SP-2	OVERALL SITE PLAN
L-1	SITE PLAN DETAIL
G-1	LANDSCAPE PLAN
S-1	GRADING PLAN
S-2	STORMWATER CONCEPT
S-3	STORMWATER PLAN PRO
S-3-1	STORMWATER PLAN PR
S-4	STORMWATER PLAN DR
E-1	EROSION CONTROL PL
E-2	EROSION CONTROL PL
E-3	EROSION CONTROL PL
U-1	UTILITY PLANS
D-1	CONSTRUCTION DETAIL
D-2	CONSTRUCTION DETAIL
D-3	CONSTRUCTION DETAIL

A-101 FLOOR PLAN
A-121 ENLARGED PLANS, DOORS AND WINDOWS
A-301 ELEVATIONS
A-302 ELEVATIONS
A-401 ROOF PLAN

E-100	ELECTRICAL FLOOR PLAN LIGHTING
E-500	PANEL SCHEDULES



Adams *group*
ARCHITECTS
11111 Carmel Commons Blvd. STE 160, Charlotte, N.C. 28226



100% CONSTRUCTION
DOCUMENT

THRESHOLD CHURCH
3127 WEDDINGTON RD.
MATTHEWS, NC 28105

PROJECT NUMBER: 421

ISSUE DATE:
06-20-16

REVISIONS

No.	DATE
No.	DATE
No.	DATE
No.	DATE
No.	DATE
No.	DATE

GENERAL INFORMATION

G-101

THRESHOLD CHURCH

SITE PLAN - PHASE 2

Antioch Church Road
Town of Weddington
North Carolina
Project Number: 14041
Date: June 22, 2016

APPLICANT

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554
richard.wilson@thresholdchurch.com

SURVEYOR

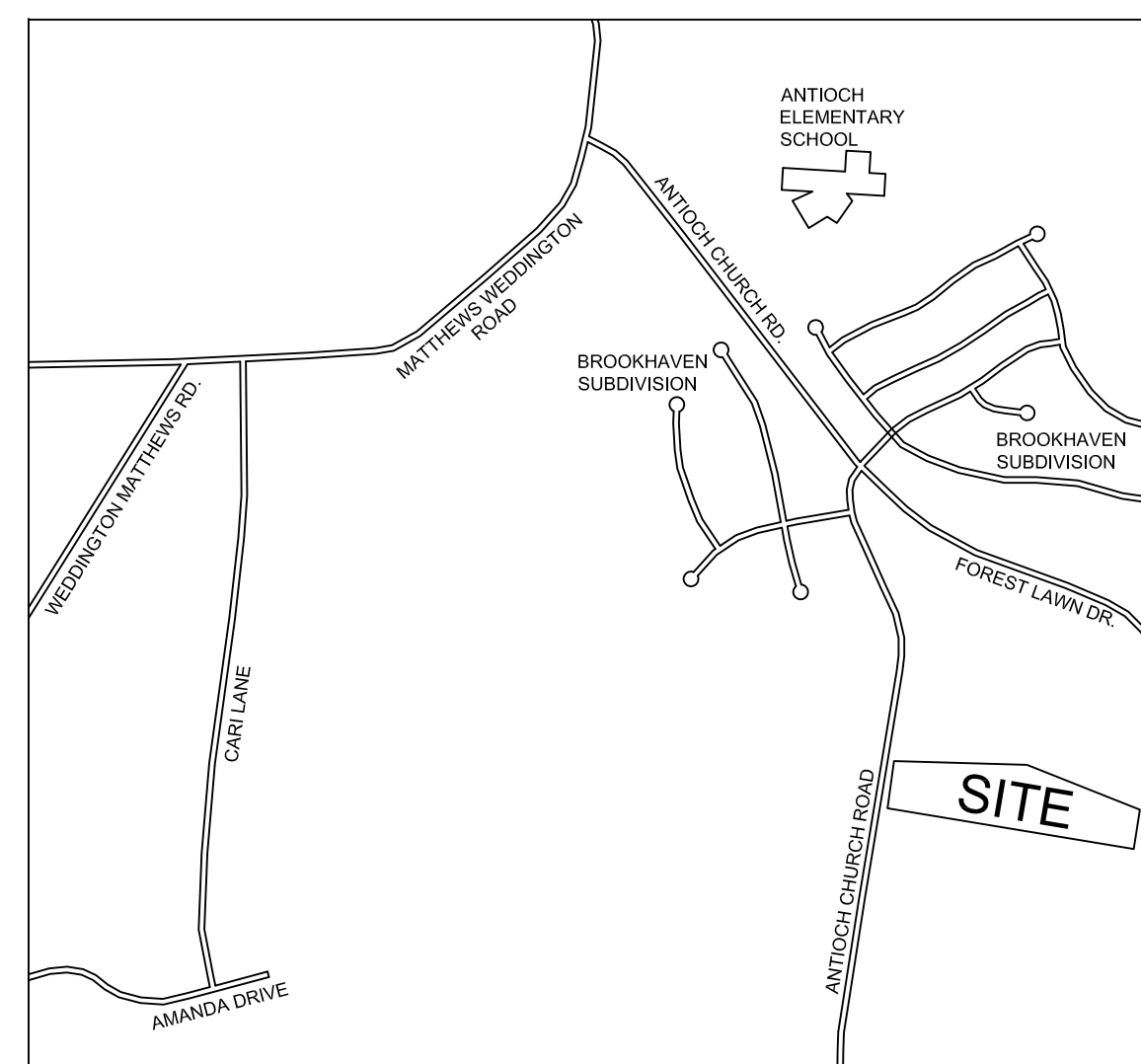
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704.608.4206
jking@providencelandgroup.com

ENGINEER

Construction Materials Engineering
& Consulting, PC
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704.323.7334
jmagennis@cmeccnc.com

SHEET INDEX

SP-1	SITE PLAN
SP-2	SITE PLAN DETAIL
L-1	LANDSCAPE PLAN
G-1	GRADING PLAN
S-1	STORMWATER CONCEPT PLAN
S-2	STORMWATER PRE-DEVELOPMENT PLAN
S-3	STORMWATER POST-DEVELOPMENT PLAN
S-4	DRAINAGE AREA PLAN
E-1	EROSION CONTROL PLAN - PHASE 1
E-2	EROSION CONTROL PLAN - PHASE 2
E-3	EROSION CONTROL DRAINAGE AREAS
U-1	UTILITY PLAN
D-1 TO D-3	CONSTRUCTION DETAILS



LOCATION MAP
SCALE: 1" = 1,000'

CMEC, PC

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Engineering & Consulting, PC
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FOR REVIEW

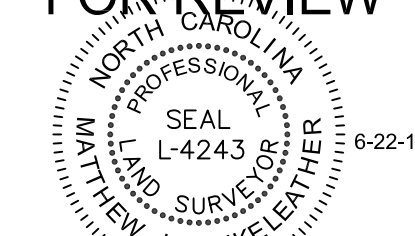


PRELIMINARY



Contractor shall notify "North Carolina One Call" (811) to have utilities located at least 72 hours prior to beginning construction or excavation. Contractor shall contact any local utilities that provide their own location services independent of "North Carolina One Call". Any discrepancies should be reported to the engineer immediately.

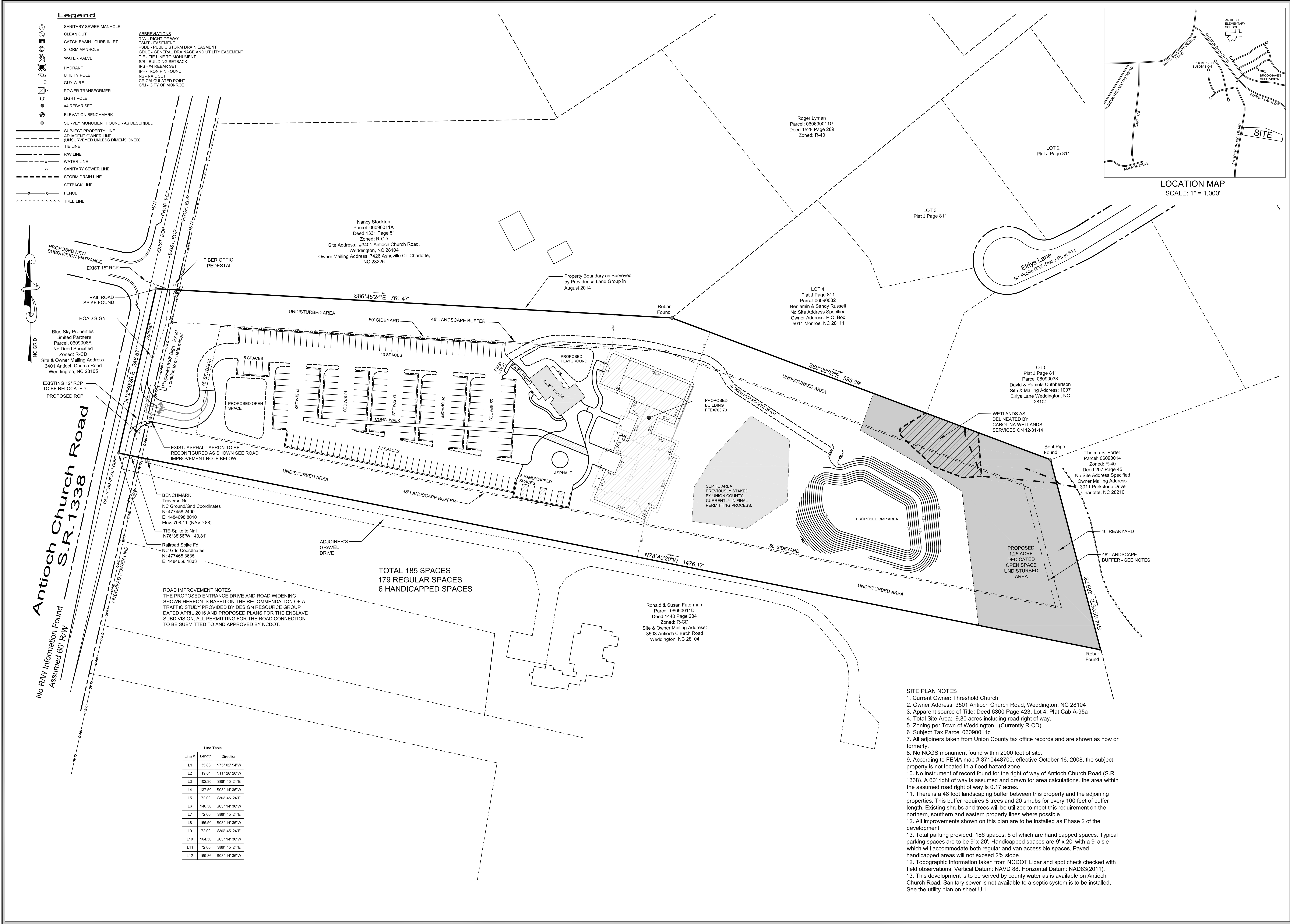
FOR REVIEW



PRELIMINARY



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PRELIMINARY

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

0' 30' 60'

SCALE: 1" = 60'

Project Name

Threshold Church Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Overall Site Plan

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016

Drawn By

Jason C. King

Checked By

James P. Magennis
M. Jay Stickleather

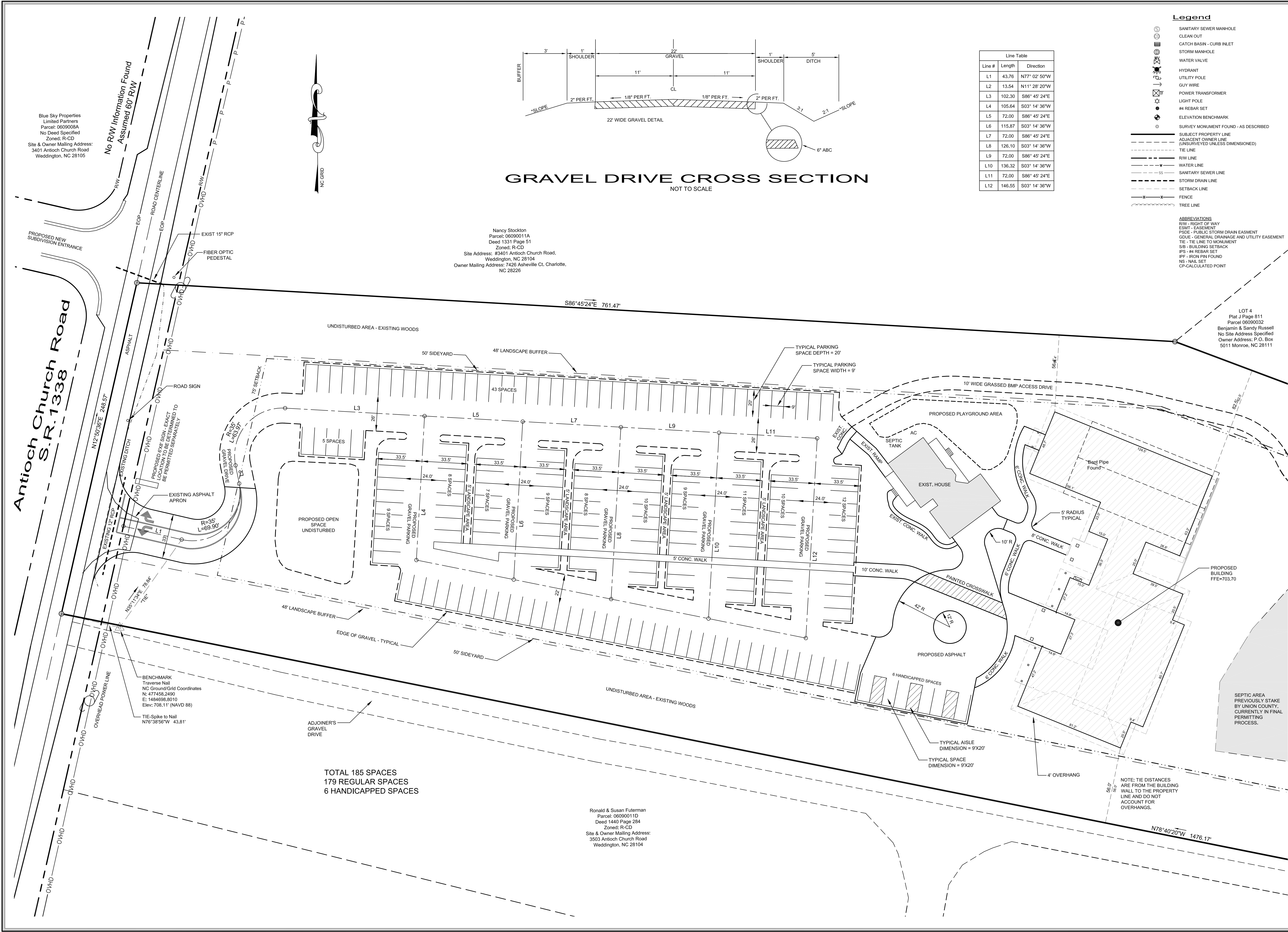
Job Number

14041

Sheet Number

14041-Ph2-Base.dwg

SP-1



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6-22-16

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6-22-16

PRELIMINARY

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

30' 0' 15' 30'

SCALE: 1" = 30'

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Site Plan Detail

Date Issued For Rev

6/22/16 First Submittal 0

Print Date

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Drawn By

Jason C. King

Checked By

James P. Magennis
M. Jay Stikleather

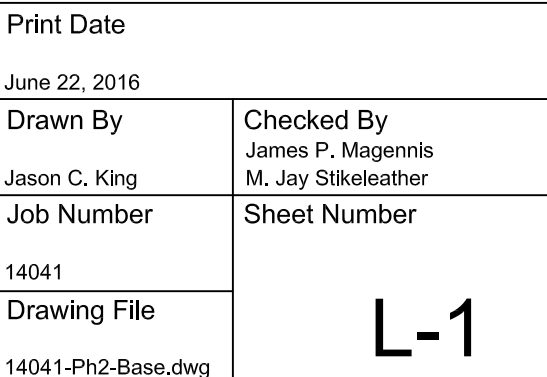
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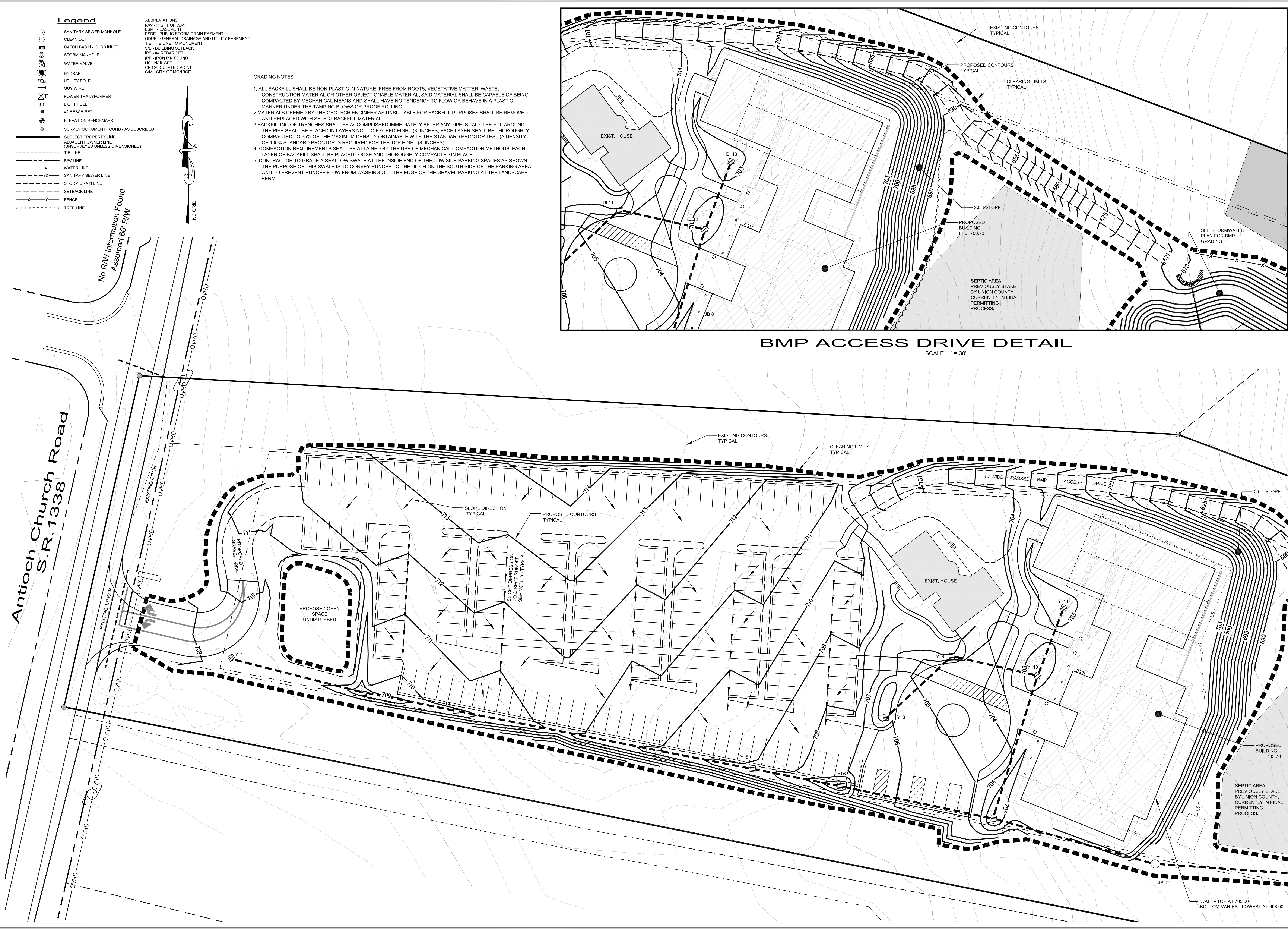
14041

Sheet Number

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SP-2





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PRELIMINARY

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PRELIMINARY

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

30' 0' 15' 30'
SCALE: 1" = 30'

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

Grading Plan

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikleather

Job Number	Sheet Number
14041	G-1

Drawing File

14041-Ph2-Base.dwg

PROJECT DESCRIPTION

The purpose of this project is to construct a new building and expand the existing parking area for Threshold Church. The church is currently using the existing house and the smaller parking area as an office. The church intends to continue to use the existing house as an office and build a new permanent church facility on site for the entire congregation to use for worship. The approximate area of the proposed disturbance will be 5.1 acres for this phase of development. See sheet the disturbed area shown hereon. The overall site is 9.8 acres and is located in Union County off Antioch Church Road and lies within the town limits of Weddington, NC. See the Vicinity map for more details on the site's location.

SITE DESCRIPTION

Currently the site is wooded except for the area immediately adjacent to the existing house, and the gravel parking area that was installed in phase 1 of this project. It appears that the eastern portion of the site was once used for pasture and has grown up with volunteer vegetation, whereas the western half is covered with more mature, open woods. The slopes on the eastern half of the property from the existing house up to Antioch Church Road are moderate, 3 to 4%, with steeper slopes from the house to the rear property line with slopes of 6 to 8% down to a stream. There is no evidence of existing erosion problems onsite as it has been stabilized and covered with vegetation for a significant time period. There are some large oaks near the road right-of-way that appear to have been present before the field area was left to grow over that will be saved as part of this plan.

There is an area of wetlands as shown on this plan that was delineated by Carolina Wetlands Services. There is a small wetlands and some channels leading down to the perennial stream. These areas will be isolated from the rest of the project and protected in a dedicated, undisturbed area.

According to FEMA Firm panel # 3710448700, effective October 16, 2008, this site is not located in a special flood hazard area.

ADJACENT PROPERTIES

The site is located in a rural, residential area. The properties immediately adjacent to the subject site include single family residences and a mix of woods and grassed fields. There are a few single family developments in the area, but most of the nearby properties are approximately 10 acres or more in size. There is a small stream on the western side of the property that will be protected by an over 600' stretch of existing woods and vegetation. No disturbance will occur near the existing stream.

This project is located in the West Twelve Mile Creek drainage basin in Union County, NC and runoff from this site ultimately runs to the Catawba River. There are no known riparian buffers required on this site.

SOIL DESCRIPTION

According to the Union County soil survey, the soils for this site are predominately from the Gaston, Cecil, and Tatum series, specifically ApB, CeB2, LdB2, TbB2, and SCA. The first 4 soils types listed tend to be deep, well drained, and moderately permeable. Generally, the Tatum series soils are not well suited for urban development, but this area will not be used for structural improvements, only the water quality pond. The developed area will be in the Appling, Cecil, and Lloyd soils which are more conducive to urban development; however, there is an above average hazard for erosion in these soils once the vegetation is removed, so extra care will be taken in the grading process to minimize this issue. The primary strategy for eliminating erosion problems during construction will be to finish the grading operations quickly and establish new ground cover as soon as possible. Additional erosion controls will be implemented during construction as well. These controls are detailed on sheet E-1 of the construction plans. There is also small area of soils from the Secrest-Cid complex, which are poorly drained soils along drainageways and creeks. This area is found along the creek in the rear of the property and will not be disturbed.

STORMWATER MANAGEMENT

The primary stormwater control for this site will be the proposed pond in the rear of the property. It will function as a skimmer basin during site construction as detailed in the erosion section of this plan, and as a water quality pond after stabilization of the site. As previously discussed, the majority of the property drains to the rear currently and after grading of the site. Storm drain pipe and catch basins will be used to divert runoff from the small area up front to the rear. By this method, all stormwater runoff can be controlled by the proposed pond.

During phase 1 of the erosion control plan, which would be after clearing and grubbing, but before the storm drain pipe is installed, the small area up front will be controlled with silt fence. The rest of the site will drain to the back through a combination of overland flow and a temporary diversion ditch on the southern side of the property. During phase 2, runoff will flow through the storm drain system to the pond. The storm drains will be protected from silt with inlet protection until the site is stabilized.

The proposed pond design is shown below. This pond is more than adequate to detain the 2,10, 25, 50 and 100 year, 24-hour storm to pre-development rates. After the site is stabilized the pond will be converted to a dry, water quality pond and reconfigured to serve as a post-construction stormwater control structure. The design for post-construction will be approved by NCDENR.

After construction, Threshold Church will be responsible for the operation and maintenance of the water quality pond.

CONSTRUCTION SCHEDULE

1. Obtain proper permits from NC DENR and the Town of Weddington.
2. Surveyor to flag clearing limits for the project.
3. Hold preconstruction meeting at least one week before beginning work on site.
4. Install temporary construction entrance.
5. Grade temporary diversion ditch on south side of property.
6. Build pond in rear of property for sediment control.
7. Complete clearing of the site and install silt fence.
8. Rough grade site.
9. Complete final grading and place gravel in the drive and parking areas.
10. Seed site per vegetation schedule to achieve site stabilization.
11. Inspect erosion control measures weekly or after rainfall events until the site is stabilized.
12. After stabilization is complete, removed silt fence and other temporary erosion control measures.
13. Convert pond to post-construction design for water quality.
14. Estimated time before final stabilization, 2 months.

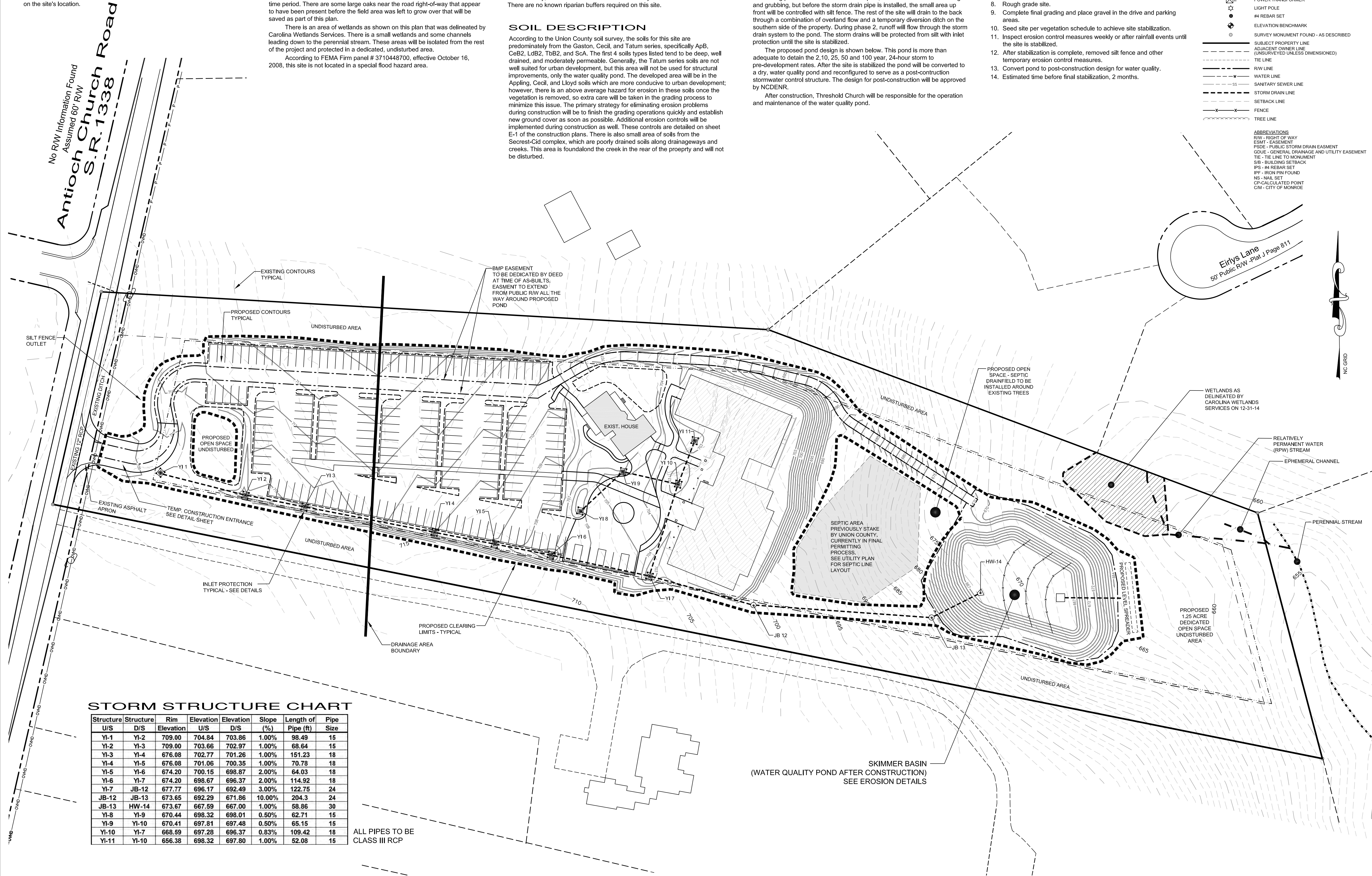
Legend

Legend

- SANITARY SEWER MANHOLE
- CLEAN OUT
- CATCH BASIN - CURB INLET
- STORM MANHOLE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- GUY WIRE
- POWER TRANSFORMER
- LIGHT POLE
- #4 REBAR SET
- ELEVATION BENCHMARK
- SURVEY MONUMENT FOUND - AS DESCRIBED
- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- RW LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TREE LINE

ABBREVIATIONS

- RW - RIGHT OF WAY
- ESMT - EASEMENT
- PSDE - PUBLIC STORM DRAIN EASEMENT
- GOUE - GENERAL DRAINAGE AND UTILITY EASEMENT
- TIE - TIE LINE TO MONUMENT
- SIB - BUILDING SETBACK
- IPF - IRON PIN FOUND
- NS - NAIL SET
- CP-CALCULATED POINT
- C/M - CITY OF MONROE



STORM STRUCTURE CHART

Structure	Structure	Rim	Elevation	Elevation	Slope	Length of	Pipe
U/S	D/S	Elevation	U/S	D/S	(%)	Pipe (ft)	Size
YI-1	YI-2	709.00	704.84	703.86	1.00%	98.49	15
YI-2	YI-3	709.00	703.66	702.97	1.00%	68.64	15
YI-3	YI-4	676.08	702.77	701.26	1.00%	151.23	18
YI-4	YI-5	676.08	701.06	700.35	1.00%	70.78	18
YI-5	YI-6	674.20	700.15	698.87	2.00%	64.03	18
YI-6	YI-7	674.20	698.67	696.37	2.00%	114.92	18
YI-7	JB-12	677.77	696.17	692.49	3.00%	122.75	24
JB-12	JB-13	673.65	692.29	671.86	10.00%	204.3	24
JB-13	HW-14	673.67	667.59	667.00	1.00%	58.86	30
YI-8	YI-9	670.44	698.32	698.01	0.50%	62.71	15
YI-9	YI-10	670.41	697.81	697.48	0.50%	65.15	15
YI-10	YI-7	668.59	697.28	696.37	0.83%	109.42	18
YI-11	YI-10	656.38	698.32	697.80	1.00%	52.08	15

ALL PIPES TO BE CLASS III RCP

Surveyor

Providence

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3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

PRELIMINARY

6-22-16

Engineer

CMEC, PC

Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334

PRELIMINARY

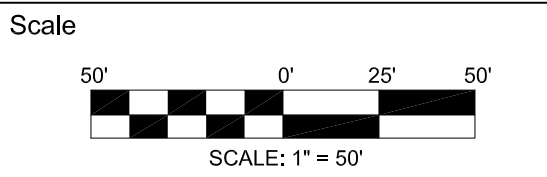
6-22-16

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Client Name

Threshold Church

3127 Weddington Road
Matthews, NC 28105
704.578.6554



Project Name

Threshold Church
Phase 2

Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater
Concept Plan

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016

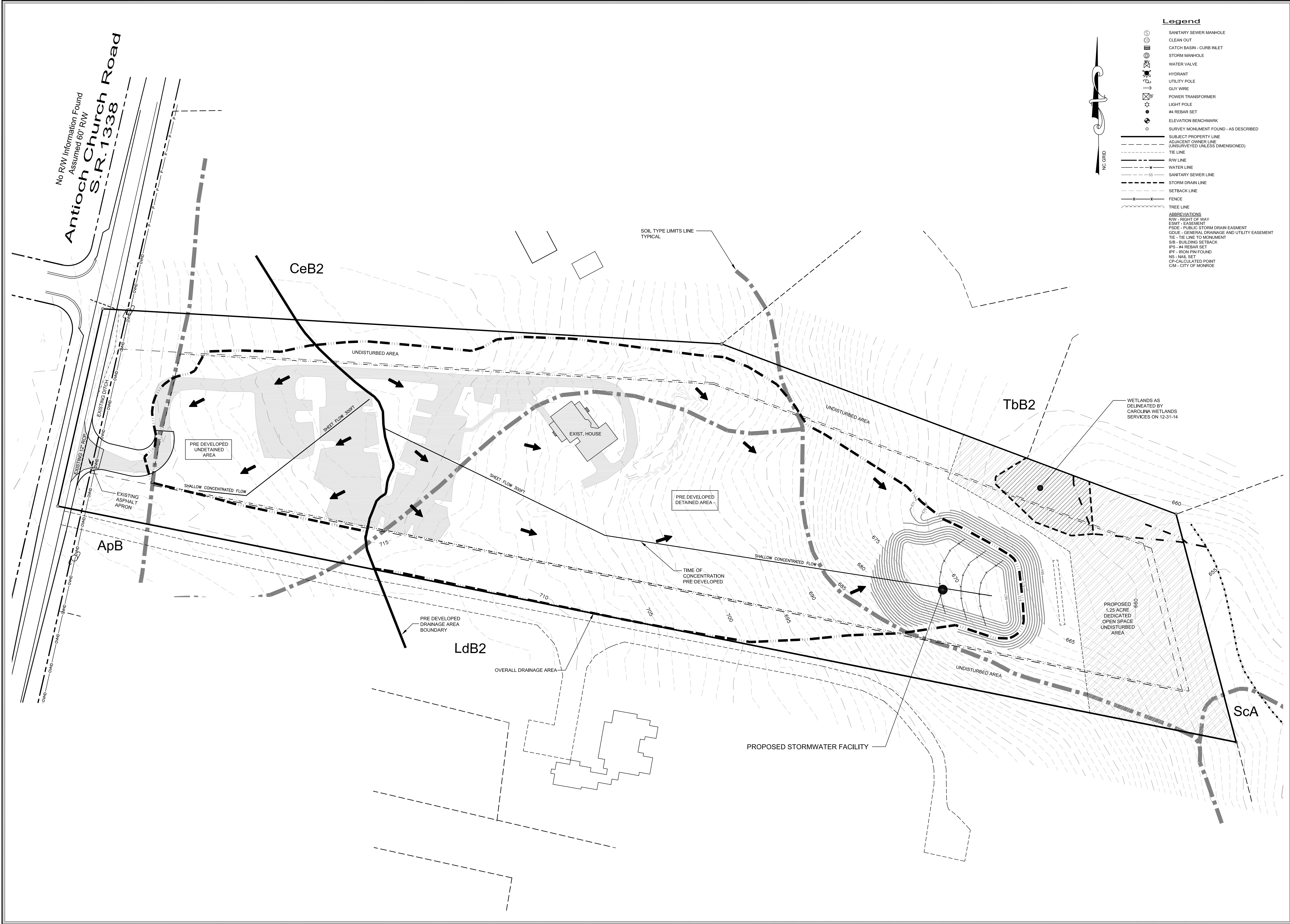
Drawn By
Jason C. King

Checked By
James P. Magennis
M. Jay Stickleather

Job Number
14041

Sheet Number
S-1

Drawing File
14041-Ph2-Base.dwg



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6-22-16

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6-22-16

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Project Name

Threshold Church Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater Plan Pre-Developed

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

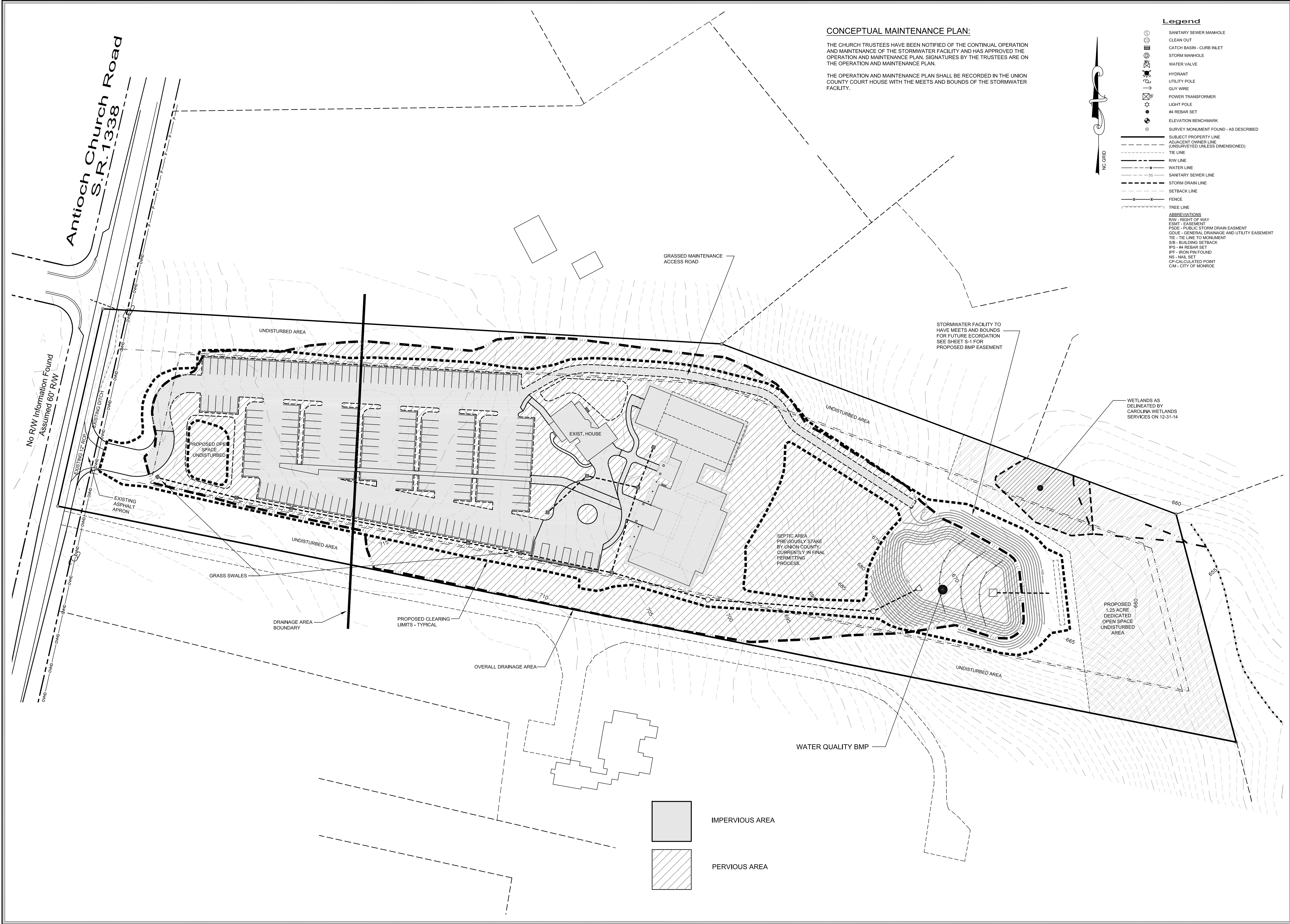
June 22, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikleather

Job Number	Sheet Number
14041	

Drawing File	
14041-Ph2-Base.dwg	

S-2



Surveyor

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Construction Materials
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Charlotte, NC 28217
704.323.7334

6-22-16

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

50' 0' 25' 50'
SCALE: 1" = 50'

Project Name

Threshold Church Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater Plan Post Developed

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

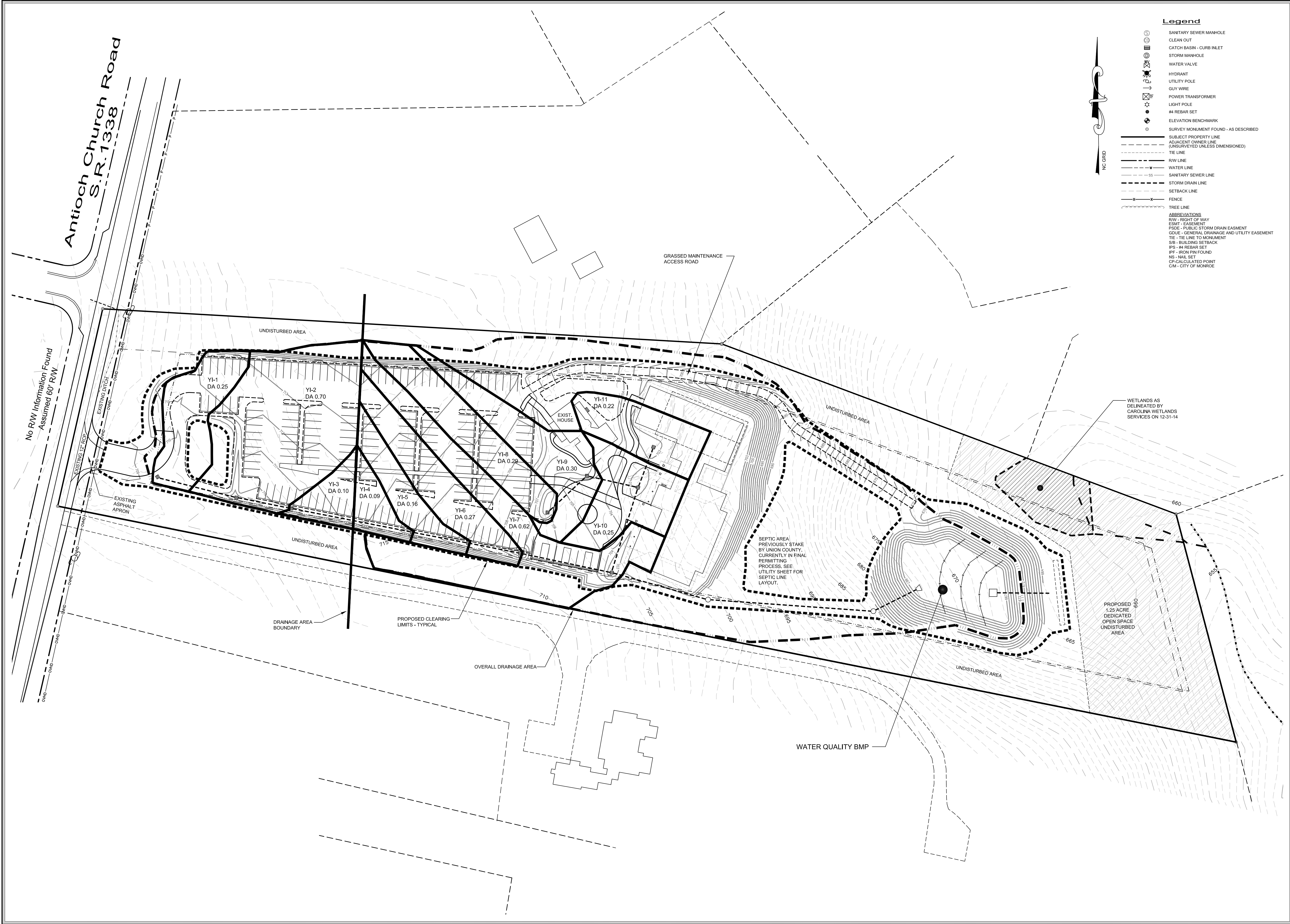
June 22, 2016

Drawn By	Checked By
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Job Number	Sheet Number
14041	

Drawing File	
14041-Ph2-Base.dwg	

S-3



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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater Plan
Drainage Areas

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis
Job Number	Sheet Number

14041	S-4
14041-Ph2-Base.dwg	

EROSION AND SEDIMENT CONTROL PLAN

PURPOSE:

THE PURPOSE OF THIS EROSION & SEDIMENT CONTROL PLAN IS FOR THE GRADING OF A FUTURE SITE

GENERAL NOTES:

1. DURING CONSTRUCTION AND UNTIL TURF IS ESTABLISHED, USE THE DESIGNED EROSION DEVICES AS SHOWN ON DETAIL SHEETS AND MAINTAIN AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION RUNOFF.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL VERIFY LOCATION AND AVAILABILITY OF ALL UTILITIES AFFECTING THE PROJECT ON AND OFF THE SITE.
4. ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING, REMOVE ALL MATERIALS OF WHATEVER SUBSTANCE ENCOUNTERED.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY/STATE ENGINEERING DEPARTMENT.
6. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING ALL UTILITY CONSTRUCTION.
7. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY CONSTRUCTION. CONTRACTOR MUST VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
8. 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT N.C. ONE-CALL 1(800) 632-4949 FOR UNDERGROUND UTILITIES LOCATION.
9. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
10. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON PLAN. ALL GRADED SLOPES MUST BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETION OF GRADING. ALL REMAINING AREAS ARE TO BE SEEDED AND MULCHED WITHIN 14 DAYS.
11. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1
12. ALL FILL MUST BE PLACED IN MAXIMUM 1 FOOT LIFTS TO A MINIMUM 95% COMPACTION. N.C. STATE BUILDING CODE FOR 3000psf MINIMUM COMPACTION IS REQUIRED IN BUILDING AREA.
13. ANY CUT AND/OR FILL SLOPE EXCEEDING 10' IN HEIGHT IS TO HAVE A SLOPE DRAIN INSTALLED AT TOP OF SLOPE. SLOPE DRAIN TO REMAIN UNTIL DRAINAGE AREA HAS STABILIZED.

EROSION CONTROL CONSTRUCTION NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CLEARING OPERATIONS. NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL OF THE NCDENR.
2. ANY FAILURE TO MAINTAIN EROSION CONTROL MEASURES WILL RESULT IN APPROPRIATE ENFORCEMENT ACTIONS IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NCGS CHAPTER 113A, ARTICLE 4), AND THE NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CHAPTER 4.
3. ANY EXISTING STREETS THAT ARE AFFECTED BY MUD, DEBRIS, OR SEDIMENT SHALL BE CLEANED WITHIN 24 HOURS OF NOTICE.
4. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN (2:1 IN CUT AND 3:1 IN FILL) THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
5. TOPOGRAPHY FROM A FIELD RUN TOPOGRAPHIC SURVEY BY PROVIDENCE LAND GROUP.
6. TEMPORARY DITCHES TO HAVE A 10% MAXIMUM SLOPE. DITCHES TO BE TEMPORARILY SEEDED.
7. ANY NEW TRAP OR BASIN NEEDS TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.

CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING PERMIT FROM NCDEQ AND SET UP PRE-CONSTRUCTION CONFERENCE ON-SITE WITH THE EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES. (704)-663-1699.
2. INSTALL CONSTRUCTION ENTRANCE INTO PROPERTY.
3. CLEAR ONLY AREA NECESSARY TO INSTALL SILT FENCE AND SEDIMENT BASIN AREA.
4. WHEN ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND ARE FULLY FUNCTIONAL, CALL FOR INSPECTION OF DEVICES. ONCE APPROVED, BEGIN CLEARING.
5. HAVE SITE INSPECTIONS FOR PHASES OF CONSTRUCTIONS AS NECESSARY TO COMPLY WITH THE SELF INSPECTION PROGRAM.
6. MAINTENANCE OF EROSION CONTROL DEVICES WILL BE DONE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL OF 0.5 INCH OR GREATER. A DAILY LOG BOOK OF CONSTRUCTION ACTIVITY IS TO BE KEPT OF ALL MAINTENANCE IN COMPLIANCE WITH THE LATEST NPDES PERMITTING STANDARDS.
7. TRANSITION EROSION SEDIMENT CONTROL DEVICES AS GRADES CHANGE.
8. USE TEMPORARY AND PERMANENT SEEDING AS NECESSARY.
9. AFTER COMPLETION OF THE PROJECT CALL FOR A FINAL INSPECTION AND TERMINATE GRADING PERMIT.

STOCKPILE NOTE:

ALL MATERIAL IS TO REMAIN ON-SITE. TOP SOIL IS TO BE STRIPPED AND USED IN FINAL LOT GRADING OUTSIDE OF BUILDING PAD OR ON SLOPE SURFACES AND NON-STRUCTURAL AREAS. STOCKPILED MATERIAL FOR SEDIMENT BASIN CLOSURE SHALL BE PLACED ON ADJACENT LOTS TO BASIN COMPACTED AND STABILIZED.

SITE NOTES:

ALL CONTOUR ELEVATIONS ARE BASED ON A SURVEY FROM PROVIDENCE LAND GROUP. ANY ISSUES PERTAINING TO ELEVATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION.

Legend

- SANITARY SEWER MANHOLE
- CLEAN OUT
- CATCH BASIN - CURB INLET
- STORM MANHOLE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- GUY WIRE
- POWER TRANSFORMER
- LIGHT POLE
- #4 REBAR SET
- ELEVATION BENCHMARK
- SURVEY MONUMENT FOUND - AS DESCRIBED
- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- R/W LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TREE LINE
- ABBREVIATIONS
- R/W - RIGHT OF WAY
- ESMT - EASEMENT
- PSDE - PUBLIC STORM DRAIN EASEMENT
- GOUE - GENERAL DRAINAGE AND UTILITY EASEMENT
- TIE - TIE LINE TO MONUMENT
- SB - BUILDING SETBACK
- IPS - #4 REBAR SET
- IPF - IRON PIN FOUND
- IPS - NAIL SET
- CP - CALCULATED POINT
- C/M - CITY OF MONROE

CONTACT:
JAY STIKLEATHER - 704-400-0117

WATERSHED:
THE SITE IS LOCATED WEST TWELVE MILE CREEK BASIN IN THE CATAWBA RIVER BASIN

SOILS NOTES:
THE SOILS IN THIS AREA ARE:
CECIL - Csb2 HYDROLOGIC GROUP "B"
LLOYD - LbB2 HYDROLOGIC GROUP "B"
TARRUS - TbB2 HYDROLOGIC GROUP "B"
APPLING - WbD HYDROLOGIC GROUP "B"

LOCATION:
LATITUDE 35.0500° LONGITUDE 80.7199°

Surveyor

Providence
Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #A356

PRELIMINARY

Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334

PRELIMINARY

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale
50' 0' 25' 50'
SCALE: 1" = 50'

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Erosion Control
Plan - Phase 1

Date Issued For Rev
6/22/16 First Submittal 0

Print Date

June 22, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

14041-Ph2-Base.dwg

Checked By

James P. Magennis

M. Jay Stikleather

Sheet Number

E-1

STABILIZATION NOTE:
ALL SLOPES GREATER THAN A 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING OPERATIONS. ALL OTHER SLOPES TO BE STABILIZED WITHIN 14 DAYS AFTER GRADING OPERATIONS.

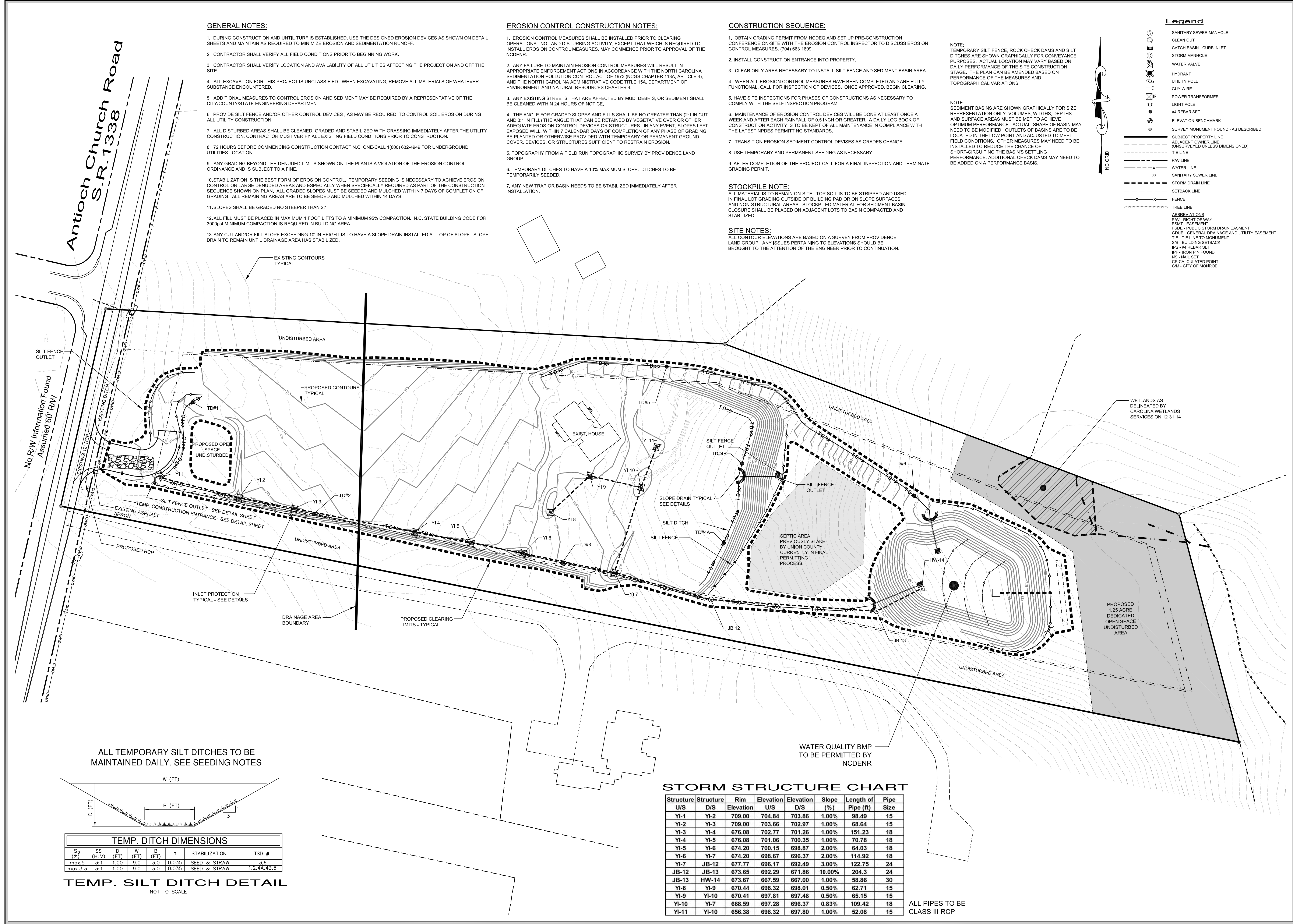
INSTALLATION AND MAINTENANCE:
ALL SILT FENCE AND SILT FENCE OUTLETS SHOULD HAVE ADEQUATE INSTALLATION AND MAINTENANCE. SILT FENCE OUTLET LOCATIONS TO BE FIELD DETERMINED.

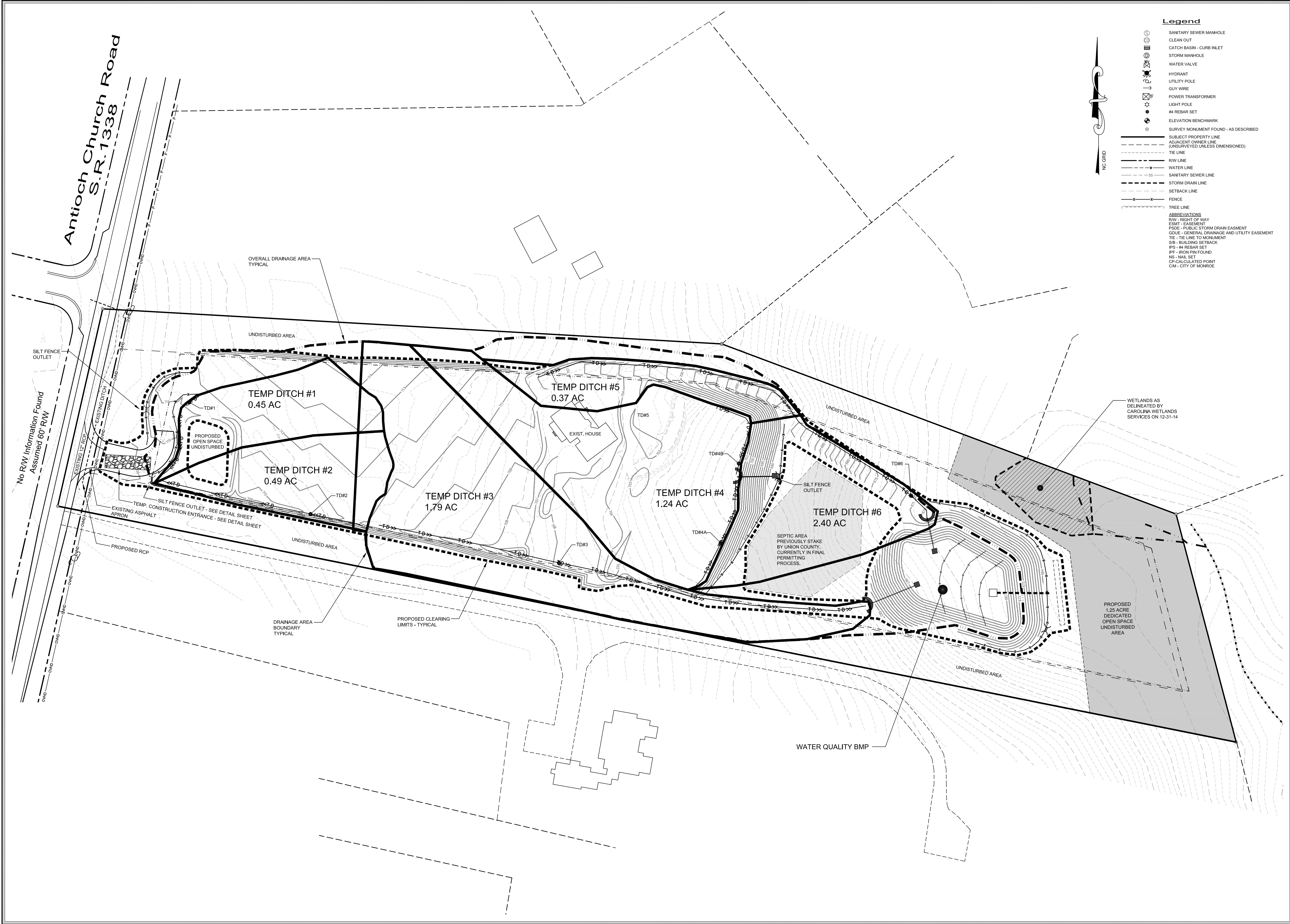
CONSTRUCTION PHASING NOTES:
EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED.

CONSTRUCTION PHASING:
ENGINEER TO SIGN OFF ON PHASES OF CONSTRUCTION
1. SILT FENCE INSTALLATION
2. SEDIMENT BASIN INSTALLATION
3. TEMP AND FINAL GRADING, STABILIZATION

SKIMMER BASIN CHART											
SB #	DRAINAGE AREA (AC)	DENUDED AREA (AC)	Q10 CFS	REQUIRED STORAGE VOLUME (CF)	PROVIDED STORAGE VOLUME (CF)	SPILLWAY WIDTH (FT)	SPILLWAY DEPTH (FT)	BOTTOM ELEV. (FT)	TOP OF DAM ELEV. (FT)	TOP OF SPILLWAY (FT)	REQUIRED SURFACE AREA (SF)
SB-1	6.11	6.11	27.6	21,996	32,649	10	1	667	672	671.25	11,992
											12,784

BOTTOM ELEVATION DOES NOT INCLUDE THE 1.0' OF EXTRA DEPTH FOR ADDITIONAL SEDIMENT STORAGE





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Waxhaw, North Carolina 28173
704.400.0117
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704.323.7334

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Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Erosion Control
Plan - Temp Silt
Ditch Drainage
Areas

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016

Drawn By

Jason C. King

Checked By

James P. Magennis
M. Jay Stikemeier

Job Number

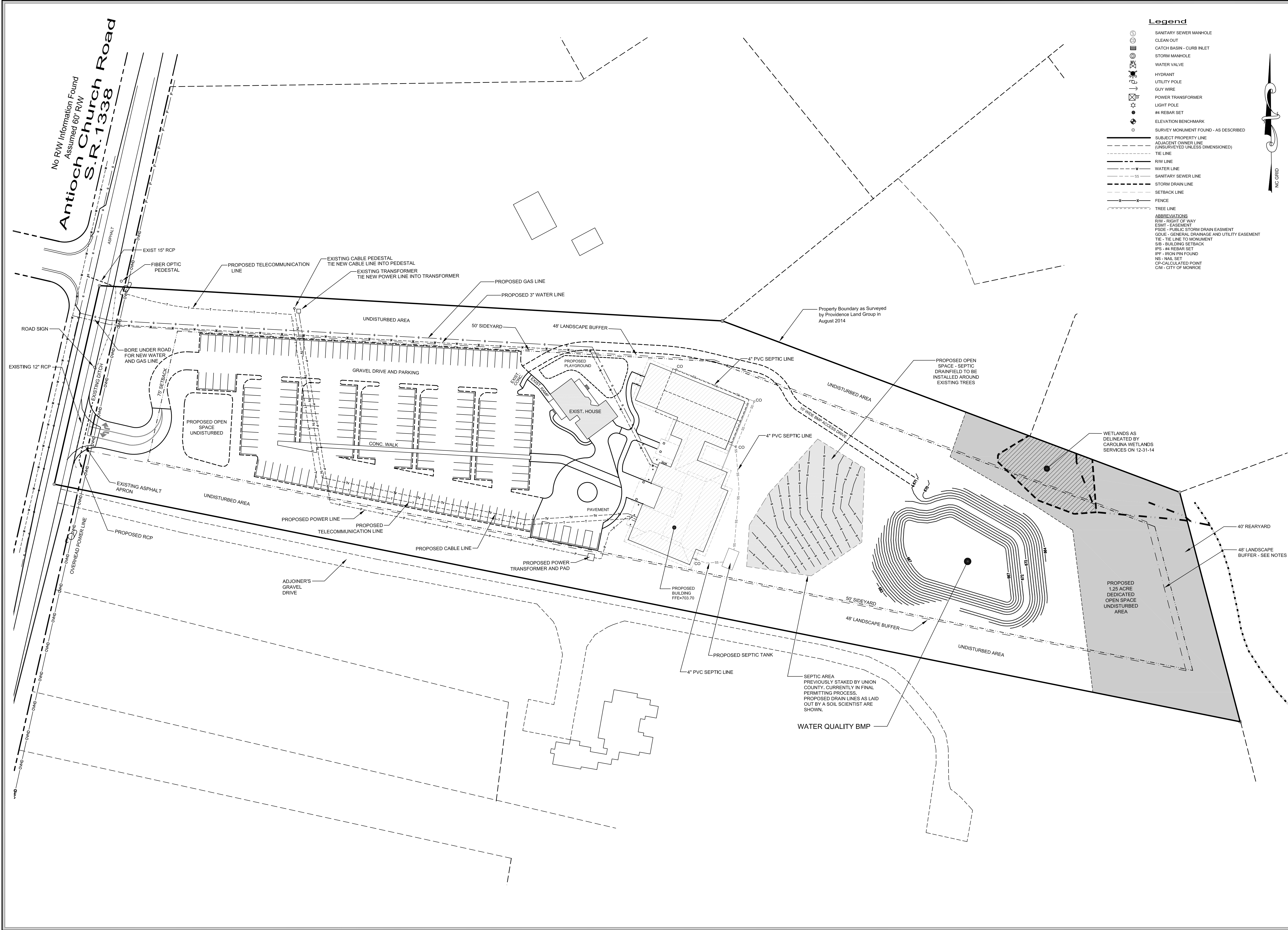
14041

Sheet Number

E-3

Drawing File

14041-Ph2-Base.dwg



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3716 Providence Road South
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704.400.0117
NC Firm #P-0910 - SC COA #4356

6-22-16

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6-22-16

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Matthews, NC 28105
704.578.6554

Scale

SCALE: 1" = 50'

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Utility Plan

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

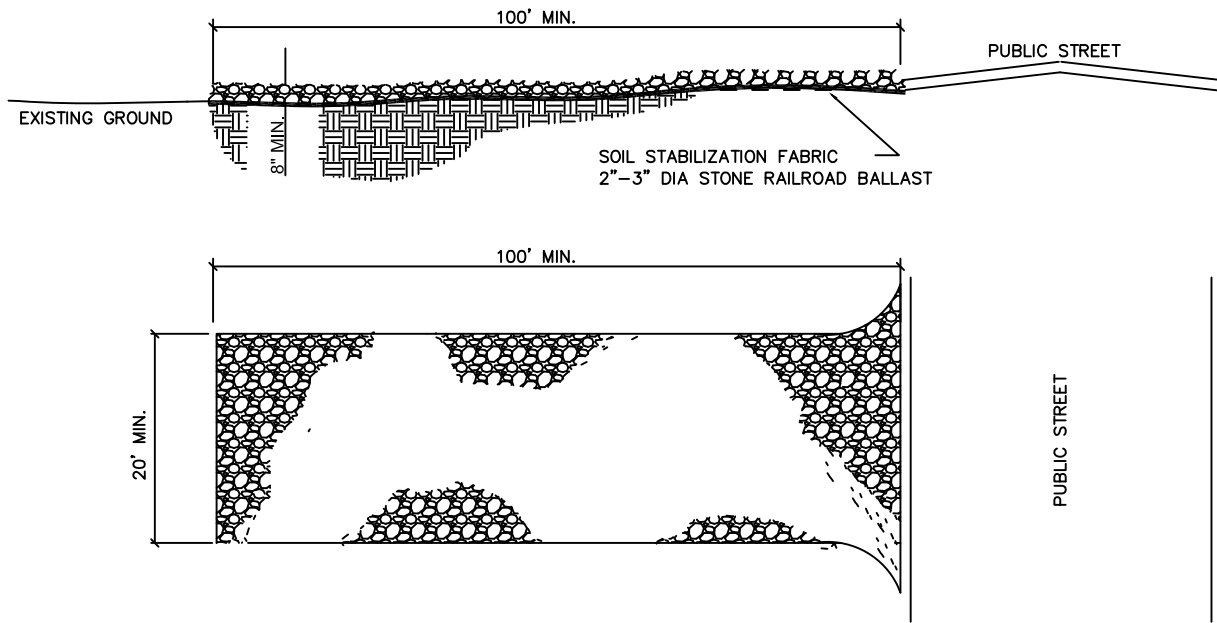
June 22, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikleather

Job Number	Sheet Number
14041	U-1

Drawing File

14041-Ph2-Base.dwg

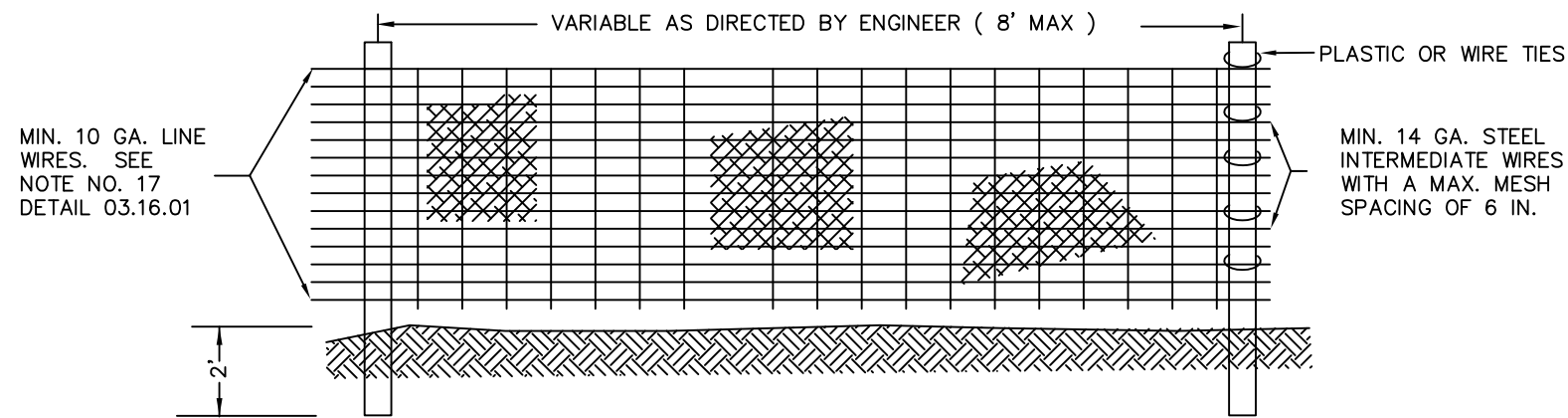


- GENERAL NOTES:
1. A STABILIZED PAD OF CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET.
 2. STONE TO BE NO. 5 FILTER STONE.
 3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 4. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. WHEN NECESSARY WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
 5. FILTER FABRIC SHALL BE MIN#1 500 OR EQUAL.
 6. ENTRANCE SHALL BE A MINIMUM OF 20' IN WIDTH OR THE WIDTH OF THE EXIT, WHICHEVER IS GREATER.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

- GENERAL NOTES:
1. FENCE FABRIC SHALL BE A MINIMUM OF 24" ABOVE GROUND SURFACE AND SHALL HAVE A MINIMUM OF 6" LINE WIRES WITH 6" STAY SPACING.
 2. FILTER FABRIC SHALL BE MIN#1 100 FABRIC OR EQUIVALENT.
 3. BURLAP CANNOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
 4. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 5. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO STREAMS OR WETLANDS. THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
 6. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS, OR OTHER AREAS OF CONCENTRATED FLOW.
 7. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE FOR SLOPES LESS THAN 2%.
 8. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



MAINTENANCE:

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

REFERENCE: NCDENR PLANNING AND DESIGN MANUAL, JUNE 2008

SILT FENCE INSTALLATION

NOT TO SCALE

SEEDING PREPARATION

AREAS TO BE SEEDED SHALL BE THOROUGHLY LOOSENEED AND WORKED TO A MINIMUM DEPTH OF AT LEAST 5 INCHES.

THE AREA SHALL THEN BE RACKED OR OTHERWISE CLEARED OF ROCKS, LARGER THAN 2 INCHES IN DIAMETER, STICKS OR OTHER DEBRIS.

SEEDING

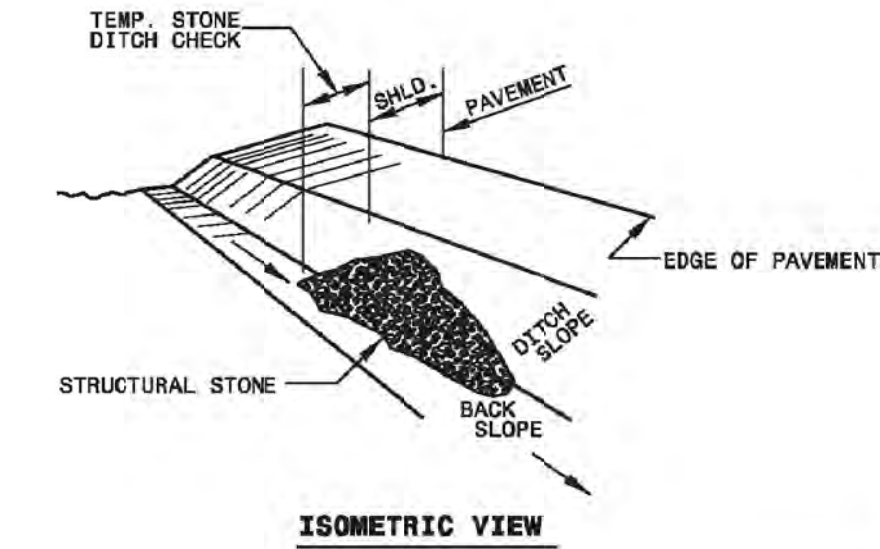
80 #/ AC. TALL FESCUE
4000 #/ AC AGRICULTURAL LIME
1000 #/ AC 10-10-10 FERTILIZER
500 #/ AC 0-20-0 SUPERPHOSPHATE
1-1/2 TN/ AC STRAW MULCH
225 GAL/ AC ASPHALT TIE-DOWN
30 #/AC RYE GRAIN (NOVEMBER THROUGH FEBRUARY)
WORK LIME AND FERTILIZER INTO SOIL

NOTE:

IN AREAS THAT WILL NOT BE WELL MAINTAINED, ALSO ADD 50#/ AC UNSCARIFIED SERICEA LESPEDeza (AUGUST THROUGH NOVEMBER) OR 40 #/ AC SCARIFIED SERICEA LESPEDeza (DECEMBER - JULY).

SEEDING REQUIREMENTS FOR EROSION CONTROL

NOT TO SCALE

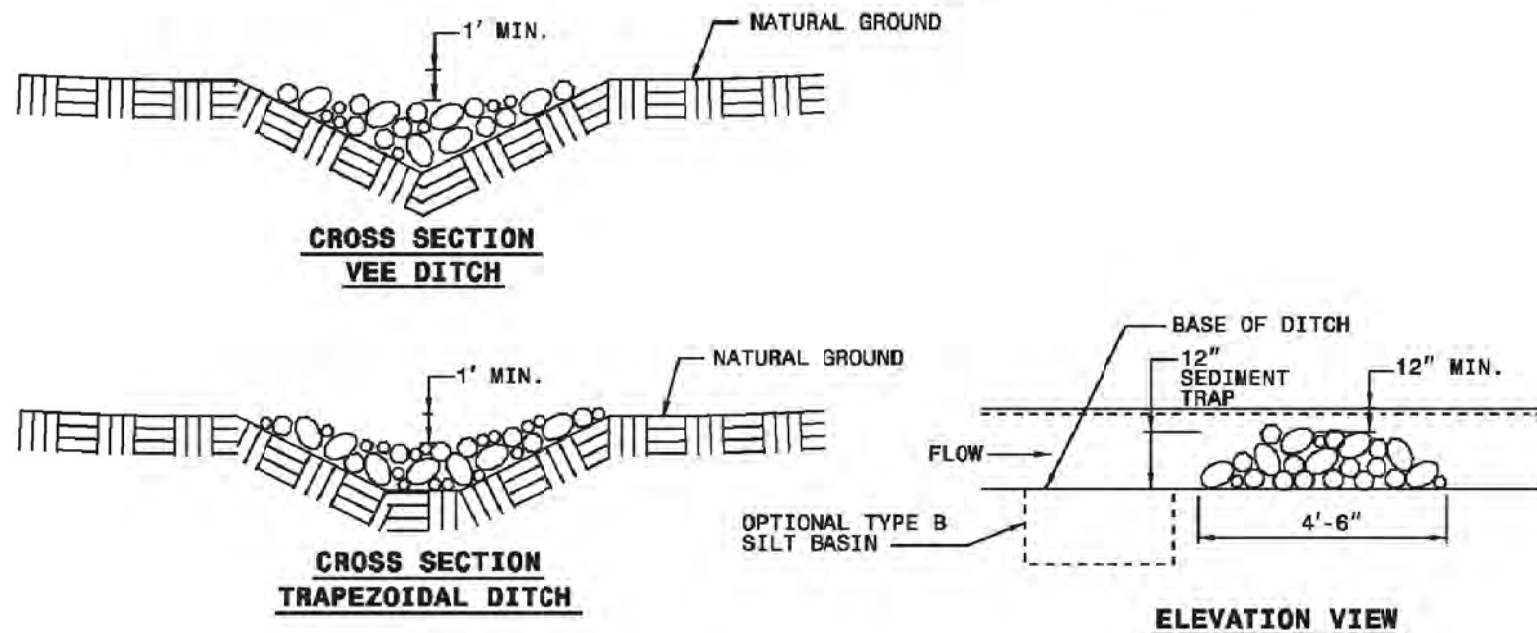


NOTES:

USE CLASS B EROSION CONTROL STONE FOR STRUCTURAL STONE.

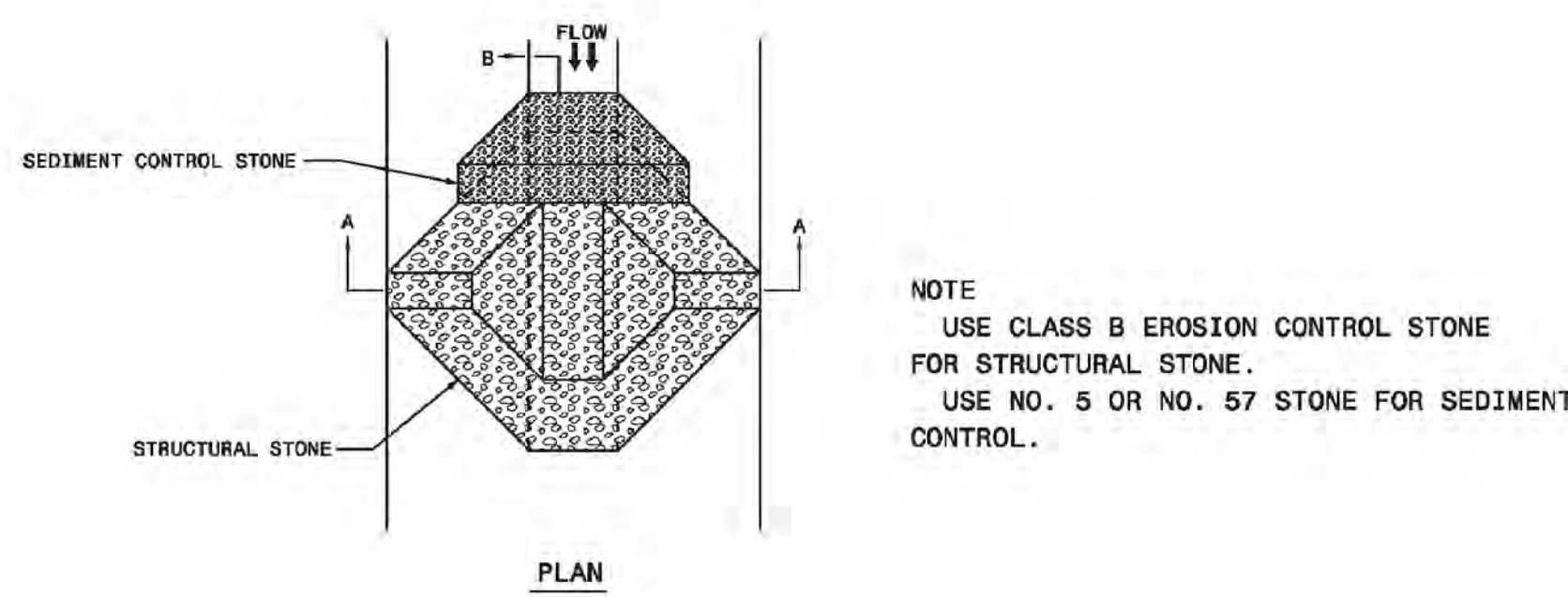
THE ENGINEER MAY DIRECT THE OPTION OF CLASS A STONE FOR SITES HAVING LESS THAN ONE (1) ACRE DRAINAGE AREA AND A DITCH GRADE LESS THAN 3%.

USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL. PLACE SEDIMENT CONTROL STONE AS DIRECTED.



TEMPORARY ROCK CHECK DAM

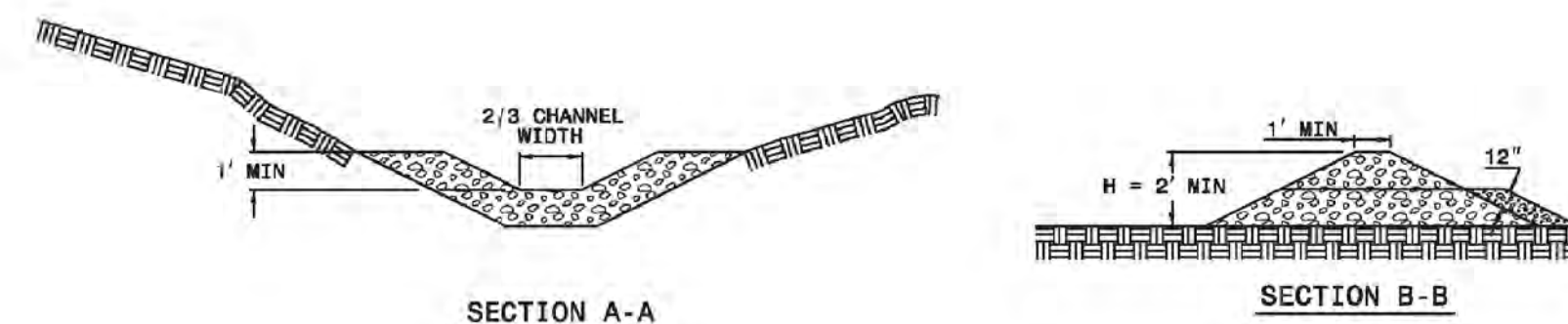
NOT TO SCALE



NOTE

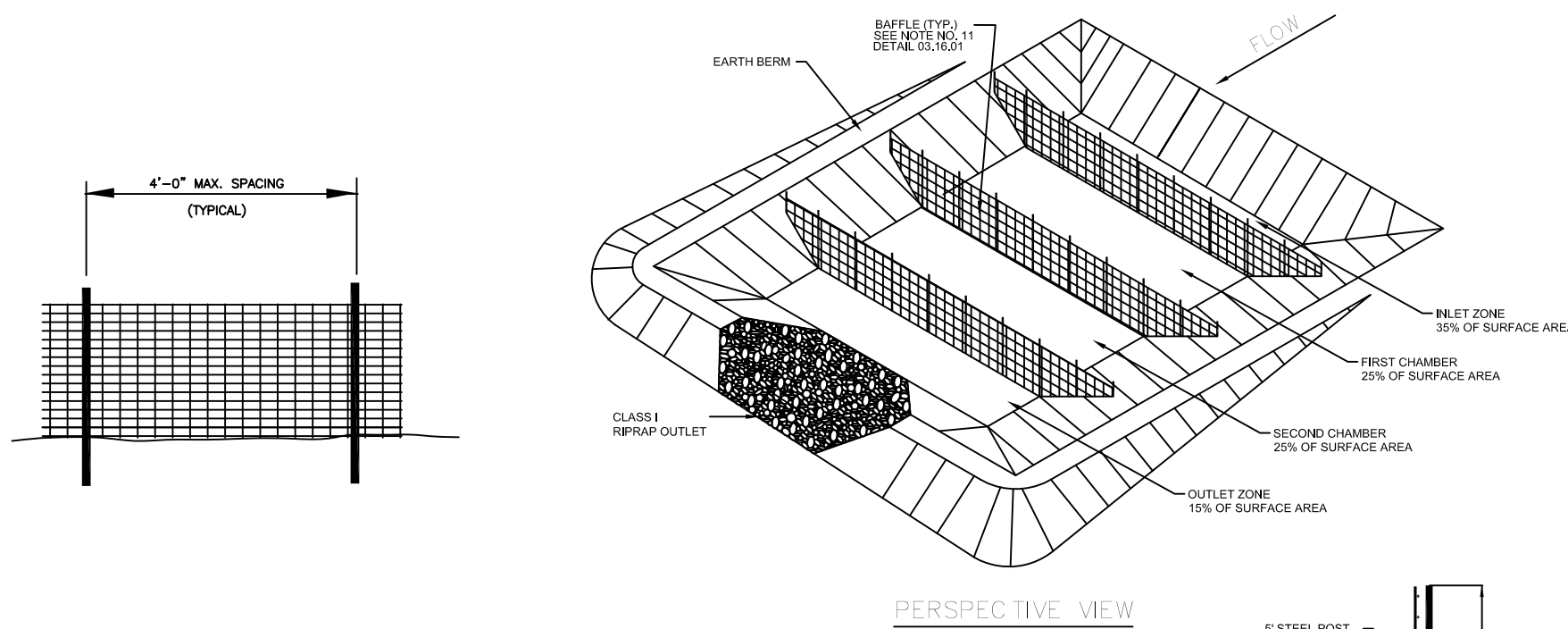
USE CLASS B EROSION CONTROL STONE FOR STRUCTURAL STONE.

USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL.



TEMPORARY ROCK CHECK DAM

NOT TO SCALE



- NOTES:
1. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24" WITH MAXIMUM SPACING OF 4' IF APPLICABLE.
 2. WOOD POSTS ARE NOT ACCEPTABLE.
 3. USE STAPLES 1" AWAY TO ATTACH FABRIC TO WOOD VERTICALLY AND HORIZONTALLY.
 4. CONSTRUCT BAFFLES UP THE SIDES OF THE TRAP OR BASH BANKS SO WATER DOES NOT FLOW AROUND THE STRUCTURES.
 5. BAFFLES SHOULD BE MADE OF RIGID MATERIAL, JUTE OR COIR. SEDIMENT FENCING USED AS BAFFLES IS NOT ALLOWED.
 6. 3 BAFFLES FOR LARGE TRAPS/BASHES. IF <20 FT IN LENGTH, 2 BAFFLES.
 7. REFER TO NCDENR PLANNING AND DESIGN MANUAL, SECTION 6.6B FOR ADDITIONAL SPECIFICATIONS AND BAFFLE INSTALLATION.

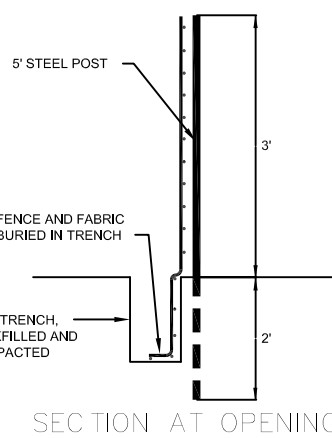
MAINTENANCE:

INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTHS SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.

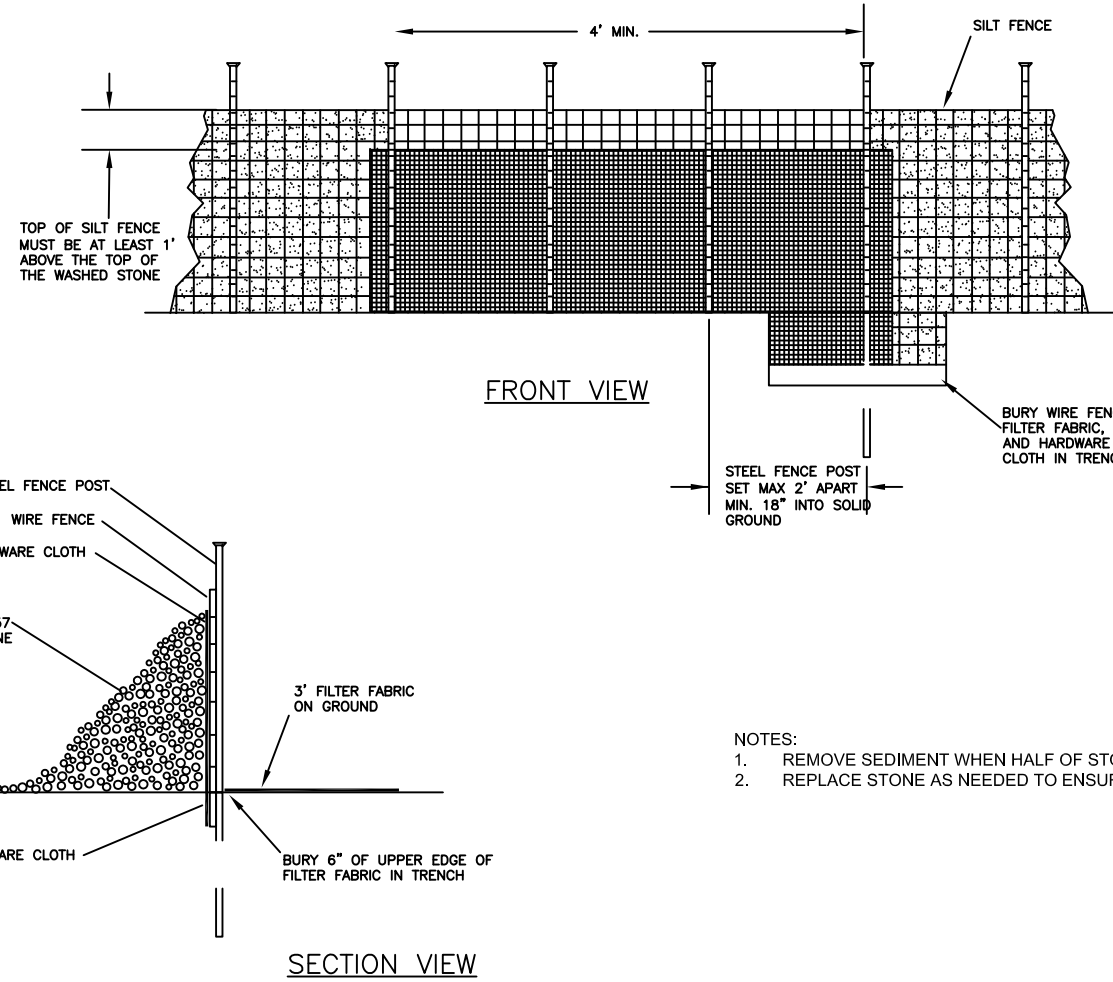
AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.



REFERENCE: NCDENR PLANNING AND DESIGN MANUAL, JUNE 2008

BAFFLE INSTALLATION

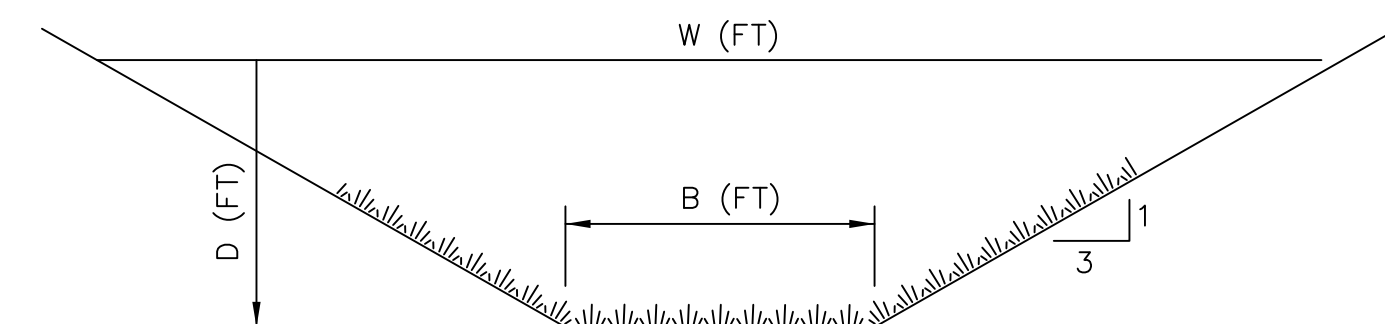
NOT TO SCALE



- NOTES:
1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
 2. REPLACE STONE AS NEEDED TO ENSURE DOWATERING.

STANDARD SILT FENCE OUTLET

NOT TO SCALE



TEMP. DITCH DIMENSIONS							
S ₀ (%)	SS (H:V)	D (FT)	W (FT)	B (FT)	n	STABILIZATION	TSD #
max.5	3:1	1.00	9.0	3.0	0.035	SEED & STRAW	3,6
max.3.3	3:1	1.00	9.0	3.0	0.035	SEED & STRAW	1,2,4A,4B,5

TEMP. SILT DITCH

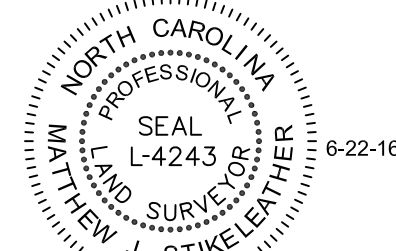
NOT TO SCALE

Surveyor

Providence

Providence Land Group, PLLC

3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356



PRELIMINARY

Engineer

CMEC, PC

Construction Materials
Engineering & Consulting, PC

4401 Shopton Road
Charlotte, NC 28217
704.323.7334



PRELIMINARY

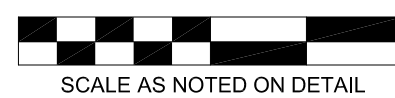
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Client Name

Threshold Church

3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



Project Name

**Threshold Church
Phase 2**

Town of Weddington
Union County, North Carolina

Sheet Title

**Construction
Details**

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

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Drawn By

Jason C. King

Job Number

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Sheet Number

D-1





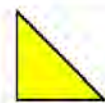


SKIMMER
NOT TO SCALE



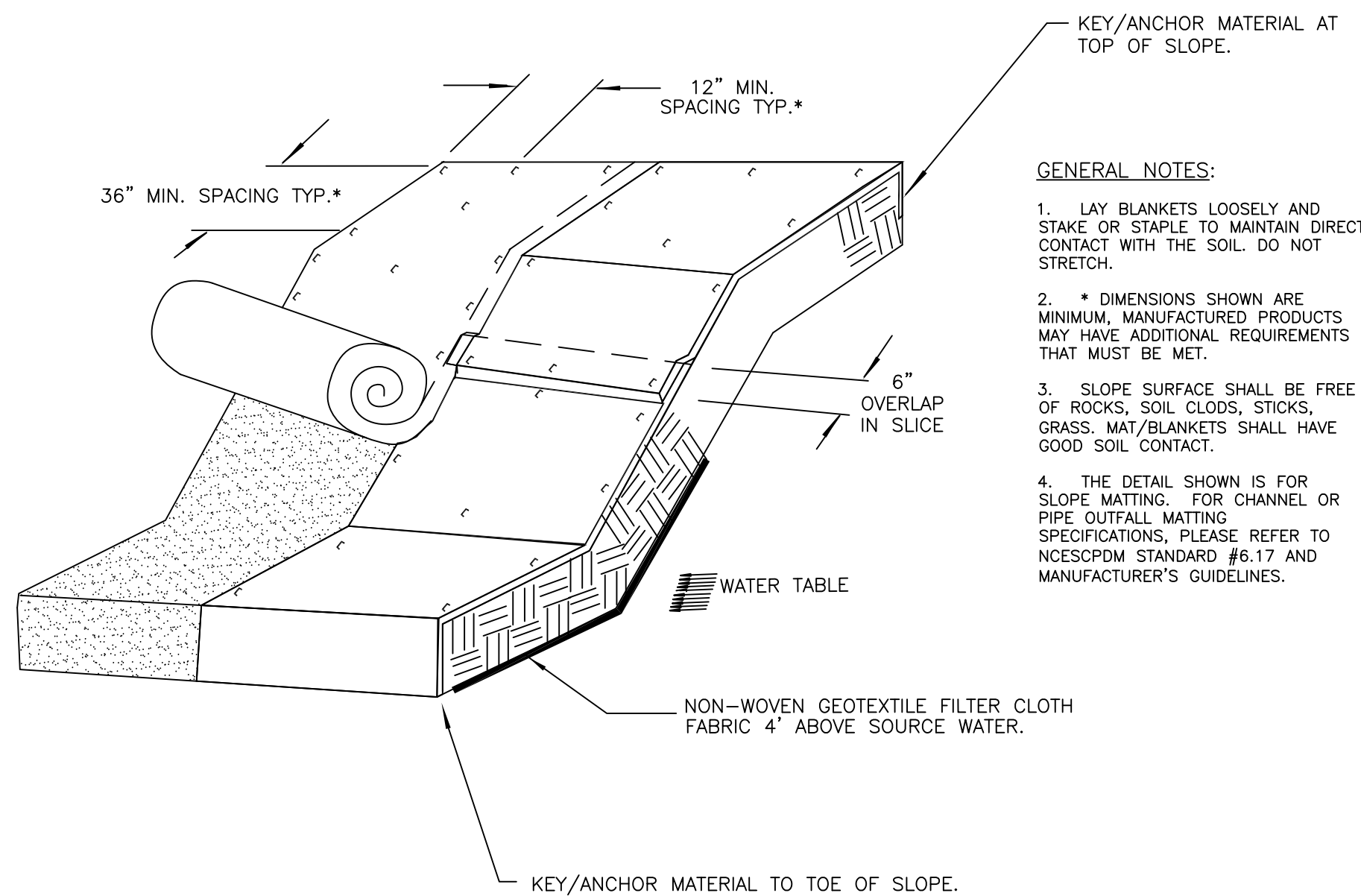
- ## GENERAL NOTES-SEDIMENT BASINS



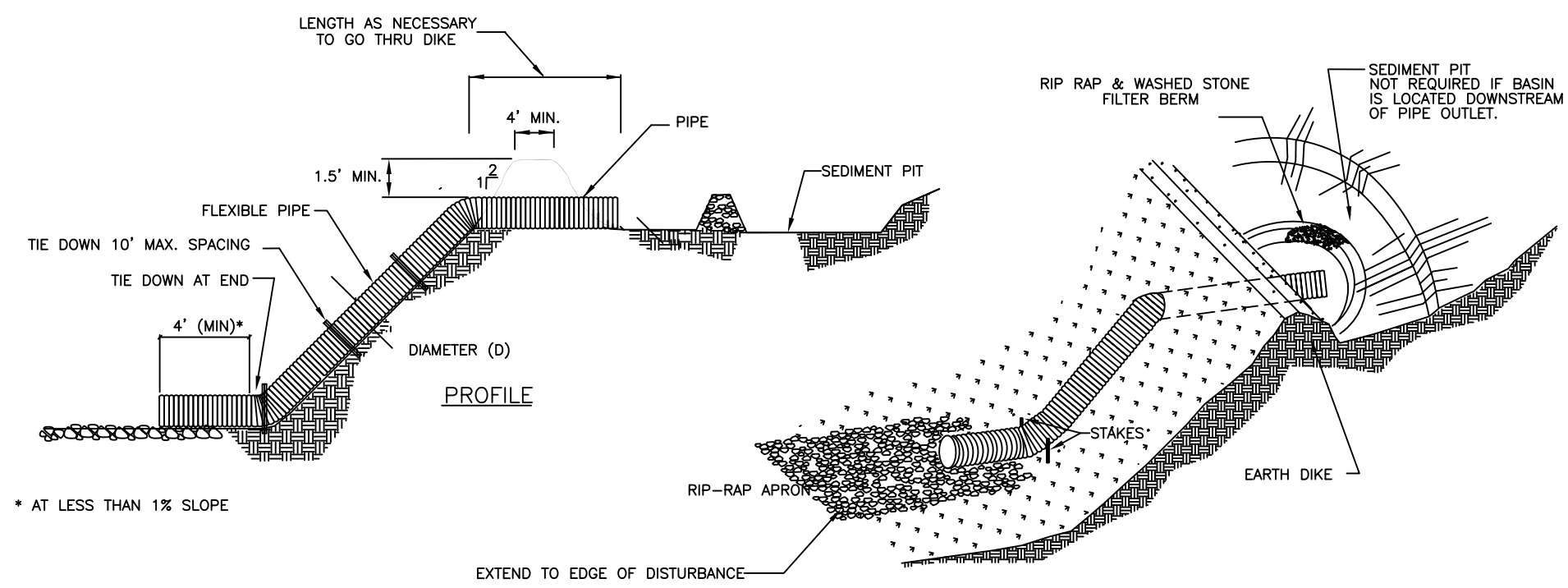
NCDENR/Division of Water Quality

NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
 Perimeter dikes, swales, ditches, slopes	7 days	None
 High Quality Water (HQW) Zones	7 days	None
 Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
 Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
 All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

STABILIZATION SCHEDULE



EMBANKMENT MATTING DETAIL



FLEXIBLE PIPE SLOPE DRAIN

NOT TO SCALE

STD. & SPEC. #	TITLE	SPECIAL REQUIREMENTS & NOTES
6.17	ROLLED EROSION CONTROL PRODUCTS	—
6.51	HARDWARE CLOTH & GRAVEL INLET PROTECTION	—
6.60	TEMPORARY SEDIMENT TRAP	WEIR TOP WIDTH 10' MIN., BOTTOM 7' MIN.
6.61	SEDIMENT BASIN	FLASH BOARD RISER NOT PERMITTED
6.64	SKIMMER SEDIMENT BASIN	1ST BAFFLE: COIR MESH 2ND BAFFLE: COIR MESH 3RD BAFFLE: COIR MESH

THE STANDARDS & SPECIFICATIONS SHOWN ARE FROM THE "NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" (NCESCPDM) PREPARED BY NC DEPT. OF ENVIRONMENT AND NATURAL RESOURCES (NCDENR).

SPECIAL EROSION CONTROL REQUIREMENTS & NOTES

TEMPORARY SEEDING FOR WARM AND COOL SEASON

EARLY SUMMER SEASON		STEEP SLOPES
SEEDING MIXTURE	40 lbs/acre of German millet 80 lbs/acre of tall fescue	120 lbs/acre Rye (grain) 80 lbs/acre tall fescue
SEEDING DATES	May 1 – August 15 Refertilize if growth is not fully adequate. Apply 4000 lbs/acre straw or equivalent hydroseeding.	October 25 – December 30 Between December 30 – February 15, add 50 lbs/acre of annual Kobe lespedeza. Apply 4000 lbs/acre straw or equivalent hydroseeding.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.

SEEDING SCHEDULE (SEASONAL)

NOT TO SCALE

GENTLE SLOPES		STEEP SLOPES	
SEEDING MIXTURE	80 lbs/acre of tall fescue	100 lbs/acre tall fescue 30 lbs/acre Sericeo lespedeza (unscarified after August 15) 10 lbs/acre Kobe lespedeza	
SEEDING DATES	FALL: August 25 – October Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.	FALL: August 25 – October 15 Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.	
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.	

NOTE 1
Ground Cover-- Protective cover must be established on all disturbed areas within 14 calendar days after land disturbing activity is completed or has temporarily ceased.

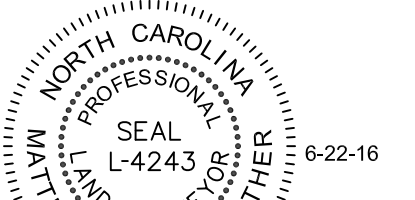
NOTE 2
Graded slopes and fills--Protective cover must be established on all graded slopes and fills within 7 calendar days after a phase of grading is completed or has temporarily ceased.

SEEDING SCHEDULE

Surveyor



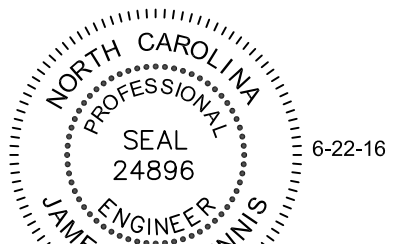
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Scale



Project Name

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Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

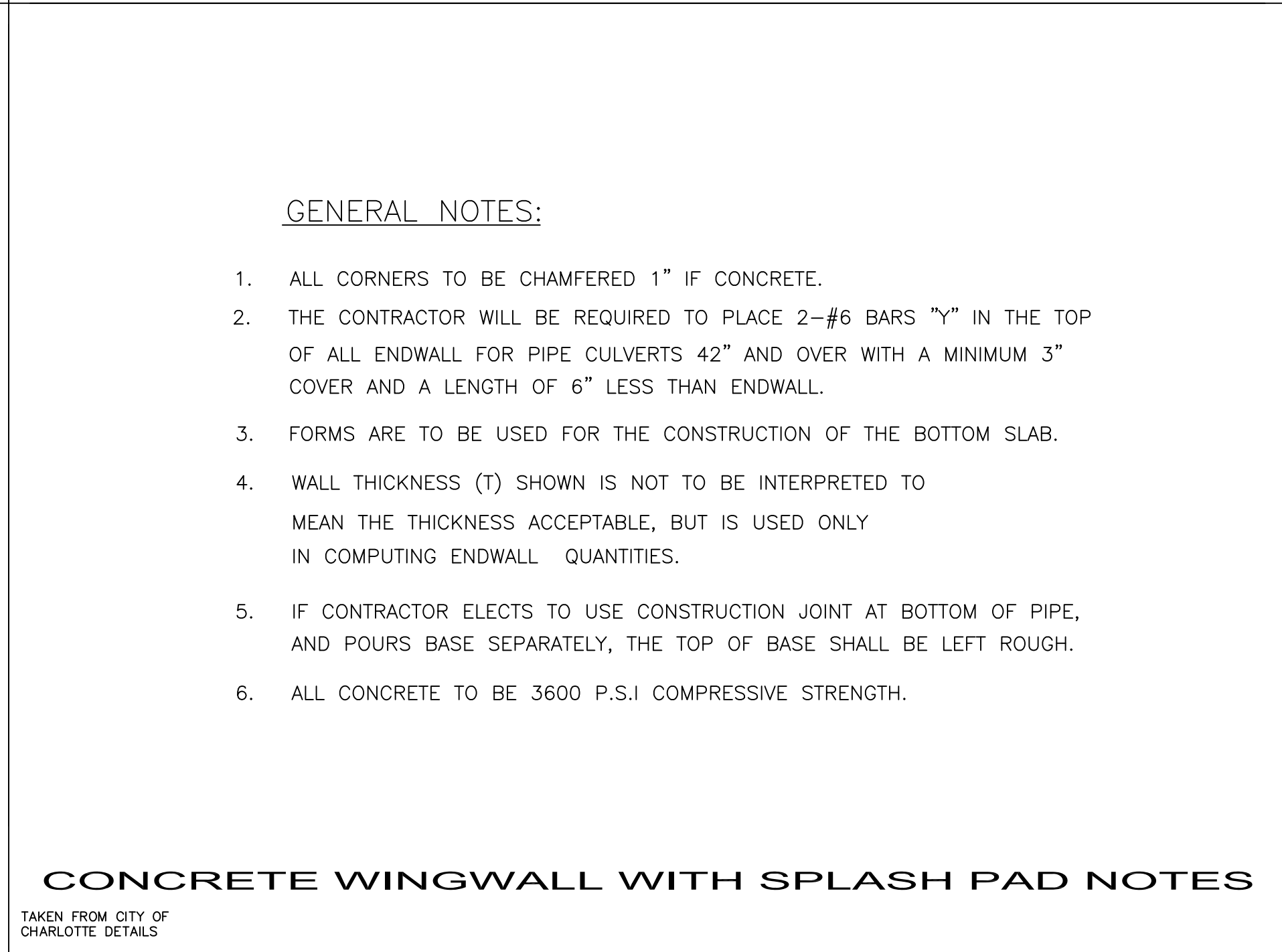
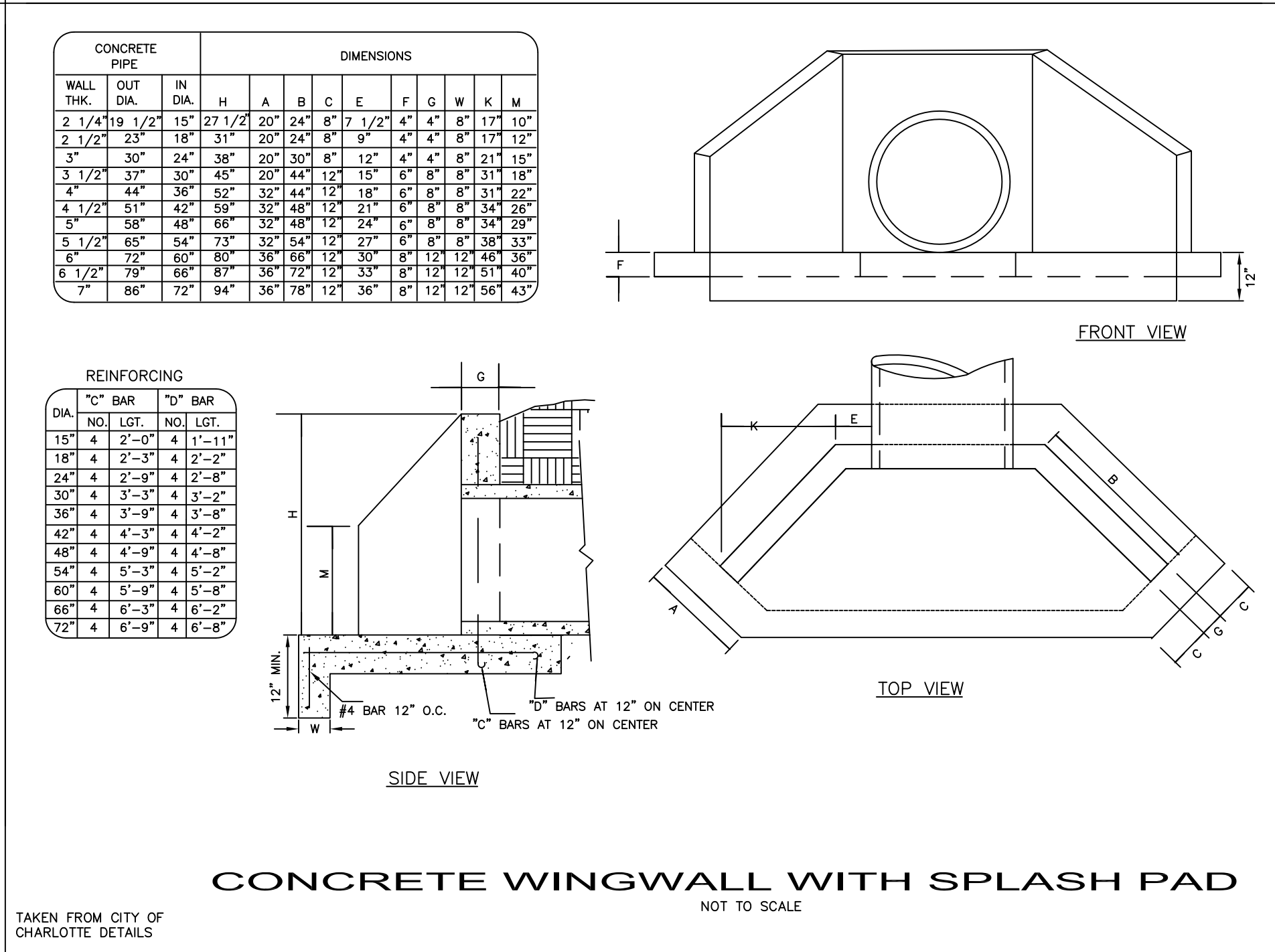
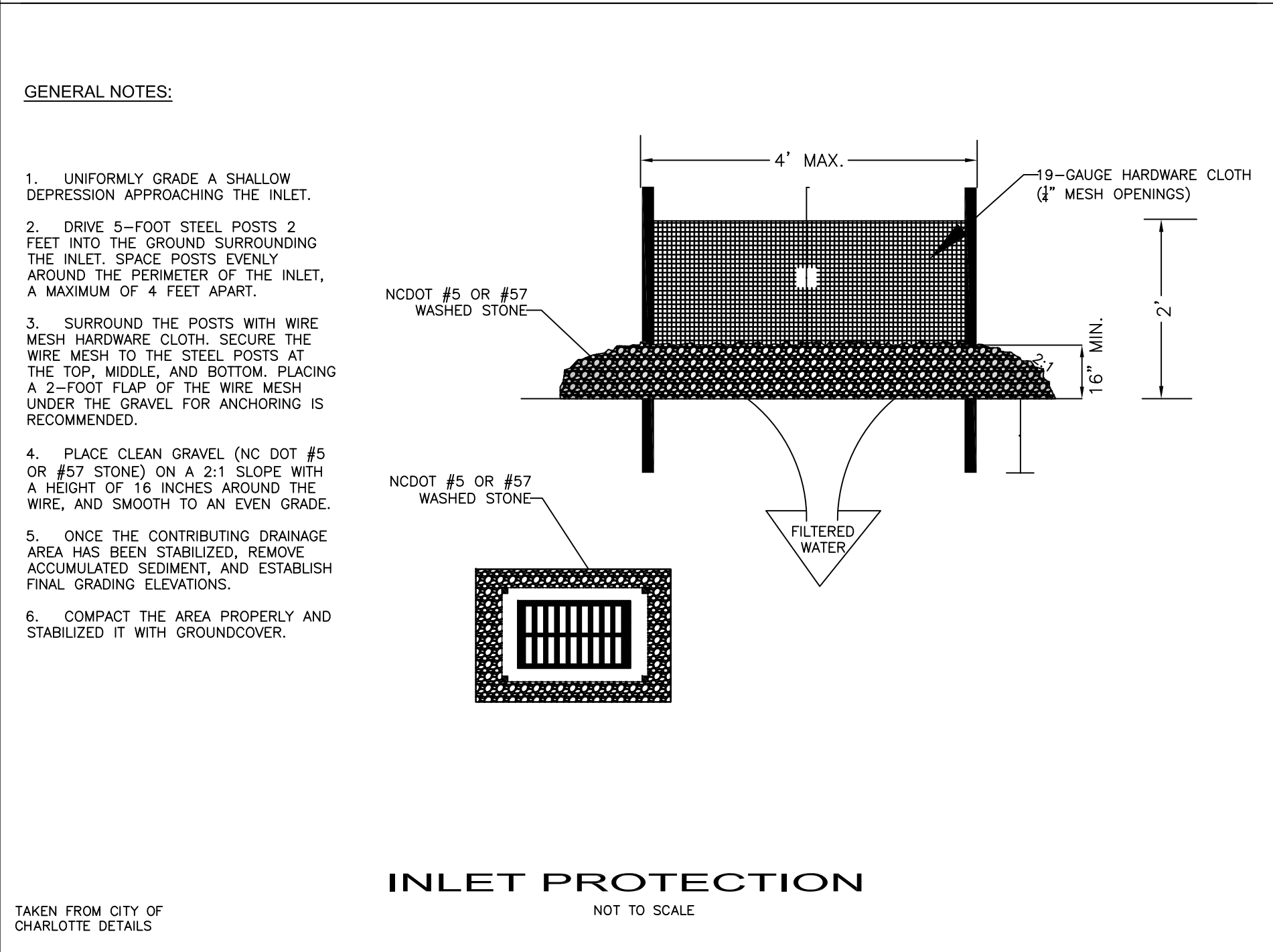
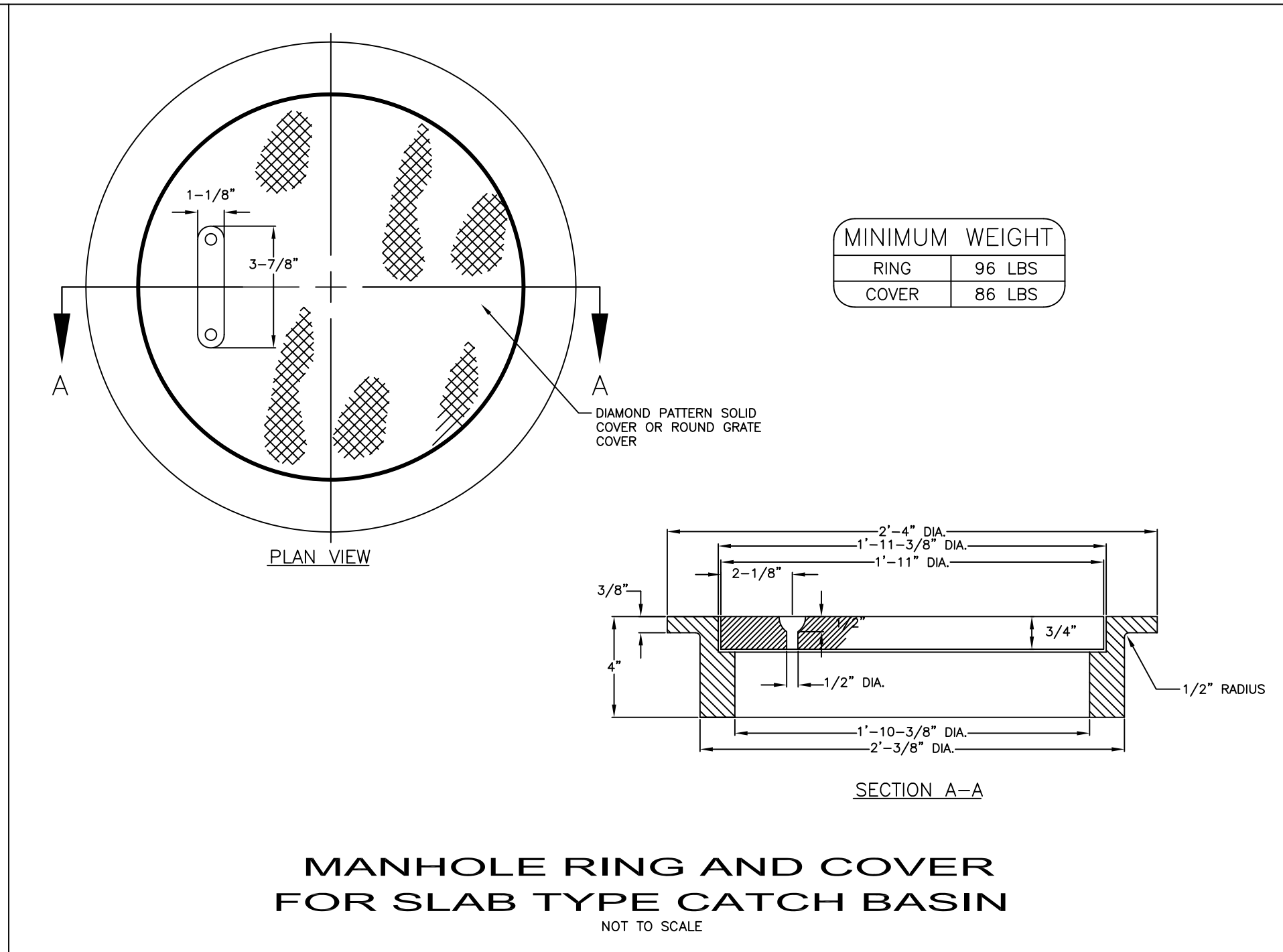
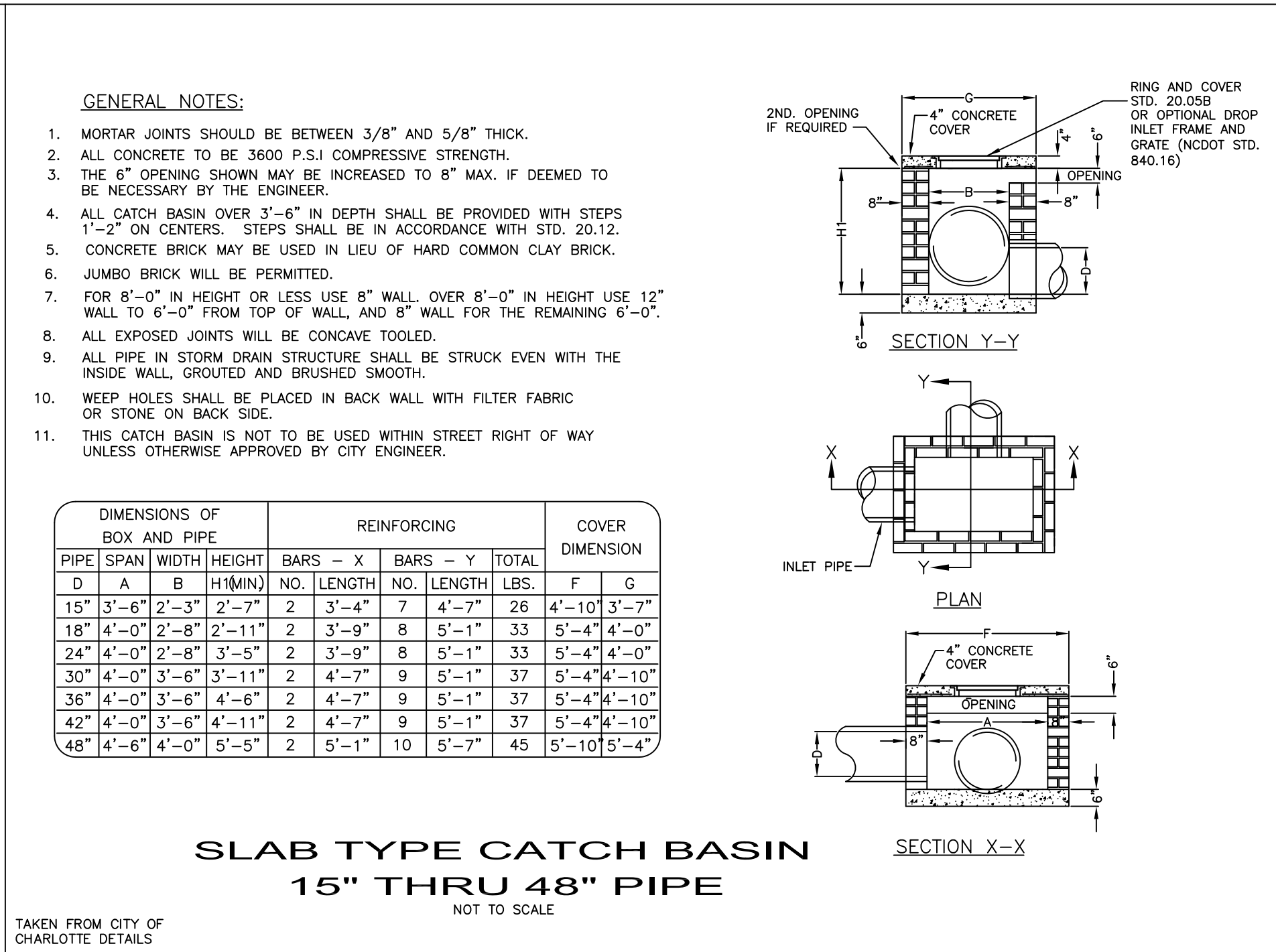
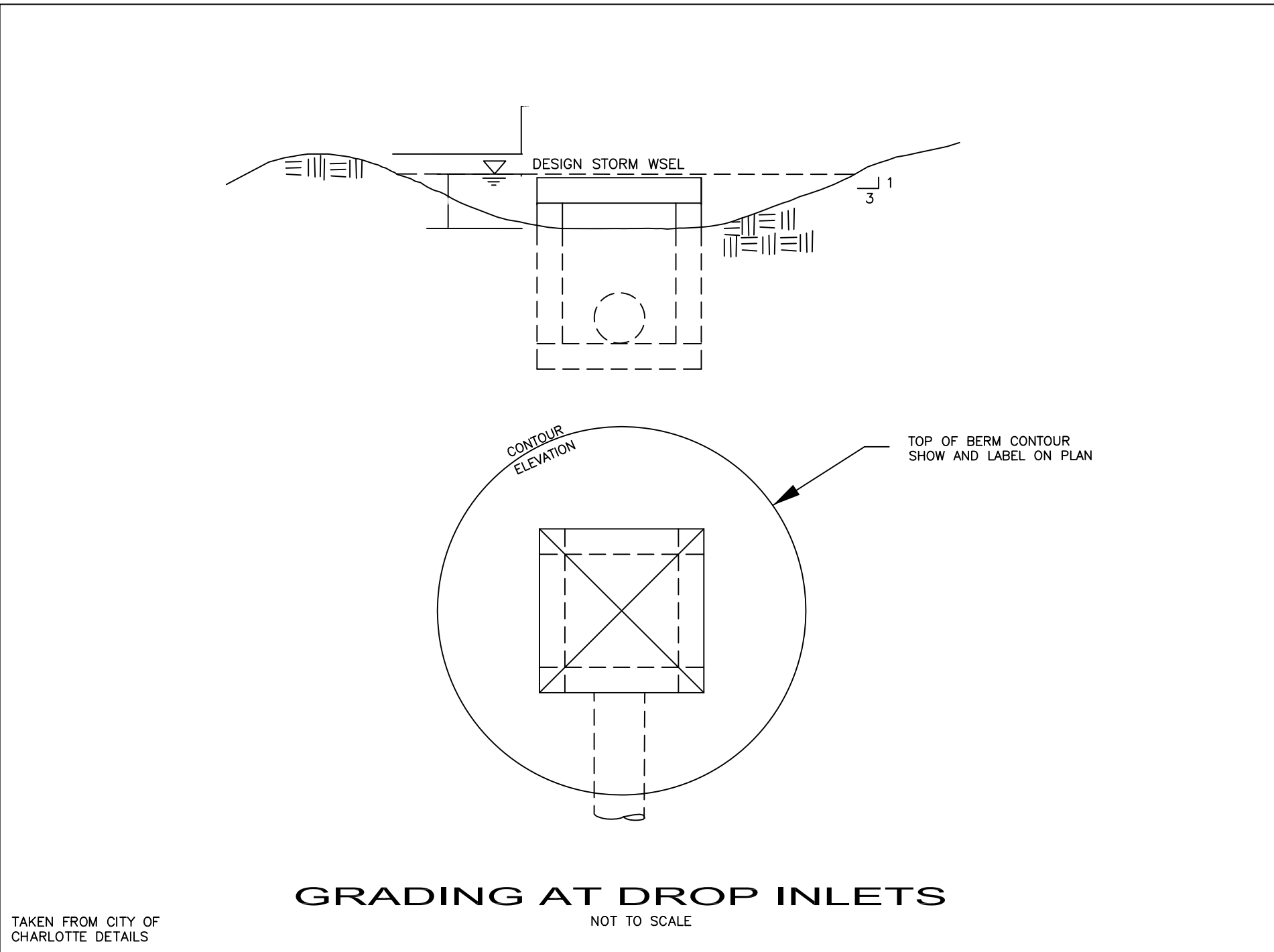
Construction Details

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016	
Drawn By Jason C. King	Checked By James P. Magennis M. Jay Stikeleather
Job Number 14041	Sheet Number D-2
Drawing File 14041-Ph2-Base.dwg	

D-2



Surveyor

Providence

Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356



PRELIMINARY

Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334

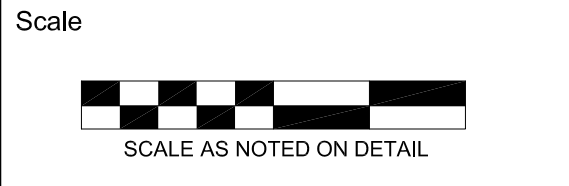


PRELIMINARY

This drawing is not to be used for construction purposes unless the signature of the responsible registrant is affixed hereon and the appropriate forms and fees have been sent to the Authority having jurisdiction by the Owner, Owner's Agent, or the Contractor.

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554



Project Name

Threshold Church Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Construction Details

Date	Issued For	Rev
6/22/16	First Submittal	0

Print Date

June 22, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis
Job Number	Sheet Number
14041	
Drawing File	
14041-Ph2-Base.dwg	

D-3






PHASE 1

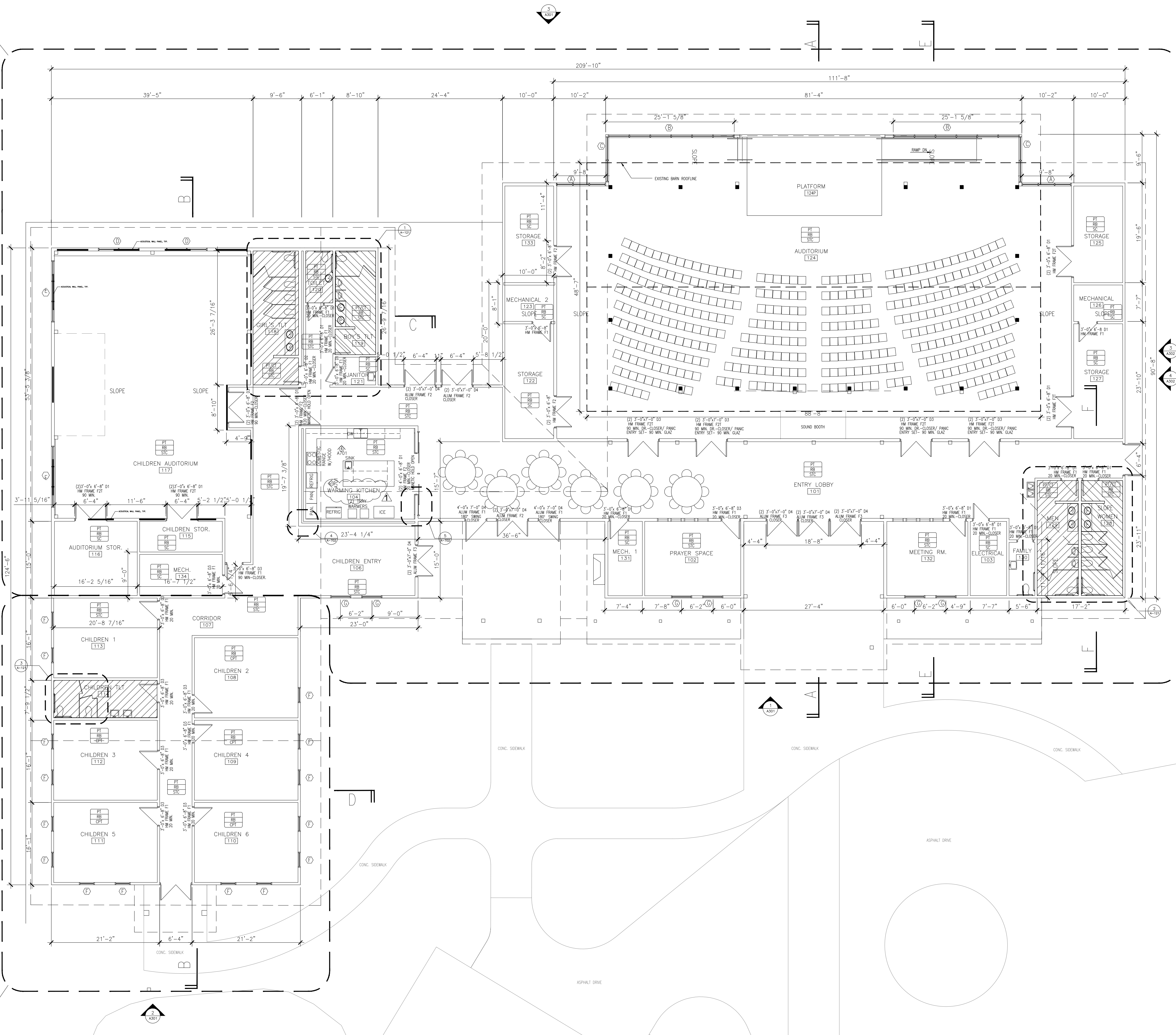
PHASE 2

XX	= WALL FINISH
XX	= WALL BASE
XX	= FLOOR FINISH
FINISH LEGEND	
TAG	DESCRIPTION
WALL	
PT	FINISH PAINT – COLOR(S) SELECTED BY ARCHITECT
EP	EPOXY PAINT – COLOR(S) SELECTED BY ARCHITECT
CT	CERAMIC TILE – COLOR(S) SELECTED BY ARCHITECT
BASE	
RB	RUBBER BASE – COLOR(S) SELECTED BY ARCHITECT
FLOOR	
PC	POLISHED CONCRETE – COLOR(S) SELECTED BY ARCHITECT
SC	SEALED CONCRETE
OPT	CARPET – COLOR(S) SELECTED BY ARCHITECT

NOTE: 1. EXPOSED DUCTS AND STRUCTURE NEED TO BE PAINTED, COLOR(S) SELECTED BY ARCHITECT.
2. ARCHITECT CAN CHOOSE UP TO TWO ACCENT COLORS PER ROOM.
3. IN ALL BATHROOMS 4 FOOT OF CERAMIC TILE ON WATER WALL.

GENERAL NOTE:
ALL INTERIOR FINISHES TO COMPLY WITH NC FIRE CODE SECTION 903.3
ALL INTERIOR RECLAIMED BARNWOOD BOARDS TO RECEIVE FLAME-STOP II TREATMENT.

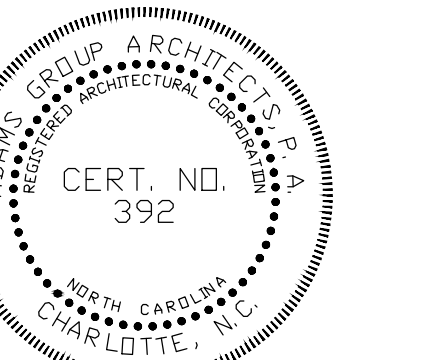
GLAZING SCHEDULE	
GLAZING TYPE	DESCRIPTION
	1" INSULATED LOW 'E' COATED TINTED GLASS
	1/4" CLEAR TINTED GLASS
	1/4" TINTED FROGLASS W/ 20 MIN. RATING
	1/2" TINTED FROGLASS W/ 60 MIN. RATING
	1/2" TINTED FROGLASS W/ 90 MIN. RATING
GENERAL NOTES	
1. ALL H.W. FRAMES TO BE PAINTED (COLOR BY ARCHITECT). SEE DOOR SCHEDULE FOR ADDITIONAL H.W. DOOR FRAMES.	
2. SEE WALL SECTIONS FOR ADDITIONAL NOTES REGARDING WALL CONSTRUCTION.	
3. ALL GLAZING SYSTEM DIFFERENCES TO BE FIELD VERIFIED PRIOR TO ORDERING AND INSTALLATION.	



Floor Plan
SCALE: 1/8" = 1'-0"

1
A-101

Adams Group
ARCHITECTS
11111 Carmel Commons Blvd., STE 160, Charlotte, NC 28226
704/341-0303 Fax 704/341-0652



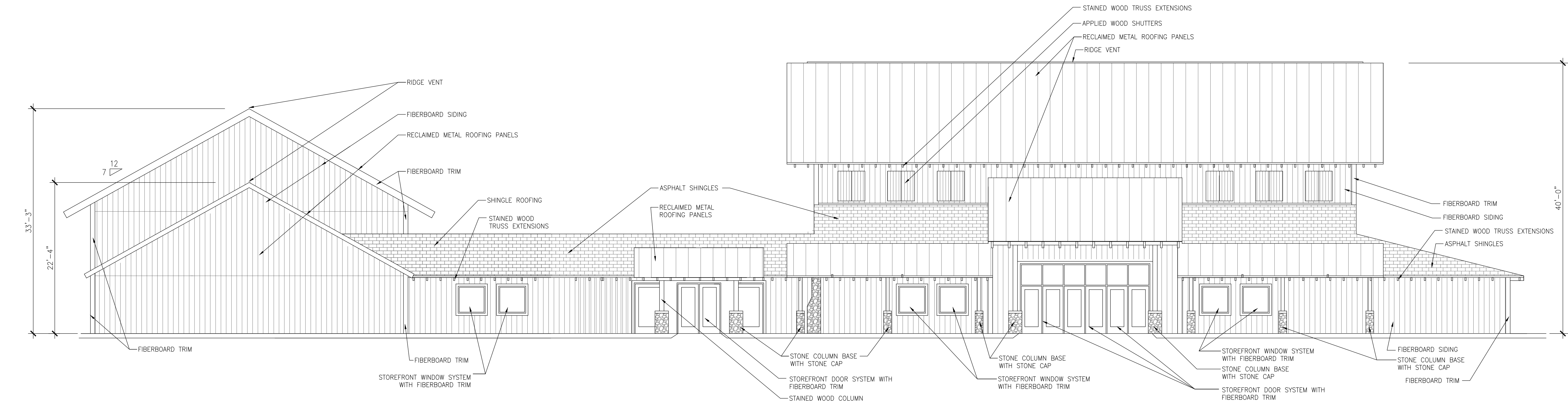
100% CONSTRUCTION
DOCUMENT

THRESHOLD CHURCH
Antioch Church Road, Matthews, NC

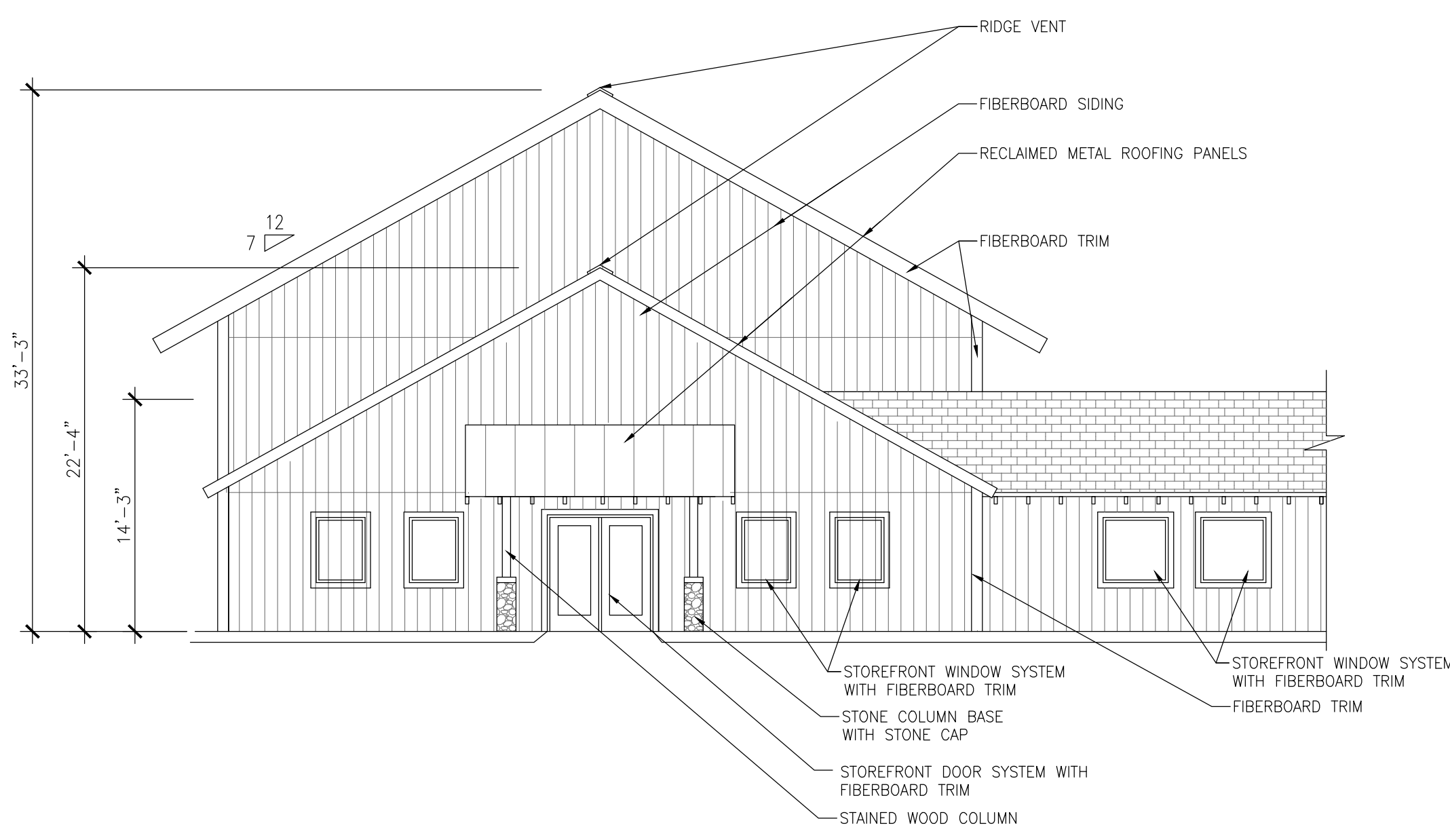
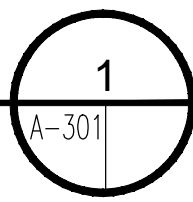
PROJECT NUMBER: 341	
ISSUE DATE: 07-18-16	
REVISIONS	
No. 1	DATE 09-01-16
No.	DATE
No.	DATE
No.	DATE
No.	DATE

FLOOR PLAN

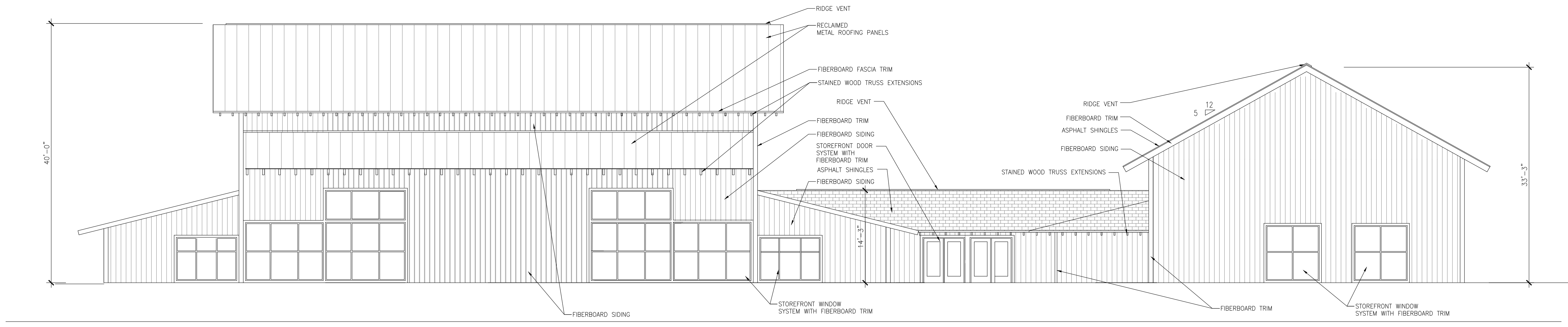
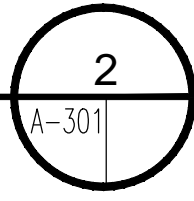
A-101



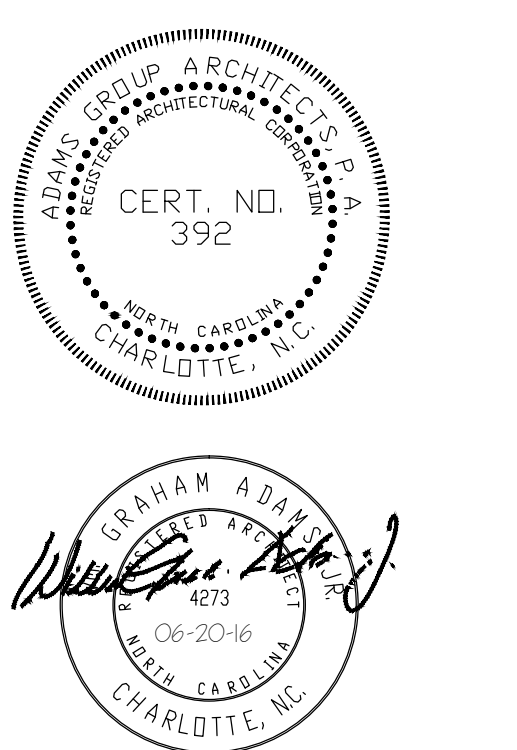
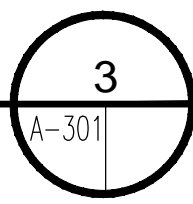
Front Phase 1 Elevation
SCALE: 1/8" = 1'-0"



Front Phase 2 Partial Elevation
SCALE: 1/8" = 1'-0"



Rear Elevation
SCALE: 1/8" = 1'-0"



100% CONSTRUCTION
DOCUMENT

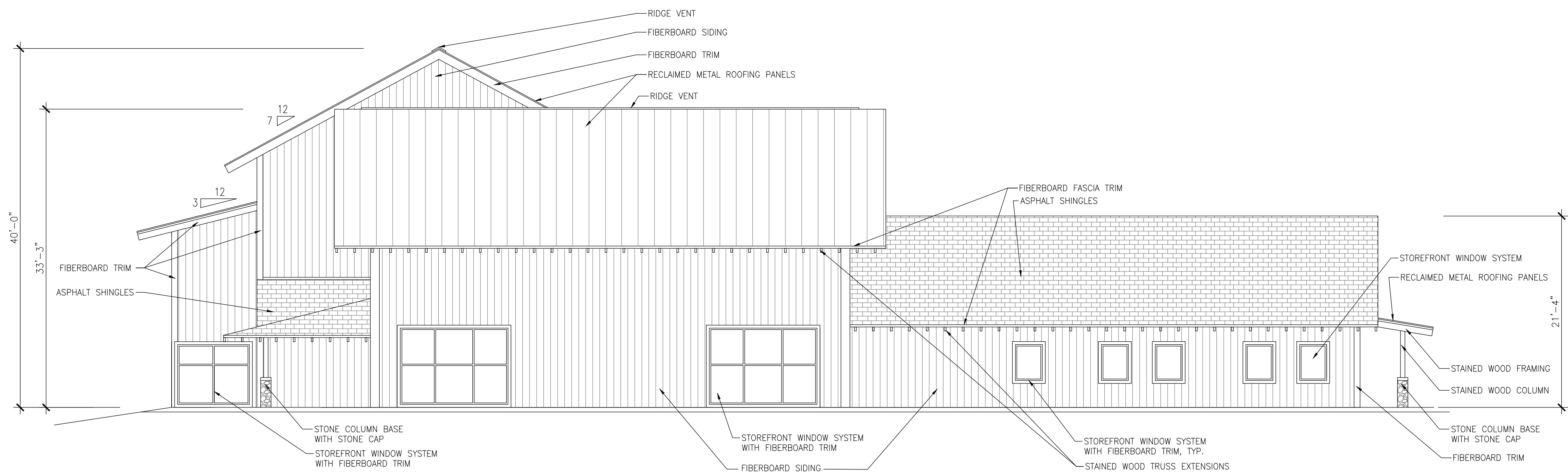
THRESHOLD CHURCH
Antioch Church Road, Matthews ,NC

PROJECT NUMBER: 341

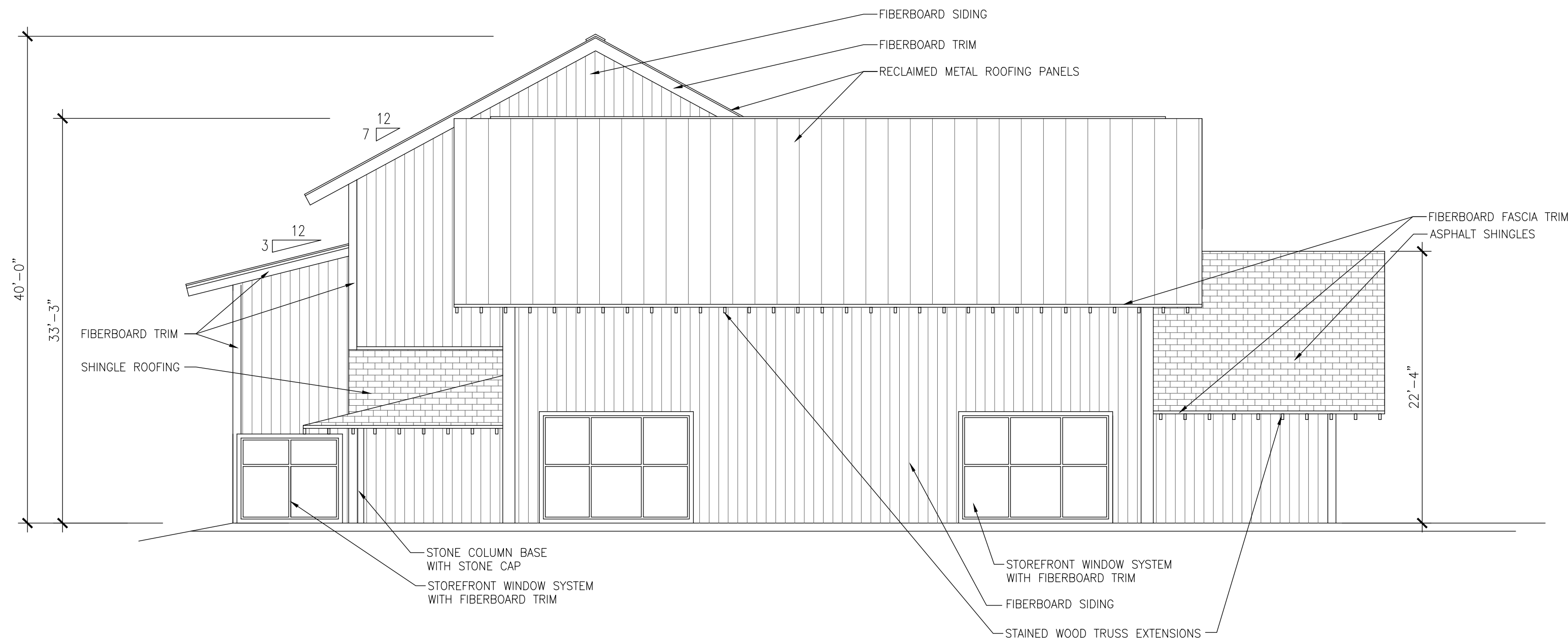
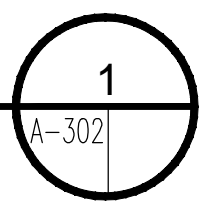
ISSUE DATE:
07-18-16

REVISIONS

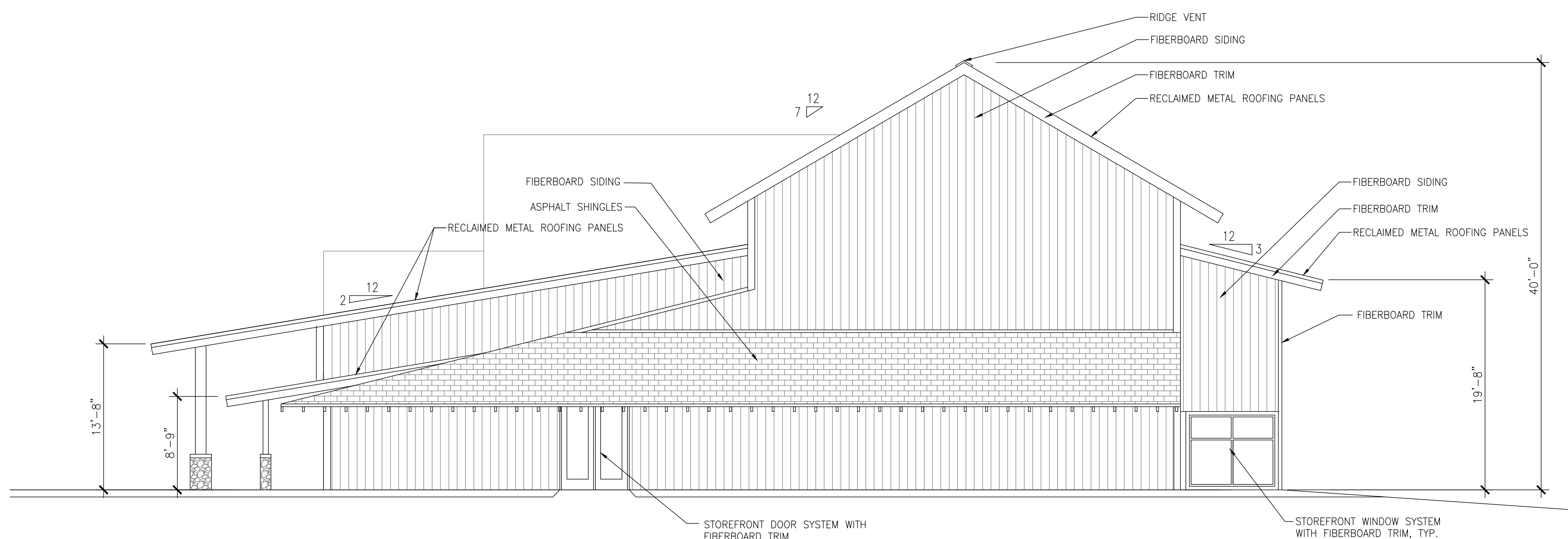
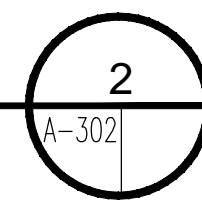
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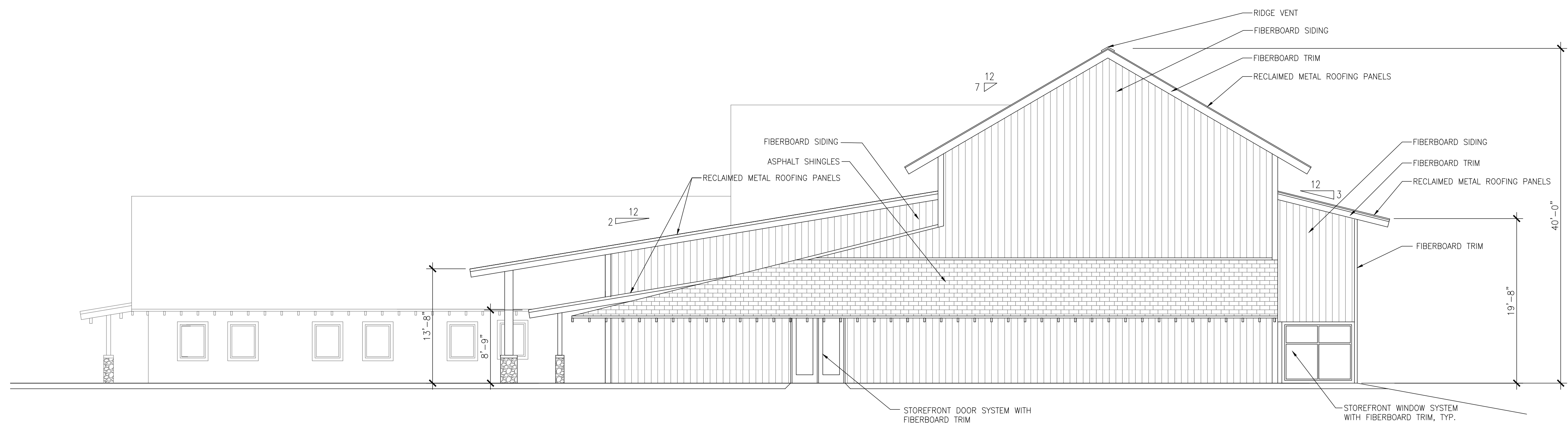
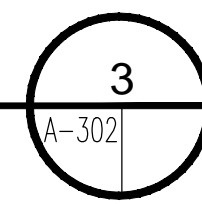
Left Phase 2 Elevation
SCALE: 1/8" = 1'-0"



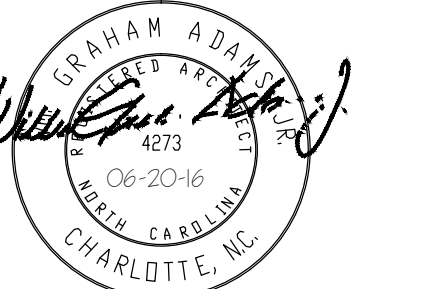
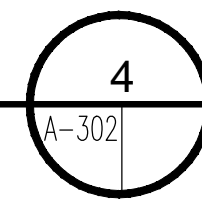
Left Phase 1 Elevation
SCALE: 1/8" = 1'-0"



Right Phase 1 Elevation
SCALE: 1/8" = 1'-0"



Right Phase 2 Elevation
SCALE: 1/8" = 1'-0"



100% CONSTRUCTION
DOCUMENT

THRESHOLD CHURCH
Antioch Church Road, Matthews ,NC

PROJECT NUMBER: 341

ISSUE DATE:
07-18-16

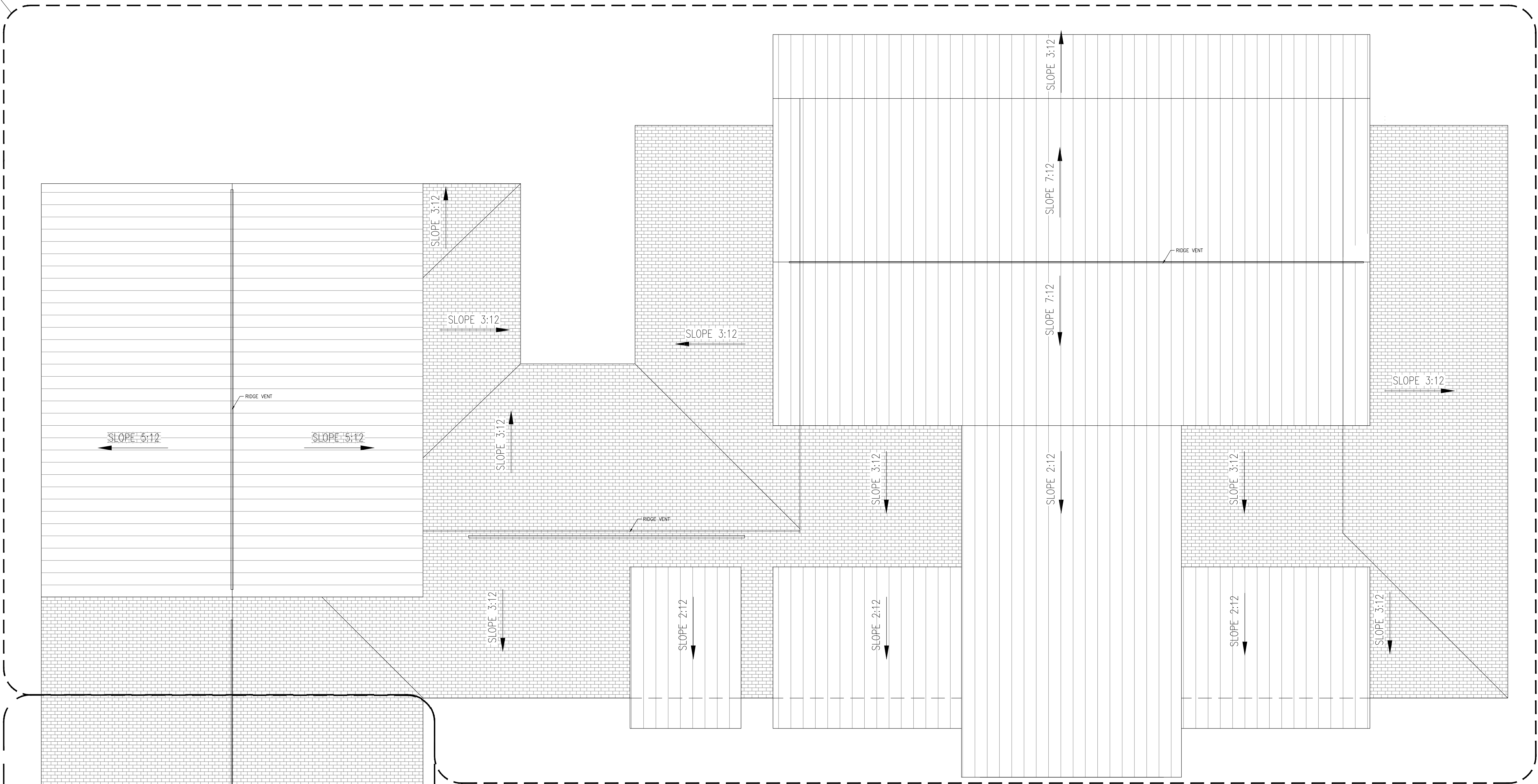
REVISIONS

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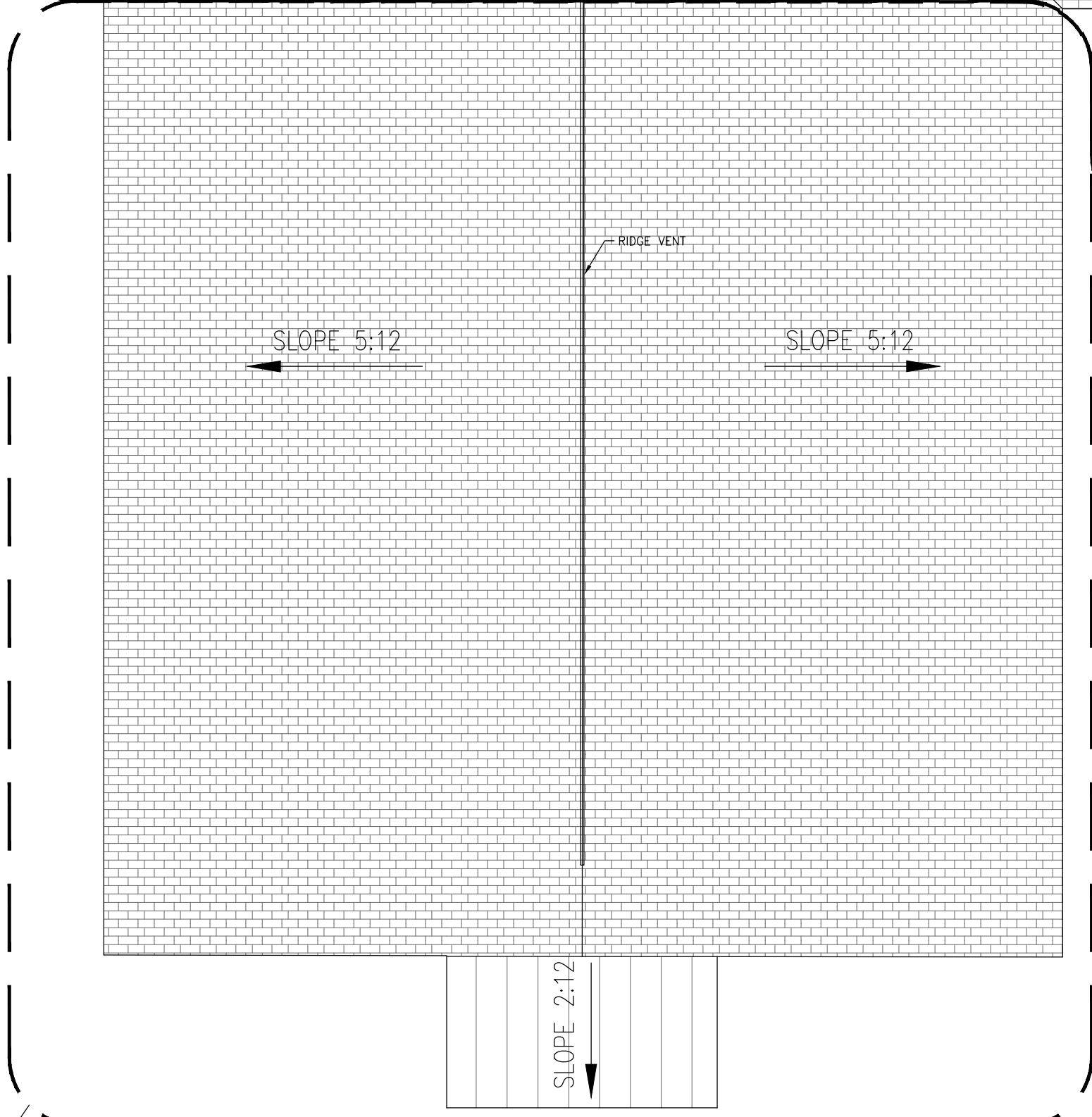
ELEVATIONS

A-302

PHASE 1



PHASE 2



ATTIC VENTILATION CALCULATIONS	
ATTIC AREA=	21,715 SF
REQUIRED ATTIC VENTILATION=	21,715/300= 72.38 SF
PROVIDED ATTIC VENTILATION=	726'x 1" EAVE VENTS= 60.5 SF
	255'x 2" RIDGE VENTS @ 3' MIN
	ABOVE EAVE VENTS= 42.5 SF
	184'x 2" ROOF TO WALL VENTS @ 3' MIN
	ABOVE EAVE VENTS= 30.6 SF
TOTAL ATTIC VENTILATION PROVIDED=	133.6 SF

Roof Plan
SCALE: 1/8" = 1'-0"

1
A-401

REVISIONS	
No.	DATE
No.	DATE
No.	DATE
No.	DATE
No.	DATE

A circular professional engineer seal for the State of North Carolina. The outer ring contains the text "NORTH CAROLINA" at the top and "ENGINEER" at the bottom. Inside the ring, the word "PROFESSIONAL" is at the top, "SEAL" is in the center, and "19586" is below it. The name "CATHERINE REITTER" is written across the seal in cursive. There is a handwritten signature "C. Reitter" and the number "091" at the bottom right of the seal.

PROJECT NUMBER: 216010.00

REVISIONS

ELECTRICAL FLOOR
PLAN - LIGHTING



A. LOCATE ALL LIGHTING FIXTURES PER ARCHITECTURAL REFLECTED CEILING PLANS. PROVIDE ALL REQUIRED HARDWARE TO MOUNT FIXTURE TO CEILING OR STRUCTURE.

B. PROVIDE EMERGENCY TRANSFER RELAY FOR FULL ON BRIGHTNESS OF LIGHTING FIXTURES UPON POWER OUTAGE, SEE DETAIL.

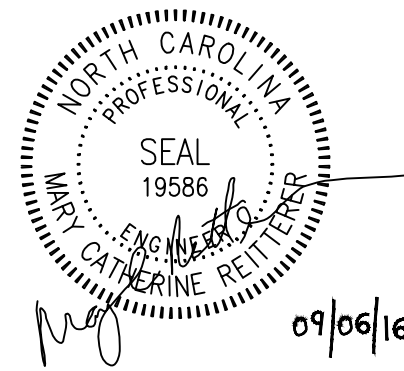
- 1 S4a, S4b, S4c
- 2 S3a, S3b, S3c
- 3 PROVIDE ROUTE AND INSTALL EMPTY CONDUIT AND PULL STRING FOR CIRCUITS IN PHASE 2, TERMINATE CONDUITS AT WALL TO PHASE 2.



Solid-State Lighting
(US and International Patents Pending)



100% CONSTRUCTION
DOCUMENT



THRESHOLD CHURCH
Antioch Church Road, Matthews, NC

PROJECT NUMBER: 216010.00

ISSUE DATE:
03-25-16

REVISIONS

No. 1 08-12-2016
No. 2 09-06-2016
No. DATE
No. DATE
No. DATE
No. DATE

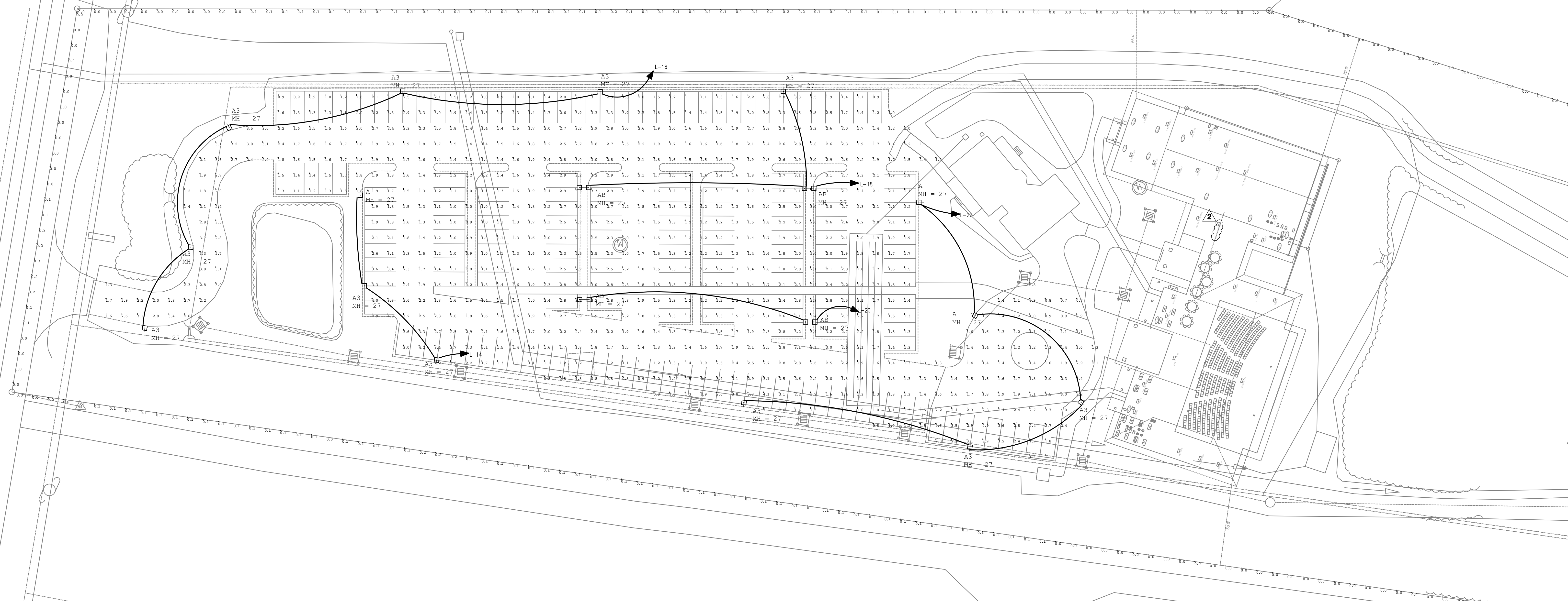
SITE LIGHTING -
ELECTRICAL

E-005

Threshold Church Parking
07142016

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts
☐	11	A3	SINGLE	0.900	Visionaire Lighting # VMX-1-TS-64LC-5-4K-UNV-WSC40 - Full Cutoff	108.9	1197.9
☐	3	A	SINGLE	0.900	Visionaire Lighting # VMX-1-TSW-64LC-5-4K-UNV-WSC40 - Full Cutoff	108.9	326.7
☐	4	AB	BACK-BACK	0.900	Visionaire Lighting # VMX-1-TSW-64LC-5-4K-UNV-WSC40 - Full Cutoff	108.9	871.2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Church Parking Facility	illumiance	FC	1.95	4.2	0.7	2.80	6.00
Light Trespass	illumiance	FC	0.04	0.3	0.0	N.A.	N.A.



SITE LIGHTING - ELECTRICAL

SCALE: 1" = 30' 0"

1"=30'-0" 0' 15' 30' 60'

GENERAL NOTE:

- ALL POLES SHALL BE PROVIDE WITH MOTION SENSORS FOR 50% TO 100% OPERATION.

VMX LED

Project Name: Catalog Number: Type

Dimensional Drawings

The new VMX LED Series offers clean, functional styling that is defined by its sleek low profile design and rugged construction. It combines LED performance and advanced LED thermal management technology and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy tool-less access for mounting and maintenance.

The LED light assemblies come with 32 to 96 LEDs. Seven optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The VMX LED series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

Model	Optics	Source	Current	Kelvin	Voltage	Mounting	Finish	Options
VMX-1	Type I (T1)	# of LEDs (32LC)	350 (3)	3000K (3000K) (UNV)	120-277 *Optional (UNV)	Arm Mount (AM)	Bronze (BZ)	Photocell & Receptacle (PCR120) (PCR288) (PCR240) (PCR277)
	Type II (T2)		530 (5)	4000K (4000K) (UNV)	480* (5)	Wall Mount (WM)	Black (BK)	Photo Receptacle (PER) *See ordering info
	Type III (T3)		96 (96LC)	5000K (5000K) (UNV)	347* (8)	Round Pole Mount Adapter (RPM) are to be ordered separately.	Smooth Black (SBK)	Round Pole Plate Adaptor (RPP) For 3" Pole (RPP3) For 4" Pole (RPP4) For 5" Pole (RPP5) Cast Wall Plate (CAWP)
	Type IV (T4)		700 (7)	5000K (5000K) (UNV)	347* (8)	VMX DRILL DIAGRAM	White (WH)	0-10v Dimming Driver (DD)
	Type I-V-A (T4A)		*1000 (10)	5000K (5000K) (UNV)	*547V & 480V are available in 32LC 350mA	VMX DRILL DIAGRAM	Smooth White (SWH)	Motion Sensor (MS) (WEC-20) (WEC-20) (WEC-20) (WEC-20) 2-20' Motion Sensor
VMX-1	Type V (T5)	# of LEDs (32LC)	350 (3)	3000K (3000K) (UNV)	120-277 *Optional (UNV)	Arm Mount (AM)	Graphite (GP)	Wireless Control (WC)
	Type V-W (T5W)		530 (5)	4000K (4000K) (UNV)	480* (5)	Wall Mount (WM)	Grey (GY)	Universal Pole Mount Adaptor (UPMA)
	Type V-V-A (T5VA)		700 (7)	5000K (5000K) (UNV)	347* (8)	Round Pole Mount Adapter (RPM) are to be ordered separately.	Silver Metallic (SL)	Cutoff Louver Shield (CLS)

For more detailed information on mounting, wiring or installation instructions, please consult factory. If poles are not ordered with fixture, please specify mounting requirements. This document contains proprietary information of Visionaire Lighting, LLC. Any use of this information requires the written approval of Visionaire Lighting, LLC. In working with us, you agree to acknowledge our intellectual property and to protect it from unauthorized use.

VISIONAIRE LIGHTING
Performance Lighting Solutions

THRESHOLD CHURCH

SITE PLAN - PHASE 2

Antioch Church Road
Town of Weddington
North Carolina
Project Number: 14041
Date: June 22, 2016

APPLICANT

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554
richard.wilson@thresholdchurch.com

SURVEYOR

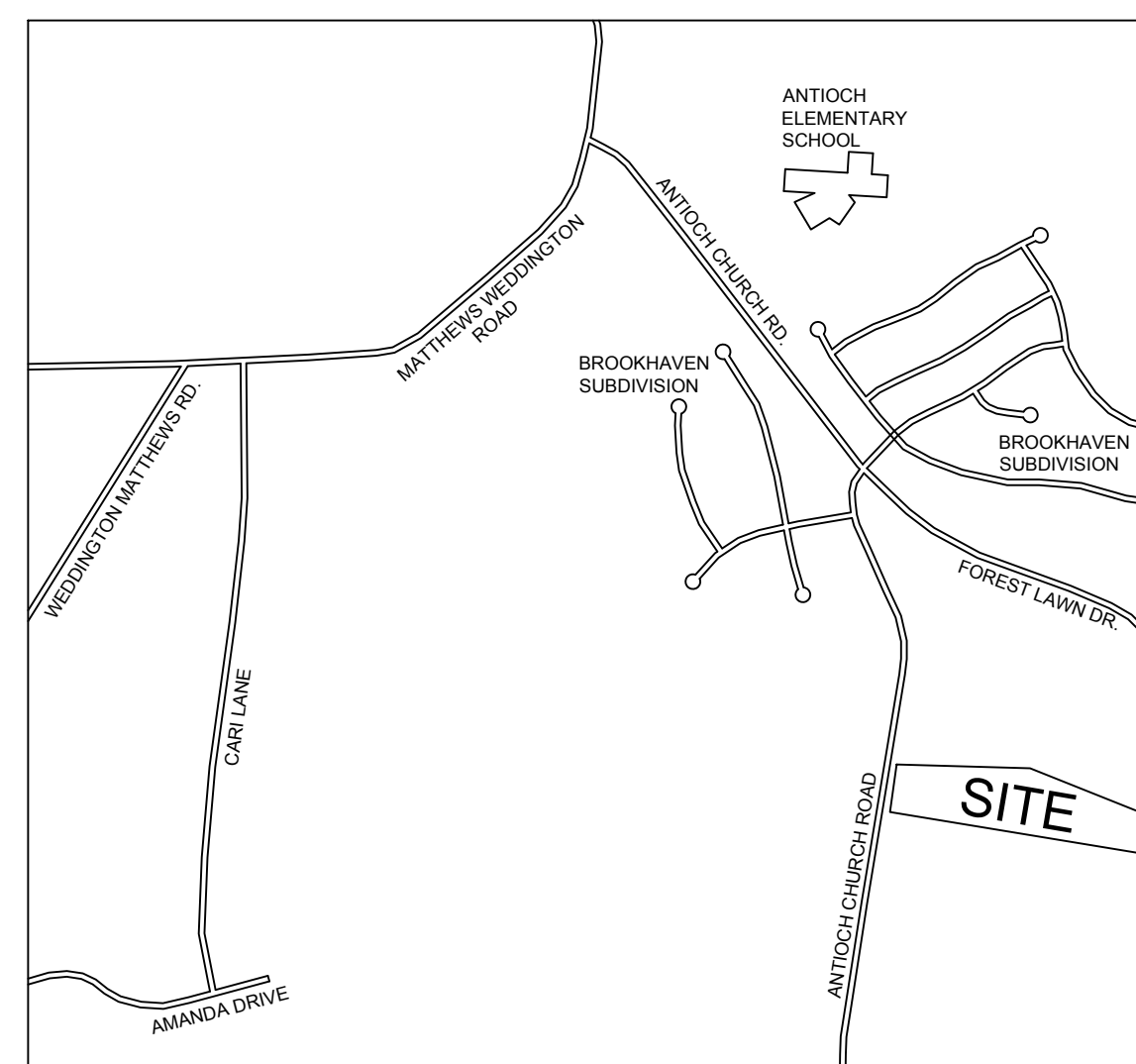
Providence Land Group
3716 Providence Road South
Waxhaw, NC 28173
704.608.4206
jking@providencelandgroup.com

ENGINEER

Construction Materials Engineering
& Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334
jmagennis@cmeccnc.com

SHEET INDEX

SP-1	SITE PLAN
SP-2	SITE PLAN DETAIL
L-1	LANDSCAPE PLAN
G-1	GRADING PLAN
S-1	STORMWATER CONCEPT PLAN
S-2	STORMWATER PRE-DEVELOPMENT PLAN
S-3	STORMWATER POST-DEVELOPMENT PLAN
S-4	DRAINAGE AREA PLAN
S-5	STORM DRAINAGE EASEMENTS
E-1	EROSION CONTROL PLAN - PHASE 1
E-2	EROSION CONTROL PLAN - PHASE 2
E-3	EROSION CONTROL DRAINAGE AREAS
U-1	UTILITY PLAN
D-1 TO D-3	CONSTRUCTION DETAILS



LOCATION MAP
SCALE: 1" = 1,000'

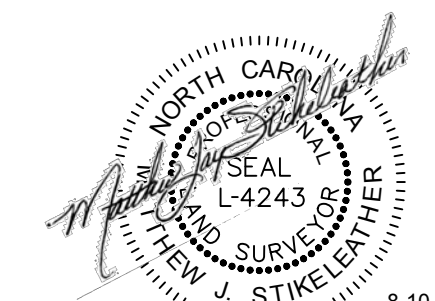
PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

CMEC, PC

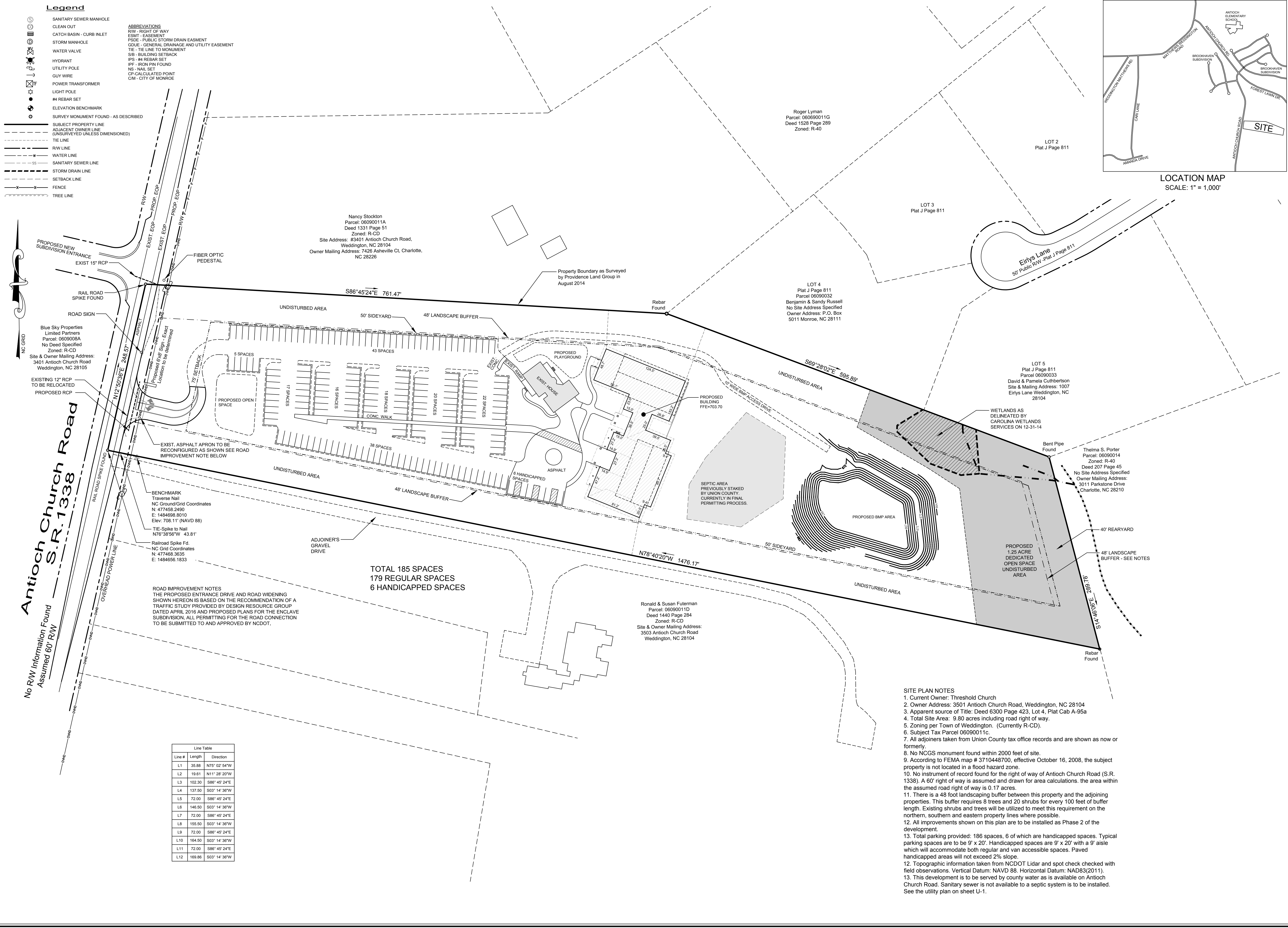
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334



Contractor shall notify "North Carolina One Call" (811) to have utilities located at least 72 hours prior to beginning construction or excavation. Contractor shall contact any local utilities that provide their own location services independent of "North Carolina One Call". Any discrepancies should be reported to the engineer immediately.



Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 ~ SC COA #4356



Surveyor

Providence

Providence Land Group, PLLC

3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

Seal

9-6-16

Engineer

CMEC, PC

Construction Materials
Engineering & Consulting, PC

4401 Shopton Road
Charlotte, NC 28217
704.323.7334

Seal

9-6-16

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church

3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

60' 0' 30' 60'

SCALE: 1" = 60'

Project Name

Threshold Church
Phase 2

Town of Weddington
Union County, North Carolina

Sheet Title

Overall Site Plan

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

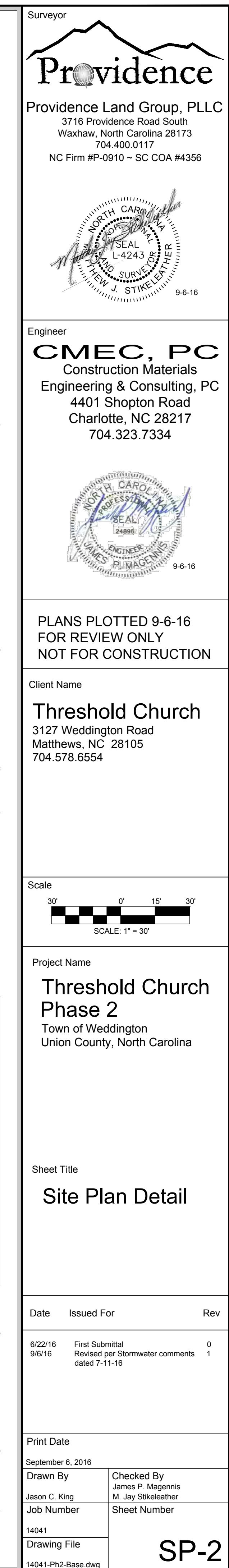
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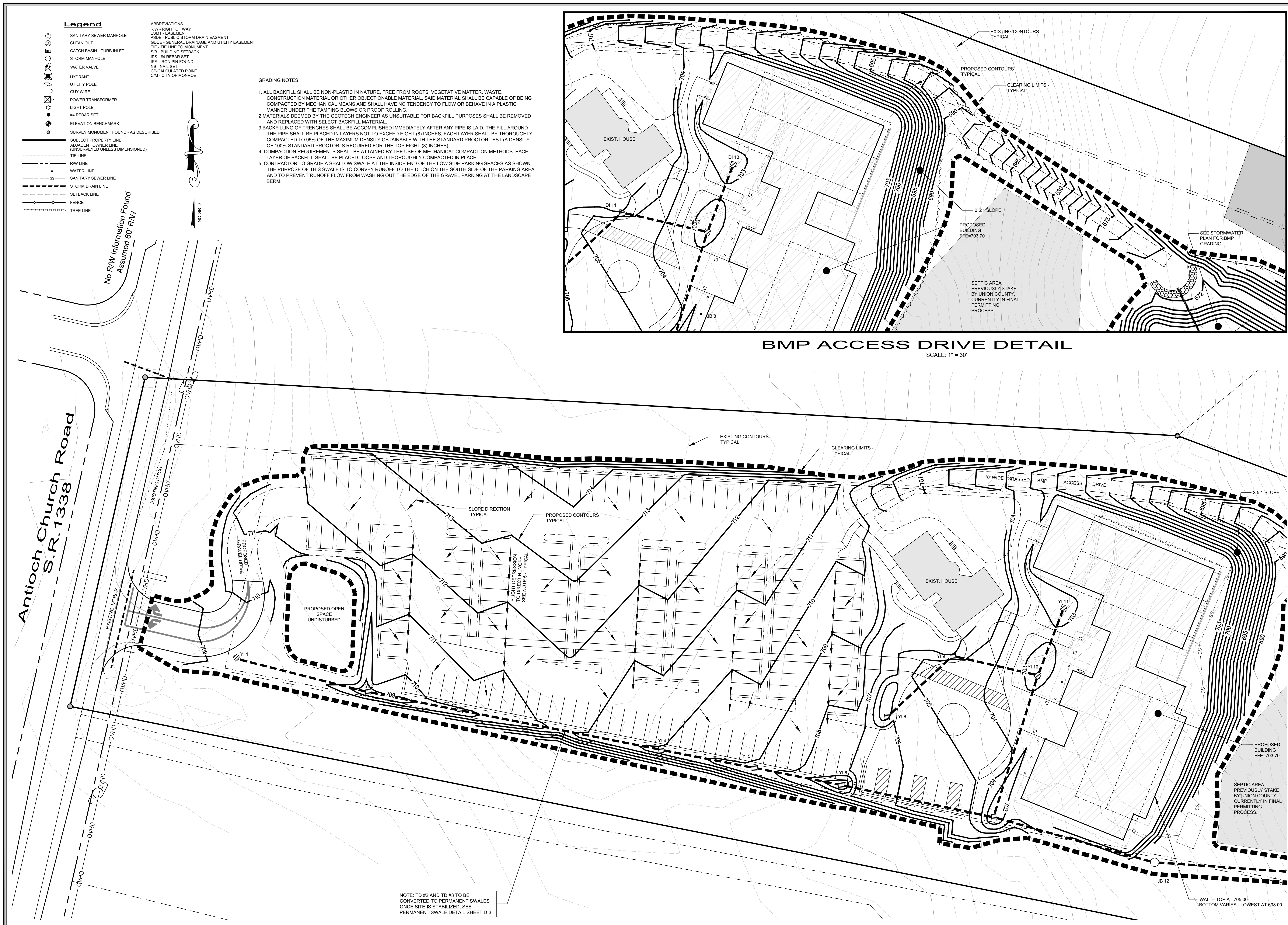
Checked By

James P. Magennis
M. Jay Stikleather

Sheet Number

SP-1





93

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Scale

30' 0' 15' 30'

SCALE: 1" = 30'

Sheet Title

Grading Plan

Print Date

STORMWATER MANAGEMENT

The primary stormwater control for this site will be the proposed pond in the rear of the property. It will function as a skimmer basin during site construction as detailed in the erosion section of this plan, and as a water quality pond after stabilization of the site. As previously discussed, the majority of the property drains to the rear currently and after grading of the site. Storm drain pipe and catch basins will be used to divert runoff from the small area up front to the rear. By this method, all stormwater runoff can be controlled by the proposed pond.

During phase 1 of the erosion control plan, which would be after clearing and grubbing, but before the storm drain pipe is installed, the small area up front will be controlled with silt fence. The rest of the site will drain to the back through a combination of overland flow and a temporary diversion ditch on the southern side of the property. During phase 2, runoff will flow through the storm drain system to the pond. The storm drains will be protected from silt with inlet protection until the site is stabilized.

The proposed pond design is shown below. This pond is more than adequate to detain the 2.10, 25, 50 and 100 year, 24-hour storm to pre-development rates. After the site is stabilized the pond will be converted to a dry, water quality pond and reconfigured to serve as a post-construction stormwater control structure. The design for post-construction will be approved by NCDENR.

After construction, Threshold Church will be responsible for the operation and maintenance of the water quality pond.

CONSTRUCTION SCHEDULE

1. Obtain proper permits from NC DENR and the Town of Weddington.
2. Surveyor to flag clearing limits for the project.
3. Hold preconstruction meeting at least one week before beginning work on site.
4. Install temporary construction entrance.
5. Grade temporary diversion ditch on south side of property.
6. Build pond in rear of property for sediment control.
7. Complete clearing of the site and install silt fence.
8. Rough grade site.
9. Complete final grading and place gravel in the drive and parking areas.
10. Seed site per vegetation schedule to achieve site stabilization.
11. Inspect erosion control measures weekly or after rainfall events until the site is stabilized.
12. After stabilization is complete, removed silt fence and other temporary erosion control measures.
13. Convert pond to post-construction design for water quality.
14. Estimated time before final stabilization, 2 months.

Legend

Legend

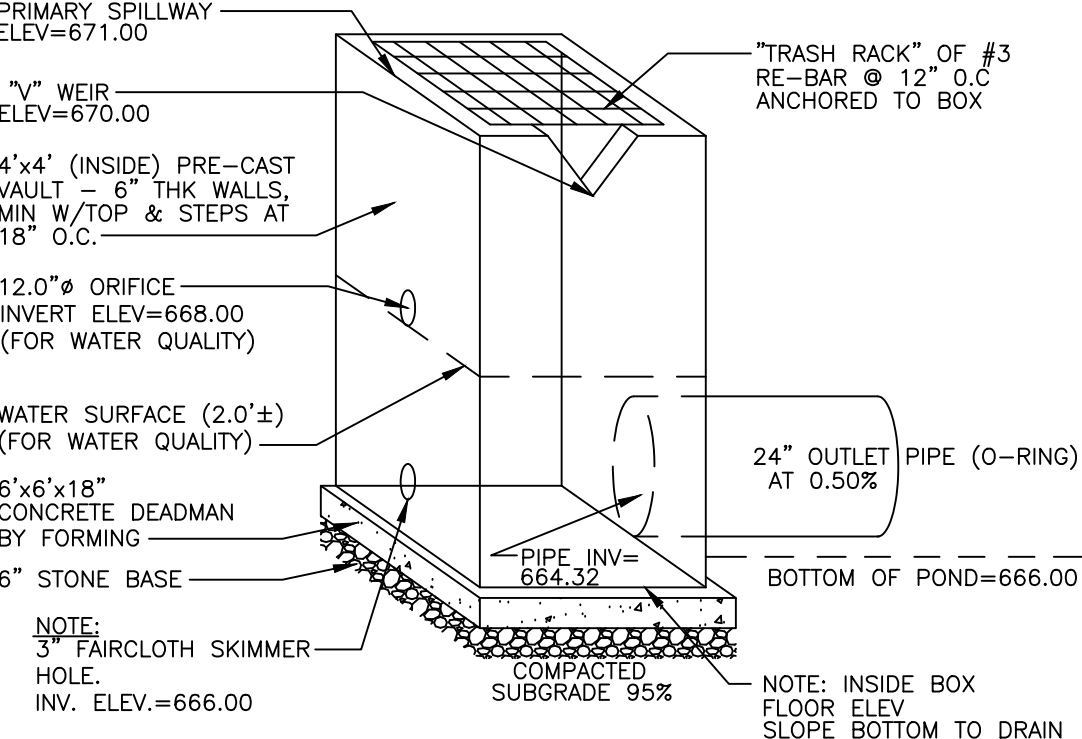
Sanitary Sewer Manhole
Clean Out
Catch Basin - Curb Inlet
Storm Manhole
Water Valve
Hydrant
Utility Pole
Guy Wire
Power Transformer
Light Pole
#4 Rebar Set
Elevation Benchmark
Survey Monument Found - As Described

Subject Property Line
Adjacent Owner Line (Unsurveyed Unless Dimensioned)
Tie Line
RW Line
Water Line
Sanitary Sewer Line
Storm Drain Line
Setback Line
Fence
Tree Line

ABBREVIATIONS
RW - RIGHT OF WAY
ESMT - EASEMENT
PSDE - PUBLIC STORM DRAIN EASEMENT
GDUE - GENERAL DRAINAGE AND UTILITY EASEMENT
TIE - TIE LINE TO MONUMENT
SIB - BUILDING SETBACK
IPS - #4 REBAR SET
IPF - IRON PIN FOUND
NS - NAIL SET
CP - CALCULATED POINT
CM - CITY OF MONROE

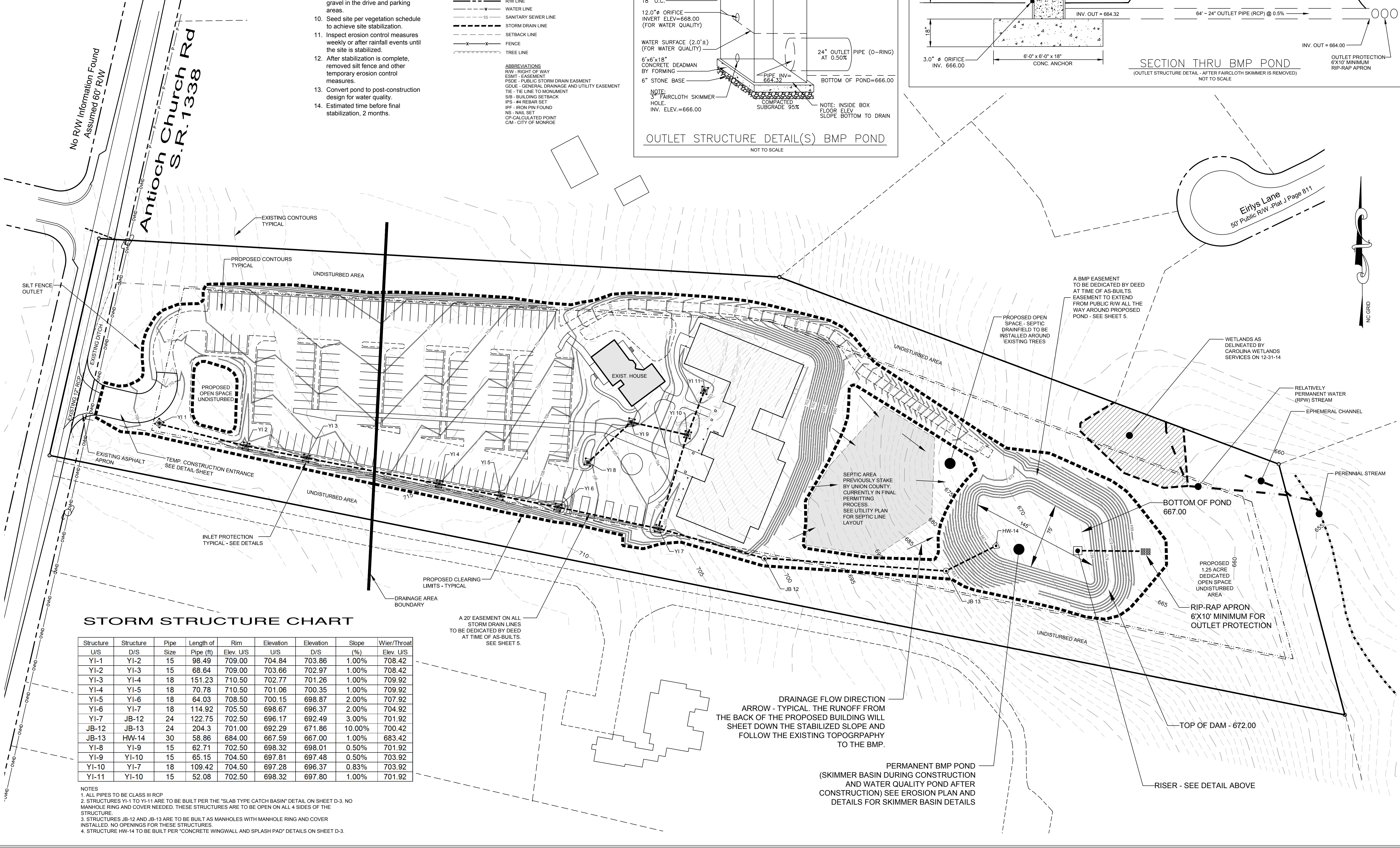
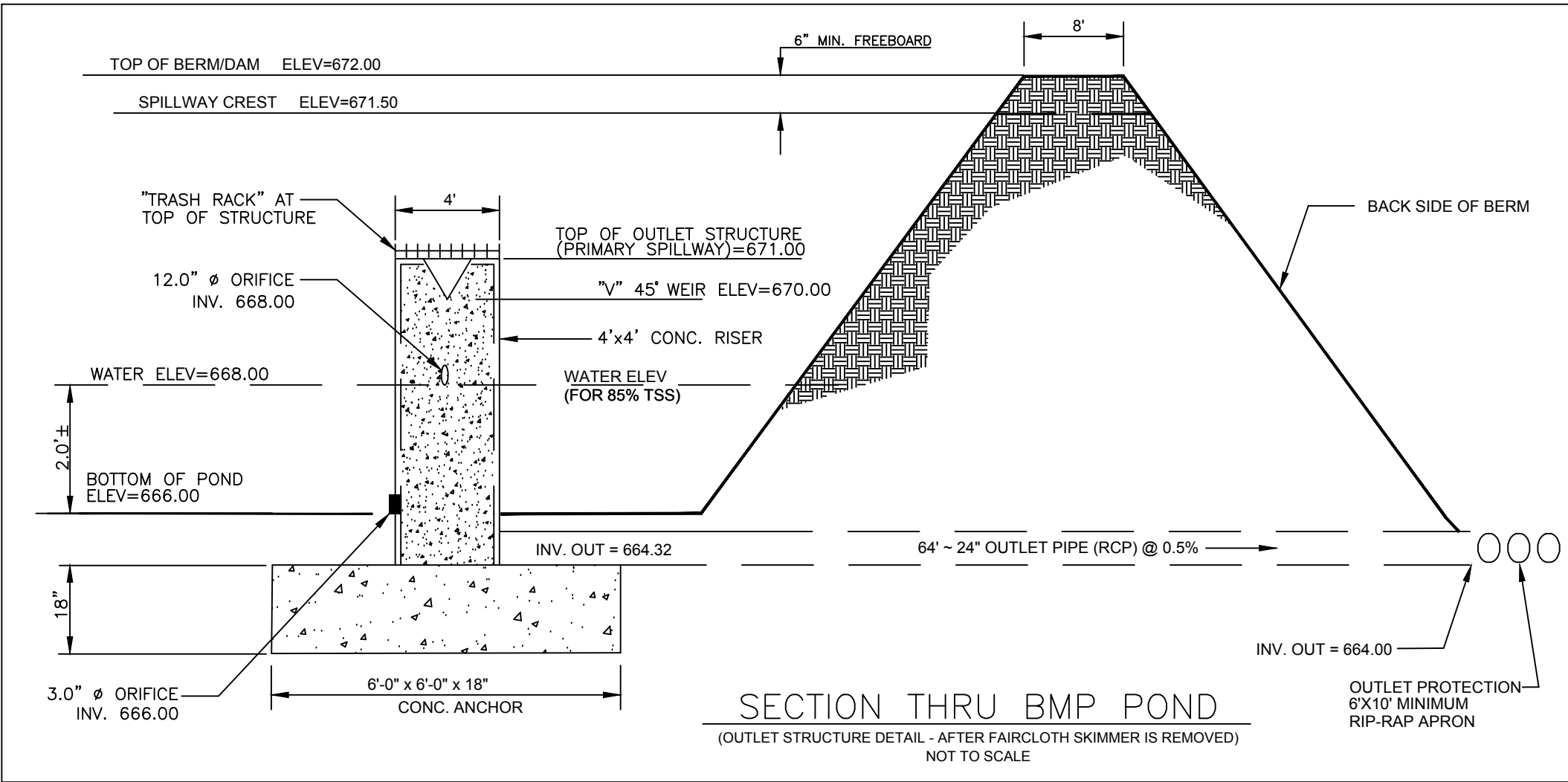
MAINTENANCE PLAN FOR DETENTION POND/WATER QUALITY POND

1. INSPECT AFTER EVERY RAINFALL EVENT
2. CLEAN UP TRASH, SEDIMENT, TREE LIMBS, ETC. AFTER RAINFALL EVENT OR AT LEAST EVERY 6 MONTHS.
3. MOW GRASS IN & AROUND POND PERIODICALLY.
4. REGRADE POND BOTTOM TO PROVIDE DRAINAGE TOWARD OUTLET STRUCTURE & DISCHARGE POINT. ADD NEW RIP RAP AS REQUIRED. CLEAN OUT & AROUND OUTLET STRUCTURE. REMOVE ANY ACCUMULATION OF SEDIMENT.
5. REPAIR ANY WASHED SLOPES ON POND BANKS AS REQUIRED.
6. CHECK EMERGENCY SPILLWAY - MAKE SURE IT IS SECURE & GROUND IS STABLE AT ALL TIMES. REPAIR ANY DAMAGE TO SPILLWAY AS REQUIRED.
7. CLEAN PERM. POOL OF WATER-REMOVE ANY DEBRIS AFTER RAINFALL EVENT.



OUTLET STRUCTURE DETAIL(S) BMP POND

NOT TO SCALE



STORM STRUCTURE CHART

Structure	Structure	Pipe	Length of	Rim	Elevation	Elevation	Slope	Weir/Throat
U/S	D/S	Size	Pipe (ft)	Elev. U/S	U/S	D/S	(%)	Elev. U/S
YI-1	YI-2	15	98.49	709.00	704.84	703.86	1.00%	708.42
YI-2	YI-3	15	68.64	709.00	703.66	702.97	1.00%	708.42
YI-3	YI-4	18	151.23	710.50	702.77	701.26	1.00%	709.92
YI-4	YI-5	18	70.78	710.50	701.06	700.35	1.00%	709.92
YI-5	YI-6	18	64.03	708.50	700.15	698.87	2.00%	707.92
YI-6	YI-7	18	114.92	705.50	698.67	696.37	2.00%	704.92
YI-7	JB-12	24	122.75	702.50	696.17	692.49	3.00%	701.92
JB-12	JB-13	24	204.3	701.00	692.29	671.86	10.00%	700.42
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YI-11	YI-10	15	52.08	702.50	698.32	697.80	1.00%	701.92

NOTES
1. ALL PIPES TO BE CLASS III RCP
2. STRUCTURES YI-1 TO YI-11 ARE TO BE BUILT PER THE 'SLAB TYPE CATCH BASIN' DETAIL ON SHEET D-3. NO MANHOLE RING AND COVER NEEDED. THESE STRUCTURES ARE TO BE OPEN ON ALL 4 SIDES OF THE STRUCTURE.
3. STRUCTURES JB-12 AND JB-13 ARE TO BE BUILT AS MANHOLES WITH MANHOLE RING AND COVER INSTALLED. NO OPENINGS FOR THESE STRUCTURES.
4. STRUCTURE HW-14 TO BE BUILT PER 'CONCRETE WINGWALL AND SPLASH PAD' DETAILS ON SHEET D-3.

Surveyor

Providence

Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

50' 0' 25' 50'
SCALE: 1" = 50'

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Stormwater
Concept Plan**

Date Issued For Rev

6/22/16 First Submittal 0
9/6/16 Revised per Stormwater comments dated 7-11-16 1

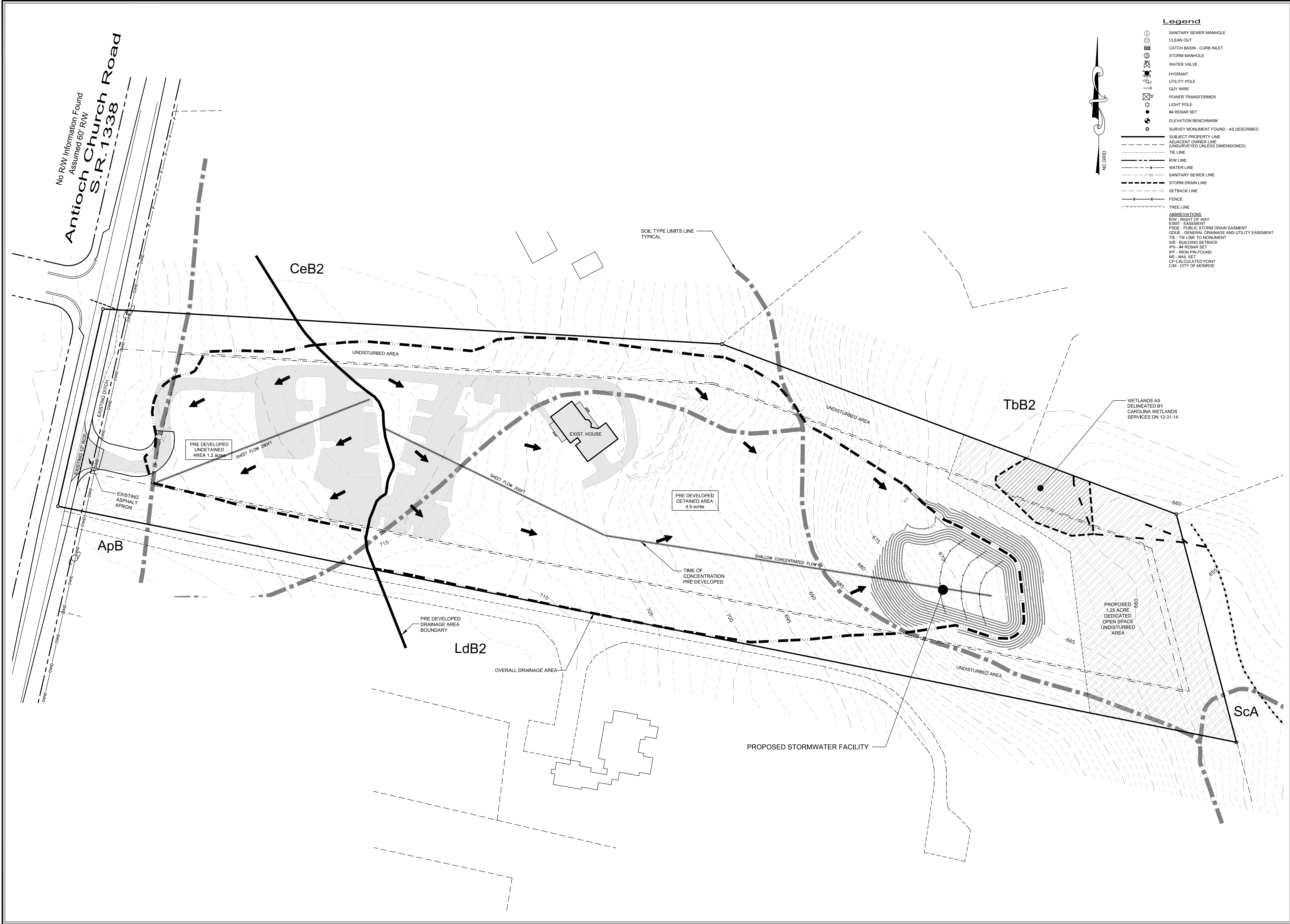
Print Date

September 6, 2016


Drawn By Jason C. King
Checked By James P. Magennis
Job Number M. Jay Stickleather
Sheet Number

14041
Drawing File
14041-Ph2-Base.dwg

S-1



Surveyor



Providence

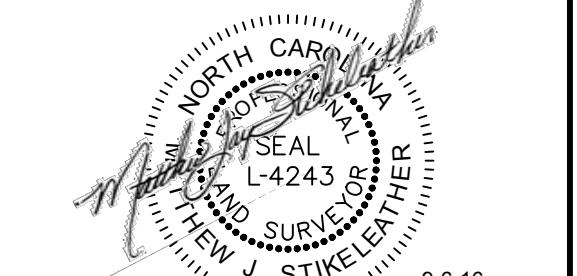
Providence Land Group, PLLC

3716 Providence Road South

Waxhaw, North Carolina 28173


704.400.0117

NC Firm #P-0910 - SC COA #4356



9-6-16

Engineer



CMC, PC


Construction Materials

Engineering & Consulting, PC

4401 Shopton Road

Charlotte, NC 28217

704.323.7334



9-6-16

PLANS PLOTTED 9-6-16

FOR REVIEW ONLY

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Client Name

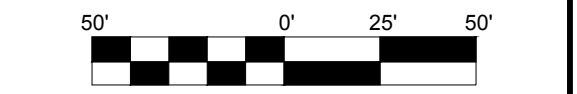
Threshold Church

3127 Weddington Road

Matthews, NC 28105

704.578.6554

Scale



SCALE: 1" = 50'

Project Name

Threshold Church

Phase 2

Town of Weddington

Union County, North Carolina

Sheet Title

Stormwater Plan

Pre-Developed

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

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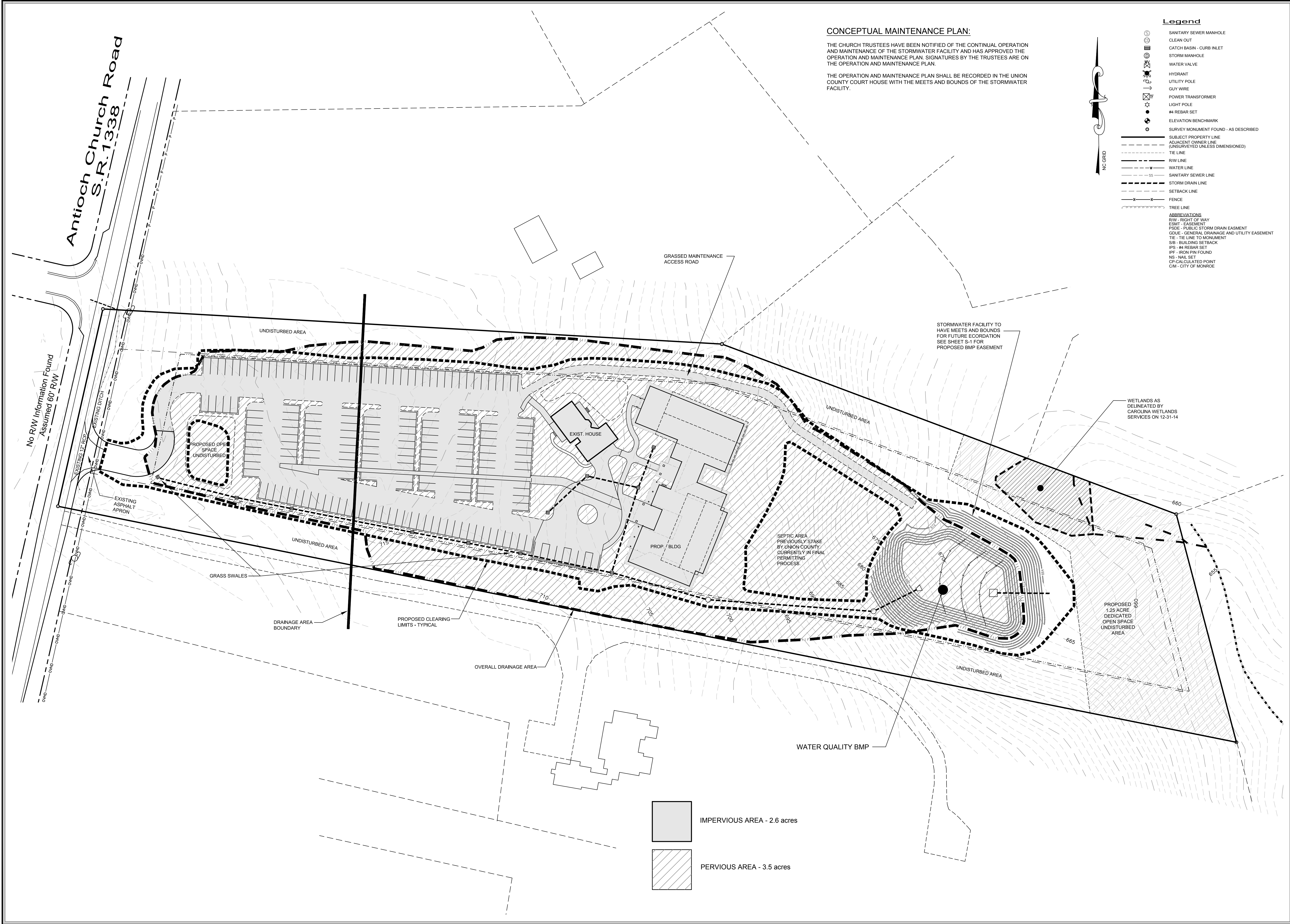
Checked By

James P. Magennis

M. Jay Stikeleather

Sheet Number

S-2



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Client Name

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Scale

50' 0' 25' 50'
SCALE: 1" = 50'

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Stormwater Plan
Post Developed**

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

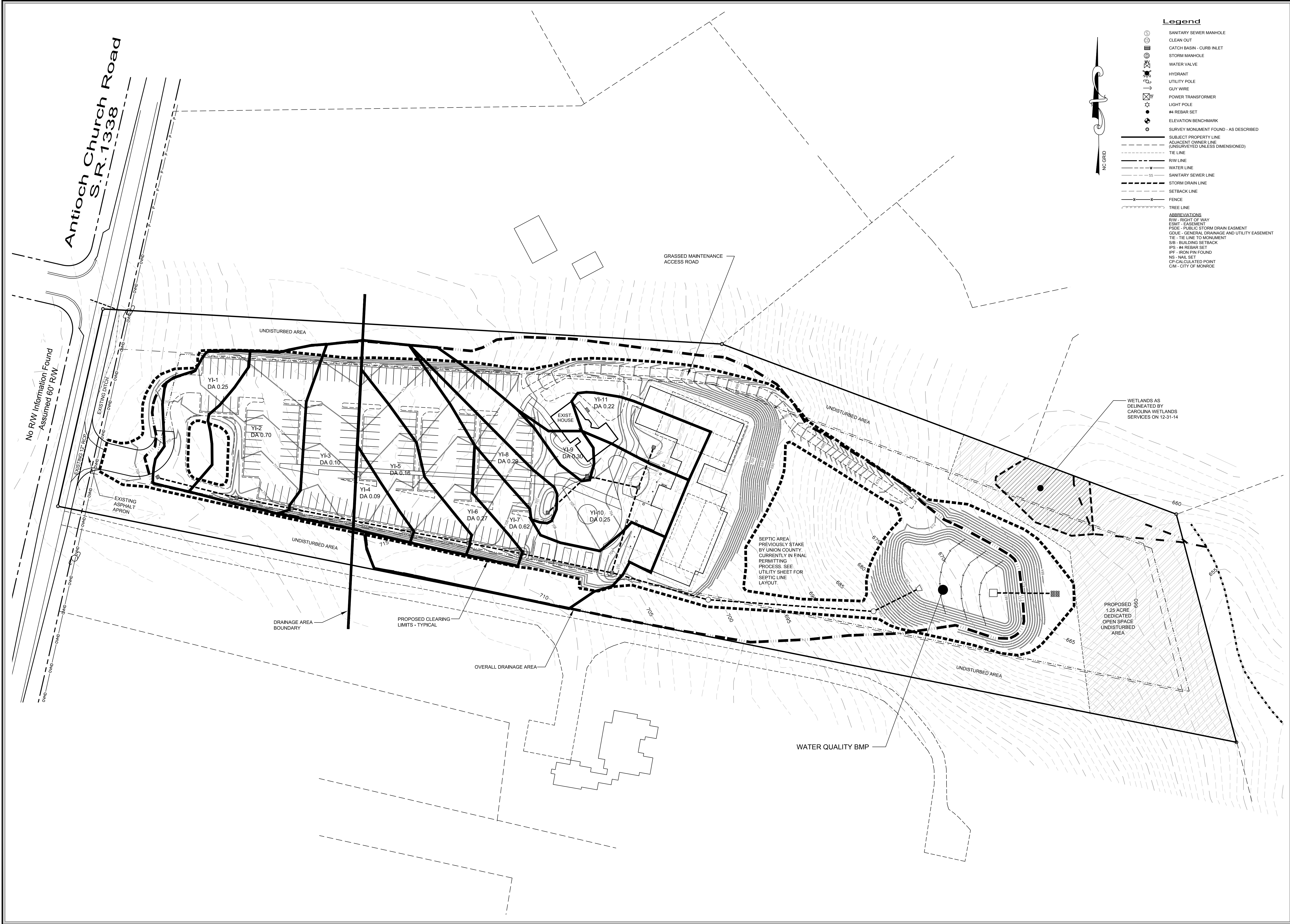
September 6, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikeleather

Job Number	Sheet Number
14041	

Drawing File	
14041-Ph2-Base.dwg	

S-3



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704.323.7334

Client Name

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Matthews, NC 28105
704.578.6554

Plans Plotted

9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater Plan
Drainage Areas

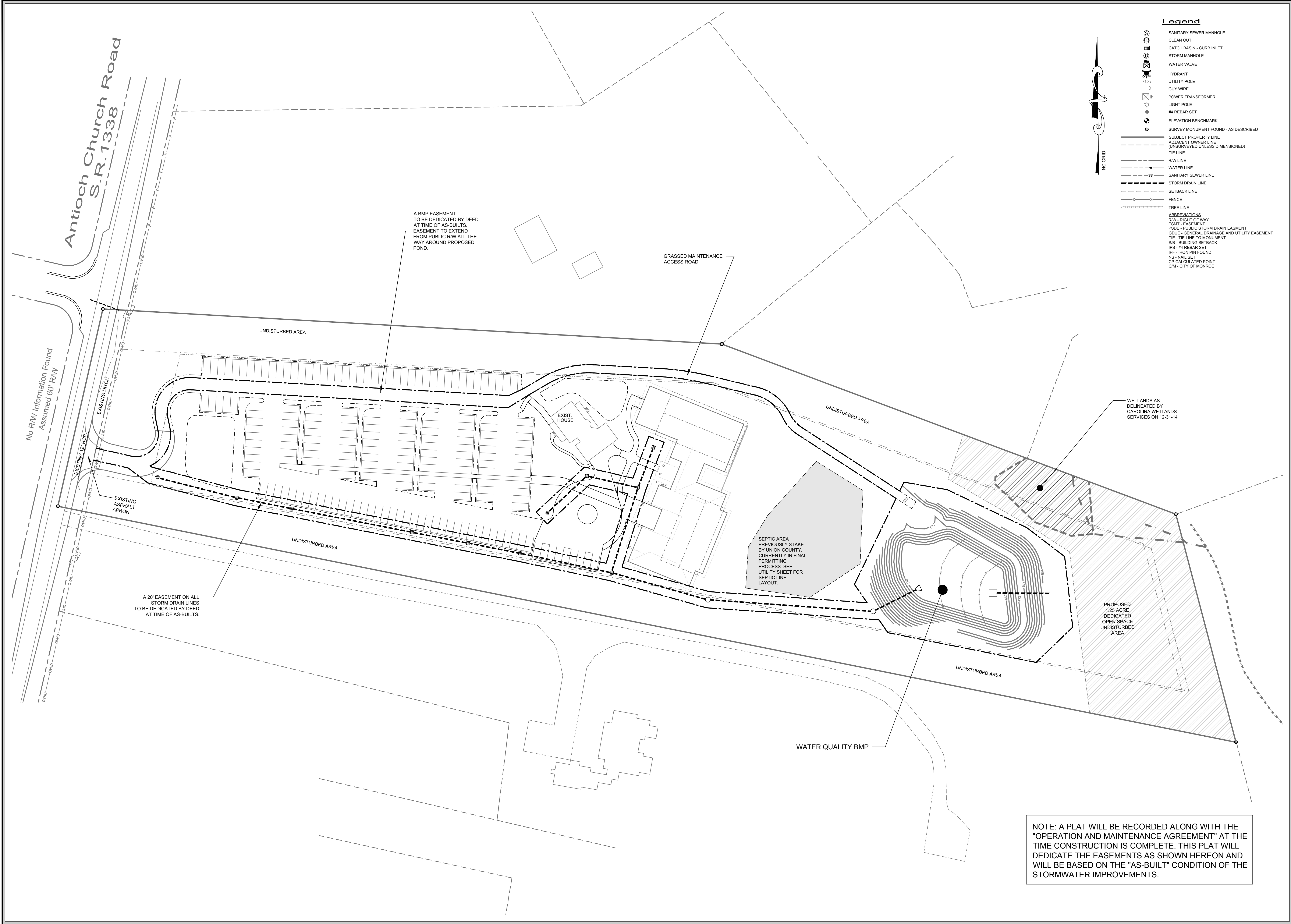
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9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date


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Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikeleather
Job Number	Sheet Number
14041	
Drawing File	
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S-4

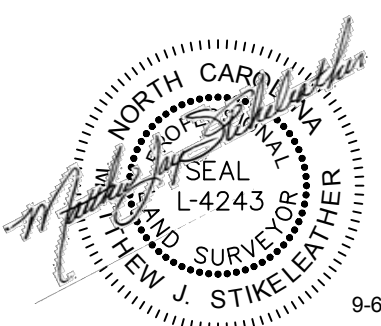


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9-6-16

Engineer



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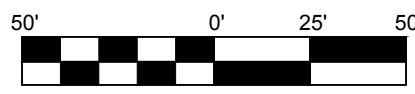
9-6-16

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



SCALE: 1" = 50'

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater Plan
Easements and
Maintenance Plan

Date	Issued For	Rev
9/1/16	Added sheet to show easements and maintenance information	0

Print Date

September 6, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikleather
Job Number	Sheet Number
14041	
Drawing File	
14041-Ph2-Base.dwg	

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EROSION AND SEDIMENT CONTROL PLAN

PURPOSE:

THE PURPOSE OF THIS EROSION & SEDIMENT CONTROL PLAN IS FOR THE GRADING OF A FUTURE SITE

GENERAL NOTES:

1. DURING CONSTRUCTION AND UNTIL TURF IS ESTABLISHED, USE THE DESIGNED EROSION DEVICES AS SHOWN ON DETAIL SHEETS AND MAINTAIN AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION RUNOFF.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL VERIFY LOCATION AND AVAILABILITY OF ALL UTILITIES AFFECTING THE PROJECT ON AND OFF THE SITE.
4. ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING, REMOVE ALL MATERIALS OF WHATEVER SUBSTANCE ENCOUNTERED.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY/STATE ENGINEERING DEPARTMENT.
6. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING ALL UTILITY CONSTRUCTION.
7. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY CONSTRUCTION. CONTRACTOR MUST VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
8. 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT N.C. ONE-CALL (800) 632-4949 FOR UNDERGROUND UTILITIES LOCATION.
9. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
10. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON PLAN. ALL GRADED SLOPES MUST BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETION OF GRADING. ALL REMAINING AREAS ARE TO BE SEEDED AND MULCHED WITHIN 14 DAYS.
11. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1
12. ALL FILL MUST BE PLACED IN MAXIMUM 1 FOOT LIFTS TO A MINIMUM 95% COMPACTION. N.C. STATE BUILDING CODE FOR 3000psf MINIMUM COMPACTION IS REQUIRED IN BUILDING AREA.
13. ANY CUT AND/OR FILL SLOPE EXCEEDING 10' IN HEIGHT IS TO HAVE A SLOPE DRAIN INSTALLED AT TOP OF SLOPE. SLOPE DRAIN TO REMAIN UNTIL DRAINAGE AREA HAS STABILIZED.

EROSION CONTROL CONSTRUCTION NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CLEARING OPERATIONS. NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL OF THE NC DENR.
2. ANY FAILURE TO MAINTAIN EROSION CONTROL MEASURES WILL RESULT IN APPROPRIATE ENFORCEMENT ACTIONS IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NCGS CHAPTER 113A, ARTICLE 4), AND THE NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CHAPTER 4.
3. ANY EXISTING STREETS THAT ARE AFFECTED BY MUD, DEBRIS, OR SEDIMENT SHALL BE CLEANED WITHIN 24 HOURS OF NOTICE.
4. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN (2:1 IN CUT AND 3:1 IN FILL) THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
5. TOPOGRAPHY FROM A FIELD RUN TOPOGRAPHIC SURVEY BY PROVIDENCE LAND GROUP.
6. TEMPORARY DITCHES TO HAVE A 10% MAXIMUM SLOPE. DITCHES TO BE TEMPORARILY SEEDED.
7. ANY NEW TRAP OR BASIN NEEDS TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.

CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING PERMIT FROM NCDEQ AND SET UP PRE-CONSTRUCTION CONFERENCE ON-SITE WITH THE EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES. (704)-663-1699.
2. INSTALL CONSTRUCTION ENTRANCE INTO PROPERTY.
3. CLEAR ONLY AREA NECESSARY TO INSTALL SILT FENCE AND SEDIMENT BASIN AREA.
4. WHEN ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND ARE FULLY FUNCTIONAL, CALL FOR INSPECTION OF DEVICES. ONCE APPROVED, BEGIN CLEARING.
5. HAVE SITE INSPECTIONS FOR PHASES OF CONSTRUCTIONS AS NECESSARY TO COMPLY WITH THE SELF INSPECTION PROGRAM.
6. MAINTENANCE OF EROSION CONTROL DEVICES WILL BE DONE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL OF 0.5 INCH OR GREATER. A DAILY LOG BOOK OF CONSTRUCTION ACTIVITY IS TO BE KEPT OF ALL MAINTENANCE IN COMPLIANCE WITH THE LATEST NPDES PERMITTING STANDARDS.
7. TRANSITION EROSION SEDIMENT CONTROL DEVICES AS GRADES CHANGE.
8. USE TEMPORARY AND PERMANENT SEEDING AS NECESSARY.
9. AFTER COMPLETION OF THE PROJECT CALL FOR A FINAL INSPECTION AND TERMINATE GRADING PERMIT.

STOCKPILE NOTE:

ALL MATERIAL IS TO REMAIN ON-SITE. TOP SOIL IS TO BE STRIPPED AND USED IN FINAL LOT GRADING OUTSIDE OF BUILDING PAD OR ON SLOPE SURFACES AND NON-STRUCTURAL AREAS. STOCKPILED MATERIAL FOR SEDIMENT BASIN CLOSURE SHALL BE PLACED ON ADJACENT LOTS TO BASIN COMPACTED AND STABILIZED.

SITE NOTES:

ALL CONTOUR ELEVATIONS ARE BASED ON A SURVEY FROM PROVIDENCE LAND GROUP. ANY ISSUES PERTAINING TO ELEVATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION.

Legend

- SANITARY SEWER MANHOLE
- CLEAN OUT
- CATCH BASIN - CURB INLET
- STORM MANHOLE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- GUY WIRE
- POWER TRANSFORMER
- LIGHT POLE
- #4 REBAR SET
- ELEVATION BENCHMARK
- SURVEY MONUMENT FOUND - AS DESCRIBED
- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- R/W LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TREE LINE
- ABBREVIATIONS
- R/W - RIGHT OF WAY
- ESMT - EASEMENT
- PSDE - PUBLIC STORM DRAIN EASEMENT
- GDUE - GENERAL DRAINAGE AND UTILITY EASEMENT
- TIE - TIE LINE TO MONUMENT
- SIB - BUILDING SETBACK
- IPS - #4 REBAR SET
- IPF - IRON PIN FOUND
- NS - NAIL SET
- CP - CALCULATED POINT
- C/M - CITY OF MONROE

CONTACT:

JAY STIKELEATHER - 704-400-0117

WATERSHED:

THE SITE IS LOCATED WEST TWELVE MILE CREEK BASIN IN THE CATAWBA RIVER BASIN

SOILS NOTES:

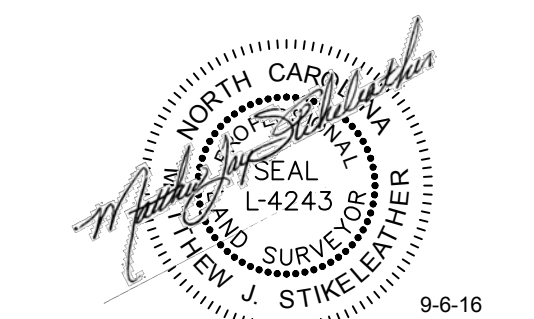
THE SOILS IN THIS AREA ARE:
CECIL - CbB2 HYDROLOGIC GROUP "B"
LLOYD - LbB2 HYDROLOGIC GROUP "B"
TARRUS - TbB2 HYDROLOGIC GROUP "B"
APPLING - WbD HYDROLOGIC GROUP "B"

LOCATION:

LATITUDE 35.0500° LONGITUDE 80.7199°

Surveyor

Providence
Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356



Engineer

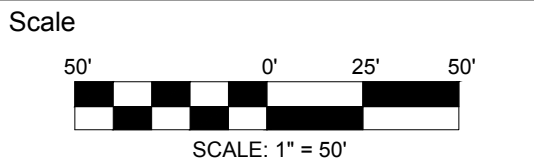
CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
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PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554



Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Erosion Control
Plan - Phase 1

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

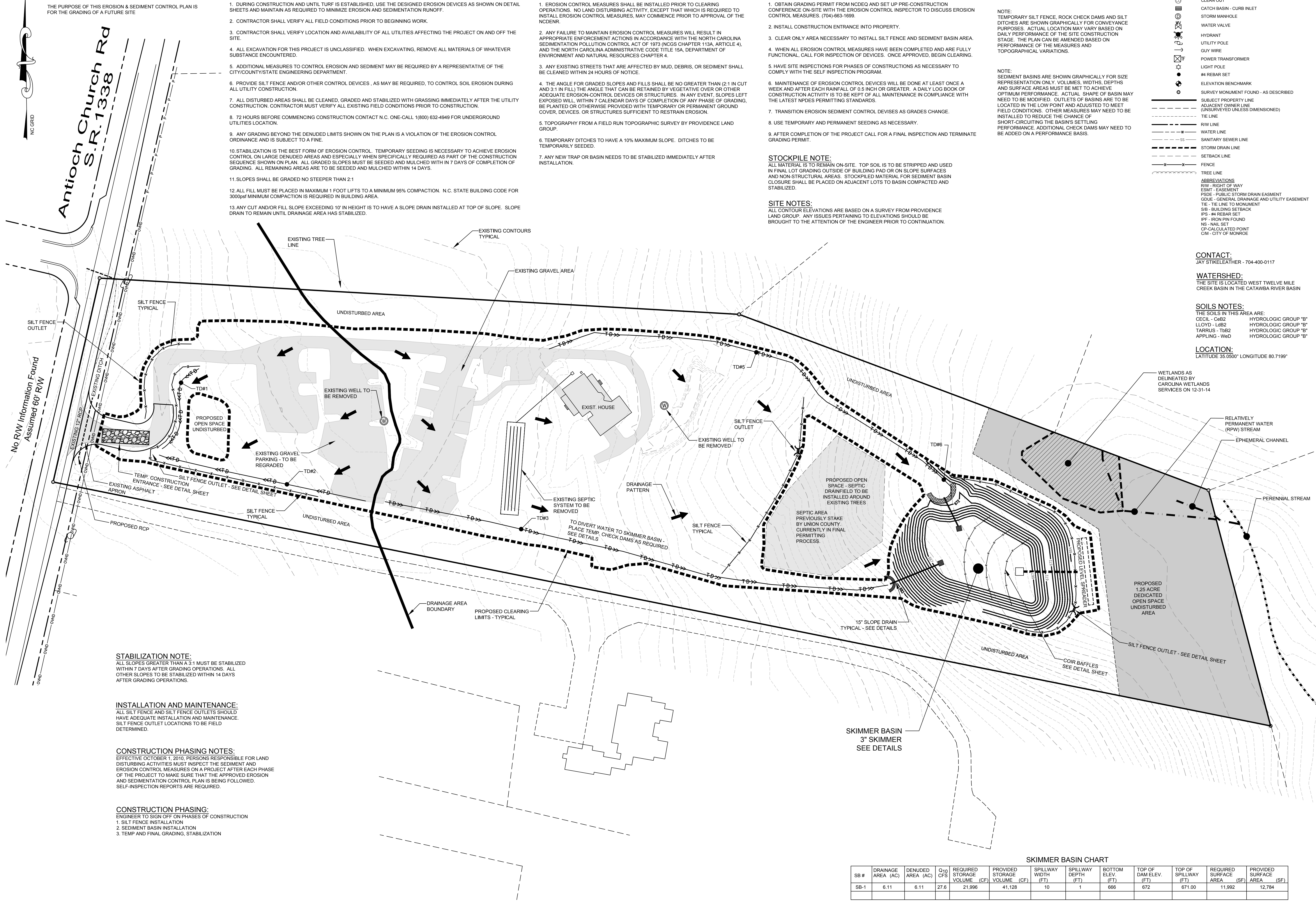
Drawn By	Checked By
Jason C. King	James P. Wacenis
Job Number	Sheet Number

14041

Drawing File

14041-Ph2-Base.dwg

E-1



STABILIZATION NOTE:
ALL SLOPES GREATER THAN A 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING OPERATIONS. ALL OTHER SLOPES TO BE STABILIZED WITHIN 14 DAYS AFTER GRADING OPERATIONS.

INSTALLATION AND MAINTENANCE:
ALL SILT FENCE AND SILT FENCE OUTLETS SHOULD HAVE ADEQUATE INSTALLATION AND MAINTENANCE. SILT FENCE OUTLET LOCATIONS TO BE FIELD DETERMINED.

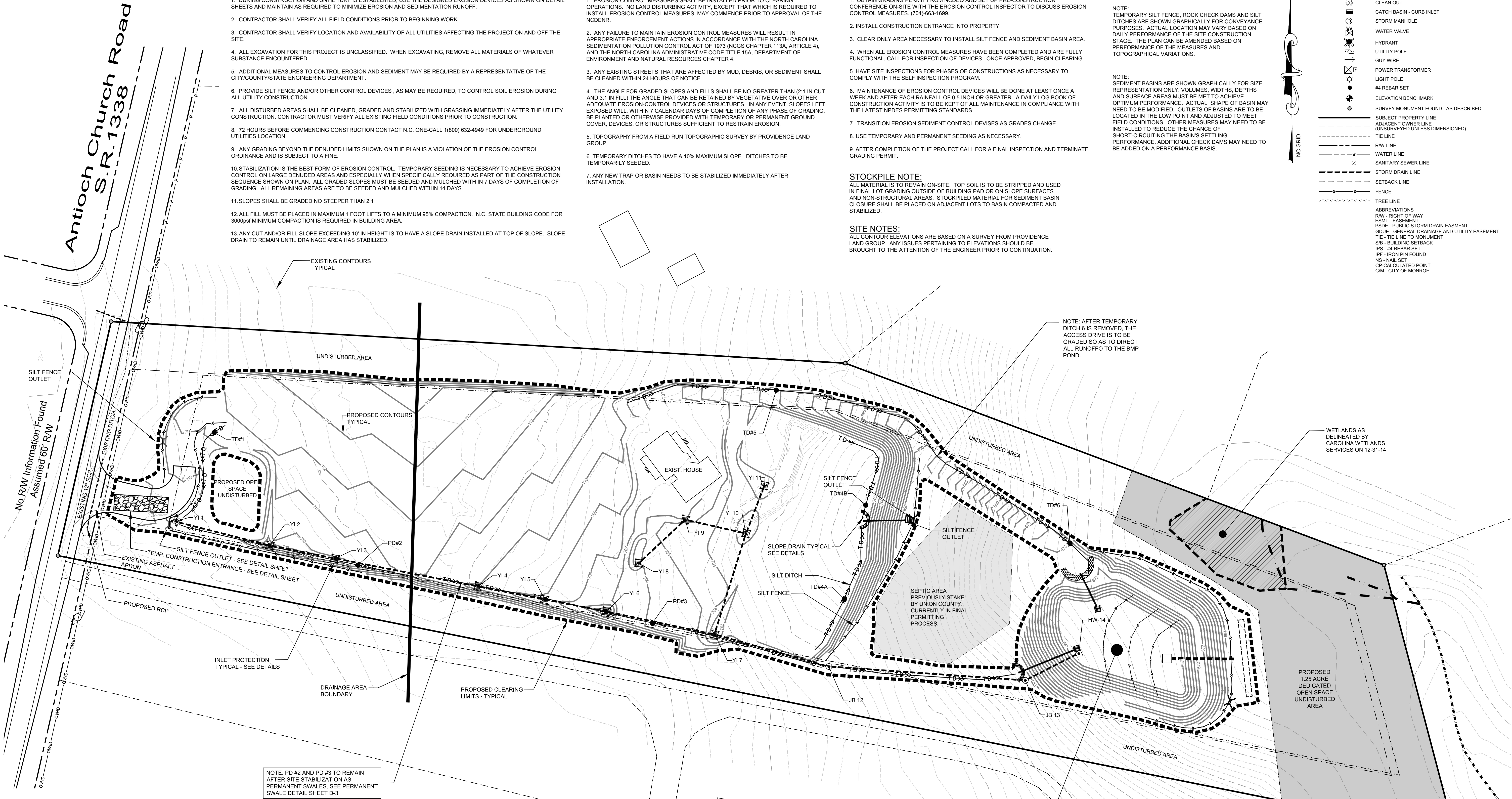
CONSTRUCTION PHASING NOTES:
EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED.

CONSTRUCTION PHASING:
ENGINEER TO SIGN OFF ON PHASES OF CONSTRUCTION
1. SILT FENCE INSTALLATION
2. SEDIMENT BASIN INSTALLATION
3. TEMP AND FINAL GRADING, STABILIZATION

SKIMMER BASIN CHART

SB #	DRAINAGE AREA (AC)	DENUDED AREA (AC)	Q10 CFS	REQUIRED STORAGE VOLUME (CF)	PROVIDED STORAGE VOLUME (CF)	SPILLWAY WIDTH (FT)	SPILLWAY DEPTH (FT)	BOTTOM ELEV. (FT)	TOP OF DAM ELEV. (FT)	TOP OF SPILLWAY (FT)	REQUIRED SURFACE AREA (SF)	PROVIDED SURFACE AREA (SF)
SB-1	6.11	6.11	27.6	21,996	41,128	10	1	666	672	671.00	11,992	12,784

BOTTOM ELEVATION DOES NOT INCLUDE THE 1.0' OF EXTRA DEPTH FOR ADDITIONAL SEDIMENT STORAGE



STORM STRUCTURE CHART

Structure	Structure	Pipe	Length of	Rim	Elevation	Elevation	Slope	Weir/Throat
U/S	D/S	Size	Pipe (ft)	Elev. U/S	U/S	D/S	(%)	Elev. U/S
YI-1	YI-2	15	98.49	709.00	704.84	703.86	1.00%	708.42
YI-2	YI-3	15	68.64	709.00	703.66	702.97	1.00%	708.42
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YI-9	YI-10	15	65.15	704.50	697.81	697.48	0.50%	703.92
YI-10	YI-7	18	109.42	704.50	697.28	696.37	0.83%	703.92
YI-11	YI-10	15	52.08	702.50	698.32	697.80	1.00%	701.92

- NOTES:
- ALL PIPES TO BE CLASS III RCP
 - STRUCTURES YI-1 TO YI-11 ARE TO BE BUILT PER THE "SLAB TYPE CATCH BASIN" DETAIL ON SHEET D-3. NO MANHOLE RING AND COVER NEEDED. THESE STRUCTURES ARE TO BE OPEN ON THE UPSTREAM SIDE OF THE BOX ONLY
 - STRUCTURES JB-12 AND JB-13 ARE TO BE BUILT PER THE "SLAB TYPE CATCH BASIN" DETAIL ON SHEET D-3 WITH MANHOLE RING AND COVER INSTALLED. NO OPENINGS FOR THESE STRUCTURES
 - STRUCTURE HW-14 TO BE BUILT PER "CONCRETE WINGWALL AND SPLASHPAD" DETAILS ON SHEET D-3.

EROSION CONTROL CONSTRUCTION NOTES:

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CLEARING OPERATIONS. NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL OF THE NC DENR.
- ANY FAILURE TO MAINTAIN EROSION CONTROL MEASURES WILL RESULT IN APPROPRIATE ENFORCEMENT ACTIONS IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NCGS CHAPTER 113A, ARTICLE 4), AND THE NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CHAPTER 4.
- ANY EXISTING STREETS THAT ARE AFFECTED BY MUD, DEBRIS, OR SEDIMENT SHALL BE CLEANED WITHIN 24 HOURS OF NOTICE.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN (2:1 IN CUT AND 3:1 IN FILL) THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE OVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
- TOPOGRAPHY FROM A FIELD RUN TOPOGRAPHIC SURVEY BY PROVIDENCE LAND GROUP.
- TEMPORARY DITCHES TO HAVE A 10% MAXIMUM SLOPE. DITCHES TO BE TEMPORARILY SEEDED.
- ANY NEW TRAP OR BASIN NEEDS TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.

CONSTRUCTION SEQUENCE:

- OBTAIN GRADING PERMIT FROM NCDEQ AND SET UP PRE-CONSTRUCTION CONFERENCE ON-SITE WITH THE EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES. (704) 663-1699.
- INSTALL CONSTRUCTION ENTRANCE INTO PROPERTY.
- CLEAR ONLY AREA NECESSARY TO INSTALL SILT FENCE AND SEDIMENT BASIN AREA.
- WHEN ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND ARE FULLY FUNCTIONAL, CALL FOR INSPECTION OF DEVICES. ONCE APPROVED, BEGIN CLEARING.
- HAVE SITE INSPECTIONS FOR PHASES OF CONSTRUCTIONS AS NECESSARY TO COMPLY WITH THE SELF INSPECTION PROGRAM.
- MAINTENANCE OF EROSION CONTROL DEVICES WILL BE DONE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL OF 0.5 INCH OR GREATER. A DAILY LOG BOOK OF CONSTRUCTION ACTIVITY IS TO BE KEPT OF ALL MAINTENANCE IN COMPLIANCE WITH THE LATEST NPDES PERMITTING STANDARDS.
- TRANSITION EROSION SEDIMENT CONTROL DEVICES AS GRADES CHANGE.
- USE TEMPORARY AND PERMANENT SEEDING AS NECESSARY.
- AFTER COMPLETION OF THE PROJECT CALL FOR A FINAL INSPECTION AND TERMINATE GRADING PERMIT.

STOCKPILE NOTE:

ALL MATERIAL IS TO REMAIN ON-SITE. TOP SOIL IS TO BE STRIPPED AND USED IN FINAL LOT GRADING OUTSIDE OF BUILDING PAD OR ON SLOPE SURFACES AND NON-STRUCTURAL AREAS. STOCKPILED MATERIAL FOR SEDIMENT BASIN CLOSURE SHALL BE PLACED ON ADJACENT LOTS TO BASIN COMPACTED AND STABILIZED.

SITE NOTES:

ALL CONTOUR ELEVATIONS ARE BASED ON A SURVEY FROM PROVIDENCE LAND GROUP. ANY ISSUES PERTAINING TO ELEVATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION.

NOTE: TEMPORARY SILT FENCE, ROCK CHECK DAMS AND SILT DITCHES ARE SHOWN GRAPHICALLY FOR CONVEYANCE PURPOSES. ACTUAL LOCATION MAY VARY BASED ON DAILY PERFORMANCE OF THE SITE CONSTRUCTION STAGE. THE PLAN CAN BE AMENDED BASED ON PERFORMANCE OF THE MEASURES AND TOPOGRAPHICAL VARIATIONS.

NOTE: SEDIMENT BASINS ARE SHOWN GRAPHICALLY FOR SIZE REPRESENTATION ONLY. VOLUMES, WIDTHS, DEPTHS AND SURFACE AREAS MUST BE MET TO ACHIEVE OPTIMUM PERFORMANCE. ACTUAL SHAPE OF BASIN MAY NEED TO BE MODIFIED. OUTLETS OF BASINS ARE TO BE LOCATED IN THE LOW POINT AND ADJUSTED TO MEET FIELD CONDITIONS. OTHER MEASURES MAY NEED TO BE INSTALLED TO REDUCE THE CHANCE OF SHORT-CIRCUITING THE BASIN'S SETTLING PERFORMANCE. ADDITIONAL CHECK DAMS MAY NEED TO BE ADDED ON A PERFORMANCE BASIS.

NOTE: AFTER TEMPORARY DITCH 6 IS REMOVED, THE ACCESS DRIVE IS TO BE GRADED SO AS TO DIRECT ALL RUNOFF TO THE BMP POND.

- Legend**
- SANITARY SEWER MANHOLE
 - CLEAN OUT
 - CATCH BASIN - CURB INLET
 - STORM MANHOLE
 - WATER VALVE
 - HYDRANT
 - UTILITY POLE
 - GUY WIRE
 - POWER TRANSFORMER
 - LIGHT POLE
 - #4 REBAR SET
 - ELEVATION BENCHMARK
 - SURVEY MONUMENT FOUND - AS DESCRIBED
 - SUBJECT PROPERTY LINE
 - ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
 - TIE LINE
 - R/W LINE
 - WATER LINE
 - SS - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - SETBACK LINE
 - FENCE
 - TREE LINE
 - ABBREVIATIONS
 - R/W - RIGHT OF WAY
 - ESMT - EASEMENT
 - PSDE - PUBLIC STORM DRAIN EASEMENT
 - GDUE - GENERAL DRAINAGE AND UTILITY EASEMENT
 - TIE - TIE LINE TO MONUMENT
 - S/B - BUILDING SETBACK
 - IPS - #4 REBAR SET
 - IPF - IRON PIN FOUND
 - NS - NAIL SET
 - CP - CALCULATED POINT
 - CM - CITY OF MONROE

Surveyor

Providence

Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

50' 0' 25' 50'
SCALE: 1" = 50'

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Erosion Control
Plan - Phase 2**

Date Issued For Rev

6/22/16 First Submittal 0
9/6/16 Revised per Stormwater comments dated 7-11-16 1

Print Date

September 6, 2016

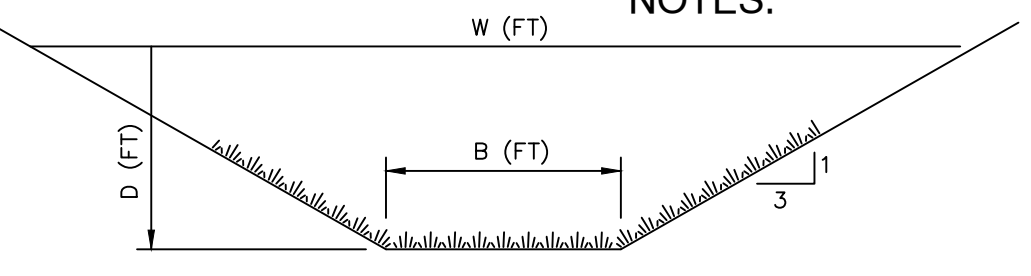
Drawn By Checked By

Jason C. King James P. Magennis
Job Number Sheet Number

14041
Drawing File
14041-Ph2-Base.dwg

E-2

ALL TEMPORARY SILT DITCHES (TD) TO BE MAINTAINED DAILY AND BUILT PER THE DETAIL BELOW. DETAIL ALSO SHOWN ON SHEET D-1. SEE ALSO SEEDING NOTES.

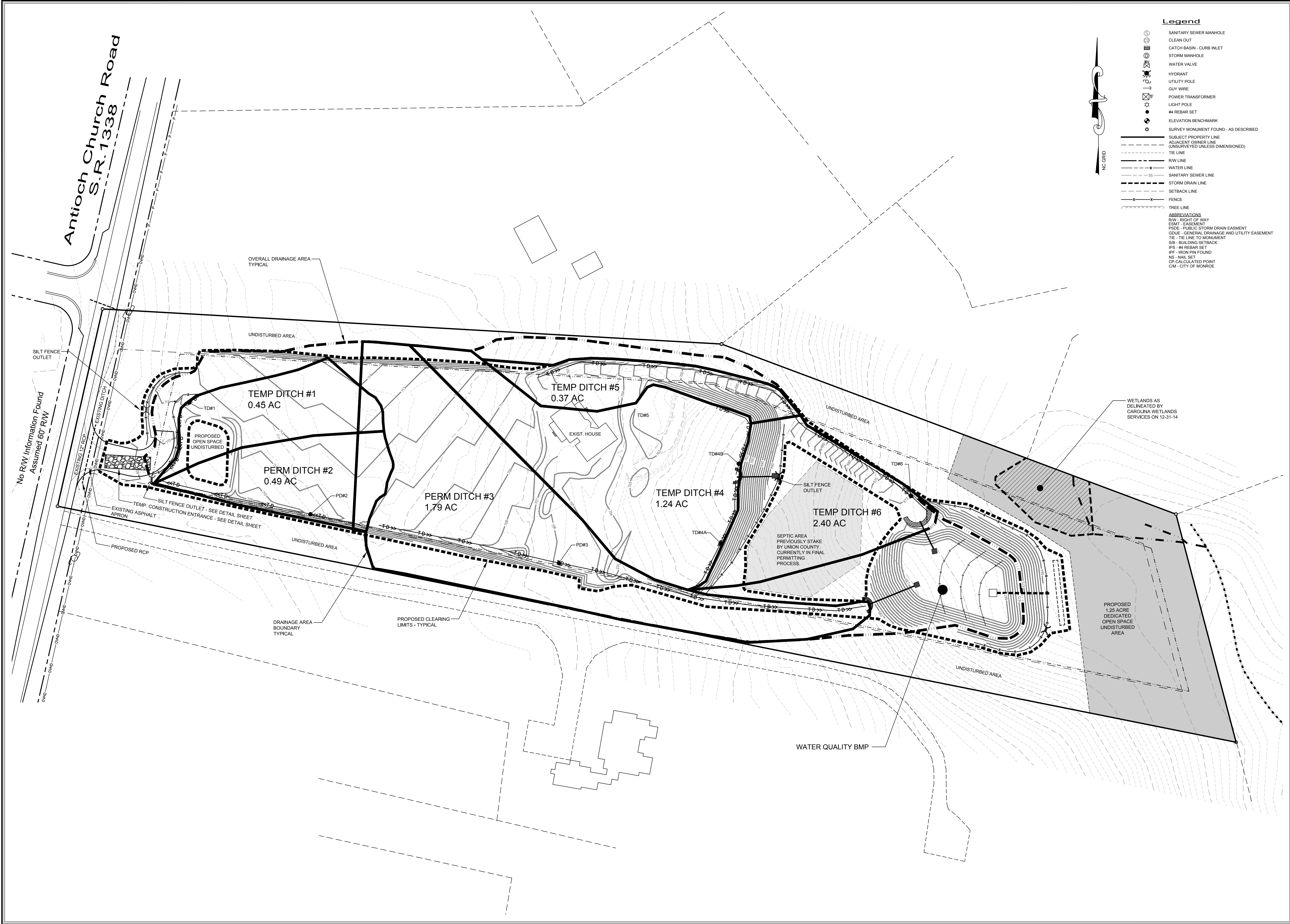


TEMP. DITCH DIMENSIONS							
S _o (%)	SS (H ₂ O)	D (FT)	W (FT)	B (FT)	n	STABILIZATION	TSD #
max.5	3:1	1.00	9.0	3.0	0.035	SEED & STRAW	6
max.3.3	3:1	1.00	9.0	3.0	0.035	SEED & STRAW	1,4A,4B,5

TEMP. SILT DITCH DETAIL

NOT TO SCALE

NOTE: DITCHES 2 AND 3 ARE TO BE PERMANENT, SEE DETAIL SHEET D-3

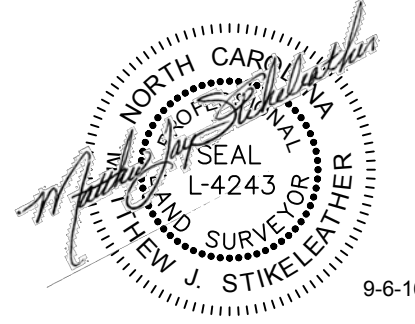


Surveyor



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704.400.0117
NC Firm #P-0910 - SC COA #4356



9-6-16

Engineer



CMEC, PC

Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334



9-6-16

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Client Name

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Matthews, NC 28105
704.578.6554

Scale



SCALE: 1" = 50'

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Erosion Control
Plan - Temp Silt
Ditch Drainage
Areas

Date	Issued For	Rev
8/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By

Jason C. King

Checked By

James P. Magennis
M. Jay Stikeleather

Job Number

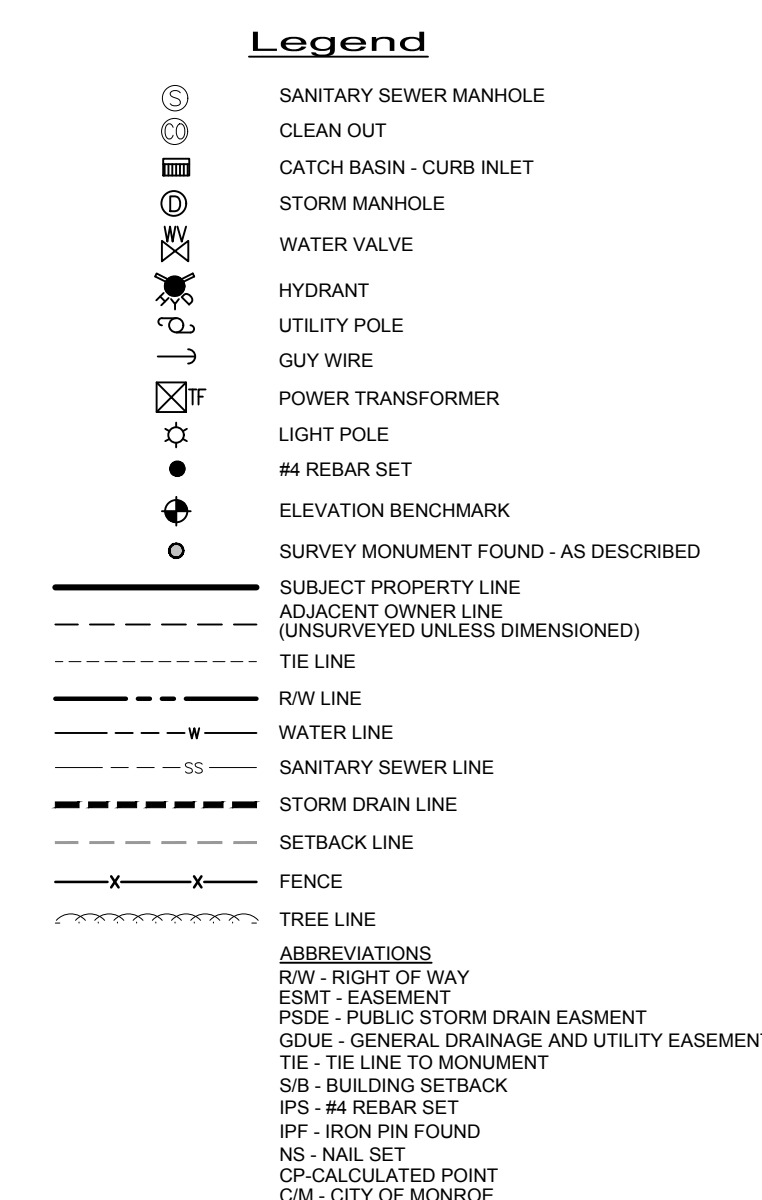
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Sheet Number

E-3

Drawing File

14041-Ph2-Base.dwg



PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Scale

50' 0' 25' 50'

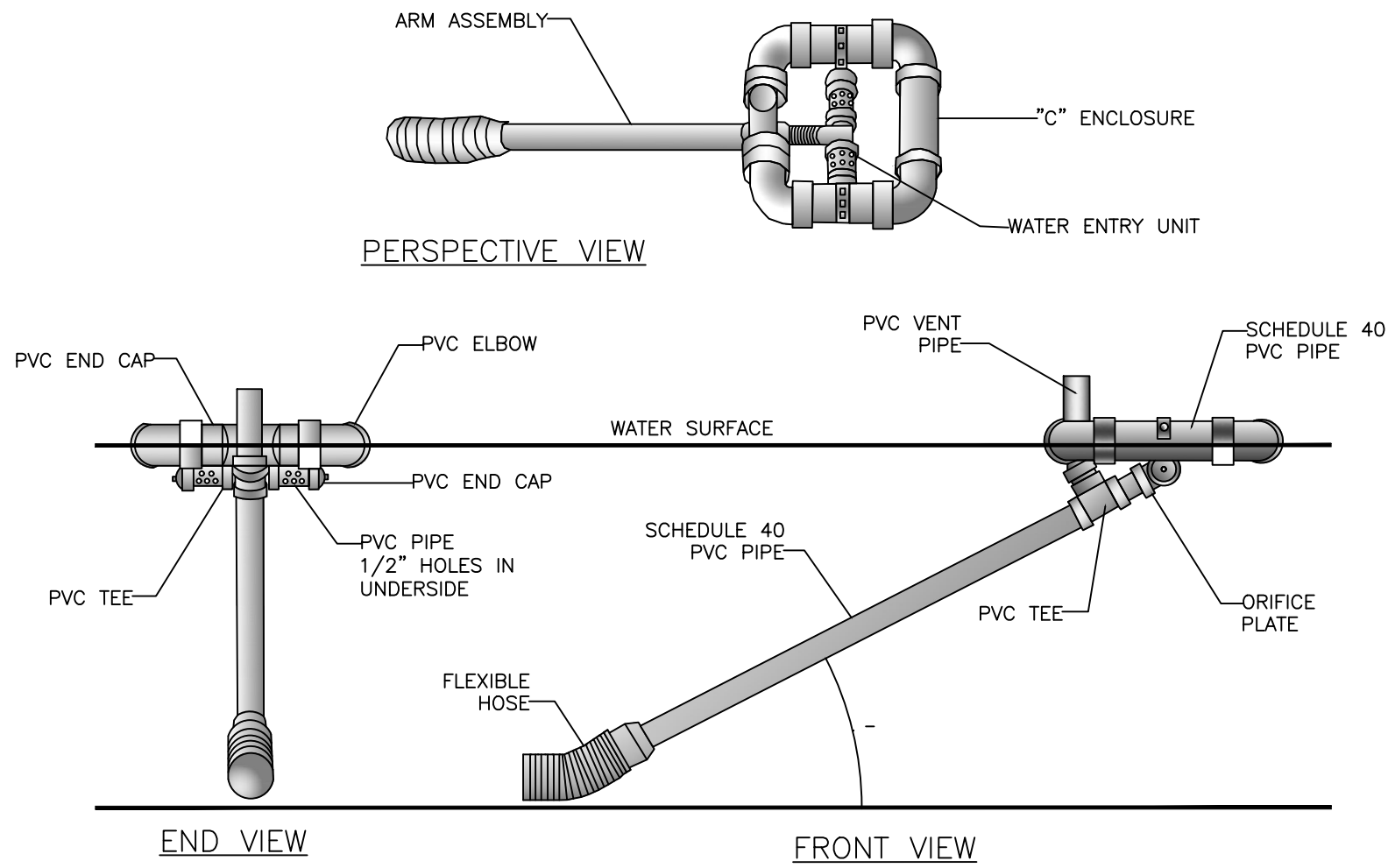
SCALE: 1" = 50'

Sheet Title

Utility Plan

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

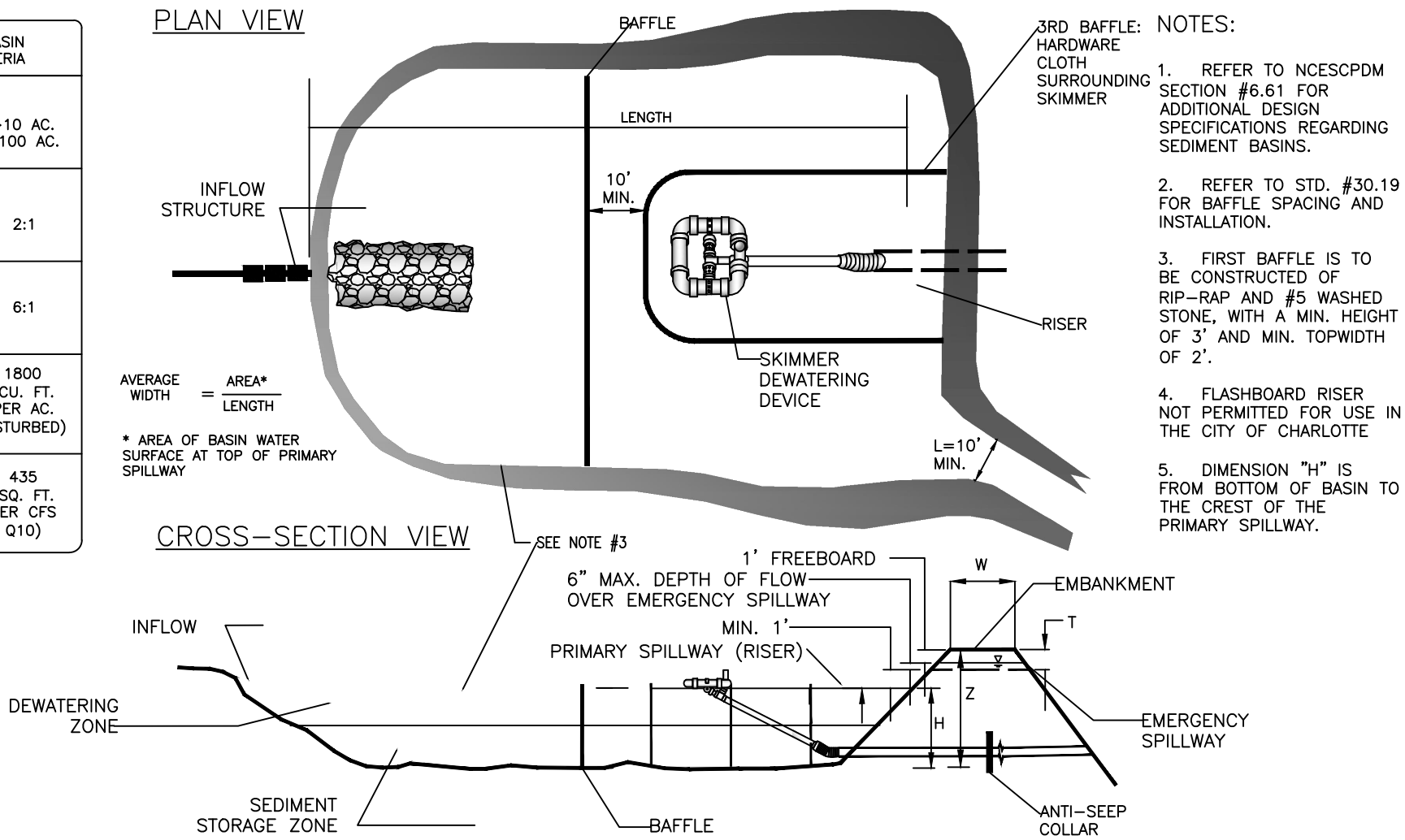
Print Date	
September 6, 2016	
Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikeleather
Job Number	Sheet Number
14041	U-1
Drawing File	
14041-Ph2-Base.dwg	



SCHEMATIC OF SKIMMER TAKEN FROM PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL MANUAL, MARCH 2000.

SKIMMER
NOT TO SCALE

SEDIMENT BASIN DESIGN CRITERIA	
DRAINAGE AREA (ACRES)	>10 AC. <100 AC.
MIN. LENGTH TO WIDTH RATIO	2:1
MAX. LENGTH TO WIDTH RATIO	6:1
MIN. VOLUME REQUIRED (CU. FT. PER AC. DISTURBED)	1800
SURFACE AREA REQUIRED	435 (SQ. FT. PER CFS Q10)



SEDIMENT BASIN (SB-1)
NOT TO SCALE

GENERAL NOTES-SEDIMENT BASINS

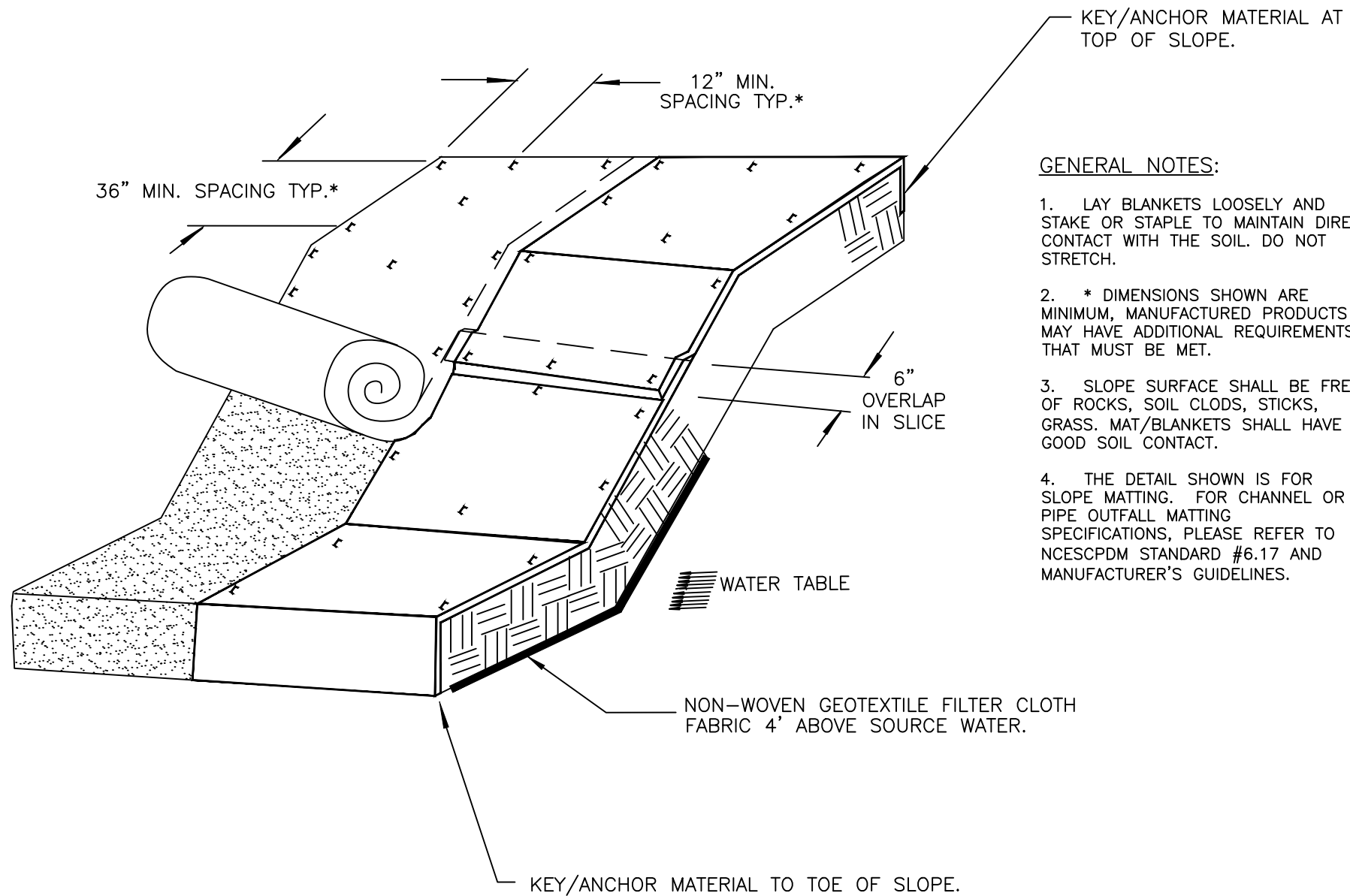
- GENERAL NOTES:**
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL. THE BASIN AREA SHALL BE CLEARED.
 - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE BEING CONSTRUCTED. SPILLWAYS SHOULD NOT BE CONSTRUCTED THROUGH FILL SECTIONS. ALL SPILLWAYS SHOULD BE LINED AND/OR RIPRAPPED.
 - SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO DEPTH SHOWN ON STANDARD.
 - THE TRAP SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
 - CONSTRUCTION OPERATION SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
 - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER, UNLESS CERTIFIED BY REGISTERED GEOTECHNICAL ENGINEER.
 - SEDIMENT BASIN EMBANKMENTS SHOULD BE PROVIDED WITH EROSION CONTROL AND STABILIZATION.
 - STORAGE AREA MAY BE CONSTRUCTED IN ANY SHAPE PROVIDED THE MINIMUM STORAGE VOLUME REQUIREMENT IS MET. THE BASIN SHOULD ALSO BE ORIENTED SUCH THAT THE FILTER AND THE MAIN FLOW OF WATER AND SEDIMENT ARE ON OPPOSITE ENDS ON THE LONGER BASIN DIMENSIONS.
 - THE LENGTH OF THE STONE OUTLET (SPILLWAY) IS TO BE BASED ON A 10 YEAR STORM.
 - WHENEVER TOPOGRAPHY ALLOWS, THE BASIN LENGTH SHOULD BE TWICE (2X) THE BASIN WIDTH, TO ALLOW FOR SETTLING. BAFFLES SHALL BE INSTALLED IN ALL BASINS.
 - CLEANOUT STAKES SHALL BE PLACED IN ALL SEDIMENT BASINS AT THE LOW POINT IN THE BASIN. THE STAKES SHALL BE MARKED SHOWING THE HALF FULL CLEANOUT POINT OF THE BASIN.
 - SAFETY FENCING 3' HIGH SHOULD BE PLACED AROUND ALL SEDIMENT BASINS.
 - FOR DESIGN OF SEDIMENT BASINS, REFER TO THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
 - FOR SLOPES GREATER THAN 10' IN LENGTH AND PROTECTED BY SILT FENCE AT THE TOE OF THE SLOPE, SLOPE TERRACING WILL BE REQUIRED.
 - THE BERM ON SEDIMENT BASINS SHALL BE SEEDED ONCE FINAL GRADE HAS BEEN REACHED. THE SILT FENCE MAY BE REMOVED IF PERMISSION HAS BEEN GRANTED BY THE CITY LAND DEVELOPMENT INSPECTOR AFTER THE GRASS HAS GERMINATED AND STABLE GROUND HAS BEEN ESTABLISHED.
 - SILT FENCE ANCHORED WITH COMPACTED SOIL.

NPDES Stormwater Discharge Permit for Construction Activities (NGC01)

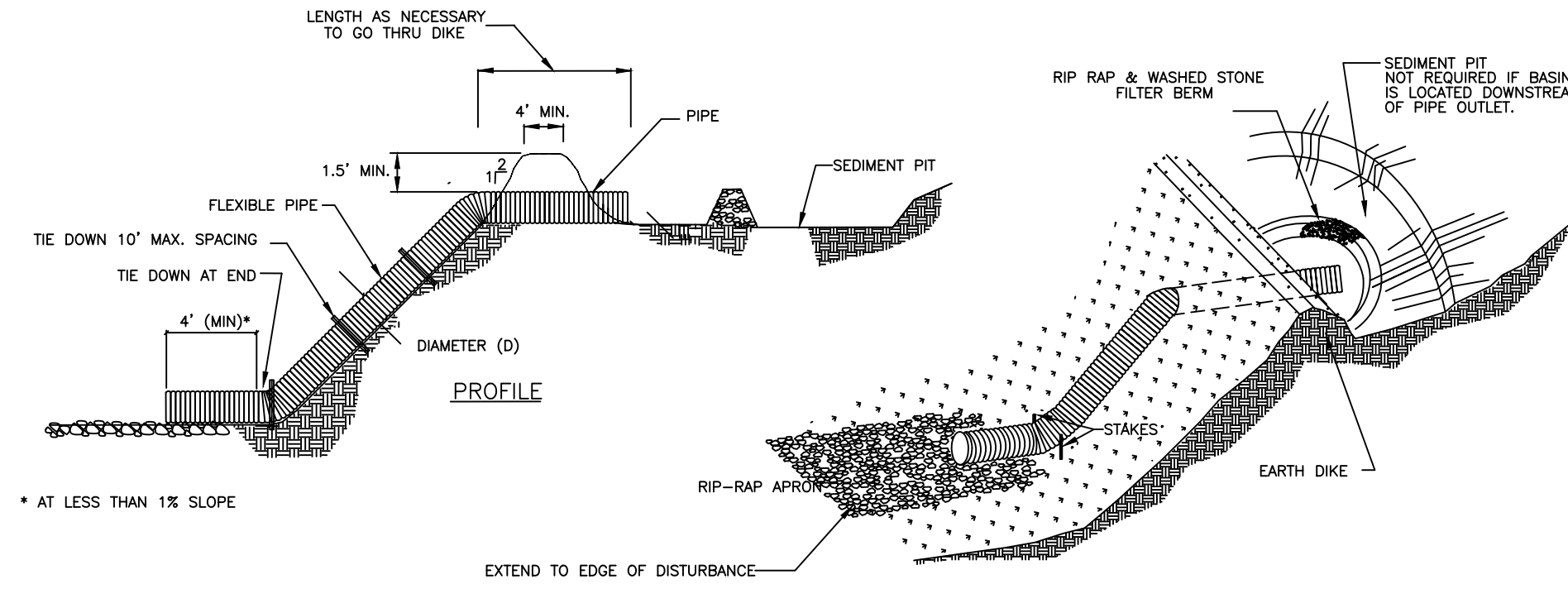
NC DENR/Division of Water Quality

NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

STABILIZATION SCHEDULE



EMBANKMENT MATTING DETAIL
NOT TO SCALE



FLEXIBLE PIPE SLOPE DRAIN
NOT TO SCALE

TEMPORARY SEEDING FOR WARM AND COOL SEASON

EARLY SUMMER SEASON

STEEP SLOPES

SEEDING MIXTURE	40 lbs/acre of German millet 80 lbs/acre of tall fescue	120 lbs/acre Rye (grain) 80 lbs/acre tall fescue
SEEDING DATES	May 1 – August 15 Refertilize if growth is not fully adequate. Apply 4000 lbs/acre straw or equivalent hydroseeding.	October 25 – December 30 Between December 30 – February 15, add 50 lbs/acre of annual Kobe lespedeza. Apply 4000 lbs/acre straw or equivalent hydroseeding.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.

SEEDING SCHEDULE
(SEASONAL)

NOT TO SCALE

GENTLE SLOPES

STEEP SLOPES

SEEDING MIXTURE	80 lbs/acre of tall fescue	100 lbs/acre tall fescue 30 lbs/acre Sericea lespedeza (unscarified after August 15) 10 lbs/acre Kobe lespedeza
SEEDING DATES	FALL: August 25 – October Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.	FALL: August 25 – October 15 Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.

NOTE 1
Ground Cover--Protective cover must be established on all disturbed areas within 14 calendar days after land disturbing activity is completed or has temporarily ceased.

NOTE 2
Graded slopes and fills--Protective cover must be established on all graded slopes and fills within 7 calendar days after a phase of grading is completed or has temporarily ceased.

SEEDING SCHEDULE

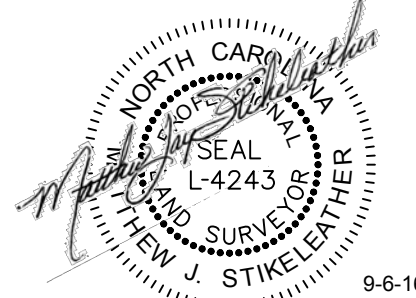
STD. & SPEC. #	TITLE	SPECIAL REQUIREMENTS & NOTES
6.17	ROLLED EROSION CONTROL PRODUCTS	—
6.51	HARDWARE CLOTH & GRAVEL INLET PROTECTION	—
6.60	TEMPORARY SEDIMENT TRAP	WEIR TOP WIDTH 10' MIN., BOTTOM 7' MIN.
6.61	SEDIMENT BASIN	FLASH BOARD RISER NOT PERMITTED
6.64	SKIMMER SEDIMENT BASIN	1ST BAFFLE: COIR MESH 2ND BAFFLE: COIR MESH 3RD BAFFLE: COIR MESH

THE STANDARDS & SPECIFICATIONS SHOWN ARE FROM THE "NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" (NCSCPD) PREPARED BY NC DEPT. OF ENVIRONMENT AND NATURAL RESOURCES (NC DENR).

SPECIAL EROSION CONTROL
REQUIREMENTS & NOTES

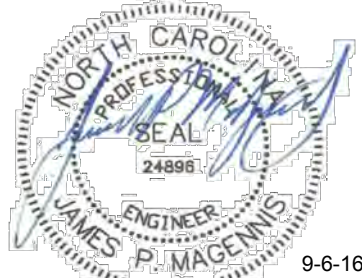
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PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Construction
Details**

Date	Issued For	Rev
8/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

14041-Ph2-Base.dwg

Checked By

James P. Magennis

M. Jay Stikeleather

Sheet Number

D-2



1. MORTAR JOINTS SHOULD BE BETWEEN 3/8" AND 5/8" THICK.
2. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
3. THE 6" OPENING SHOWN MAY BE INCREASED TO 8" MAX. IF DEEMED TO BE NECESSARY BY THE ARCHITECT.
4. ALL CATCH BASIN TO BE 3'-6" IN DEPTH SHALL BE PROVIDED WITH STEPS 1'-2" ON CENTERS. STEPS SHALL BE IN ACCORDANCE WITH STD. 20.12.
5. CONCRETE BRICK MAY BE USED IN LIEU OF HARD COMMON CLAY BRICK.
6. JUMBO BRICK WILL BE PERMITTED.
7. FOR 8'-0" IN HEIGHT OR LESS USE 8" WALL. OVER 8'-0" IN HEIGHT USE 12" WALL. 8'-0" FROM TOP OF 8" WALL TO 8'-0" AND 8" WALL FOR THE REMAINING 6'-0".
8. ALL EXPOSED JOINTS WILL BE CONCAVE TOOLED.
9. ALL PIPE IN STORM DRAIN STRUCTURE SHALL BE STRUCK EVEN WITH THE INSIDE WALL, GROUTED AND BRUSHED SMOOTH.
10. WOOD HOLES SHALL BE PLACED IN BACK WALL WITH FILTER FABRIC AND STONE ON BACK SIDE.
11. THIS CATCH BASIN IS NOT TO BE USED WITHIN STREET RIGHT OF WAY UNLESS OTHERWISE APPROVED BY CITY ENGINEER.

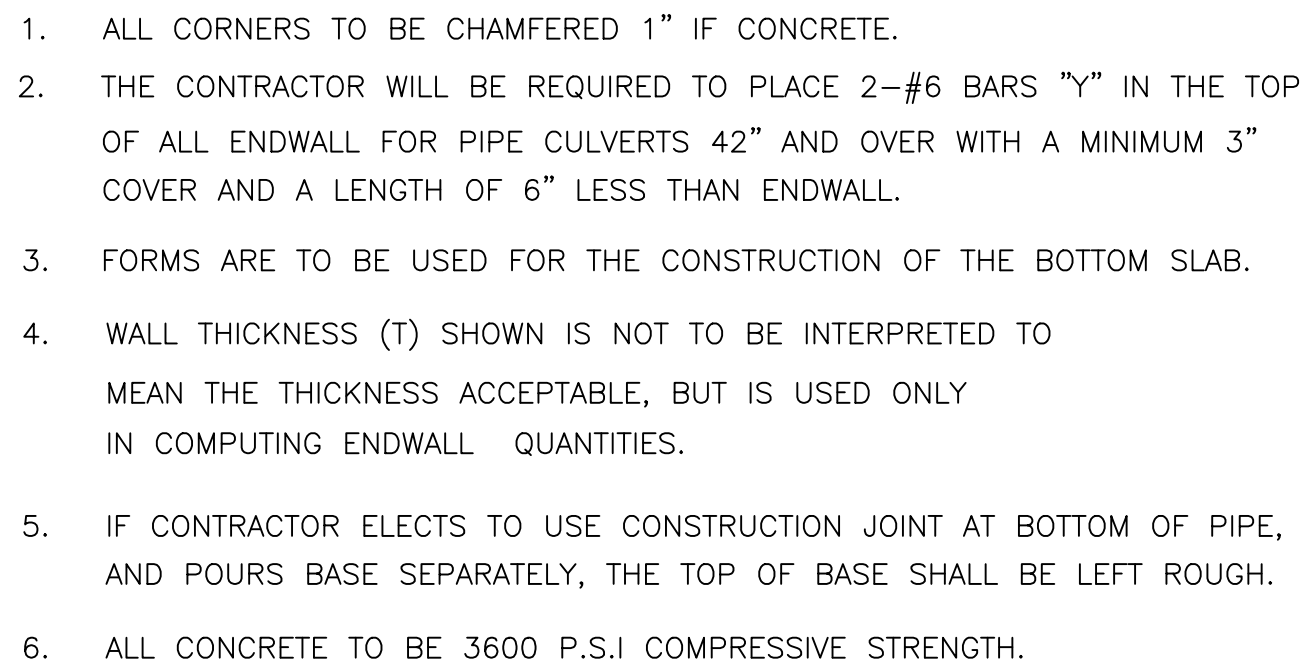
TAKEN FROM CITY OF
CHARLOTTE DETAILS



-
1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM, PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IF RECOMMENDED.
4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.
- Labels in diagram: NCDOT #5 OR #57 WASHED STONE, 19-GAUGE HARDWARE CLOTH (1/2" MESH OPENINGS), 2', 16" MIN., FILTERED WATER.



TAKEN FROM CITY OF
CHARLOTTE DETAILS



TAKEN FROM CITY OF
CHARLOTTE DETAILS



TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Weddington Town Council

FROM: Dorine Sharp, Planning Board Chair

DATE: September 26th, 2016

SUBJECT: The Enclave at Weddington R-CD Conservation Subdivision
Conditional Zoning Final Plat Phase 1 Map 2

Project Information:

The Enclave at Weddington is an approved 42 lot conservation subdivision located on 53.52 acres. Phase 1 Map 2 includes the remaining 29 lots. The subdivision is located on Antioch Church Rd and is being developed by Meritage Homes.

Conservation Land

The conservation land calculations indicate that 29.28 acres of the 53.52 acres has been dedicated to conservation land. 22.25 acres are included within Map 2.

Utilities

- The Enclave at Weddington is to be served by Union County Public Water and Sewer.

Access and Traffic Analysis

- The subdivision will be accessed by one entrance on Antioch Church Road.
- The Town Planner, in coordination with Justin Carroll, determined that the subdivision did not meet the threshold for a formal Traffic Impact Analysis. The applicant is providing a left turn lane in to the site and coordinating with NCDOT for design approvals.

PIMS

- PIMs were held on June 2nd and June 3rd, 2015, both at Town Hall and on-site.

Additional Information:

- The Cluster Mailbox Unit is shown on Map 1, and hydrants are shown on both maps.
- The subdivision will include curb and gutter, and sidewalks will be provided on one side of the street and around the culs-de-sacs.

Construction Documents

- USI provided final approval for the construction documents on May 9th, 2016.

Recommended Conditions:

1. Bond estimates to be approved by the Town's engineering consultant
2. Bond instruments to be reviewed and approved by the Town Attorney, and the final bond instruments must be submitted to the Town prior to recording of the final plat.
3. Each remaining lot to be recorded in the Enclave at Weddington subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not the responsibility of the Town of Weddington and shall be maintained by the Enclave at Weddington Homeowners Association or its Developer.
4. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.

Planning Board Action:

Recommended approval with conditions (July 25th, 2016)

Town Council Action:

Approve/Approve with Conditions/Deny

NOTES:
THE PROPERTY MAY BE SUBJECT TO ANY ADDITIONAL
RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY.
SUBJECT TRACT TAX ID# 06090005, 06090005B 06090008,
& 06090008A.
SUBJECT TRACT REFERENCE: DB 6674 PG 572 & DB 6674
PG 576.
#5 REBAR SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
AREAS COMPUTED BY COORDINATE METHOD.
UNADJUSTED RATIO OF PRECISION: 1:294,744
TOTAL ACREAGE FOR THE AREA ENCOMPASSED BY THIS PLAT
IS 34.327 ACRES.
TOTAL NUMBER OF LOTS: 29 BUILDABLE
TOTAL LINEAR FEET OF ROADWAY = 1488
DATE OF SURVEY: AUGUST 2016
THIS PROPERTY IS GRAPHICALLY LOCATED IN A SPECIAL
FLOOD HAZARD AREA, AS DELINEATED ON UNION COUNTY,
NORTH CAROLINA FLOOD INSURANCE RATE MAP/FLOOD
HAZARD BOUNDARY MAP PANEL 3710448700J DATED
OCTOBER 16, 2008.
NO DEVELOPMENTAL STUMP HOLES REPORTED TO THIS FIRM
WITHIN THE LOTS WHICH MAKE UP THIS MAP.
35'x35' AND 10'x70' SIGHT TRIANGLES AT INTERSECTIONS.
ALL LIGHTING WILL MEET THE REQUIREMENTS OF THE TOWN
OF WEDDINGTON ZONING ORDINANCE.
CONSERVATION LANDS WILL BE OWNED AND MAINTAINED BY
THE HOME OWNERS ASSOCIATION.
LANDSCAPING WITHIN ANY EASEMENTS LOCATED UPON LOTS
TO BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS.
IN THE EVENT THE ROADWAYS ARE NOT ACCEPTED FOR
MAINTENANCE BY NCDOT OR ANY OTHER GOVERNMENTAL
ENTITY, THE HOMEOWNERS ASSOCIATION SHALL BE
RESPONSIBLE FOR THE MAINTENANCE OF THE ROADWAYS.
SEE AREA, LINE & CURVE TABLES ON SHEET 4 OF 4

PID #07150662
BROOKHAVEN CITIZENS
ASSEMBLY INC
DB 6431 PG 287

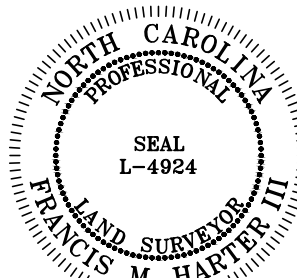
PID #07150643
RICHARD J &
MEGHAN A TAYLOR
DB 4968 PG 108

PID #07150644
JOHN PAUL &
KIM LINNEN
DB 4980 PG 899

CONCRETE MONUMENT
NC GRID COORDS
NAD 83/2011
N=478,599.82
E=1,483,734.33

(TIE LINE)
N57°50'39"W
11,183.84 (GROUND)
11,182.14 (GRID)
#101

NCGS MON. "KNOX"
NC GRID COORDS
NAD 83/2011
N=484,551.24
E=1,474,267.50
CF: 0.99984783



ESP Associates, P.A.
P.O. Box 7030 3475 Lakemont Blvd.
Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

CERTIFICATE OF SURVEY AND ACCURACY

I, FRANCIS M. HARTER III, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM
AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN
BOOK 6674, PAGE 572 AND DEED BOOK 6674 PAGE 576); THAT THE BOUNDARIES NOT
SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGES
SHOWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:294,744; THAT THE GLOBAL
POSITIONING SYSTEM (GPS) WAS USED TO ORIENT THIS SITE TO THE NORTH CAROLINA STATE
PLANE COORDINATE SYSTEM. PARTICULARS OF THE GPS SURVEY ARE AS FOLLOWS:

CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.03
TYPE OF GPS FIELD PROCEDURE: NCVRS
DATE OF SURVEY: 4/06/16
DATUM/EPOCH: NAD83/2011
PUBLISHED/FIXED-CONTROL USE: NCGS MONUMENT "KNOX" PID: FA2452
GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 17-39 AND I AM AWARE
THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 17-39 SECTION F-11-A
WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924

REVIEW OFFICER

I, _____, REVIEW OFFICER OF UNION
COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION
IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

DEVELOPMENT DATA:

ZONING:

R-CD(CONSERVATION)

PROPOSED USE:

CONVENTIONAL SUBDIVISION

ZONING LOT CRITERIA:

MINIMUM LOT SIZE REQUIRED: 12,000 SF (0.28 AC)
MINIMUM LOT SIZE PROVIDED: 12,961 SF (0.30 AC)
MINIMUM STREET FRONTAGE REQUIRED: 30 FEET
MINIMUM LOT WIDTH REQUIRED (AT BUILD TO LINE): 80 FEET

SETBACKS:

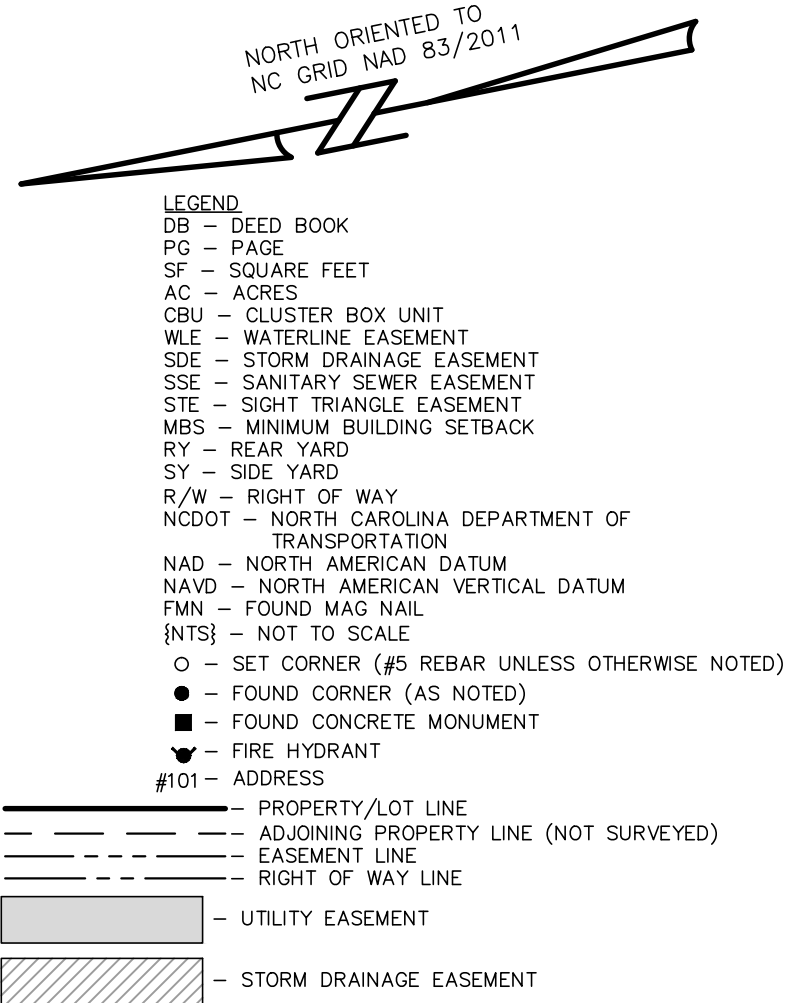
FRONT YARD: 20 FT
SIDE YARD: 5 FT
STREETSIDE SIDE YARD: 15 FT **
REAR YARD: 30 FT
* MINIMUM 30 FEET SEPARATION FOR PRINCIPAL BUILDINGS ON ADJACENT LOTS,
WITH NO SIDE YARD LESS THAN FIVE FEET.
** THE STREETSIDE SIDE YARD ON A CORNER LOT (i.e., THE LOT FRONTING A
STREET THAT IS NOT THE "FRONT YARD") SHALL BE AT LEAST 15 FEET.

CONSERVATION LAND CALCULATIONS:

TOTAL SITE AREA (GROSS): 53.52 AC

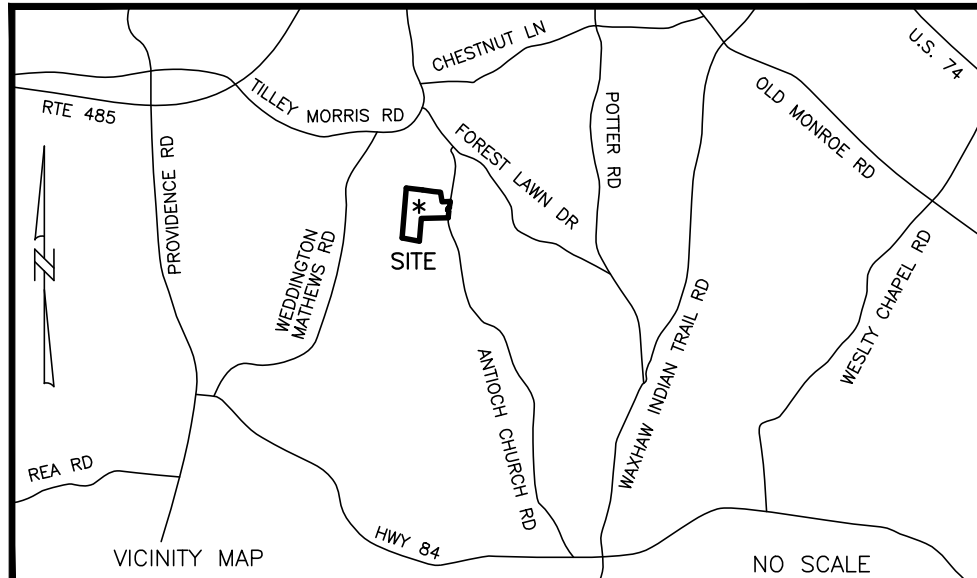
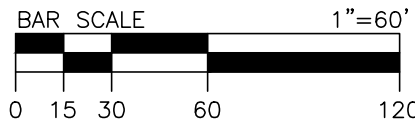
CONSERVATION LAND REQUIRED: 26.76 AC (SA X 50%)
CONSERVATION LAND PROVIDED (PER PLAN): 29.28 AC
CONSERVATION LAND PROVIDED (PH 1 MAP 1): 13.616 AC
CONSERVATION LAND PROVIDED (PH 1 MAP 2): 22.250 AC
CONSERVATION LAND PROVIDED TO DATE: 35.866 AC

THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1
(TO BE RECORDED)



THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1
(TO BE RECORDED)

20' UTILITY EASEMENT
(TO BE RECORDED
PHASE 1 MAP 1)



FINAL PLAT OF THE ENCLAVE AT WEDDINGTON PHASE 1 MAP 2

LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

OWNER:

MREC FALLS AT WEDDINGTON, LLC

C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-25-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M2

1 OF 4 SHT

REVIEW OFFICER

I, _____ REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

LEGEND

DB - DEED BOOK
PG - PAGE
SF - SQUARE FEET
AC - ACRES
CBU - CLUSTER BOX UNIT
WLE - WATERLINE EASEMENT
SDE - STORM DRAINAGE EASEMENT
SSE - SANITARY SEWER EASEMENT
STE - SIGHT TRIANGLE EASEMENT
MBS - MINIMUM BUILDING SETBACK
RY - REAR YARD
SY - SIDE YARD
R/W - RIGHT OF WAY
NCDOT - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
NAD - NORTH AMERICAN DATUM
NAVD - NORTH AMERICAN VERTICAL DATUM
FMV - FOUND MAG NAIL
{NTS} - NOT TO SCALE
○ - SET CORNER (#5 REBAR UNLESS OTHERWISE NOTED)
● - FOUND CORNER (AS NOTED)
■ - FOUND CONCRETE MONUMENT
▼ - FIRE HYDRANT
#101 - ADDRESS

--- PROPERTY/LOT LINE
--- ADJOINING PROPERTY LINE (NOT SURVEYED)
--- EASEMENT LINE
--- RIGHT OF WAY LINE
--- UTILITY EASEMENT
--- STORM DRAINAGE EASEMENT

PID #07150660
BROOKHAVEN CITIZENS
ASSEMBLY INC
DB 6431 PG 287

PID #07150009F
INFESTORS II LLC
WEDDINGTON
DB N/A

CONSERVATION LANDS 1
820727 SF
18.841 AC

319' DUKE ENERGY
EASEMENT
(DB 336 PG 621)

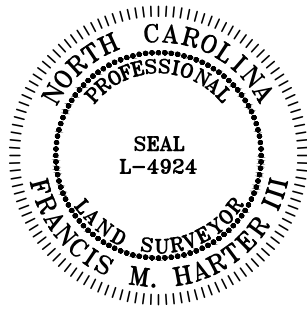
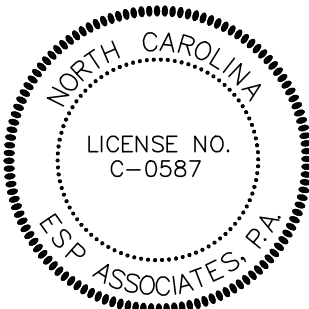
PID #06090093
VINTAGE CREEK OWNERS
ASSOCIATION INC
DB 6485 PG 297

CERTIFICATE OF SURVEY AND ACCURACY

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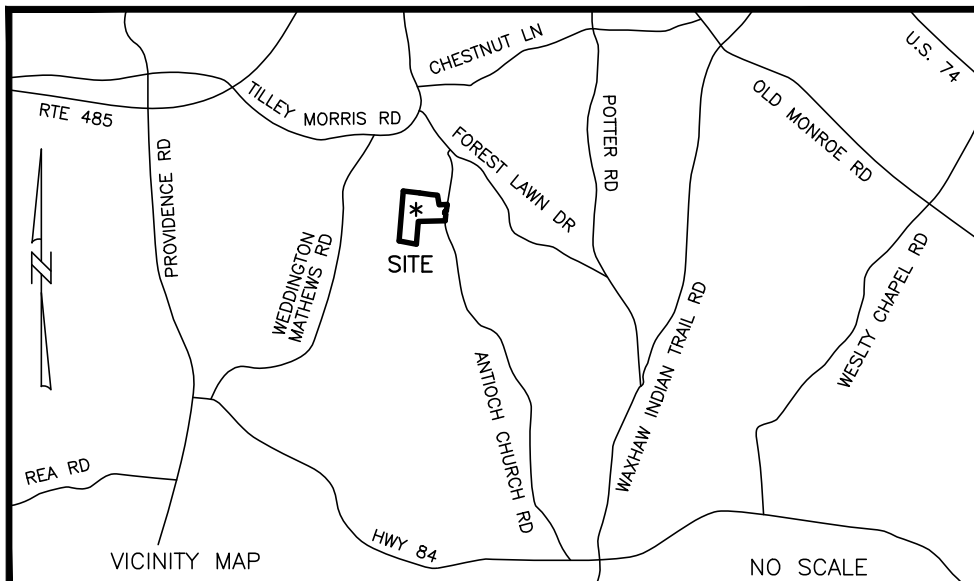
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POSITIONAL ACCURACY: 0.03
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PUBLISHED/FIXED-CONTROL USE: NCGS MONUMENT "KNOX" PID: FA2452
GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

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FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924



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803-802-2440 (SC)
www.espassociates.com

PRELIMINARY PLAT-NOT FOR
RECORDATION, CONVEYANCES,
OR SALES



FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 2

LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

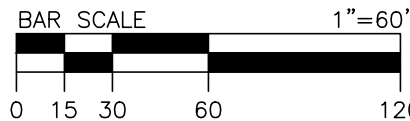
OWNER:

MREC FALLS AT WEDDINGTON, LLC

C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-25-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M2

2 OF 4 SHT



REVIEW OFFICER

I, _____ REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

NORTH ORIENTED TO
NC GRID NAD 83/2011

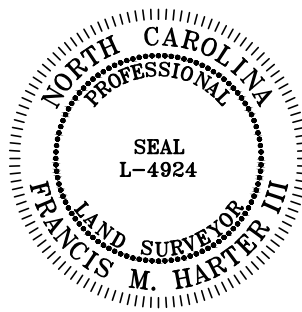
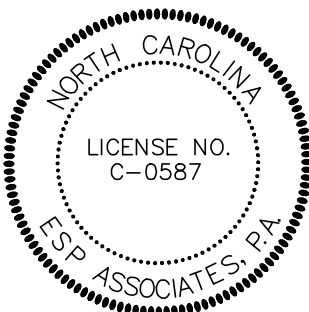
LEGEND

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PG - PAGE
SF - SQUARE FEET
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— PROPERTY/LOT LINE
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- - - RIGHT OF WAY LINE

▨ - UTILITY EASEMENT

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WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924

**PRELIMINARY PLAT-NOT FOR
RECORDATION, CONVEYANCES,
OR SALES**

THE ENCLAVE AT WEDDINGTON
CONSERVATION LAND
PHASE 1 MAP 1
(TO BE RECORDED)

20' UTILITY EASEMENT
(TO BE RECORDED
PHASE 1 MAP 1)

20' UTILITY EASEMENT

51' POST OAK
HERITAGE TREE
TO BE PRESERVED

40' SANITARY SEWER EASEMENT
(DB 662 PG 830)

50' POND BUFFER/STORM
DRAINAGE EASEMENT

100-YEAR FLOODPLAIN

EXISTING POND

CONSERVATION LANDS 1
820727 SF
18.841 AC

100-YEAR FLOODPLAIN

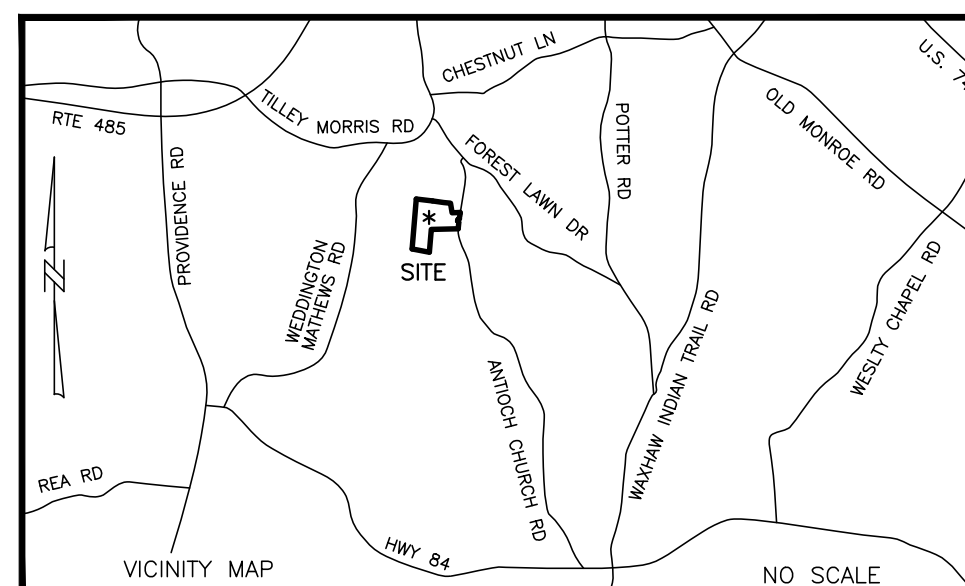
50' POND BUFFER/STORM
DRAINAGE EASEMENT

100 YEAR FLOODPLAIN

319' DUKE ENERGY
EASEMENT
(DB 336 PG 621)

PID #06090093
VINTAGE CREEK
OWNERS ASSOCIATION
INC DB 6485 PG 297

BAR SCALE 1"=60'
0 15 30 60 120



**FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 2**
LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

OWNER:
MREC FALLS AT WEDDINGTON, LLC
C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-25-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M2
3 OF 4 SHT

REVIEW OFFICER

I, _____, REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

AREA TABLE	SQ FT	ACRES
LOTS	435,911	10.008
RIGHT OF WAY	84,427	1.938
COMMON OPEN SPACE	5,714	0.131
CONSERVATION AREA	969,212	22.250
TOTAL	1,495,265	34.327

Line Table		
Line#	Direction	Length
L1	S 31°07'34" W	6.30'
L2	S 28°52'29" E	17.45'

Curve Table				
Curve #	Radius	Length	Bearing	Chord
C1	205.00'	92.54'	S 39°21'46" E	91.76'
C2	255.00'	110.87'	N 64°44'59" W	109.99'
C3	255.00'	51.03'	N 82°56'18" W	50.95'
C4	255.00'	15.17'	S 89°37'25" W	15.17'
C5	25.00'	18.42'	N 70°58'03" W	18.01'
C6	50.00'	58.71'	N 83°29'41" W	55.40'
C7	50.00'	51.93'	S 33°06'34" W	49.63'
C8	50.00'	20.14'	S 8°10'57" E	20.00'
C9	50.00'	52.82'	S 49°58'51" E	50.39'
C10	50.00'	56.92'	N 67°08'41" E	53.90'
C11	25.00'	24.66'	N 62°47'08" E	23.67'
C12	205.00'	12.70'	S 87°11'09" E	12.70'
C13	25.00'	42.85'	S 36°18'28" E	37.79'
C14	475.00'	98.33'	S 18°43'32" W	98.16'
C15	475.00'	53.65'	S 27°53'30" W	53.62'
C16	25.00'	14.02'	S 47°11'20" W	13.83'
C17	25.00'	7.01'	S 71°17'02" W	6.99'
C18	50.00'	76.67'	S 35°23'10" W	69.38'
C19	50.00'	51.18'	S 37°52'11" E	48.98'
C20	50.00'	20.14'	S 78°43'55" E	20.00'
C21	50.00'	51.14'	N 60°25'45" E	48.94'
C22	50.00'	42.05'	N 7°01'56" E	40.82'
C23	25.00'	21.03'	N 7°01'56" E	20.41'
C24	525.00'	89.34'	N 26°15'07" E	89.23'
C25	525.00'	78.63'	N 17°05'09" E	78.56'
C26	25.00'	39.27'	N 57°47'42" E	35.36'
C27	205.00'	40.66'	S 71°31'24" E	40.59'
C28	205.00'	48.47'	S 59°04'05" E	48.36'

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF UNION COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE, AND EASEMENTS EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE, AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL USE AUTHORIZED BY LAW WHEN SUCH OTHER USE IS APPROVED BY THE BOARD OF COMMISSIONERS IN THE PUBLIC INTEREST.

DATE

MREC FALLS AT WEDDINGTON, LLC

NOTARY FOR OWNER

I, _____, A NOTARY PUBLIC OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGE THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____, 2016.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

NC DEPARTMENT OF TRANSPORTATION

DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS PROPOSED SUBDIVISION ROAD CONSTRUCTION STANDARD CERTIFICATE

APPROVED

DISTRICT ENGINEER

DATE

ONLY NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVED STRUCTURES ARE TO BE CONSTRUCTED ON PUBLIC RIGHT OF WAY

I HEREBY CERTIFY THAT ALL STREETS AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO N.C. DEPARTMENT OF TRANSPORTATION AND/OR TOWN OF WEDDINGTON SPECIFICATIONS AND STANDARDS IN THE ENCLAVE AT WEDDINGTON SUBDIVISION OR THAT GUARANTEES OF THE INSTALLATION OF THE REQUIRED IMPROVEMENTS IN AN AMOUNT AND MANNER SATISFACTORY TO THE TOWN OF WEDDINGTON HAVE BEEN GIVEN AND RECEIVED.

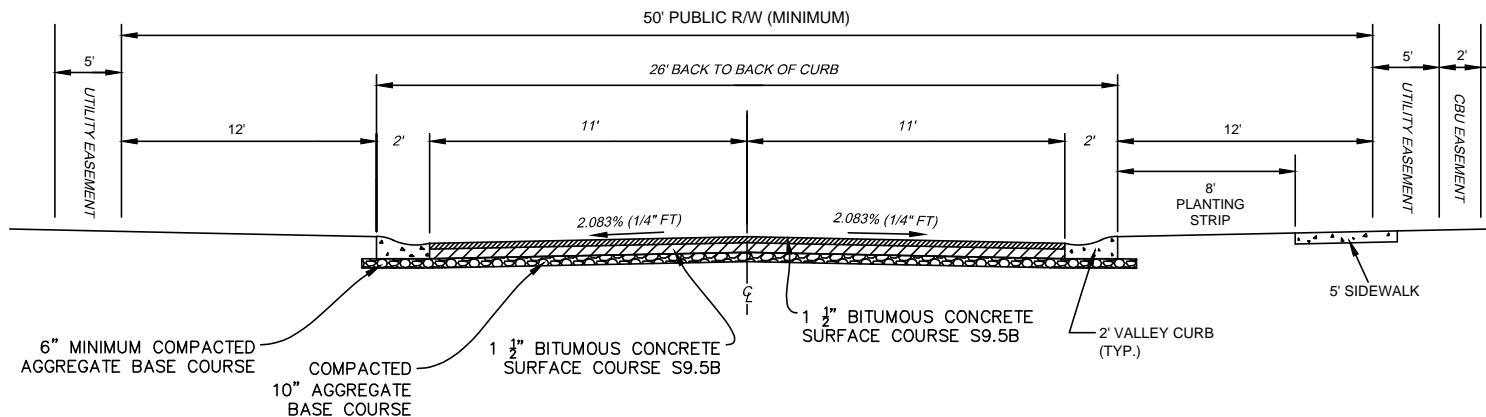
MAYOR OF THE TOWN OF WEDDINGTON
NORTH CAROLINA

DATE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF WEDDINGTON, NORTH CAROLINA, AND THAT THIS PLAT HAS BEEN APPROVED BY THE WEDDINGTON TOWN COUNCIL FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS FOR UNION COUNTY, NORTH CAROLINA.

THIS _____ DAY OF _____, _____.

MAYOR OF THE TOWN OF WEDDINGTON
NORTH CAROLINA



THE ENCLAVE AT WEDDINGTON
LOCAL ROAD SECTION
50' RIGHT-OF-WAY

CERTIFICATE OF SURVEY AND ACCURACY

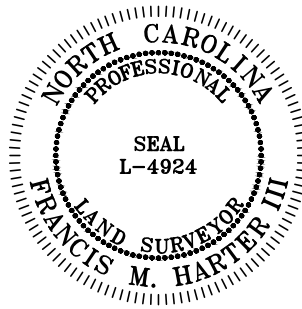
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GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-40 AND I CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF G.S. 47-40 SECTION F-11-A

WITNESS MY OFFICIAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.

FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924



ESP Associates, P.A.
P.O. Box 7030 3475 Lakemont Blvd.
Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

FINAL PLAT OF THE ENCLAVE AT WEDDINGTON PHASE 1 MAP 2 LOCATED IN: SANDY RIDGE TOWNSHIP TOWN OF WEDDINGTON UNION COUNTY, NORTH CAROLINA	PROJECT NO EP04.810.000
	SCALE NTS
	DATE 8-25-16
	DRAWN BY JLN
	CHECKED BY FMH
OWNER: MREC FALLS AT WEDDINGTON, LLC C/O MOUNTAIN REAL ESTATE COMPANY 9171 TOWNE CENTER DRIVE, SUITE 315, SAN DIEGO, CA 92122 (858) 230-6451	DATE OF SURVEY AUGUST 2016
	DRAWING NO. EP04 ENCLAVE PH1 M2
	4 OF 4 SHT



US INFRASTRUCTURE OF CAROLINA, INC.

CONSULTING ENGINEERS

September 8, 2016

Ms. Kim Woods, Asst. Zoning Administrator
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: The Enclave at Weddington Phase I Map 2
Performance Bond
USI Project No. 140209- 20

Dear Kim:

USI has reviewed the construction cost estimate submitted by EMH&T (see attached) to verify the proposed amount for the performance bond provided by the developer. Rough grading has been completed on the site. The proposed amount of \$647,824.06 as shown on the estimate is satisfactory for establishing the performance bond for the incomplete roadway, storm drainage, sewer, and water main items and is recommended for approval.

If you have any questions, please contact us at 704-342-3007.

Sincerely,
US Infrastructure of Carolina, Inc.

Bonnie A. Fisher, P.E.
Senior Engineer

Attachment

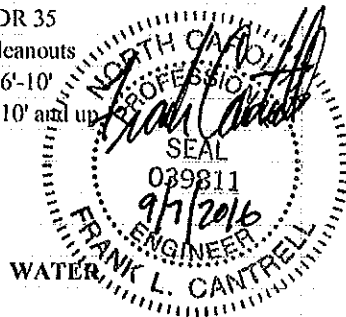
cc: Frank Cantrell, EMH&T



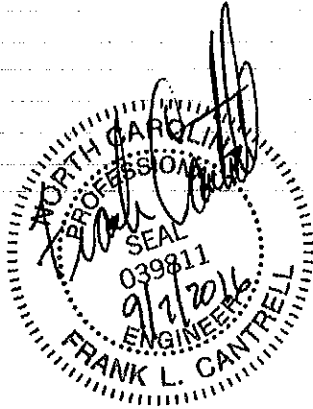
Engineers, Surveyors, Planners, Scientists

PROBABLE CONSTRUCTION BOND COST ESTIMATE
THE ENCLAVE AT WEDDINGTON PHASE 1, Map 2
 September 7, 2016

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
MISCELLANEOUS					
1	Street Trees (40' O.C.)	74	EACH	\$250.00	\$18,500.00
2	Street Lights	4	EACH	\$600.00	\$2,400.00
3	Erosion Control Maintenance	1	LS	\$4,500.00	\$4,500.00
4	Gibson Pond Spillway Improvements				
	a. Tree Removal	1	LS	\$4,500.00	\$4,500.00
	b. Berm/Spillway Grading	1	LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$34,900.00
STORM SEWER					
1	15" Storm Sewer Pipe	967	LF	\$26.00	\$25,142.00
2	18" Storm Sewer Pipe	163	LF	\$28.50	\$4,645.50
3	54" Storm Sewer Pipe	137	LF	\$84.00	\$11,508.00
4	15" FES	2	EACH	\$800.00	\$1,600.00
5	18" FES	1	EACH	\$1,200.00	\$1,200.00
6	54" Headwall	1	EACH	\$2,360.00	\$2,360.00
7	Catch Basin	16	EACH	\$2,000.00	\$32,000.00
8	Rip Rap Apron	48	TON	\$50.00	\$2,400.00
SUBTOTAL					\$80,855.50
PAVEMENT					
1	2" S9.5B Full Depth	475	TON	\$75.00	\$35,625.00
2	3" H19.0B Full Depth	712	TON	\$75.00	\$53,400.00
3	5" B25.0B or C Full Depth	1,146	TON	\$75.00	\$85,950.00
4	Curb & Gutter Installation	3,158	LF	\$12.00	\$37,896.00
5	Sidewalk	994	SY	\$24.00	\$23,856.00
6	Curb Ramp	2	EACH	\$575.00	\$1,150.00
SUBTOTAL					\$237,877.00
SANITARY					
1	8" Sanitary SDR 35	111	LF	\$23.50	\$2,608.50
2	8" Sanitary SDR 26	213	LF	\$25.00	\$5,325.00
3	8" PVC Sanitary	705	LF	\$43.75	\$30,843.75
4	8" DIP Sanitary	400	LF	\$42.00	\$16,800.00
5	4" PVC Sanitary SDR 35	675	LF	\$16.50	\$11,137.50
6	4" PVC Sanitary Cleanouts	27	EACH	\$98.00	\$2,646.00
7	Sanitary Manholes 6'-10'	6	EACH	\$2,225.00	\$13,350.00
8	Sanitary Manholes 10' and up	2	EACH	\$2,750.00	\$5,500.00
9	Testing Sanitary	1	LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$93,210.75
1	8" PVC Water	1067	LF	\$18.00	\$19,206.00



2	8" DIP Water	106	LF	\$30.00	=	\$3,180.00
3	2" PVC Water	536	LF	\$15.00	=	\$8,040.00
4	2" Gate Valve and Box	2	EACH	\$1,500.00	=	\$3,000.00
5	8" Gate Valve and Box	1	EACH	\$1,500.00	=	\$1,500.00
6	2" Blowoff Assembly	2	EACH	\$1,450.00	=	\$2,900.00
7	Fire Hydrant Assembly	2	EACH	\$4,000.00	=	\$8,000.00
8	3/4" Meter Assembly	29	EACH	\$585.00	=	\$16,965.00
9	3/4" Water Services	29	EACH	\$125.00	=	\$3,625.00
10	Testing Water	1	LS	\$5,000.00	=	\$5,000.00
				SUBTOTAL	=	\$71,416.00
				TOTAL	=	\$518,259.25
				CONTINGENCY: 25%	=	\$129,564.81
				TOTAL	=	\$647,824.06





Planning • Public Administration • Urban Design

August 31, 2016

Scott Buzzard, Councilman
c/o Peggy Piontek, Town Administrator
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

Dear Councilman Buzzard,

Per your request and for your board's review and consideration I respectfully submit the following two sample options for Planning Services to be provided to the Town of Weddington during FY 17 on a Continuing Services (CS) Basis.

Period of Service (POS): October 3, 2016 – October 28, 2016			
Function	Level of Service (LOS)	(2) Bi-Weekly Payments	FY 17 Fee
Planning, Zoning & Sub-Division Administrator, AICP Certified	➤ 2 Days / Week_4 Weeks _8 Hours / Day on average _On-Site _64 Hours_40% FTE	<u>\$2,021.12</u>	<u>\$4,042.24</u>

Period of Service (POS): October 3, 2016 – June 30, 2017			
Function	Level of Service (LOS)	(19) Bi-Weekly Payments	FY 17 Fee
Planning, Zoning & Sub-Division Administrator, AICP Certified	➤ 2 Days / Week_39 Weeks _8 Hours / Day on average _On-Site _624 Hours_40% FTE	<u>\$2,074.31</u>	<u>\$39,411.89</u>

Our fees are inclusive of all personnel costs including but not limited to salary, benefits, taxes, professional development & certifications, cellular communications and management cost.

N-Focus Planning & Design, Inc.
313 South Main Street, Suite 110
Kannapolis, NC 28081
Tel: (704) 933-0772
www.nfocusplanning.org

Scott Buzzard, Councilman
c/o Peggy Piontek, Town Administrator
Town of Weddington

August 31, 2016

Among the advantages to a CS Agreement are:

- A fixed monthly payment without invoicing
- The Level of Service (LOS) may increase by five (5%) without affect upon compensation and/or payment amount. Thereafter, the amount of compensation due shall be adjusted by a pro-rata amount proportional to the basic LOS.
- Travel time to and from the jurisdiction is included in the fee

Should you have any questions, please advise.

Thank you for the opportunity.

Respectfully,

Patti Rader

Patti Rader, Manager
N-Focus Planning & Design, Inc.
313 South Main Street, Suite 110
Kannapolis, NC 28081
(704) 933-0772
prader@nfocusplanning.org

Att: FY 17 Market Rate Schedule for Hourly "On Call-On Demand" Services with Travel to and from the jurisdiction subject to the hourly rate.



Planning • Public Administration • Urban Design

MEMO

April 1, 2016

RE: FY 17 Market Rate Fee Schedule

To: All N-Focus Customers:

Effective July 1, 2016, the following Fee Schedule for "On Call – On Demand" Services will be implemented:

➤ Planning, Zoning and Subdivision Administrator, AICP Certified	\$125 per hour
➤ Planning, Zoning and Subdivision Administrator	\$110 per hour
➤ Staff Planner & GIS Specialist	\$110 per hour
➤ Ordinance Preparation	\$185 per hour
➤ Urban Design Landscape Architect, ASLA Certified	\$185 per hour
➤ Floodplain Administrator, CFM Certified	\$125 per hour
➤ Public Works Administrator	\$110 per hour
➤ Stormwater Administrator	\$110 per hour
➤ Bi-Lingual Assistant, Document Translation (English – Spanish)	\$110 per hour
➤ Code Enforcement Specialist, CZO Certified	\$65 per hour
➤ Code Enforcement Group Training Sessions	\$80 per attendee
➤ Special Services Quote Upon Request	

Note: This fee schedule does not affect "Continuing Services Contracts".

We look forward to the privilege of delivering effective, quality services to your community, its citizens and leadership moving into FY 2017.

Thank you for your patronage.

Patti Rader

Patti Rader, Manager

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Weddington Town Council

FROM: Dorine Sharp, Planning Board Chair

DATE: September 26th, 2016

SUBJECT: **The Enclave at Weddington Entrance and Landscape Documents**

The Enclave at Weddington Entrance and Landscape Documents

Please find the entry monument site plan, architectural plans and landscaping construction documents for the approved major subdivision, The Enclave at Weddington.

The documents are labeled the Falls of Weddington which has now taken over Enclave.

The plans show entryway monuments for the entrance off Antioch Church Road.

All monument structures are outside the right-of-way and sight triangles and are on both sides of the entrance.

The sign is under the required maximum area of 20 square feet per sign, and the top of the sign is less than 7 feet tall.

Recommended Conditions of Approval:

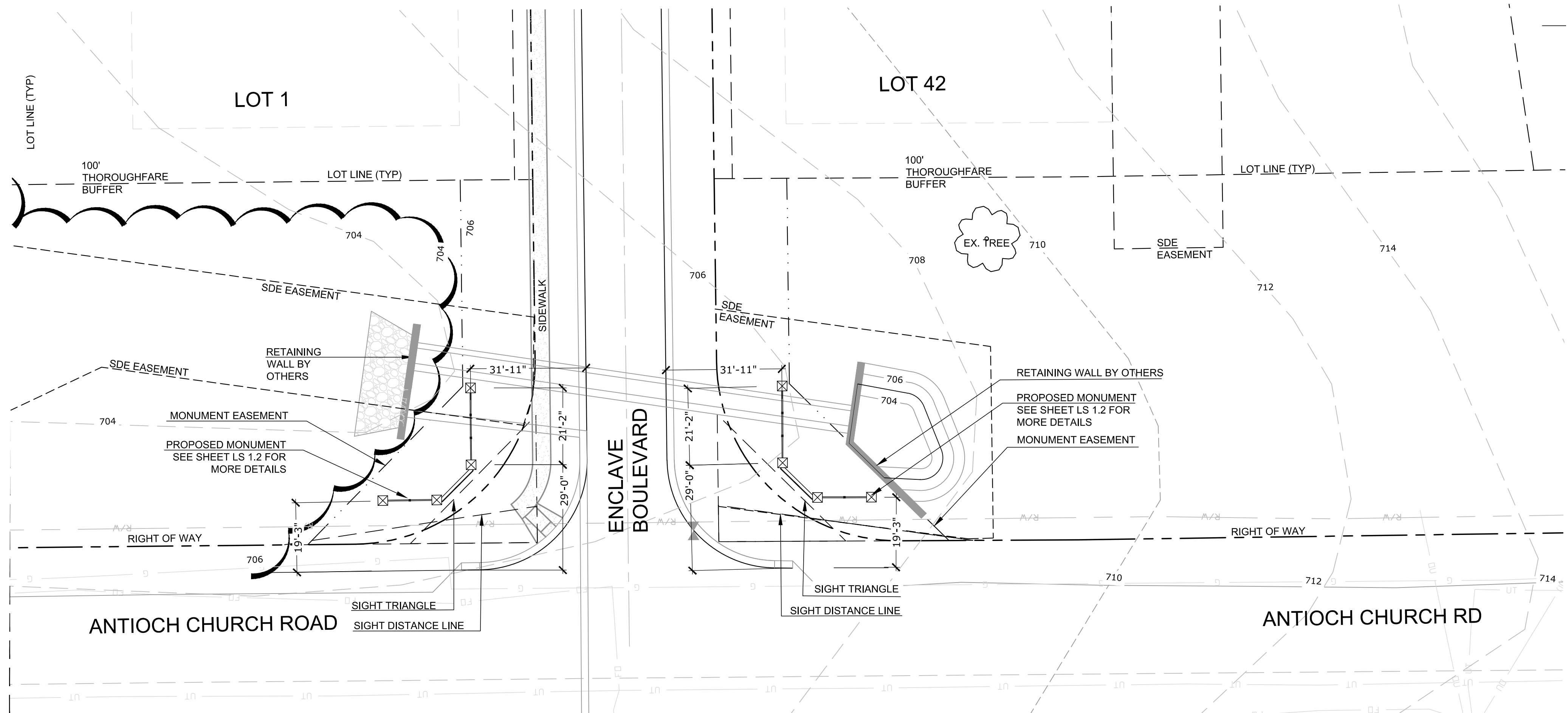
1. All lighting must meet the Town's lighting ordinance.
2. All landscape plantings must be on the Town's approved List of Acceptable Plant Species.

Planning Board Action:

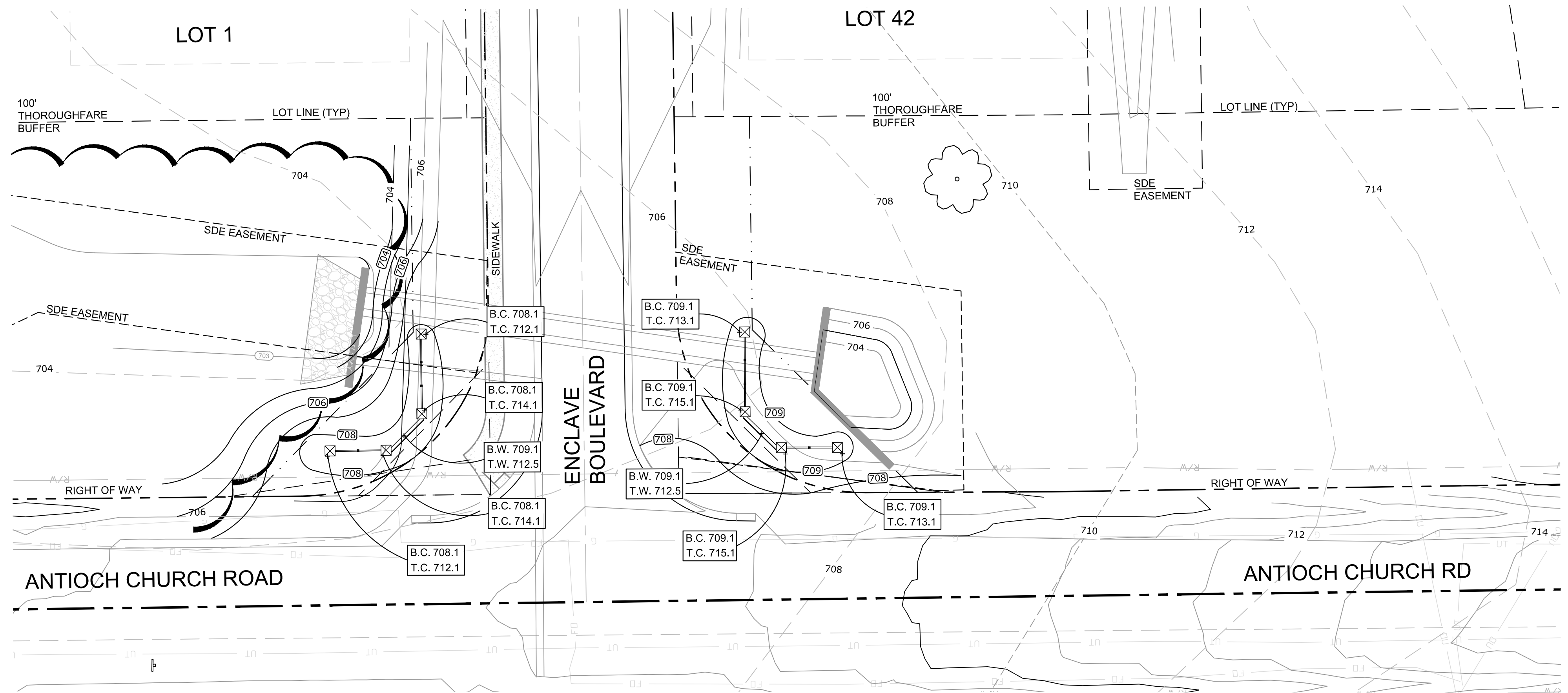
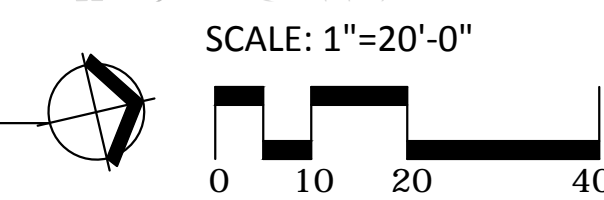
Recommended approval with conditions (July 25th, 2016)

Town Council Action:

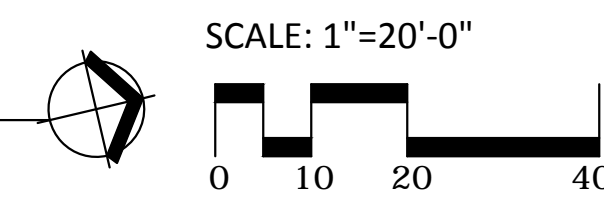
Approve/Approve with Conditions/Deny



SITE PLAN



GRADING PLAN



LEGEND	
B.C.	BOTTOM OF COLUMN (FINISHED GRADE)
T.C.	TOP OF COLUMN
B.W.	BOTTOM OF WALL (FINISHED GRADE)
T.W.	TOP OF WALL
(34)	PROPOSED CONTOUR

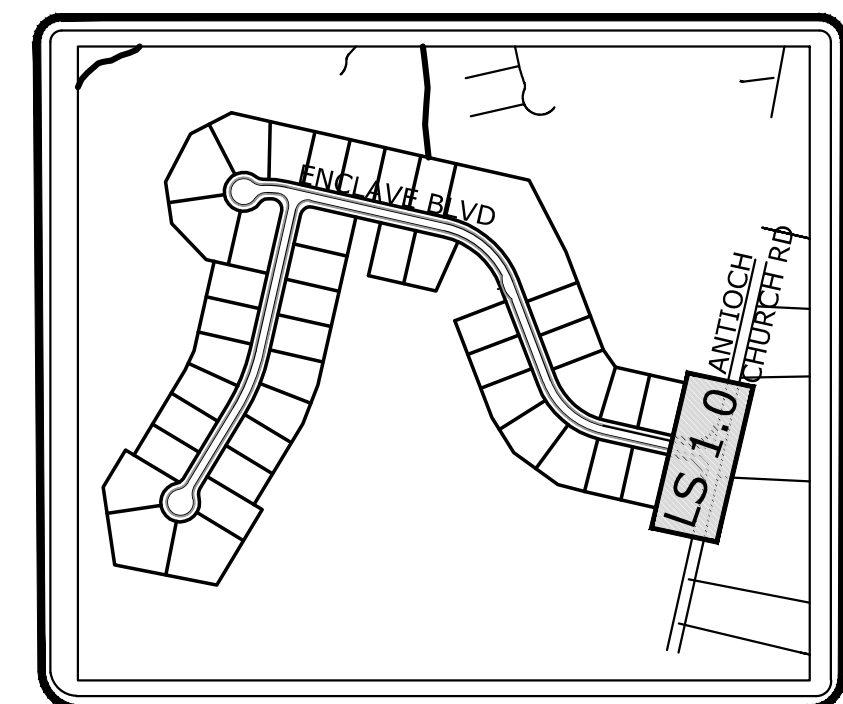
GENERAL NOTES: LAYOUT PLAN

1. THE CONTRACTOR SHALL LAYOUT AND ADJUST FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY DIMENSIONS IN THE FIELD AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE OWNER AND LANDSCAPE ARCHITECT.
4. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROTECT ALL EXISTING SITE IMPROVEMENTS AND UTILITIES DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES 72 HOURS PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS, INSPECTIONS, FEES, AND CHARGES.
6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STONE WORK, RETAINING WALLS, FOOTINGS & COLUMNS, STAIN, WOOD COMPONENTS AND LANTERNS TO OWNER AND LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND INSTALLATION.

NOTE: BOTTOM WALL (BW) HEIGHTS LISTED ARE FINISHED GRADE ELEVATIONS. CONTRACTOR TO ACCOUNT FOR DEPTH OF FOOTER AS NEEDED BASED ON ANTICIPATED FINISHED GRADE OF WALL.

NOTE: CONTACT CARDNO AT 704.927.9700 FOR A CAD FILE FOR SURVEYOR TO UTILIZE IN LOCATING MONUMENTS IN THE FIELD.

NOTE: CONTACT CARDNO AT 704.927.9700 PRIOR TO ANY PLANTING, IRRIGATION, GRADING OR HARDSCAPE INSTALLATION TO REVIEW EXISTING GRADE CONDITIONS.



SITE REFERENCE MAP
NOT TO SCALE

SIGN PERMIT SET - NOT FOR CONSTRUCTION

SITE LAYOUT PLAN

FALLS OF WEDDINGTON
MERITAGE HOMES
TOWN OF WEDDINGTON, NC

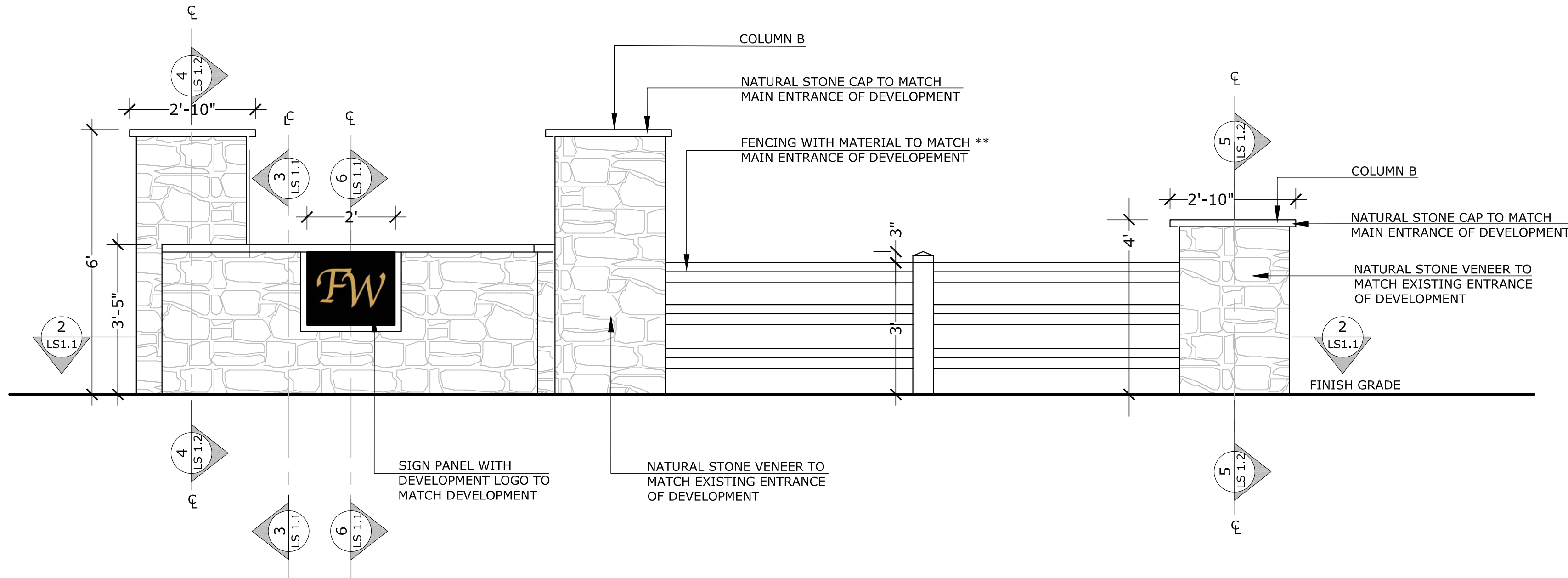
#	DATE	DESCRIPTION	BY



DATE	08/26/16
DRAWN	SNH
DESIGNED	ADH
CHECKED	CIC
PROJECT #	

SHEET TITLE	SITE LAYOUT PLAN
SHEET NUMBER	

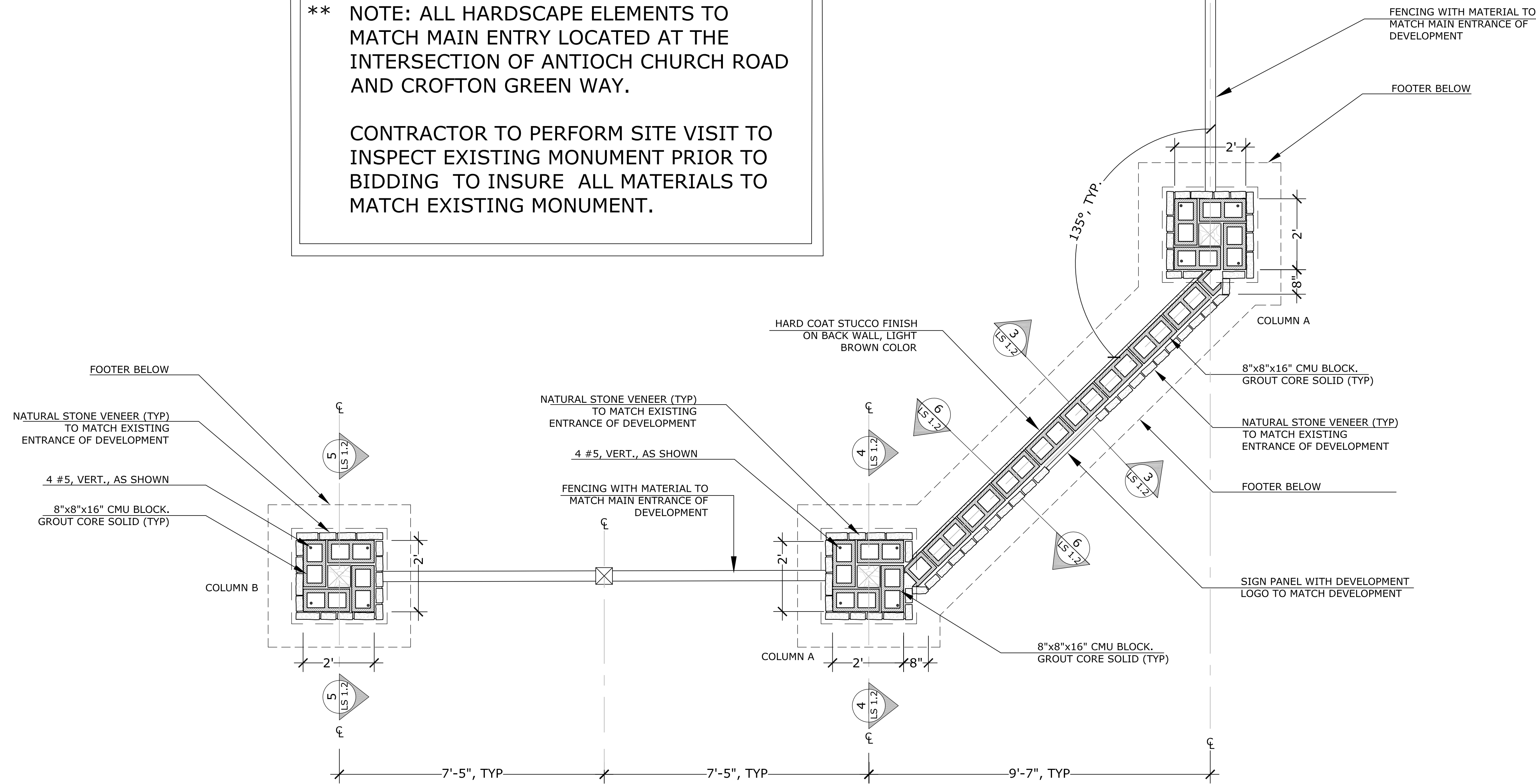
LS 1.0
LAND USE #



1 ELEVATION: SECONDARY ENTRANCE MONUMENT
SCALE: 1/2"=1'-0"

**** NOTE: ALL HARDSCAPE ELEMENTS TO MATCH MAIN ENTRY LOCATED AT THE INTERSECTION OF ANTIOCH CHURCH ROAD AND CROFTON GREEN WAY.**

CONTRACTOR TO PERFORM SITE VISIT TO INSPECT EXISTING MONUMENT PRIOR TO BIDDING TO INSURE ALL MATERIALS TO MATCH EXISTING MONUMENT.



2 PLAN: ENTRY MONUMENT
SCALE: 1/2"=1'-0"

NOTE: ACTUAL STRUCTURAL DESIGN AND DETAIL TO BE PROVIDED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. MONUMENT WILL NOT BE ACCEPTED BY OWNER UNTIL CONTRACTOR HAS SUBMITTED APPROVAL FROM STRUCTURAL ENGINEER.

SIGN PERMIT SET - NOT FOR CONSTRUCTION

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CHARLOTTE, NC 28273
TEL: (704) 927-9700 FAX: (704) 529-3272
www.cardno.com

Meritage Homes

HARDSCAPE DETAILS

FALLS OF WEDDINGTON

MERITAGE HOMES

TOWN OF WEDDINGTON, NC

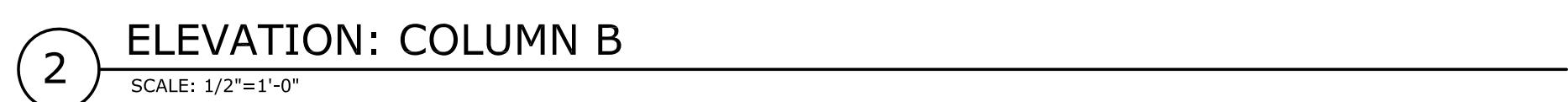
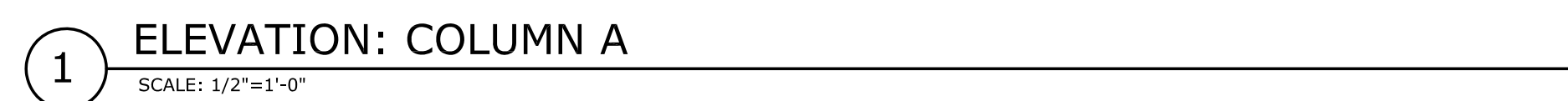
#	DATE	DESCRIPTION	BY

COREY J. CLARK

DATE	08/26/16
DRAWN	SNH
DESIGNED	ADH
CHECKED	CJC
PROJECT #	
SHEET TITLE	HARDSCAPE DETAILS
SHEET NUMBER	

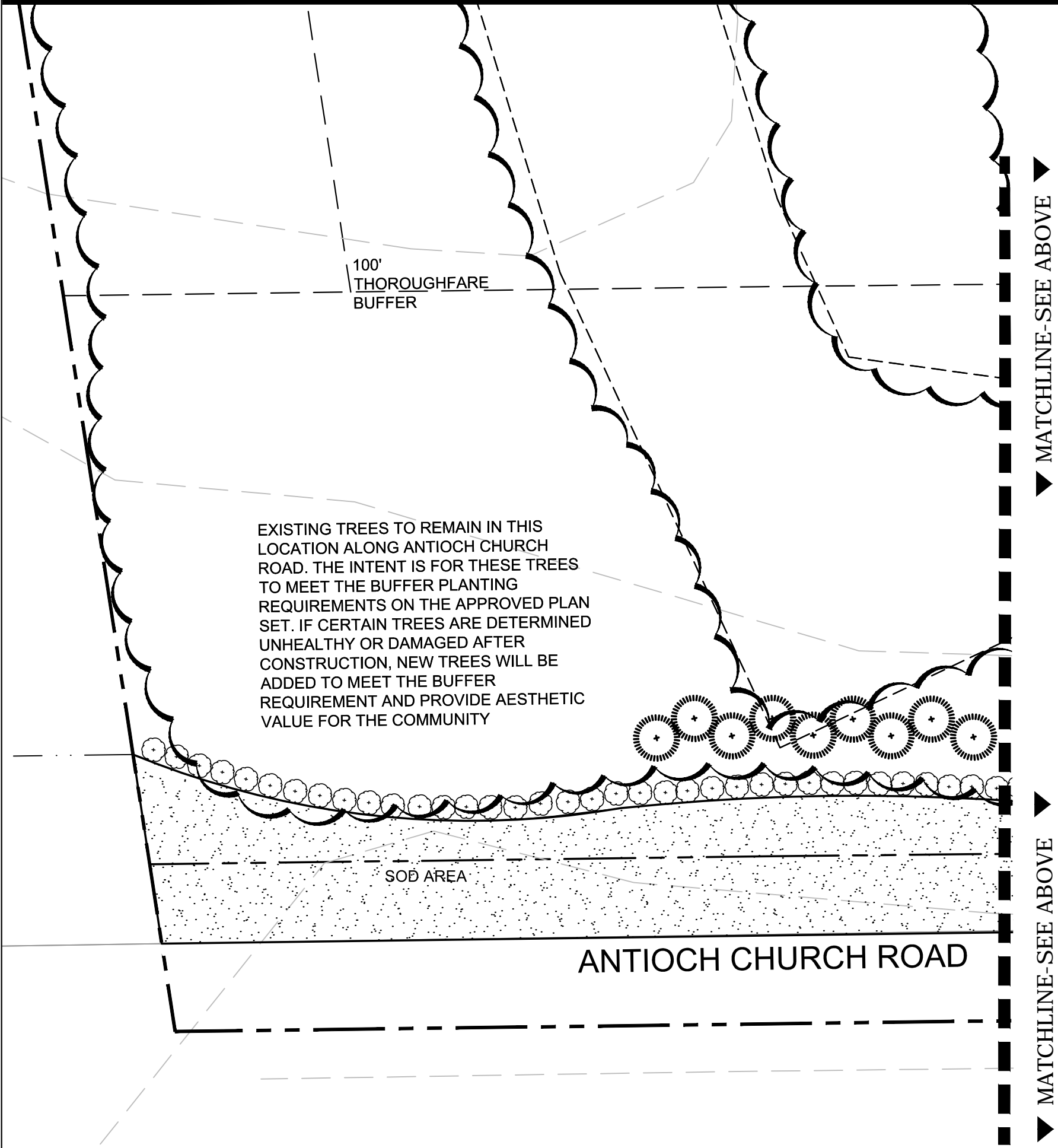
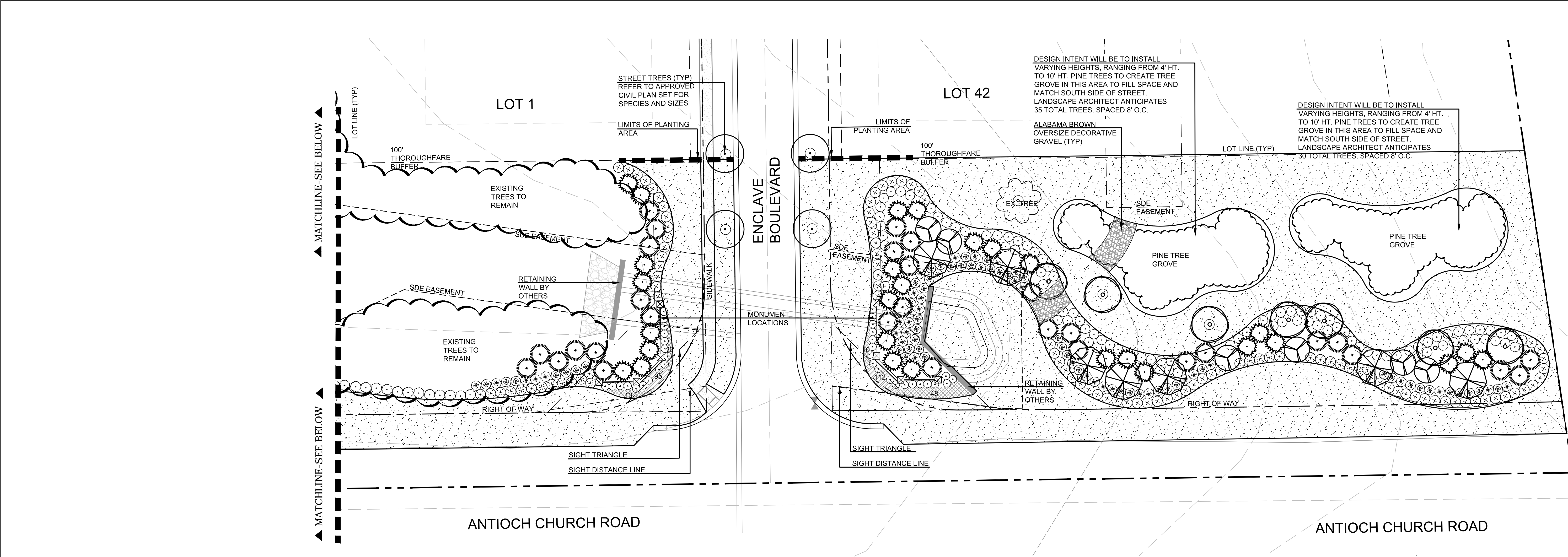
LS 1.1

LAND USE #



4 SECTION: COLUMN A
SCALE: 1/2"=1'-0"



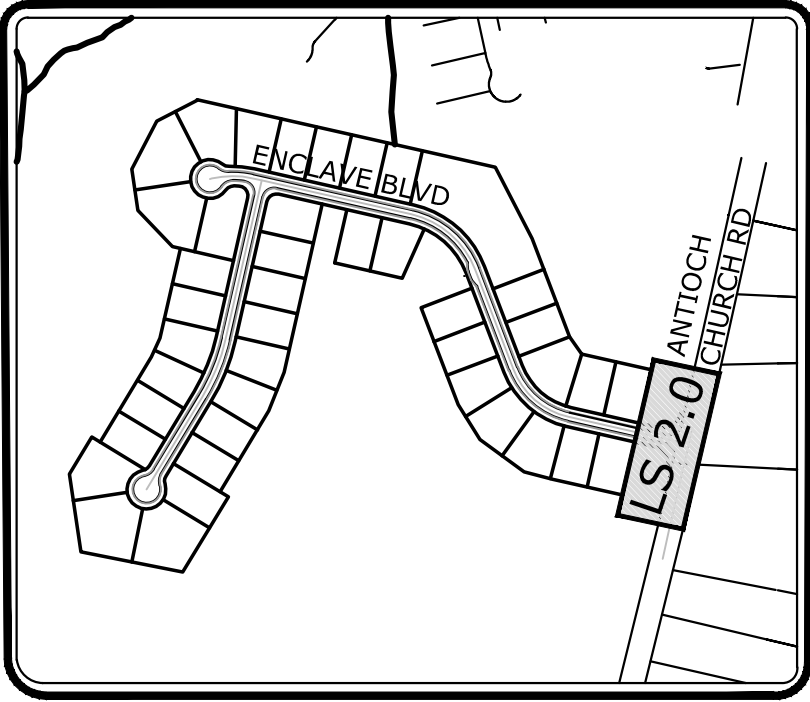


PLANT MATERIALS SCHEDULE					
COMMON NAME	BOTANICAL NAME	SIZE	SPACING	MIN. HT./SP.	
TREES					
EXISTING 10" DBH TREE TO REMAIN, SPECIES UNKNOWN					
WILLOW OAK	QUERCUS PHELLOS	3" CAL.	AS SHOWN	14' HT.	
'NATCHEZ' CRAPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'	2.5" CAL.	AS SHOWN	12' HT.	
SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	12' HT.	AS SHOWN	6' SP.	
EMILY BRUNNER HOLLY	ILEX x 'EMILY BRUNNER'	8' HT.	8'-0" O.C.	5' SP.	
BRACKEN'S BROWN BEAUTY MAGNOLIA	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN'	10' HT.	AS SHOWN	6' SP.	
SHRUBS					
SCHILLING'S HOLLY	ILEX VOMITORIA 'SCHILLING'S'		4'-0" O.C.	24" HT.	
OTTO LUYKEN LAUREL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'		4'-0" O.C.	24" HT.	
SASANQUA CAMELIA	CAMELIA SASANQUA		3'-0" O.C.	24" HT.	
AUTUMN MOONLIGHT ENCORE AZALEA	AZALEA 'MOOTUM'		4'-0" O.C.	24" HT.	
CRIMSON FIRE LOROPETALUM	LOROPETALUM CHINENSIS x 'CRIMSON FIRE'		4'-0" O.C.	24" HT.	
JAPANESE PRIVET	LIGUSTRUM JAPONICUM 'TEXANUM'		4'-0" O.C.	24" HT.	
GROUND COVER					
SEASONAL COLOR/ANNUALS BASED ON TIME OF YEAR - ASSUME 8" SPACING					
RUSSIAN SAGE	PEROVSKIA ATRIPLICAFOLIA	1 GAL.	1'-6" O.C.		
SOD					
TURF TO MATCH MAIN ENTRANCE					
MULCH					
NOTE ALL SHRUB BEDS SHALL CONTAIN A 4" LAYER OF PINE NEEDLE MULCH TYP.					
ALL ANNUAL BEDS SHALL CONTAIN A 2" MIN. LAYER OF SOIL CONDITIONER (FINELY SHREDDED HARDWOODS WITH ORGANICS)					
* ALL PLANTS SELECTED WERE BASED ON THE APPROVED LANDSCAPE PLAN FOR 100' BUFFER REQUIREMENTS. NO SUBSTITUTIONS WILL BE ACCEPTED.					
DECORATIVE GRAVEL					
OVERSIZE ALABAMA BROWN DECORATIVE GRAVEL					

GENERAL LANDSCAPE NOTES

1. PROVIDE TOPSOIL AMENDMENTS FOR PLANT PITS ONLY. SOIL AMENDMENT FOR ALL LAWN AREAS AND ENTIRE PLANTING BED IS NOT REQUIRED. SEE DETAILS AND NOTES FOR FURTHER INFORMATION. IF PLANTING CONDITIONS (TOPSOIL) ARE UNACCEPTABLE OR WILL DRASTICALLY AFFECT LONG TERM HEALTH AND CONDITION OF PLANTS AND LAWN, NOTIFY LANDSCAPE ARCHITECT AND CONSTRUCTION REPRESENTATIVE PRIOR TO PROCEEDING
2. AREAS OF THE LAWN MAY CONTAIN CATCH BASINS AND AREA DRAINS. CONTRACTOR SHALL USE BEST JUDGEMENT TO FINE GRADE AROUND CATCH BASINS AND OTHER APPURTENANCES TO MINIMIZE EROSION AND MAINTAIN AESTHETIC VALUE. CONTACT LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES.
3. CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK. SEE DETAILS AND NOTES FOR FURTHER INFORMATION.
4. TREES LOCATED IN DRAINAGE WAYS TO BE FIELD ADJUSTED TO PLACE TREES OUTSIDE THE DRAINAGE WAY.
5. CONTRACTOR TO PLACE 4' PINE NEEDLE CIRCLE AROUND ALL TREES IN SOD.
6. CONTRACTOR TO PROVIDE ANY STAKING NECESSARY FOR LOT/PROPERTY LINE, UTILITY LINES, ETC. TO INSTALL PLANTING AND IRRIGATION AS PER PLANS

NOTE: CONTACT CARDNO AT 704.927.9700 PRIOR TO ANY PLANTING, IRRIGATION, GRADING OR HARDSCAPE INSTALLATION TO REVIEW EXISTING GRADE CONDITIONS.



SITE REFERENCE MAP
NOT TO SCALE

SIGN PERMIT SET - NOT FOR CONSTRUCTION

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PLANTING PLAN

FALLS OF WEDDINGTON

MERITAGE HOMES

TOWN OF WEDDINGTON, NC

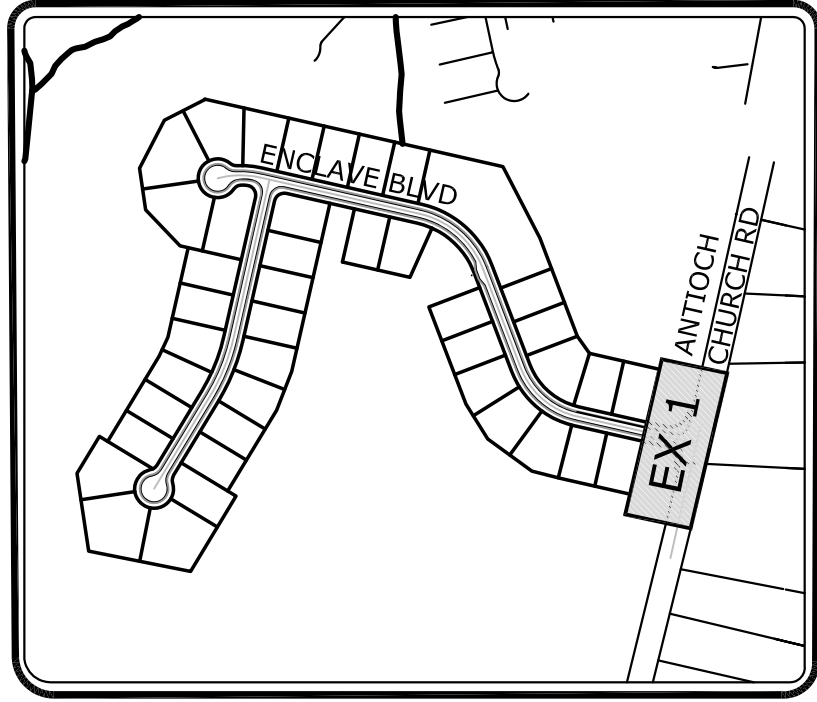
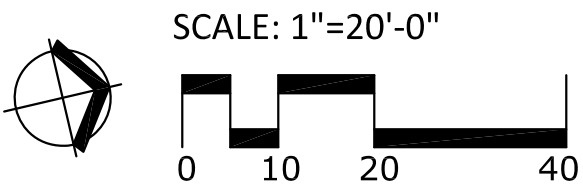
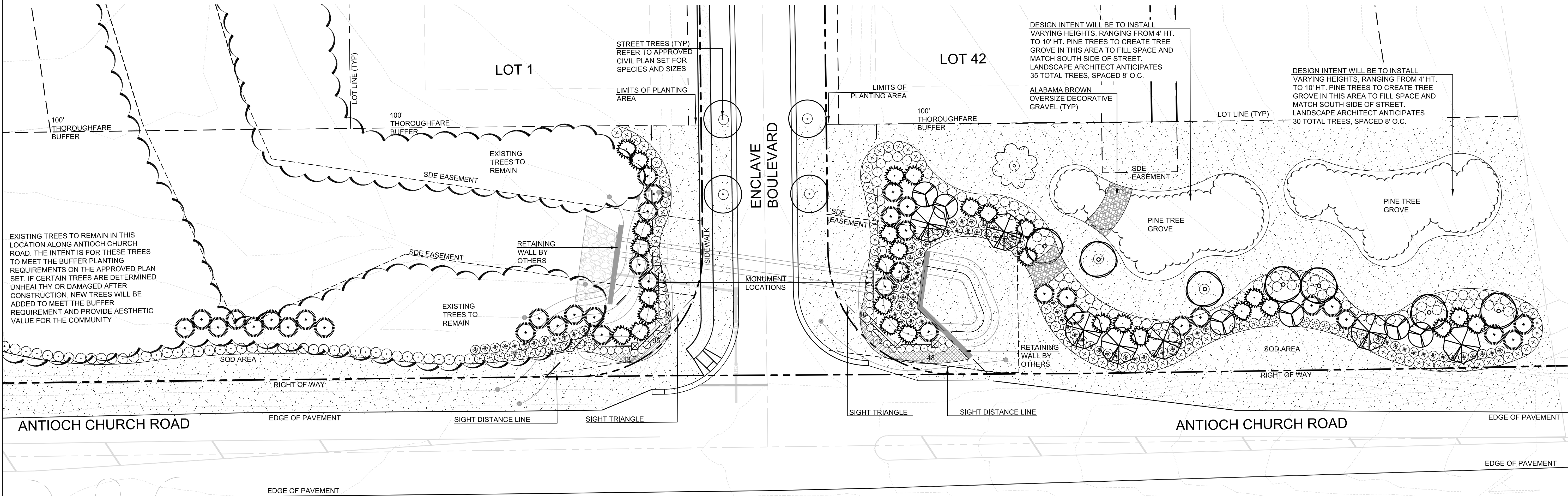
#	DATE	DESCRIPTION	BY

DATE	08/26/16
DRAWN	SNH
DESIGNED	ADH
CHECKED	CJC
PROJECT #	

SHEET TITLE
PLANTING PLAN

SHEET NUMBER
LS 2.0

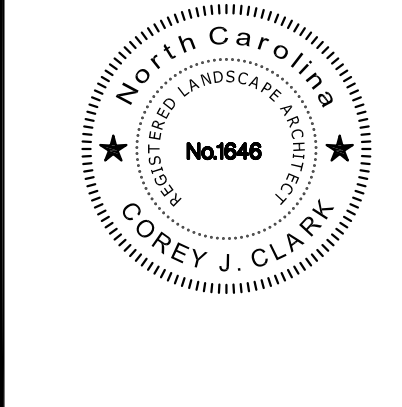
LAND USE #



SITE REFERENCE MAP
NOT TO SCALE

NOT FOR CONSTRUCTION

#	DATE	DESCRIPTION	BY



DATE	10/03/16
DRAWN	SNH
DESIGNED	ADH
CHECKED	CJC
PROJECT #	

SHEET TITLE
RIGHT TURN LANE EXHIBIT
SHEET NUMBER

EX 1
LAND USE #

RIGHT TURN LANE EXHIBIT
FALLS OF WEDDINGTON
MERITAGE HOMES
TOWN OF WEDDINGTON, NC





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TEL: (704) 927-9700 FAX: (704) 529-3272
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TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Weddington Town Council

FROM: Dorine Sharp, Planning Board Chair

DATE: September 26th, 2016

SUBJECT: **The Enclave at Weddington R-CD Conservation Subdivision
Conditional Zoning Final Plat Phase 1 Map 2**

Project Information:

The Enclave at Weddington is an approved 42 lot conservation subdivision located on 53.52 acres. Phase 1 Map 2 includes the remaining 29 lots. The subdivision is located on Antioch Church Rd and is being developed by Meritage Homes.

Conservation Land

The conservation land calculations indicate that 29.28 acres of the 53.52 acres has been dedicated to conservation land. 22.25 acres are included within Map 2.

Utilities

- The Enclave at Weddington is to be served by Union County Public Water and Sewer.

Access and Traffic Analysis

- The subdivision will be accessed by one entrance on Antioch Church Road.
- The Town Planner, in coordination with Justin Carroll, determined that the subdivision did not meet the threshold for a formal Traffic Impact Analysis. The applicant is providing a left turn lane in to the site and coordinating with NCDOT for design approvals.

PIMS

- PIMs were held on June 2nd and June 3rd, 2015, both at Town Hall and on-site.

Additional Information:

- The Cluster Mailbox Unit is shown on Map 1, and hydrants are shown on both maps.
- The subdivision will include curb and gutter, and sidewalks will be provided on one side of the street and around the culs-de-sacs.

Construction Documents

- USI provided final approval for the construction documents on May 9th, 2016.

Recommended Conditions:

1. Bond estimates to be approved by the Town's engineering consultant
2. Bond instruments to be reviewed and approved by the Town Attorney, and the final bond instruments must be submitted to the Town prior to recording of the final plat.
3. Each remaining lot to be recorded in the Enclave at Weddington subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not the responsibility of the Town of Weddington and shall be maintained by the Enclave at Weddington Homeowners Association or its Developer.
4. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.

Planning Board Action:

Recommended approval with conditions (July 25th, 2016)

Town Council Action:

Approve/Approve with Conditions/Deny

NOTES:
THE PROPERTY MAY BE SUBJECT TO ANY ADDITIONAL
RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY.
SUBJECT TRACT TAX ID# 06090005, 06090005B 06090008,
& 06090008A.
SUBJECT TRACT REFERENCE: DB 6674 PG 572 & DB 6674
PG 576.
#5 REBAR SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
AREAS COMPUTED BY COORDINATE METHOD.
UNADJUSTED RATIO OF PRECISION: 1:294,744
TOTAL ACREAGE FOR THE AREA ENCOMPASSED BY THIS PLAT
IS 34.327 ACRES.
TOTAL NUMBER OF LOTS: 29 BUILDABLE
TOTAL LINEAR FEET OF ROADWAY = 1488
DATE OF SURVEY: AUGUST 2016
THIS PROPERTY IS GRAPHICALLY LOCATED IN A SPECIAL
FLOOD HAZARD AREA, AS DELINEATED ON UNION COUNTY,
NORTH CAROLINA FLOOD INSURANCE RATE MAP/FLOOD
HAZARD BOUNDARY MAP PANEL 3710448700J DATED
OCTOBER 16, 2008.
NO DEVELOPMENTAL STUMP HOLES REPORTED TO THIS FIRM
WITHIN THE LOTS WHICH MAKE UP THIS MAP.
35'x35' AND 10'x70' SIGHT TRIANGLES AT INTERSECTIONS.
ALL LIGHTING WILL MEET THE REQUIREMENTS OF THE TOWN
OF WEDDINGTON ZONING ORDINANCE.
CONSERVATION LANDS WILL BE OWNED AND MAINTAINED BY
THE HOME OWNERS ASSOCIATION.
LANDSCAPING WITHIN ANY EASEMENTS LOCATED UPON LOTS
TO BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS.
IN THE EVENT THE ROADWAYS ARE NOT ACCEPTED FOR
MAINTENANCE BY NCDOT OR ANY OTHER GOVERNMENTAL
ENTITY, THE HOMEOWNERS ASSOCIATION SHALL BE
RESPONSIBLE FOR THE MAINTENANCE OF THE ROADWAYS.
SEE AREA, LINE & CURVE TABLES ON SHEET 4 OF 4

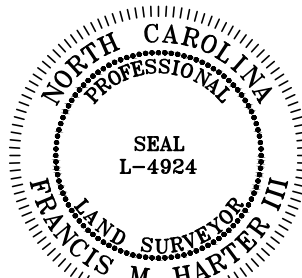
PID #07150662
BROOKHAVEN CITIZENS
ASSEMBLY INC
DB 6431 PG 287

PID #07150643
RICHARD J &
MEGHAN A TAYLOR
DB 4968 PG 108

PID #07150644
JOHN PAUL &
KIM LINNEN
DB 4980 PG 899

CONCRETE MONUMENT
NC GRID COORDS
NAD 83/2011
N=478,599.82
E=1,483,734.33

NCGS MON. "KNOX"
NC GRID COORDS
NAD 83/2011
N=484,551.24
E=1,474,267.50
CF: 0.99984783



ESP Associates, P.A.
P.O. Box 7030 3475 Lakemont Blvd.
Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

CERTIFICATE OF SURVEY AND ACCURACY

I, FRANCIS M. HARTER III, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM
AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN
BOOK 6674, PAGE 572 AND DEED BOOK 6674 PAGE 576); THAT THE BOUNDARIES NOT
SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGES
SHOWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:294,744; THAT THE GLOBAL
POSITIONING SYSTEM (GPS) WAS USED TO ORIENT THIS SITE TO THE NORTH CAROLINA STATE
PLANE COORDINATE SYSTEM. PARTICULARS OF THE GPS SURVEY ARE AS FOLLOWS:

CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.03
TYPE OF GPS FIELD PROCEDURE: NCVRS
DATE OF SURVEY: 4/06/16
DATUM/EPOCH: NAD83/2011
PUBLISHED/FIXED-CONTROL USE: NC GS MONUMENT "KNOX" PID: FA2452
GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 17-39 AND I AM CERTIFIED
THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 17-39 SECTION F-11-A
WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924

REVIEW OFFICER

I, _____, REVIEW OFFICER OF UNION
COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION
IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

DEVELOPMENT DATA:

ZONING:

R-CD(CONSERVATION)

PROPOSED USE:

CONVENTIONAL SUBDIVISION

ZONING LOT CRITERIA:

MINIMUM LOT SIZE REQUIRED: 12,000 SF (0.28 AC)
MINIMUM LOT SIZE PROVIDED: 12,961 SF (0.30 AC)
MINIMUM STREET FRONTAGE REQUIRED: 30 FEET
MINIMUM LOT WIDTH REQUIRED (AT BUILD TO LINE): 80 FEET

SETBACKS:

FRONT YARD: 20 FT
SIDE YARD: 5 FT
STREETSIDE SIDE YARD: 15 FT **
REAR YARD: 30 FT
* MINIMUM 30 FEET SEPARATION FOR PRINCIPAL BUILDINGS ON ADJACENT LOTS,
WITH NO SIDE YARD LESS THAN FIVE FEET.
** THE STREETSIDE SIDE YARD ON A CORNER LOT (i.e., THE LOT FRONTING A
STREET THAT IS NOT THE "FRONT YARD") SHALL BE AT LEAST 15 FEET.

CONSERVATION LAND CALCULATIONS:

TOTAL SITE AREA (GROSS): 53.52 AC

CONSERVATION LAND REQUIRED: 26.76 AC (SA X 50%)
CONSERVATION LAND PROVIDED (PER PLAN): 29.28 AC
CONSERVATION LAND PROVIDED (PH 1 MAP 1): 13.616 AC
CONSERVATION LAND PROVIDED (PH 1 MAP 2): 22.250 AC
CONSERVATION LAND PROVIDED TO DATE: 35.866 AC

THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1
(TO BE RECORDED)

NORTH ORIENTED TO
NC GRID NAD 83/2011

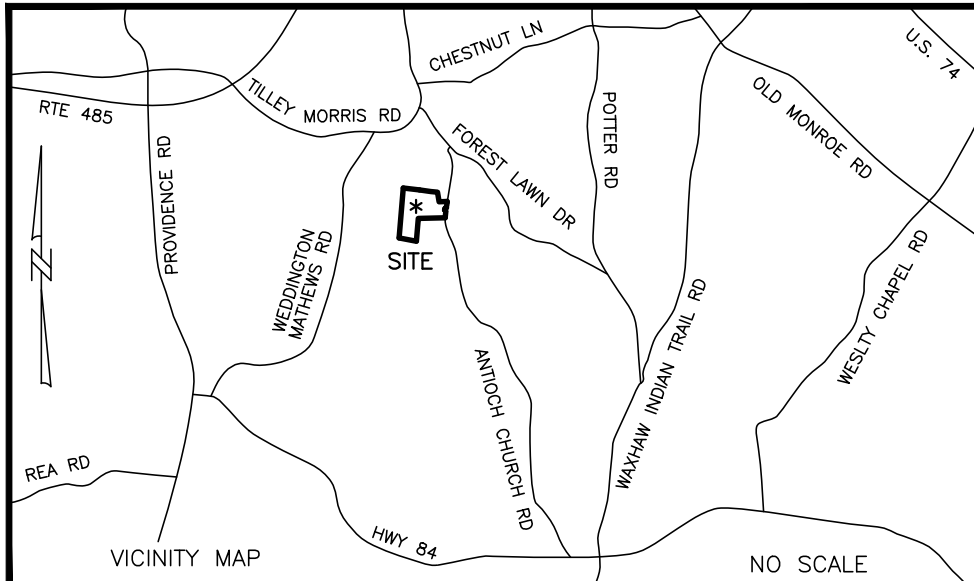
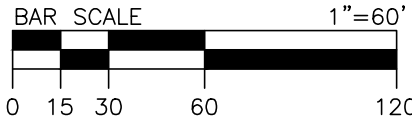
LEGEND

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PG - PAGE
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AC - ACRES
CBU - CLUSTER BOX UNIT
WLE - WATERLINE EASEMENT
SDE - STORM DRAINAGE EASEMENT
SSE - SANITARY SEWER EASEMENT
STE - SIGHT TRIANGLE EASEMENT
MBS - MINIMUM BUILDING SETBACK
RY - REAR YARD
SY - SIDE YARD
R/W - RIGHT OF WAY
NCDOT - NORTH CAROLINA DEPARTMENT OF
TRANSPORTATION
NAD - NORTH AMERICAN DATUM
NAVD - NORTH AMERICAN VERTICAL DATUM
FMN - FOUND MAG NAIL
[NTS] - NOT TO SCALE
O - SET CORNER (#5 REBAR UNLESS OTHERWISE NOTED)
● - FOUND CORNER (AS NOTED)
■ - FOUND CONCRETE MONUMENT
● - FIRE HYDRANT
#101 - ADDRESS

--- PROPERTY/LOT LINE
--- ADJOINING PROPERTY LINE (NOT SURVEYED)
--- EASEMENT LINE
--- RIGHT OF WAY LINE
--- UTILITY EASEMENT
--- STORM DRAINAGE EASEMENT

THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1
(TO BE RECORDED)

20' UTILITY EASEMENT
(TO BE RECORDED
PHASE 1 MAP 1)



FINAL PLAT OF THE ENCLAVE AT WEDDINGTON PHASE 1 MAP 2

LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

OWNER:

MREC FALLS AT WEDDINGTON, LLC

C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO

EP04.810.000

SCALE

1"=60'

DATE

8-25-16

DRAWN BY

JLN

CHECKED BY

FMH

DATE OF SURVEY

AUGUST 2016

DRAWING NO.

EP04 ENCLAVE PH1 M2

1 OF 4 SHT

REVIEW OFFICER

I, _____ REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

LEGEND

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--- STORM DRAINAGE EASEMENT

PID #07150660
BROOKHAVEN CITIZENS
ASSEMBLY INC
DB 6431 PG 287

PID #07150009F
INFESTORS II LLC
WEDDINGTON
DB N/A

CONSERVATION LANDS 1
820727 SF
18.841 AC

319' DUKE ENERGY
EASEMENT
(DB 336 PG 621)

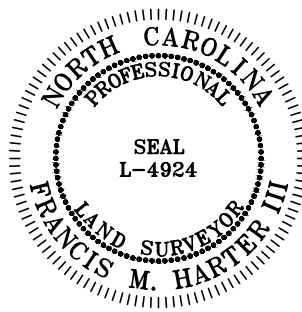
PID #06090093
VINTAGE CREEK OWNERS
ASSOCIATION INC
DB 6485 PG 297

CERTIFICATE OF SURVEY AND ACCURACY

I, FRANCIS M. HARTER III, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 6674, PAGE 572 AND DEED BOOK 6674 PAGE 576); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGES SHOWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:294,744; THAT THE GLOBAL POSITIONING SYSTEM (GPS) WAS USED TO ORIENT THIS SITE TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM. PARTICULARS OF THE GPS SURVEY ARE AS FOLLOWS:

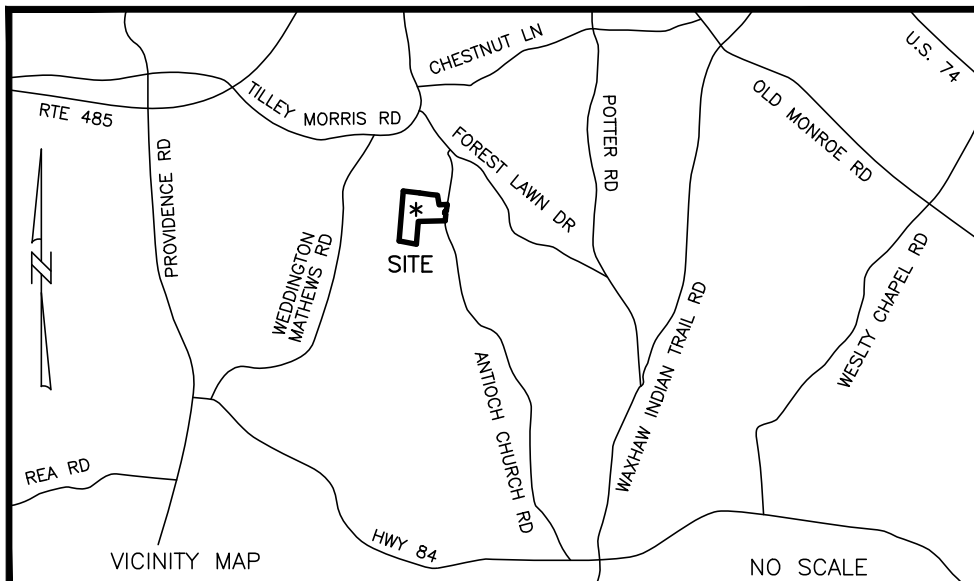
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UNITS: USFT

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WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924



ESP Associates, P.A.
P.O. Box 7030 3475 Lakemont Blvd.
Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

PRELIMINARY PLAT-NOT FOR
RECORDATION, CONVEYANCES,
OR SALES



FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 2

LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

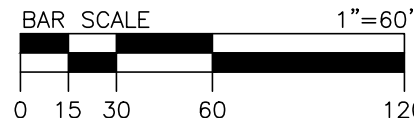
OWNER:

MREC FALLS AT WEDDINGTON, LLC

C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-25-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M2

2 OF 4 SHT



REVIEW OFFICER

I, _____ REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

NORTH ORIENTED TO
NC GRID NAD 83/2011

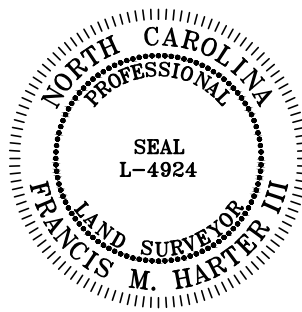
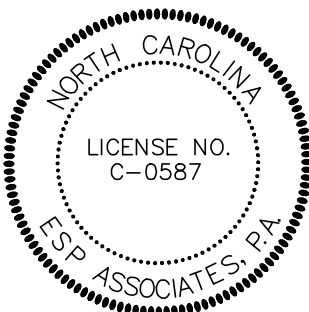
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CERTIFICATE OF SURVEY AND ACCURACY

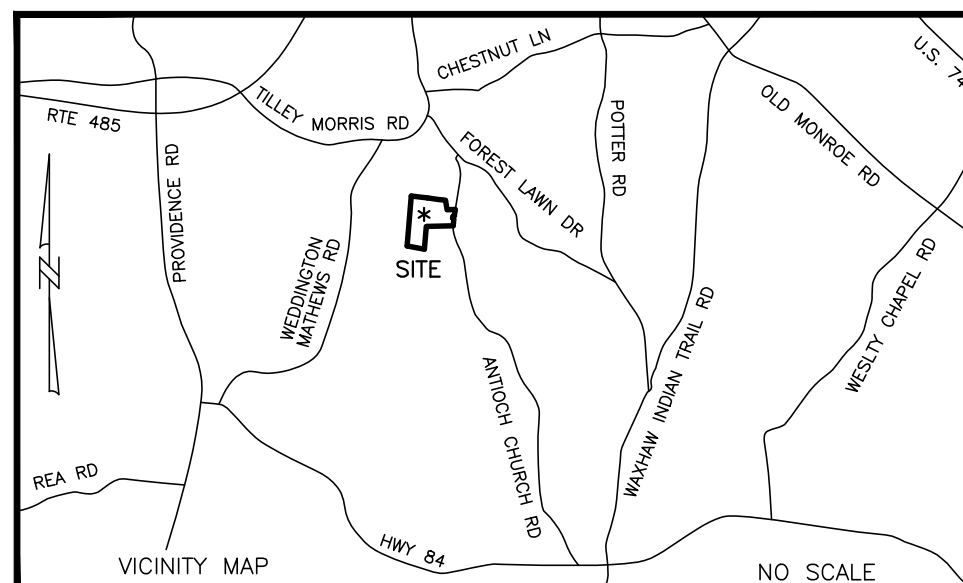
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WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924

**PRELIMINARY PLAT-NOT FOR
RECORDATION, CONVEYANCES,
OR SALES**

PID #06090093
VINTAGE CREEK
OWNERS ASSOCIATION
INC DB 6485 PG 297



FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 2
LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

OWNER:
MREC FALLS AT WEDDINGTON, LLC

C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-25-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M2
3 OF 4 SHT

REVIEW OFFICER

I, _____, REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

AREA TABLE	SQ. FT.	ACRES
LOTS	435,911	10.008
RIGHT OF WAY	84,427	1.938
COMMON OPEN SPACE	5,714	0.131
CONSERVATION AREA	969,212	22.250
TOTAL	1,495,265	34.327

Line Table		
Line#	Direction	Length
L1	S 31°07'34" W	6.30'
L2	S 28°52'29" E	17.45'

Curve Table				
Curve #	Radius	Length	Bearing	Chord
C1	205.00'	92.54'	S 39°21'46" E	91.76'
C2	255.00'	110.87'	N 64°44'59" W	109.99'
C3	255.00'	51.03'	N 82°56'18" W	50.95'
C4	255.00'	15.17'	S 89°37'25" W	15.17'
C5	25.00'	18.42'	N 70°58'03" W	18.01'
C6	50.00'	58.71'	N 83°29'41" W	55.40'
C7	50.00'	51.93'	S 33°06'34" W	49.63'
C8	50.00'	20.14'	S 8°10'57" E	20.00'
C9	50.00'	52.82'	S 49°58'51" E	50.39'
C10	50.00'	56.92'	N 67°08'41" E	53.90'
C11	25.00'	24.66'	N 62°47'08" E	23.67'
C12	205.00'	12.70'	S 87°11'09" E	12.70'
C13	25.00'	42.85'	S 36°18'28" E	37.79'
C14	475.00'	98.33'	S 18°43'32" W	98.16'
C15	475.00'	53.65'	S 27°53'30" W	53.62'
C16	25.00'	14.02'	S 47°11'20" W	13.83'
C17	25.00'	7.01'	S 71°17'02" W	6.99'
C18	50.00'	76.67'	S 35°23'10" W	69.38'
C19	50.00'	51.18'	S 37°52'11" E	48.98'
C20	50.00'	20.14'	S 78°43'55" E	20.00'
C21	50.00'	51.14'	N 60°25'45" E	48.94'
C22	50.00'	42.05'	N 7°01'56" E	40.82'
C23	25.00'	21.03'	N 7°01'56" E	20.41'
C24	525.00'	89.34'	N 26°15'07" E	89.23'
C25	525.00'	78.63'	N 17°05'09" E	78.56'
C26	25.00'	39.27'	N 57°47'42" E	35.36'
C27	205.00'	40.66'	S 71°31'24" E	40.59'
C28	205.00'	48.47'	S 59°04'05" E	48.36'

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF UNION COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE, AND EASEMENTS EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE, AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL USE AUTHORIZED BY LAW WHEN SUCH OTHER USE IS APPROVED BY THE BOARD OF COMMISSIONERS IN THE PUBLIC INTEREST.

DATE

MREC FALLS AT WEDDINGTON, LLC

NOTARY FOR OWNER

I, _____, A NOTARY PUBLIC OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGE THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____, 2016.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

NC DEPARTMENT OF TRANSPORTATION

DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS PROPOSED SUBDIVISION ROAD CONSTRUCTION STANDARD CERTIFICATE

APPROVED

DISTRICT ENGINEER

DATE

ONLY NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVED STRUCTURES ARE TO BE CONSTRUCTED ON PUBLIC RIGHT OF WAY

I HEREBY CERTIFY THAT ALL STREETS AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO N.C. DEPARTMENT OF TRANSPORTATION AND/OR TOWN OF WEDDINGTON SPECIFICATIONS AND STANDARDS IN THE ENCLAVE AT WEDDINGTON SUBDIVISION OR THAT GUARANTEES OF THE INSTALLATION OF THE REQUIRED IMPROVEMENTS IN AN AMOUNT AND MANNER SATISFACTORY TO THE TOWN OF WEDDINGTON HAVE BEEN GIVEN AND RECEIVED.

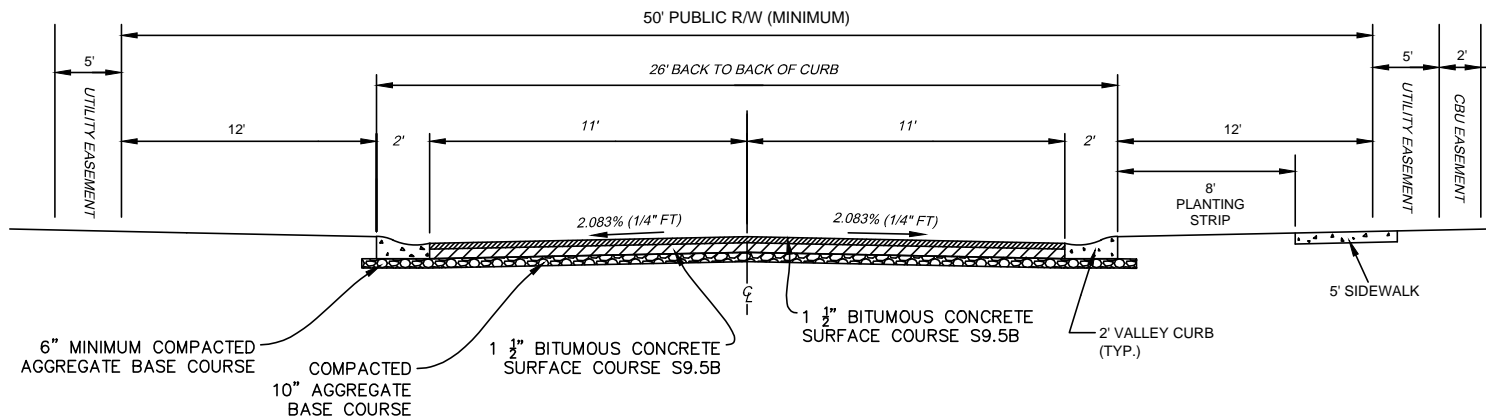
MAYOR OF THE TOWN OF WEDDINGTON
NORTH CAROLINA

DATE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF WEDDINGTON, NORTH CAROLINA, AND THAT THIS PLAT HAS BEEN APPROVED BY THE WEDDINGTON TOWN COUNCIL FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS FOR UNION COUNTY, NORTH CAROLINA.

THIS _____ DAY OF _____, _____.

MAYOR OF THE TOWN OF WEDDINGTON
NORTH CAROLINA



THE ENCLAVE AT WEDDINGTON
LOCAL ROAD SECTION
50' RIGHT-OF-WAY

CERTIFICATE OF SURVEY AND ACCURACY

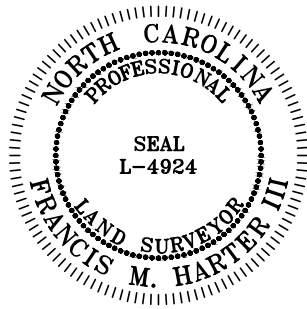
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UNITS: USFT

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WITNESS MY OFFICIAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.

FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924



ESP Associates, P.A.
P.O. Box 7030 3475 Lakemont Blvd.
Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

FINAL PLAT OF THE ENCLAVE AT WEDDINGTON PHASE 1 MAP 2 LOCATED IN: SANDY RIDGE TOWNSHIP TOWN OF WEDDINGTON UNION COUNTY, NORTH CAROLINA OWNER: MREC FALLS AT WEDDINGTON, LLC C/O MOUNTAIN REAL ESTATE COMPANY 9171 TOWNE CENTER DRIVE, SUITE 315, SAN DIEGO, CA 92122 (858) 230-6451	PROJECT NO EP04.810.000
	SCALE NTS
	DATE 8-25-16
	DRAWN BY JLN
	CHECKED BY FMH
DATE OF SURVEY AUGUST 2016	DRAWING NO. EP04 ENCLAVE PH1 M2
- 4 - OF - 4 - SHT	

OWNER:

MREC FALLS AT WEDDINGTON, LLC
c/o Mountain Real Estate Company
9171 Towne Centre Drive, Suite 315
San Diego, CA 92122
Contact: Justin Rutherford
Phone#: 858.230.6451

DEVELOPER:

Meritage Homes of the Carolinas, Inc.
11605 North Community House Rd.
Suite 250 - Calhoun Bldg
Charlotte, NC 28277
Contact: Brett Manery
Phone#: 704.944.8900

LANDSCAPE ARCHITECTS:

LandDesign Inc.
223 North Graham St.
Charlotte, NC 28202
Contact: Mark Kime
Phone#: 704.333.0325

Cardno, Inc.
7606 Whitehall Executive Center Dr.
Suite 800
Charlotte, NC 28273
Contact: Andrew Hill
Phone#: 704.927.9700

CIVIL ENGINEERS:

LandDesign Inc.
223 North Graham St.
Charlotte, NC 28202
Contact: Robb Klauk
Phone#: 704.333.0325

EMH&T
301 McCullough Dr. Suite 109
Charlotte, NC 28262
Contact: Frank Cantrell
Phone#: 704.548.0333

LAND SURVEYORS:

LDSI, Inc.
508 W. 5th Street, Suite 125
Charlotte, NC 28202
Contact: David Boyles
Phone#: 704.337.8329

ESP ASSOCIATES, PA
3475 Lakemont Boulevard
Fort Mill, SC 29708
Contact: Trey Harter
Phone#: 803.802.2440



US INFRASTRUCTURE OF CAROLINA, INC.

CONSULTING ENGINEERS

September 8, 2016

Ms. Kim Woods, Asst. Zoning Administrator
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: The Enclave at Weddington Phase I Map 2
Performance Bond
USI Project No. 140209- 20

Dear Kim:

USI has reviewed the construction cost estimate submitted by EMH&T (see attached) to verify the proposed amount for the performance bond provided by the developer. Rough grading has been completed on the site. The proposed amount of \$647,824.06 as shown on the estimate is satisfactory for establishing the performance bond for the incomplete roadway, storm drainage, sewer, and water main items and is recommended for approval.

If you have any questions, please contact us at 704-342-3007.

Sincerely,
US Infrastructure of Carolina, Inc.

Bonnie A. Fisher, P.E.
Senior Engineer

Attachment

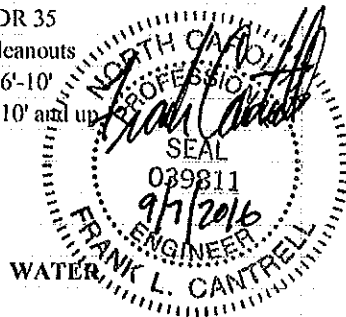
cc: Frank Cantrell, EMH&T



Engineers, Surveyors, Planners, Scientists

PROBABLE CONSTRUCTION BOND COST ESTIMATE
THE ENCLAVE AT WEDDINGTON PHASE 1, Map 2
 September 7, 2016

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
MISCELLANEOUS					
1	Street Trees (40' O.C.)	74	EACH	\$250.00	\$18,500.00
2	Street Lights	4	EACH	\$600.00	\$2,400.00
3	Erosion Control Maintenance	1	LS	\$4,500.00	\$4,500.00
4	Gibson Pond Spillway Improvements				
	a. Tree Removal	1	LS	\$4,500.00	\$4,500.00
	b. Berm/Spillway Grading	1	LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$34,900.00
STORM SEWER					
1	15" Storm Sewer Pipe	967	LF	\$26.00	\$25,142.00
2	18" Storm Sewer Pipe	163	LF	\$28.50	\$4,645.50
3	54" Storm Sewer Pipe	137	LF	\$84.00	\$11,508.00
4	15" FES	2	EACH	\$800.00	\$1,600.00
5	18" FES	1	EACH	\$1,200.00	\$1,200.00
6	54" Headwall	1	EACH	\$2,360.00	\$2,360.00
7	Catch Basin	16	EACH	\$2,000.00	\$32,000.00
8	Rip Rap Apron	48	TON	\$50.00	\$2,400.00
SUBTOTAL					\$80,855.50
PAVEMENT					
1	2" S9.5B Full Depth	475	TON	\$75.00	\$35,625.00
2	3" H19.0B Full Depth	712	TON	\$75.00	\$53,400.00
3	5" B25.0B or C Full Depth	1,146	TON	\$75.00	\$85,950.00
4	Curb & Gutter Installation	3,158	LF	\$12.00	\$37,896.00
5	Sidewalk	994	SY	\$24.00	\$23,856.00
6	Curb Ramp	2	EACH	\$575.00	\$1,150.00
SUBTOTAL					\$237,877.00
SANITARY					
1	8" Sanitary SDR 35	111	LF	\$23.50	\$2,608.50
2	8" Sanitary SDR 26	213	LF	\$25.00	\$5,325.00
3	8" PVC Sanitary	705	LF	\$43.75	\$30,843.75
4	8" DIP Sanitary	400	LF	\$42.00	\$16,800.00
5	4" PVC Sanitary SDR 35	675	LF	\$16.50	\$11,137.50
6	4" PVC Sanitary Cleanouts	27	EACH	\$98.00	\$2,646.00
7	Sanitary Manholes 6'-10'	6	EACH	\$2,225.00	\$13,350.00
8	Sanitary Manholes 10' and up	2	EACH	\$2,750.00	\$5,500.00
9	Testing Sanitary	1	LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$93,210.75
1	8" PVC Water	1067	LF	\$18.00	\$19,206.00



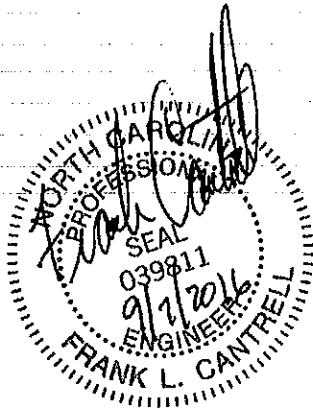
2	8" DIP Water	106	LF	\$30.00	=	\$3,180.00
3	2" PVC Water	536	LF	\$15.00	=	\$8,040.00
4	2" Gate Valve and Box	2	EACH	\$1,500.00	=	\$3,000.00
5	8" Gate Valve and Box	1	EACH	\$1,500.00	=	\$1,500.00
6	2" Blowoff Assembly	2	EACH	\$1,450.00	=	\$2,900.00
7	Fire Hydrant Assembly	2	EACH	\$4,000.00	=	\$8,000.00
8	3/4" Meter Assembly	29	EACH	\$585.00	=	\$16,965.00
9	3/4" Water Services	29	EACH	\$125.00	=	\$3,625.00
10	Testing Water	1	LS	\$5,000.00	=	\$5,000.00

SUBTOTAL	=	\$71,416.00
----------	---	-------------

TOTAL	=	\$518,259.25
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CONTINGENCY: 25%	=	\$129,564.81
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TOTAL	=	\$647,824.06
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TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Weddington Town Council

FROM: Dorine Sharp, Planning Board Chair

DATE: September 26th, 2016

SUBJECT: **The Woods Final Plat Phase 1**

The Woods is a proposed 275.39 acre 204 lot subdivision of which Phase 1 is 125 lots, 124 residential lots and 1 amenity center lot. Phase 1 is 162.45 acres including all rights of way. Common area consists of 20.76 acres. The subdivision is located on Weddington Rd./Hwy 84 and is being developed by IB Development LLC as an R-CD conventional subdivision.

The Town Council approved the preliminary plat on June 18, 2007 and the final plat was received by the Town on June 12, 2015. The preliminary plat was still in effect because of permit extension deadlines provided by the state to developers during the economic downturn.

Development standards:

- Minimum lot size - 40,000 sq ft.
- Minimum lot width - 120 feet
- Minimum front yard setback - 50 feet
- Minimum rear yard setback - 40 feet
- Minimum side yard setback - 15 feet
- Minimum corner side yard setback - 25 feet

The smallest lot size is 40,002 sq ft, lot # 55

Preliminary Plat was reviewed by the Planning Board on June 18, 2007 and given a favorable recommendation with conditions. The Town Council approved the Preliminary Plat on June 18, 2007.

The Conditional Use Permit for a Planned Residential Development (PRD) was approved by the Town Council on Sept. 22, 2007.

The Declared Covenants, Conditions and Restrictions document is on file.

The Woods Subdivision Final Plat has been found to be in general conformance with the Town of Weddington Zoning and Subdivision Ordinances that were in effect at the time of their initial submittal.

All required permits and approval documents have been received by the town.

The following issues need to be addressed:

1. The subdivision shows 2 entrances, one on Hwy 84 and one on the proposed Rea Rd. extension. NCDOT has agreed to issue a permit for the Hwy 84 entrance, but will not permit an entrance on Rea Rd at this time due to possible route variations.
2. The amenity center is a conditional use and will require a separate application from the Developer.

Recommended Conditions of Approval:

1. Add a note to the plat stating the community septic field area located in Phase 2 of the development can not be used for single family homes until those septic fields are abandoned.
2. Bond estimates to be approved by the Town's engineering consultant.
3. Bond instruments to be reviewed and approved by the Town Attorney, and the final bond instruments must be submitted to the Town prior to recording the final plat.
4. Each lot to be recorded in the Woods subdivision shall include on its Deed a statement that any roads in the subdivision are private and not the responsibility of the Town of Weddington and shall be maintained by the Woods Homeowners Association or its Developer.
5. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.
6. Coordinate with USPS and DOT to provide cluster mailboxes within the subdivision.
7. Any entry monuments require Planning Board approval. Details of the Entrance, Gate House, Gate, and Turnaround were approved by the Town Council in 2007 as part of the PRD Conditional Use Permit.
8. No construction may take place on the amenity center lot until a conditional use permit has been approved by the Town Council.

Planning Board Action:

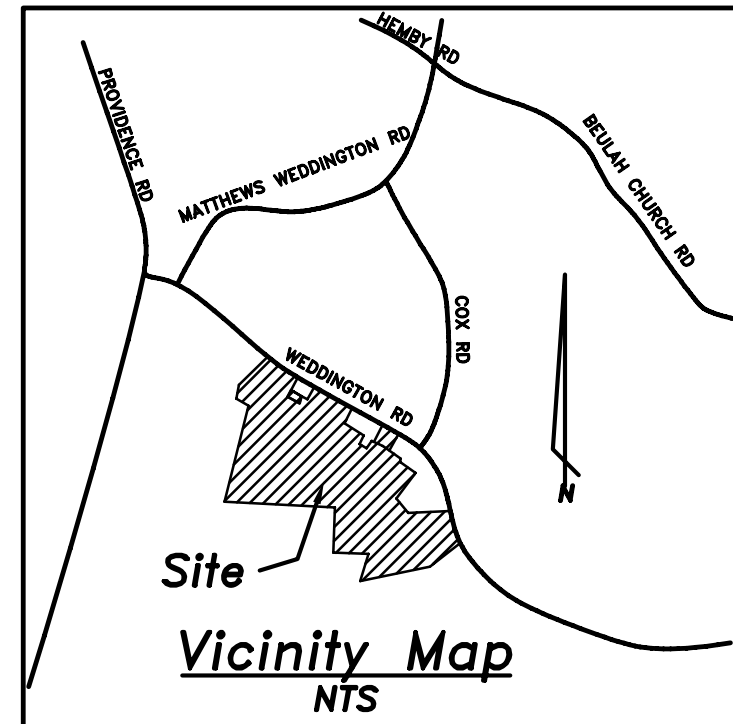
Unanimous unfavorable recommendation.

The Planning Board stated that the Preliminary Plat was approved with two entrances.

NCDOT has approved only one entrance at Hwy 84/Weddington Rd. and will not approve the second entryway until the Rea Rd. extension path is final.

Town Council Action:

Approve/Approve with Conditions/Deny



Roadway, Grading, Drainage & Erosion Control Plans For The Woods Ph. I Residential Subdivision Town Of Weddington, Union County, NC

Index to Sheets:

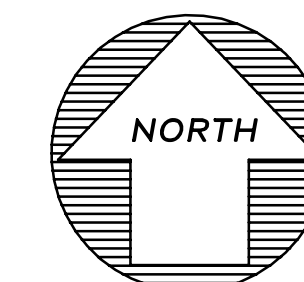
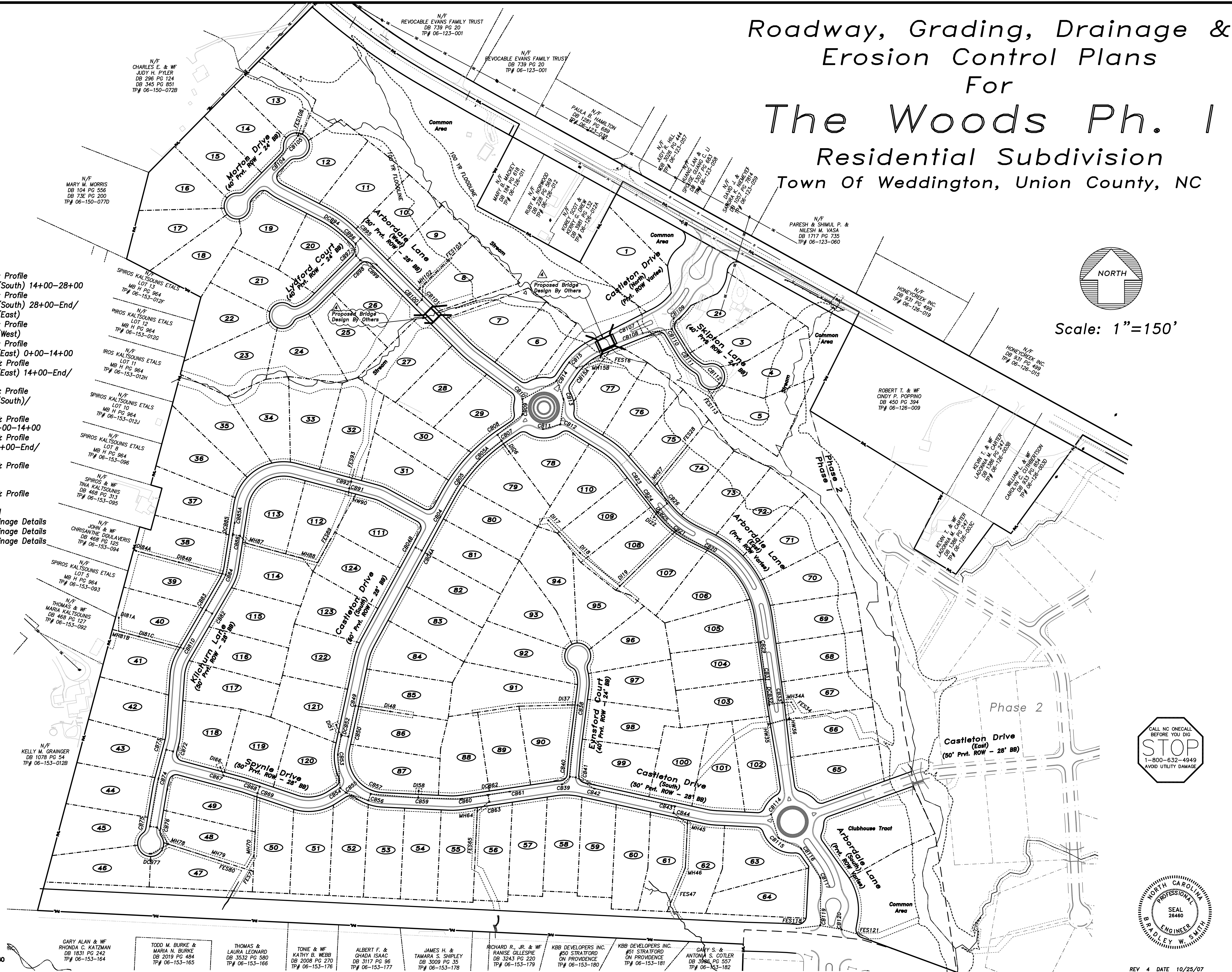
- 1) Cover Sheet
- 2) Site Plan
- 3) Boundary & Topographic Survey
- 4) Grading, Drainage & Erosion Control Plan (Overall)
- 5) Grading, Drainage & Erosion Control Plan
- 6) Grading, Drainage & Erosion Control Plan
- 7) Grading, Drainage & Erosion Control Plan
- 8) Grading, Drainage & Erosion Control Plan
- 9) Grading, Drainage & Erosion Control Plan
- 10) Grading, Drainage & Erosion Control Plan
- 11) Grading, Drainage & Erosion Control Plan
- 12) Erosion Control Details
- 13) Erosion Control Details
- 13A) Ditch Profiles
- 14) Roadway Plan & Profile Castleton Drive (North) / Roundabout 1
- 15) Roadway Plan & Profile Castleton Drive (South) 0+00-14+00
- 16) Roadway Plan & Profile Castleton Drive (South) 14+00-28+00
- 17) Roadway Plan & Profile Castleton Drive (South) 28+00-End/ Castleton Drive (East)
- 18) Roadway Plan & Profile Arbordale Lane (West)
- 19) Roadway Plan & Profile Arbordale Lane (East) 0+00-14+00
- 20) Roadway Plan & Profile Arbordale Lane (East) 14+00-End/ Roundabout 2
- 21) Roadway Plan & Profile Arbordale Lane (South)/ Eynsford Court
- 22) Roadway Plan & Profile Kilchurn Lane 0+00-14+00
- 23) Roadway Plan & Profile Kilchurn Lane 14+00-End/ Spynie Drive
- 24) Roadway Plan & Profile Morton Drive/ Lydford Court
- 25) Roadway Plan & Profile Skipton Lane
- 25A) Turnlane Detail
- 26) Roadway & Drainage Details
- 27) Roadway & Drainage Details
- 28) Roadway & Drainage Details

The Woods Ph. I

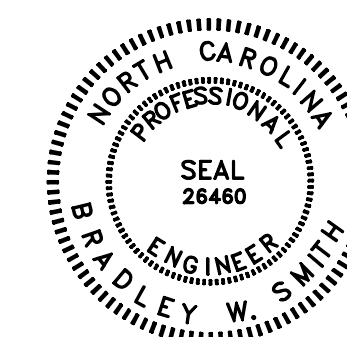
DEVELOPED BY:
IB Development LLC
13850 Ballantyne Corporate Place
Suite 150
Charlotte, NC 28277
704-226-8225

RDDAVIS
CONSULTING ENGINEERS
LAND PLANNERS

323 INDIAN TRAIL ROAD • INDIAN TRAIL, N.C. • (704) 821-7780



Scale: 1"=150'



REV 4 DATE 10/25/07
REV 3 DATE 8/8/07
REV 2 DATE 6/5/07

Site Data:

- Parcel Numbers: 06150071, 06126002, 06126003A, 06126006B, 06126008, 06126008A, 06126011, 06126010A, 06126010
- Deed References: DB 4355 PG 768, DB 4358 PG 627, DB 4358 PG 631
- Total Area: 275.39 ac
Total Area Phase 1: 156.13 ac
Area in NCDOT R/W Phase 1: 4.84 ac
Common Area Phase 1: 16.15 Ac
% Common Area = 10.34%
- Zoning: RCD
- Property Owner:
IB Development LLC
13850 Ballantyne Corporate Plaza, Suite 150
Charlotte, NC 28277
- Developed By:
IB Development LLC
c/o
Philip Walton
IB Development LLC
13850 Ballantyne Corporate Plaza, Suite 150
Charlotte, NC 28277
704 927 5200
- Existing Use: Vacant
Proposed Use: Residential Subdivision
- Lots Proposed: 124 + 1 (Clubhouse Tract) = 125 (Phase 1)
- Minimum Lot Size: 40,000 sf
- Yard Requirements:
Front Setback: 50'
Rear Setback: 40'
Side Setback: 15'
Side Corner Setback: 35'
Min Lot Width: 120'
- Total Phase I Lot Area within the FEMA Flood Plain:
257,601.5 sf = 5.91 ac
- Smallest Lot Area: 40,002 sf
- Total Linear Footage of Proposed Streets:
12,181'
- Common Areas (15.74 acres, Phase 1) and Clubhouse Area to be dedicated to Homeowner's Association.
- Flood Information taken from Proposed FEMA Map Number 3710447600j

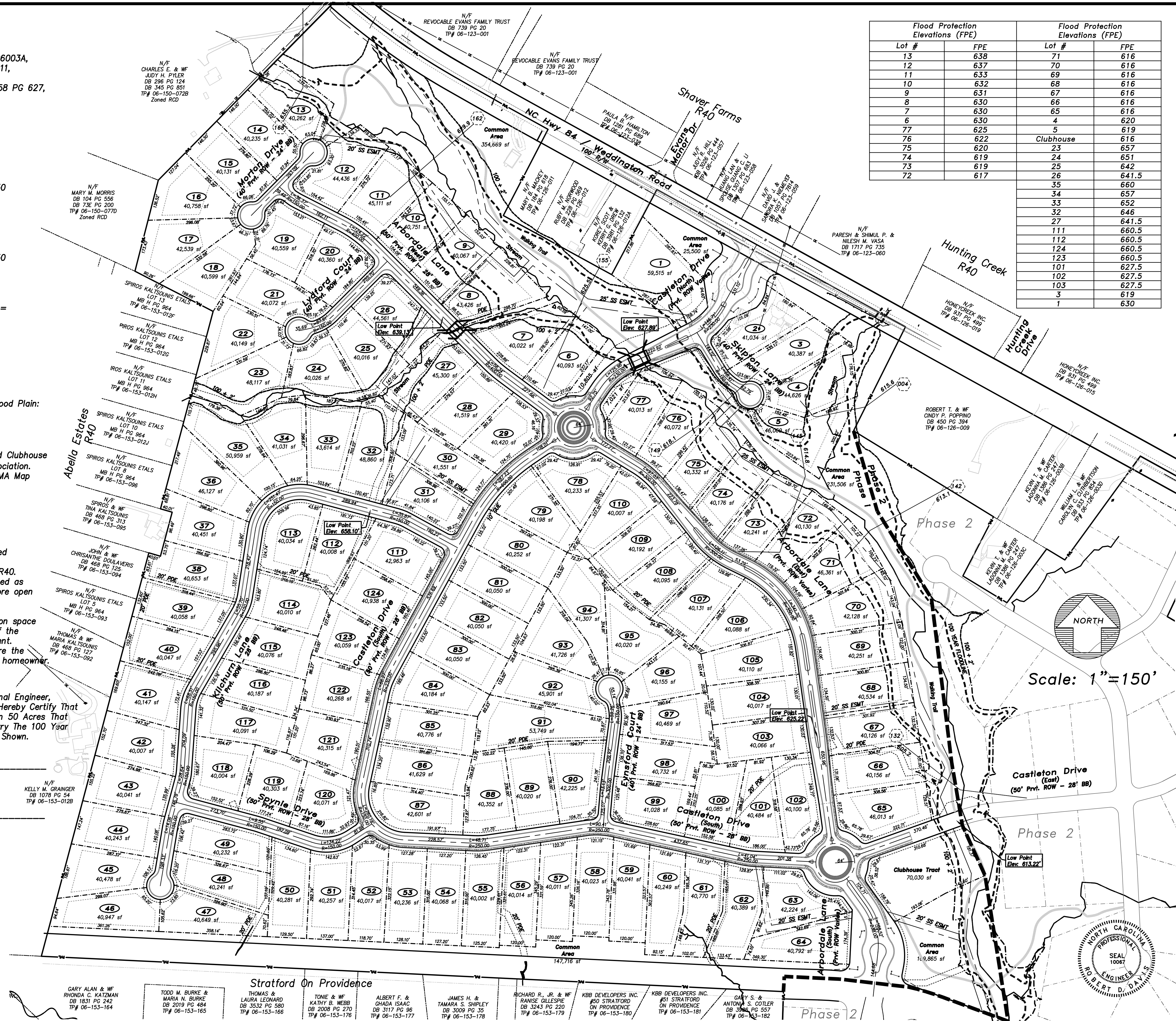
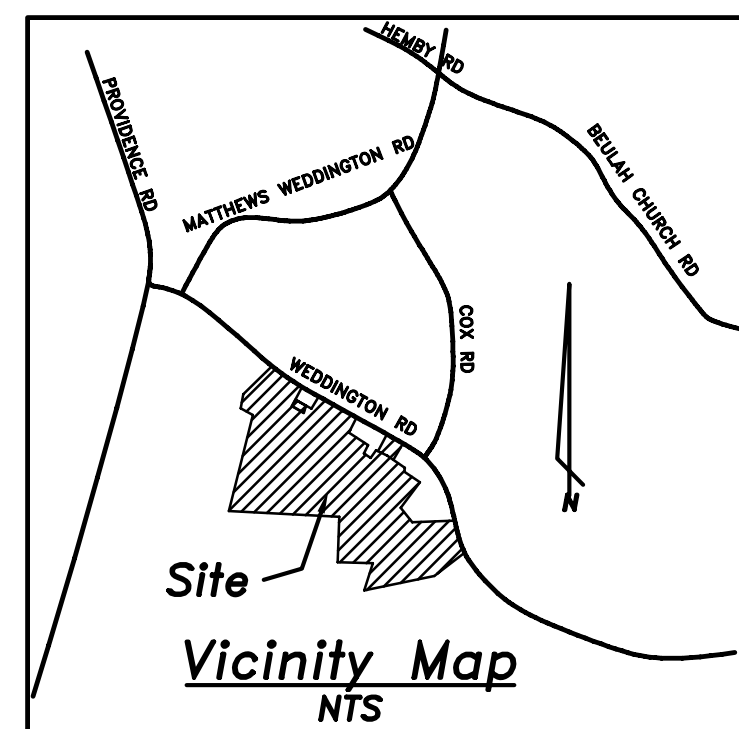
Notes:

- Any stream/wetland disturbance will be in accordance with, and limited to that allowed by NCDENR and USACE regulations.
- A portion of parcels assembled are zoned R40. The open space required has been calculated as if the entire project is RCD. This yields more open space than is generally required.
- All adjoining land uses are residential.
- Pipe systems or channels located in common space areas are the maintenance responsibility of the Homeowners Association for this development.
- Pipe systems or channels located in lots are the maintenance responsibility of the individual homeowner.

I Robert D Davis, A Duly Registered Professional Engineer, Licensed In The State Of North Carolina, Do Hereby Certify That The Drainage Easements That Drain More Than 50 Acres That Are Shown On This Plat Are Sufficient To Carry The 100 Year Storm Runoff Within The Easement Limits As Shown.

NCPE# _____ Date _____

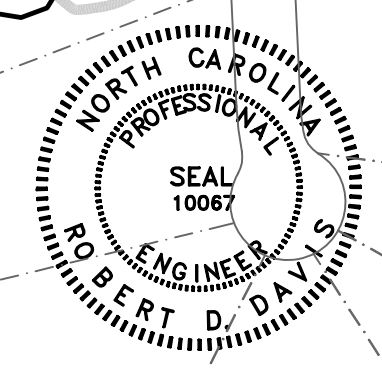
(Signature and Seal)



Flood Protection Elevations (FPE)		Flood Protection Elevations (FPE)	
Lot #	FPE	Lot #	FPE
13	638	71	616
12	637	70	616
11	633	69	616
10	632	68	616
9	631	67	616
8	630	66	616
7	630	65	616
6	630	4	620
77	625	5	619
76	622	Clubhouse	616
75	620	23	657
74	619	24	651
73	619	25	642
72	617	26	641.5
		35	660
		34	657
		33	652
		32	646
		27	641.5
		111	660.5
		112	660.5
		124	660.5
		123	660.5
		101	627.5
		102	627.5
		103	627.5
		3	619
		1	630



Scale: 1"=150'



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ENGINEERS, PLLC

PO Box 84
323 Indian Trail Rd N
Indian Trail NC 28079
(704) 821-7780
(704) 821-8014 fax

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IB Development LLC
The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

Preliminary Subdivision Plan

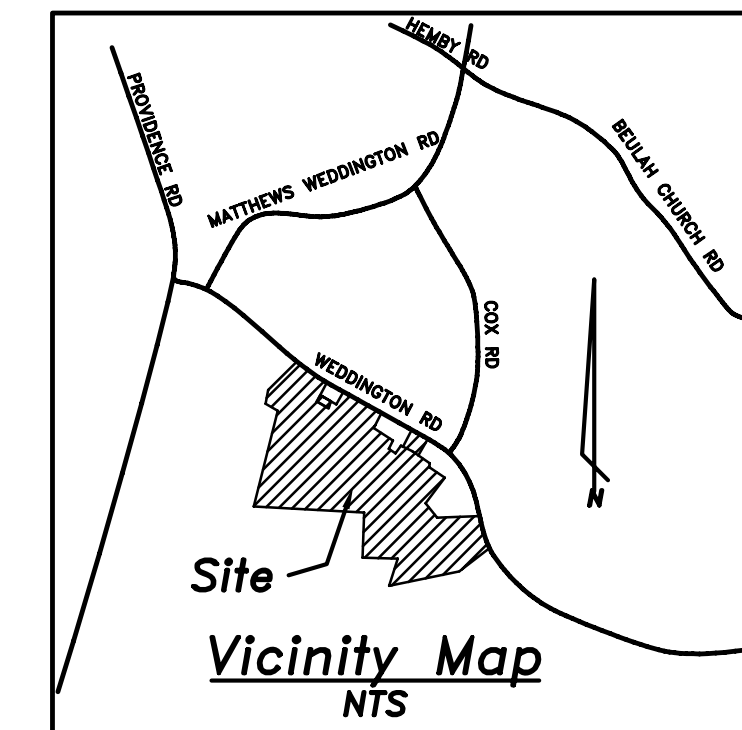
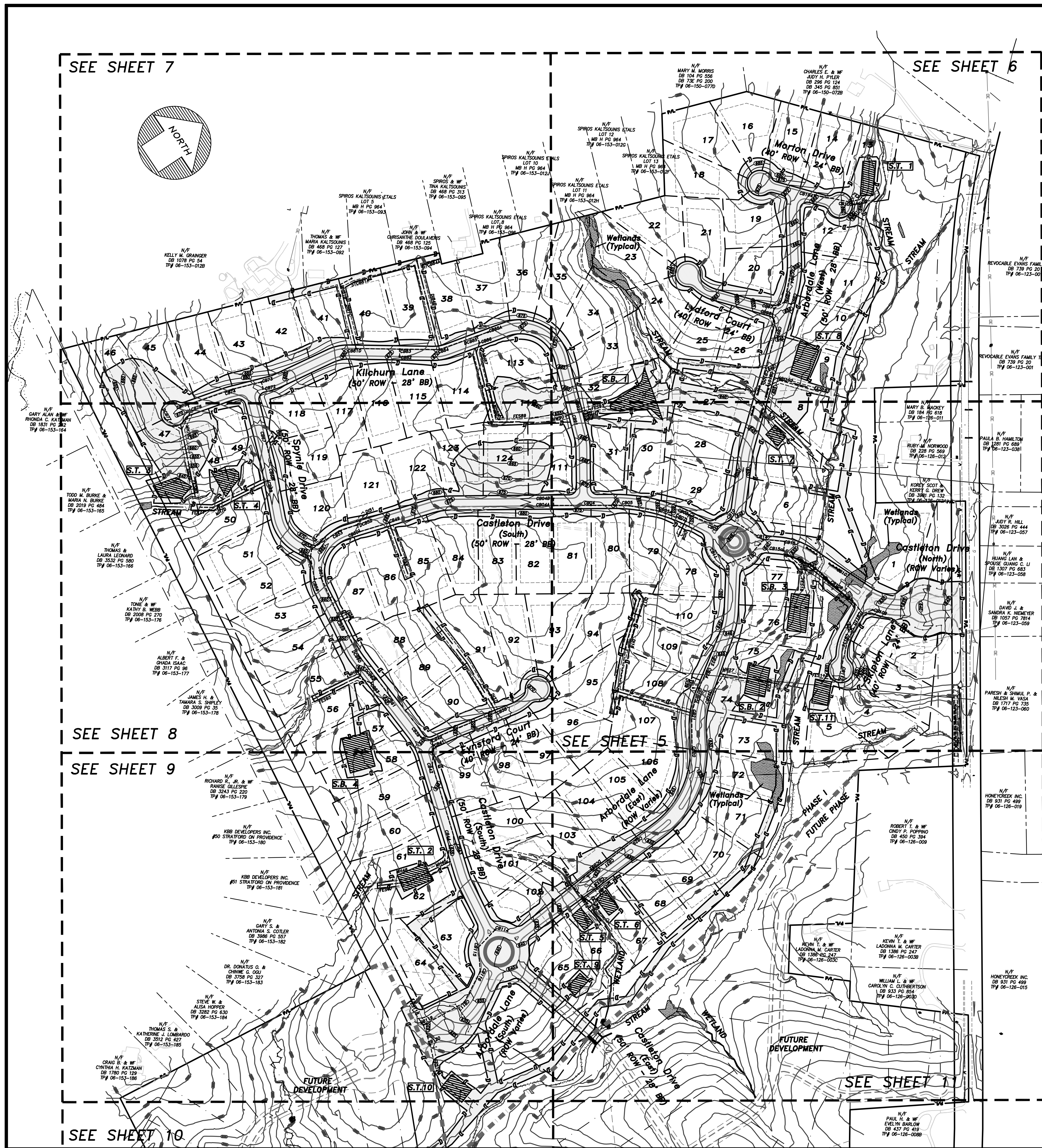
Project Sheet Title

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199-002 Prelim
Dwg. Name
Site Plan
Layout:
Horiz. Scale: 1" = 150'
0 150 300
Vert. Scale: 1" = 150'
0 150 300

Revisions
No. 4 Date 10/25/07
No. 3 Date 8/8/07
No. 2 Date 6/10/07
No. 1 Date 6/8/07
Issue Date 3/05/07

Project Number
209.001

Sheet 2 Of 28



LEGEND	
	LIMITS OF DISTURBANCE
	SILT FENCE
	TEMP. DIVERSION DITCH
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SEWER STREAM CROSSING
	RIP RAP OUTLET PROT.
	CONSTRUCTION ENTRANCE
	CHECK DAM
	INLET PROTECTION
	TEMP. LOGGING BRIDGE
	SILT FENCE BAFFLES

Site Data:

- Parcel Numbers: 06150071, 06126002, 06126003A, 06126006B, 06126008, 06126008A, 06126011, 06126010A, 06126010
- Deed References: DB 4355 PG 768, DB 4358 PG 627, DB 4358 PG 631
- Total Area: 275.39 ac
Area in Phase I: 156.13 ac
- Zoning: RCD
- Property Owner:
IB Development LLC
13850 Ballantyne Corporate Place
Suite 150
Charlotte, NC 28277
704-226-8225
- Financially Responsible Party:
IB Development LLC
13850 Ballantyne Corporate Place
Suite 150
Charlotte, NC 28277
704-226-8225
- Predominate Soil Type: Cecil

Notes:

- This plan proposes erosion control for infrastructure construction for The Woods Ph. 1 Residential Subdivision.
- Total disturbed acreage: 44.61 ac
- Stabilization is the best form of erosion control. Temporary seeding is necessary to achieve erosion control on large denuded areas and especially when specifically required as part of the construction sequence shown on the plan. All graded slopes must be seeded and mulched within 15 working days but no more than 21 calendar days following completion of that phase of grading. All remaining areas are to be seeded and mulched within 15 working days or 90 calendar days; whichever is shorter.
- Grading to balance on site.
- No permanent fill to be placed in the floodplain. Temporary erosion control devices to be removed upon the approval of the NCDENR inspector, and floodplain to be returned to pre-existing grades.
- Provide Outlet Protection at all Sediment Basin / Storm Drain Outlet pipes. See Specifications sheet 12

Storm Drain Notes:

- See Sheet 27 for Storm Drain Schedule
- HDPE may be substituted for Class III RCP upon the approval of NCDOT WHERE PIPE IS NOT UNDER ROADWAY
- Abbreviations:
CB - Catch Basin - NCDOT Std. 848.02
DI - Drop Inlet - NCDOT Std. 840.14
MH - Manhole - NCDOT Std. 840.52
DCB - Double Catch Basin - See Detail Sheet
STCB - Slab Type Catch Basin NCDOT Std. 840.05
FES - Flared End Section
- STCB's to be provided with 2 openings; Openings to align with drainage patterns.

Retaining Wall Notes:

- Design of all retaining walls and headwalls is to be per NC Building Code Section 1610.3.
- Detailed retaining wall and headwall design drawings sealed by a NC licensed engineer will be submitted to this office prior to construction.
- A NC licensed engineer must perform construction observation, verifying in a sealed letter to this office that retaining walls are constructed per the engineering drawings, in compliance with section 1610.3 of the NC Building Code.
- Retaining wall design shall provide for a minimum clear zone width of 18 feet from the edge of pavement to the top of proposed wall.

Wetland Note:

All Drainage features labeled as stream / wetlands are Waters of the US and any disturbances are subject to NCDENR and/or USACE permitting. No disturbances to jurisdictional streams / wetlands should occur other than what is shown on this plan. If the constraints shown here cannot be met the contractor should contact this office prior to proceeding

Grading Note:

See also Road Plan and Profile Sheets for detailed spot elevation grades and drainage at intersections.



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LLC

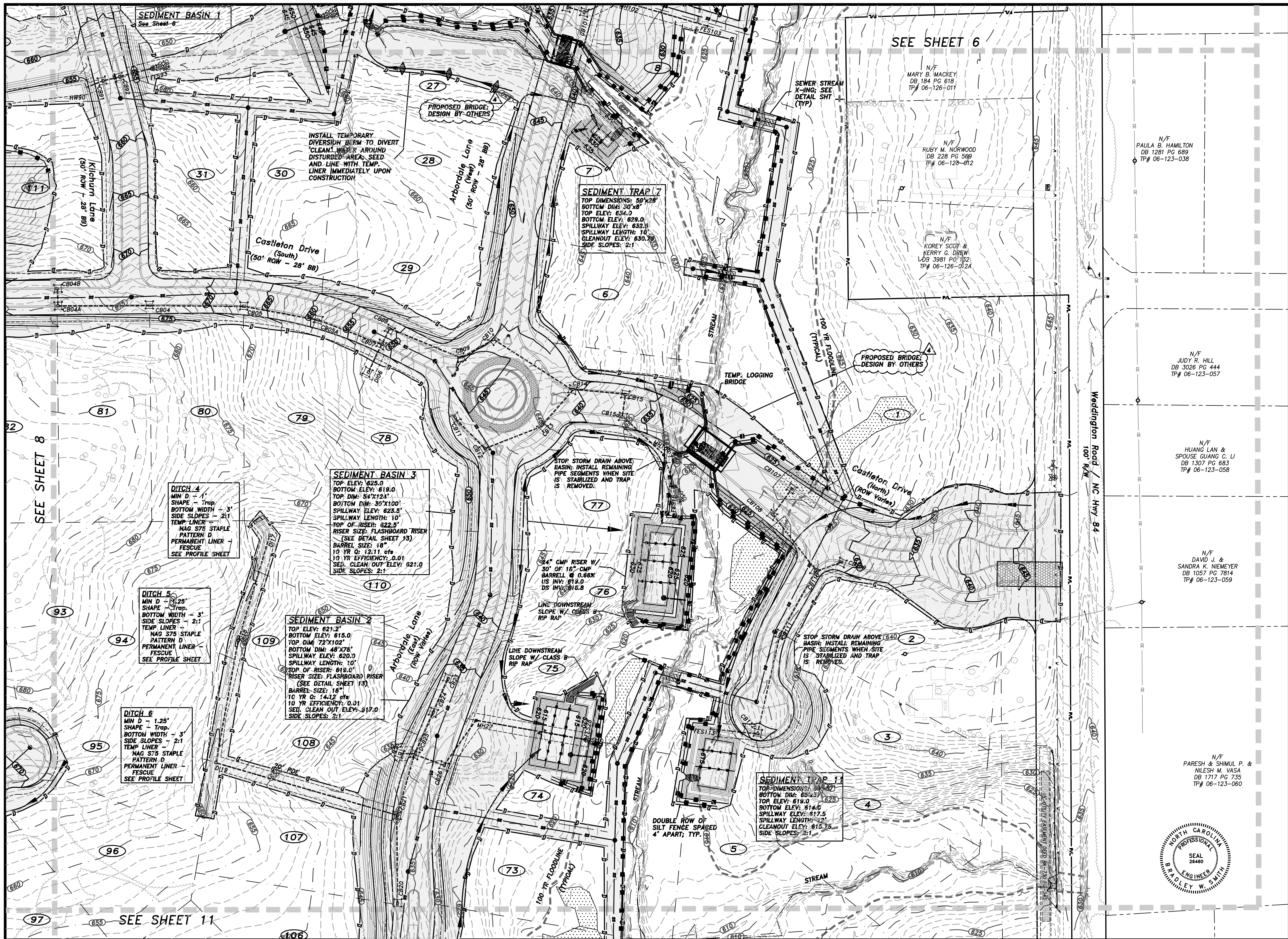
The Woods Ph. 1
Residential Subdivision
Town of Weddington, Union County, NC

Grading, Drainage &
Erosion Control Plan
(Overall)

Project
RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199.002DRAE/MASTER
Dwg. Name
DRAE/MASTER
Layout:
Horiz. Scale: 1" = 180'
0 180 360
Vert. Scale: 1" = 0'
Revisions
No. Date
No. 2 Date 8/8/07
No. 1 Date 6/5/07
Issue Date 3/5/07

Project Number
209.001
Sheet 4 Of 28

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Indian Trail NC 28079
(704) 821-7780
(704) 821-8014 fax

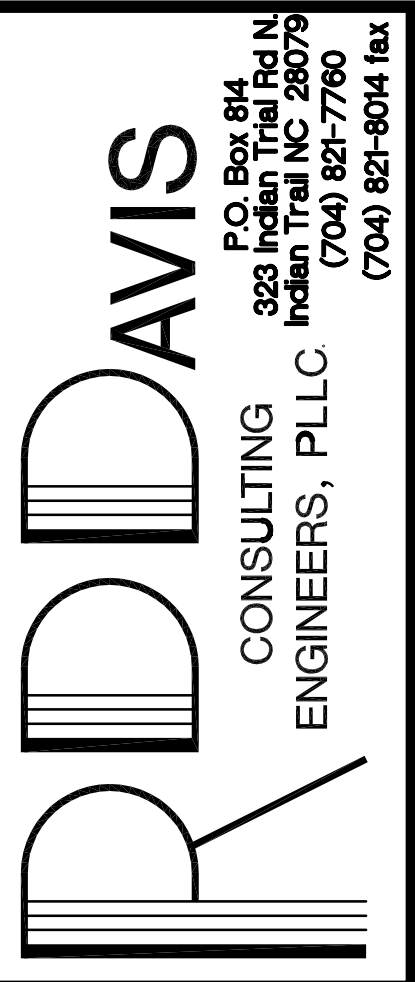
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IB Development LLC
The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC
Grading, Drainage & Erosion Control Plan

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199.002DRAEC1
Dwg. Name
DRAEC1
Layout:
Horiz. Scale: 1" = 60'
Vert. Scale: 1" = 120'
Revisions
No. 4 Date 10/25/07
No. 3 Date 8/8/07
No. 2 Date 6/5/07
No. 1 Date 5/2/07
Issue Date 3/5/07

Project Number
209.001
Sheet 5 of 28



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LLC

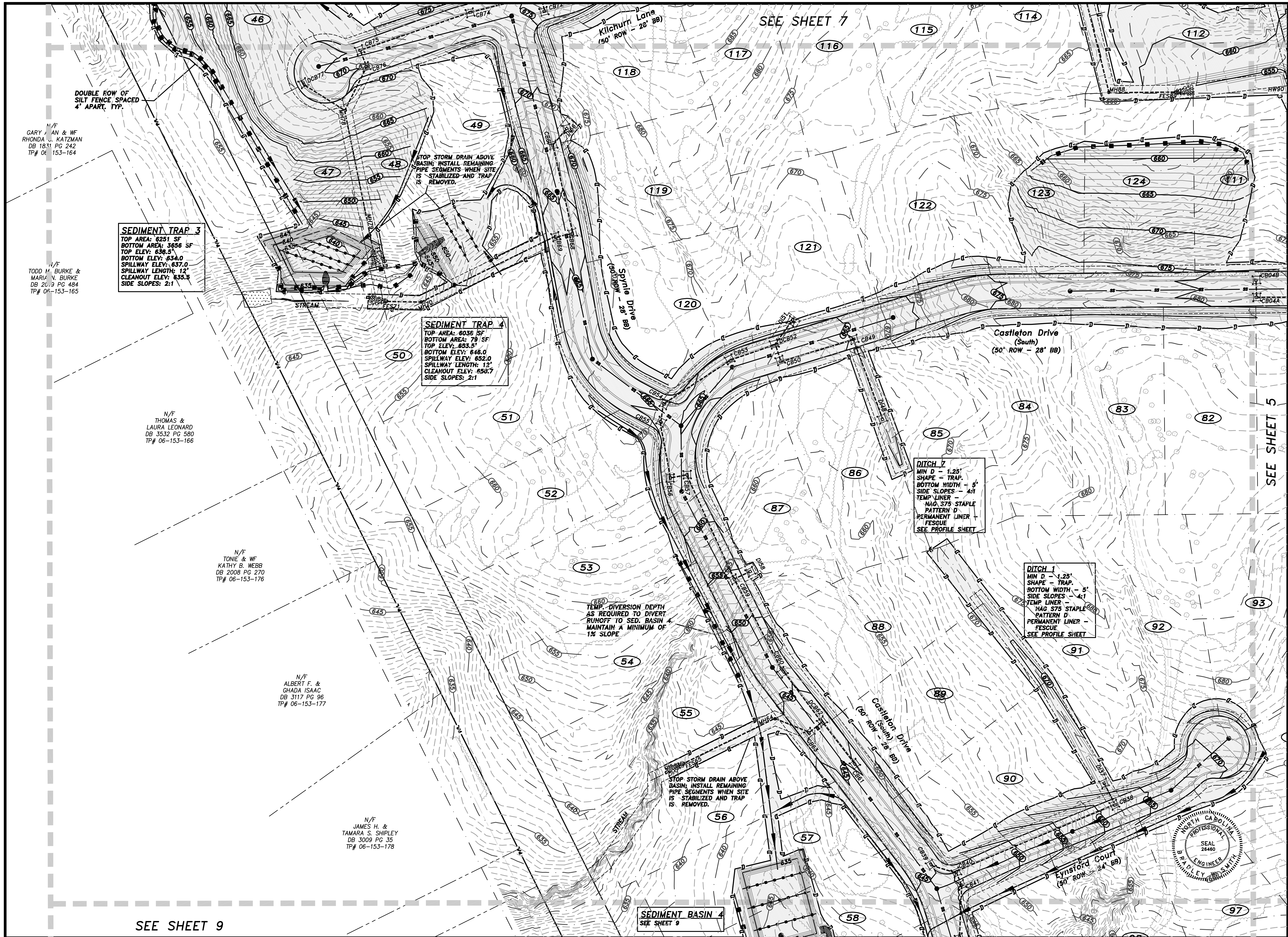
Project
The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

Sheet Title
Grading, Drainage &
Erosion Control Plan

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199.002020A&EC1
Dwg. Name
02A&EC3
Layout:
Horiz. Scale: 1" = 60'
0 60 120
Vert. Scale: 1" = 10'
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Revisions
No. Date
No. 3 Date 8/8/07
No. 2 Date 6/5/07
No. 1 Date 5/2/07
Issue Date 3/5/07

Project Number
209.001
Sheet 7 Of 28



RD

AVIS

CONSULTING ENGINEERS, PLLC

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Indian Trail NC 28079
(704) 821-7700
(704) 821-8014 fax

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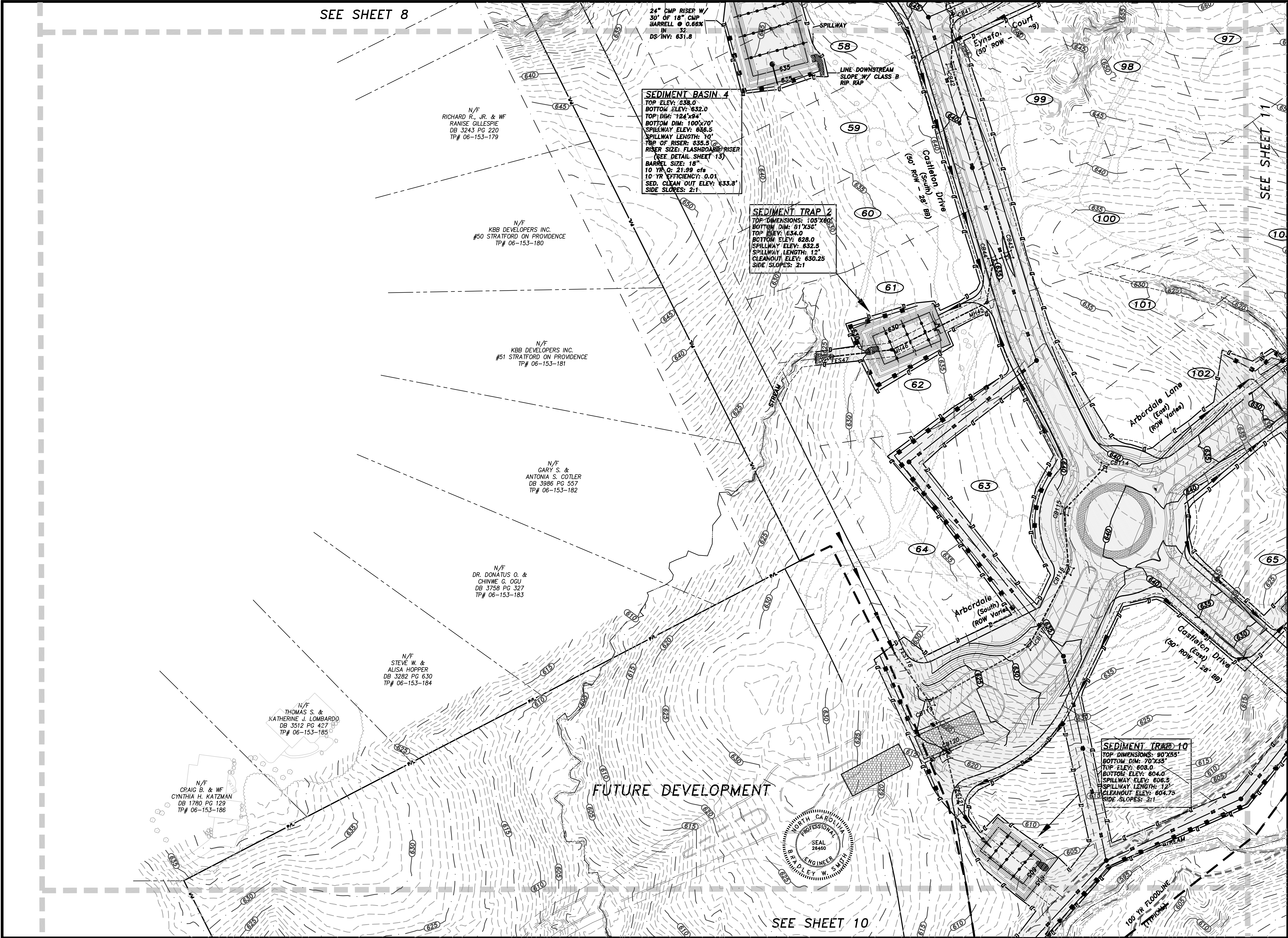
IB Development LLC

The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

Grading, Drainage & Erosion Control Plan

Project	Sheet Title
RDD Project Engineer MAT/BWS Drawn By 5/16/07 Date Drawn 199-002/Roadway Sht. Set / Subset 199.00202D&EC1 Dwg. Name 02D&EC4 Layout: Horiz. Scale: 1" = 60' 0 60 120 Vert. Scale: 1" = 10' 0	Revisions No. 1 Date 8/8/07 No. 2 Date 6/5/07 No. 3 Date 5/2/07 Issue Date 3/5/07

Project Number 209.001
Sheet 8 Of 28



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CONSULTING
ENGINEERS, PLLC

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Indian Trail NC 28079
(704) 821-7790
(704) 821-8014 fax

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OR IN PART. IT IS NOT TO BE USED
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RETURNED UPON REQUEST.

**IB Development
LLC**

The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

**Grading, Drainage &
Erosion Control Plan**

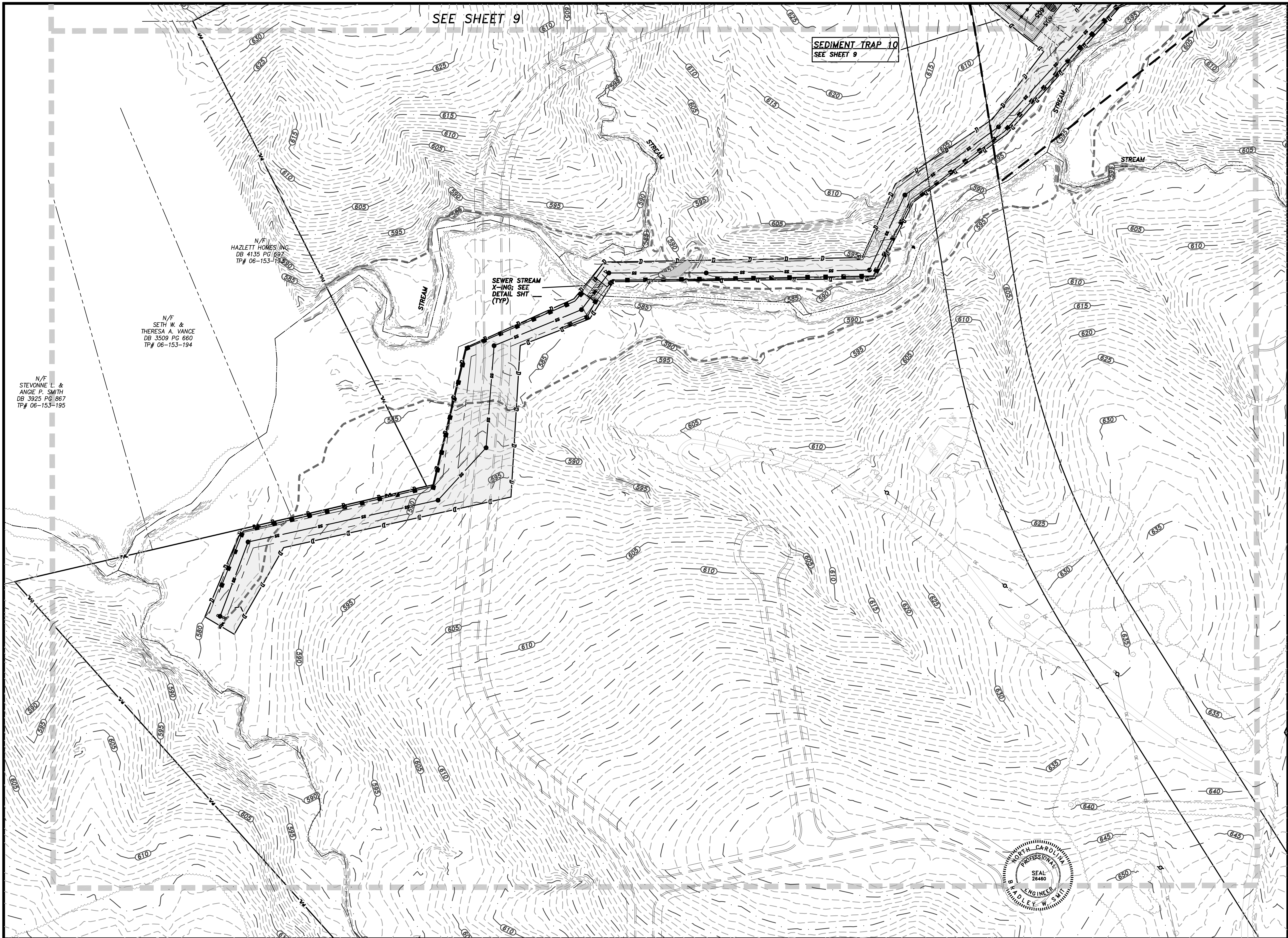
RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199.002D&EC1
Dwg. Name
GD&EC5
Layout:
Horiz. Scale: 1" = 60'
Vert. Scale: 1" = 120'

Revisions
No. 4 Date 10/25/07
No. 2 Date 6/5/07
No. 1 Date 5/2/07
Issue Date 3/5/07

Project Number
209.001

Sheet
9

Of
28



R D DAVIS
CONSULTING
ENGINEERS, PLLC
P.O. Box 84
323 Indian Trail Rd N
Indian Trail NC 28079
(704) 821-7790
(704) 821-8014 fax

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IB Development LLC

The Woods Ph. I
Residential Subdivision
Town Of Weddington, Union County, NC

Grading, Drainage & Erosion Control Plan

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199.00202A&EC1
Dwg. Name
GD&EC6
Layout:
Horiz. Scale: 1" = 60'
Vert. Scale: 1" = 60'

Revisions
No. Date
No. Date
No. Date
No. **4** Date **10/25/07**
Issue Date **3/5/07**

Project Number
209.001

Sheet Of
10 28

SEE SHEET 5

INSTALL TEMPORARY DIVERSION BERM TO DIVERT "CLEAN" WATER AROUND DISTURBED AREA. SEED AND LINE WITH TEMP LINER IMMEDIATELY UPON CONSTRUCTION.

Sediment Trap 6:
 TOP DIMENSIONS: 75'x40'
 BOTTOM DIM: 39'x24'
 TOP ELEV: 618.0
 BOTTOM ELEV: 614.0
 SPILLWAY ELEV: 616.5
 SPILLWAY LENGTH: 10'
 CLEANOUT ELEV: 615.25
 SIDE SLOPES: 2:1

Sediment Trap 5:
 TOP DIMENSIONS: 60'x35'
 BOTTOM DIM: 40'x15'
 TOP ELEV: 619.0
 BOTTOM ELEV: 614.0
 SPILLWAY ELEV: 617.5
 SPILLWAY LENGTH: 10'
 CLEANOUT ELEV: 615.75
 SIDE SLOPES: 2:1

Sediment Trap 9:
 TOP DIMENSIONS: 60'x35'
 BOTTOM DIM: 40'x15'
 TOP ELEV: 618.0
 BOTTOM ELEV: 613.5
 SPILLWAY ELEV: 617.0
 SPILLWAY LENGTH: 10'
 CLEANOUT ELEV: 615.25
 SIDE SLOPES: 2:1

DOUBLE ROW OF SILT FENCE SPACED 4' APART TYP.

Arborale Lane (East) (ROW Voids)

Costerton Ave

STREAM

100 YR FLOODLINE (TYPICAL)

N/F ROBERT T. & WF CINDY P. POPPINO DB 450 PG 394 TP# 06-126-009

N/F KEVIN T. & WF LADONNA M. CARTER DB 1386 PG 247 TP# 06-126-003B

N/F WILLIAM L. & WF CAROLYN C. CUTHBERTSON DB 933 PG 854 TP# 06-126-003D

N/F HONEYCREEK INC. DB 931 PG 499 TP# 06-126-019

NORTH CAROLINA PROFESSIONAL SEAL 28460 ENGINEER BRADLEY W. SMITH

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IB Development LLC

The Woods Ph. I
Residential Subdivision
Town Of Weddington, Union County, NC

**Grading, Drainage &
Erosion Control Plan**

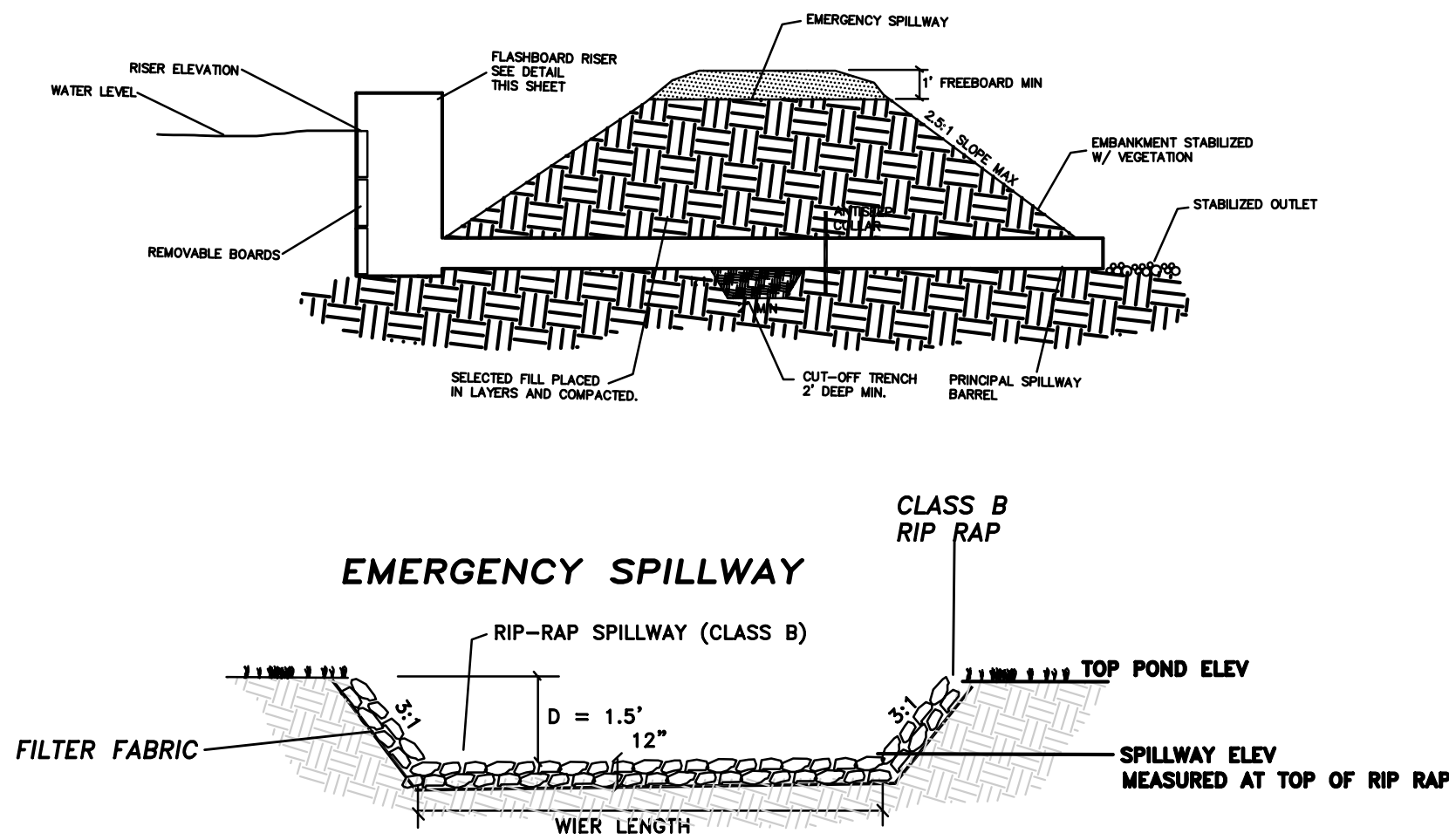
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RDD
 Project Engineer
 MAT/BWS
 Drawn By 3/16/07
 Date Drawn 99-002/Roadway
 99-002D&ECT
 Job Name
 99-002D&ECT
 Layout:
 Horiz. Scale: 1" = 60'
 60' 120'
 Vert. Scale: 1" =
 60'
 Revisions
 No. Date
 No. Date
 No. Date
 No. 4 Date 10/25/07
 Issue Date 3/5/07

Project Number
209.001

Sheet Of
11 28

SEDIMENT BASIN



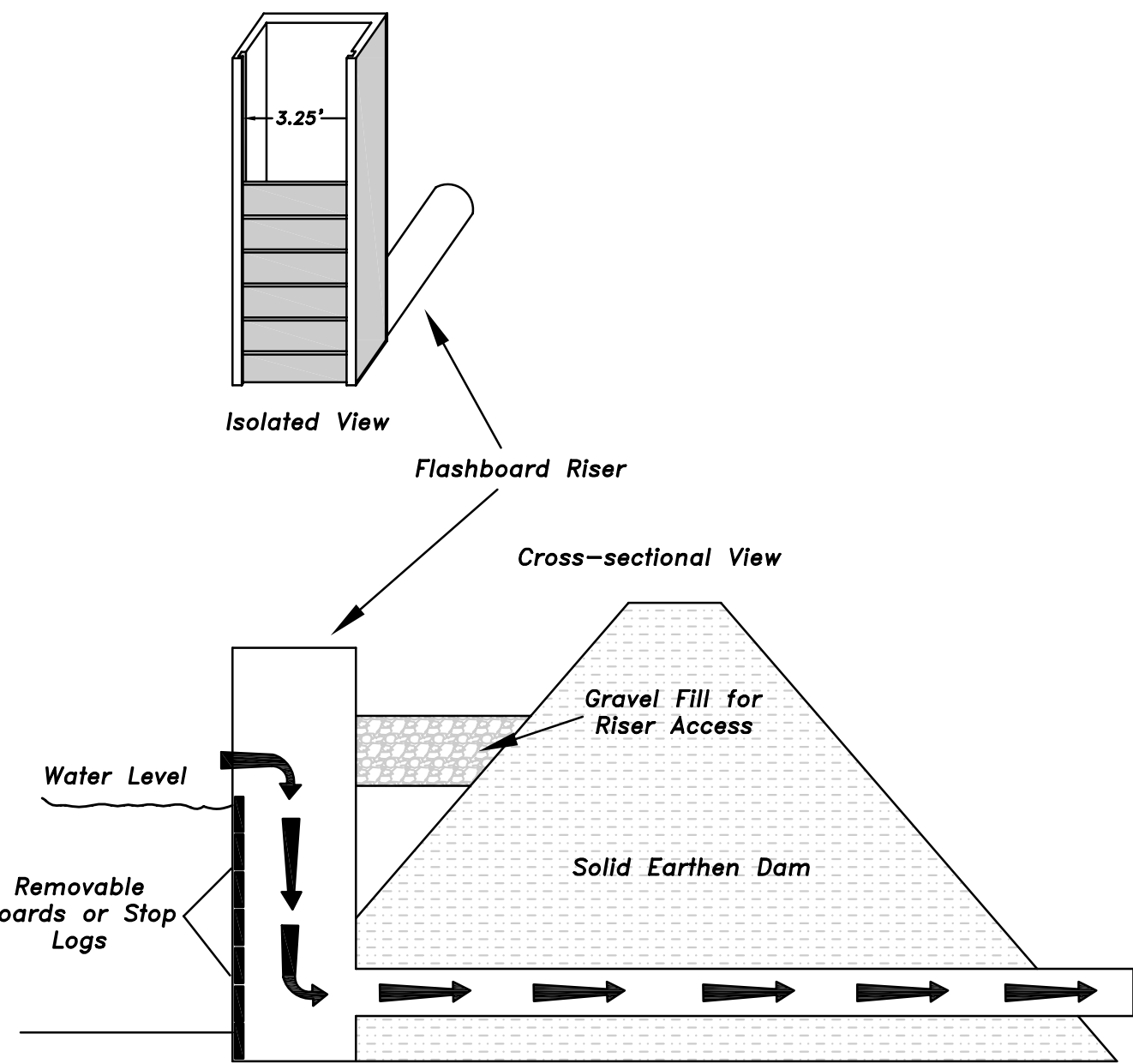
Construction Specifications

1. Clear the areas under the embankment and strip of roots and other objectionable material. Delay clearing the reservoir until the dam is in place.
2. Cover the foundation area including the abutments with extra-strength filter fabric before backfilling. If a cut-off trench is required, excavate at center line of dam, extending all the way up the earth abutments. Apply the filter fabric under the rockfill embankment, from the upstream edge of the dam to the downstream edge of the apron. Overlap fill material a minimum of 1 ft. at all joints, with the upstream strip laid over the downstream strip.
3. Construct the embankment with well-graded material to the size and dimensions shown on the drawings. It is important that rock abutments be at least 2 ft. higher than the spillway crest and at least 1 ft. higher than the dam, all the way to the downstream toe, to prevent scour and erosion at the abutments.
4. Sediment-laden water from the construction site should be diverted into the basin reservoir at the furthest area from the dam.
5. Construct the basin before the basin area is cleared to minimize sediment yield from construction of the basin. Stabilize immediately all areas disturbed during the construction of the dam except the sediment pool (References: Surface Stabilization).
6. Safety--Sediment basins should be considered dangerous because they attract children. Steep side slopes should be avoided. Fences with warning signs may be needed if trespassing is likely. All state and local requirements must be followed.

Maintenance

- Remove flashboards one at a time to dewater basin gradually. Immediately after basin is dewatered replace boards.
- Check sediment basins after each rainfall. Remove sediment and restore original volume when sediment accumulates to about one-half the design volume.
- Check the structure for erosion, piping, and rock displacement after each rainstorm and repair immediately.
- Remove the structure and any unstable sediment immediately after the construction site has been permanently stabilized. Smooth the basin site to blend with the surrounding area and stabilize. All water and sediment should be removed from the basin prior to dam removal. Sediment should be placed in designated disposal areas and not allowed to flow into streams or drainageways during structure removal.

FLASHBOARD RISER



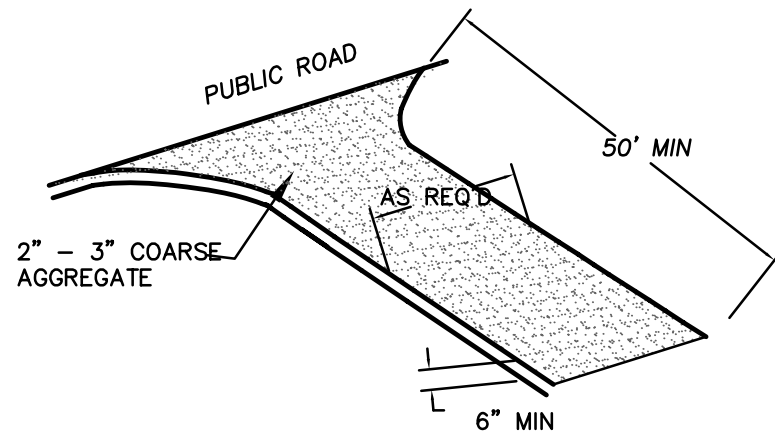
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

Construction Specifications

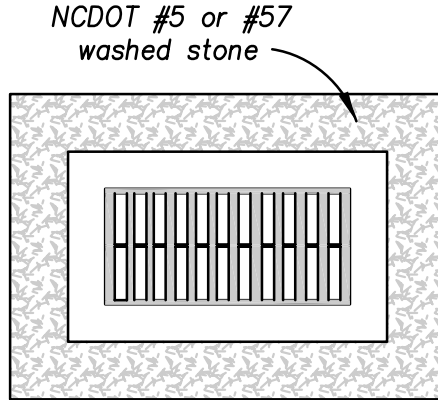
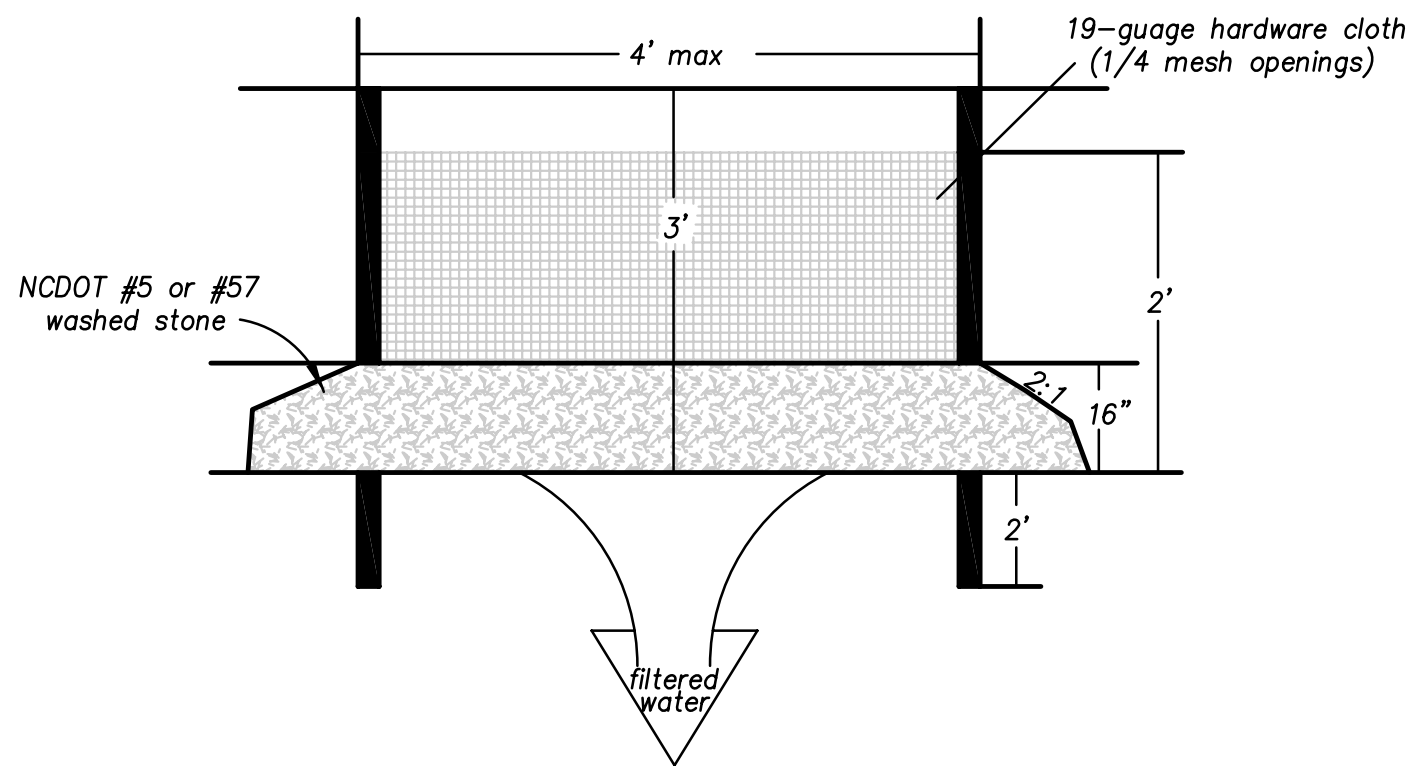
1. Clear the entrance and exit area of all vegetation, roots, and other objectionable material and properly grade it.
2. Place the gravel to the specific grade and dimensions shown on the plans, and smooth it.
3. Provide drainage to carry water to a sediment trap or other suitable outlet.
4. Use geotextile fabrics because they improve stability of the foundation in locations subject to seepage or high water table.

Maintenance

Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic top dressing with 2- inch stone. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.



HARDWARE CLOTH AND GRAVEL INLET PROTECTION

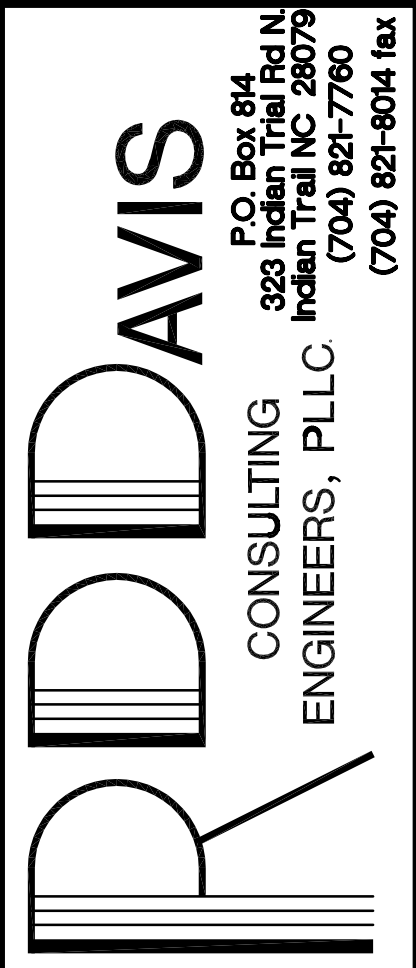
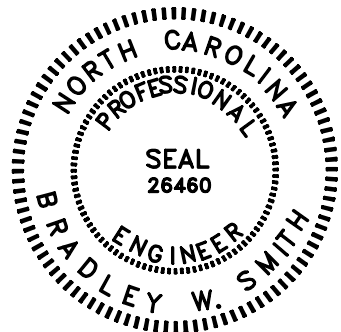


Construction Specifications:

- 1) Uniformly grade a shallow depression approaching the inlet.
- 2) Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
- 3) Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle and bottom. Placing a 2-foot flap of the wire mesh under the gravel for anchoring is recommended.
- 4) Place clean gravel (NC DOT #5 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
- 5) Once the contributing drainage area has been stabilized, remove accumulated sediment, and establish final grading elevations.
- 6) Compact the area properly and stabilize it with groundcover.

Maintenance:

Inspect inlets at least weekly and after each significant (1/2 inch or greater) rainfall event. Clear the mesh wire of any debris or other objects to provide adequate flow for subsequent rains. Take care not to damage or undercut the wire mesh during sediment removal. Replace stone as needed.



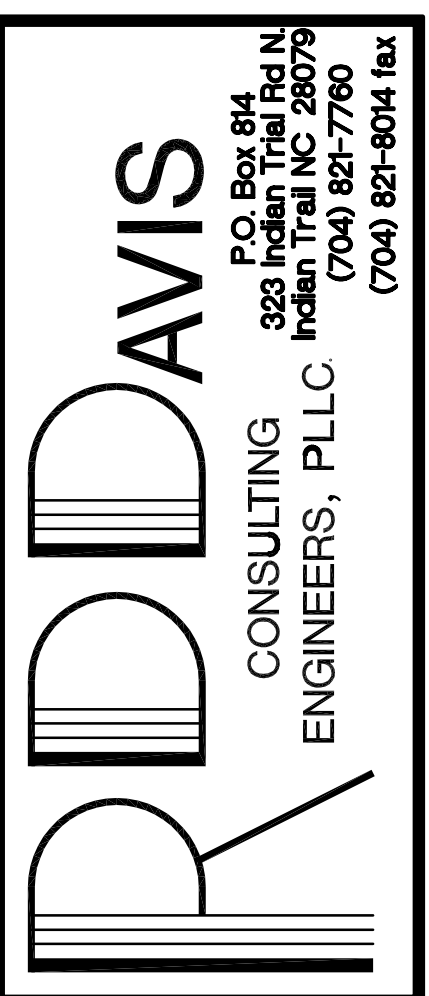
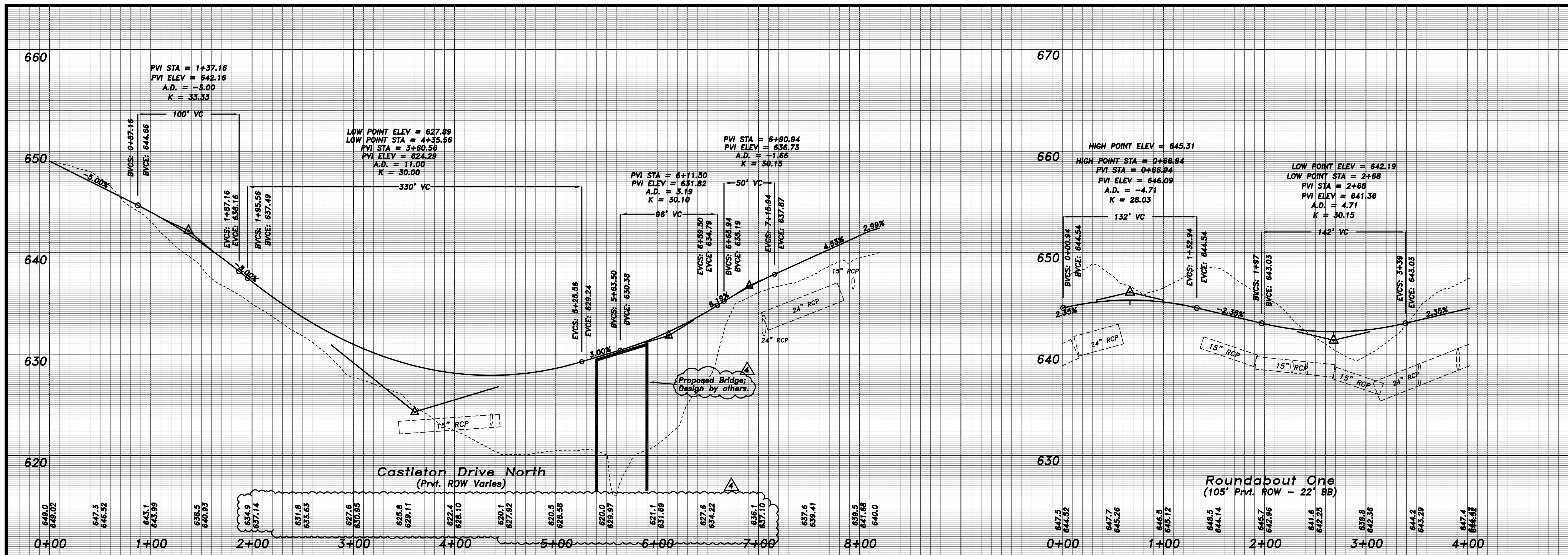
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IB Development LLC

The Woods Ph. I Residential Subdivision
Town Of Weadung, Union County, NC
Erosion Control Details

RDD Project Engineer
MAT/BWS Drawn By
5/16/07 Date Drawn
199-002/Roadway Sht. Set / Subset
199.002Grad-Drain&EC Details2
Dwg. Name
Grad-Drain&EC Details2
Layout:
Horiz. Scale: 1" =
Vert. Scale: 1" =
Revisions
No. Date
No. Date
No. Date
No. 1 Date 5/2/07
Issue Date 3/5/07

Project Number 209.001
Sheet 13 Of 28



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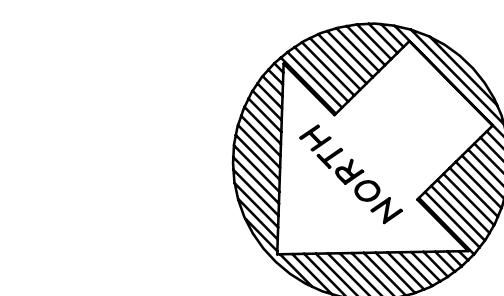
IB Development LLC

The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

Roadway Plan & Profile
Castleton Drive (North)
Roundabout One

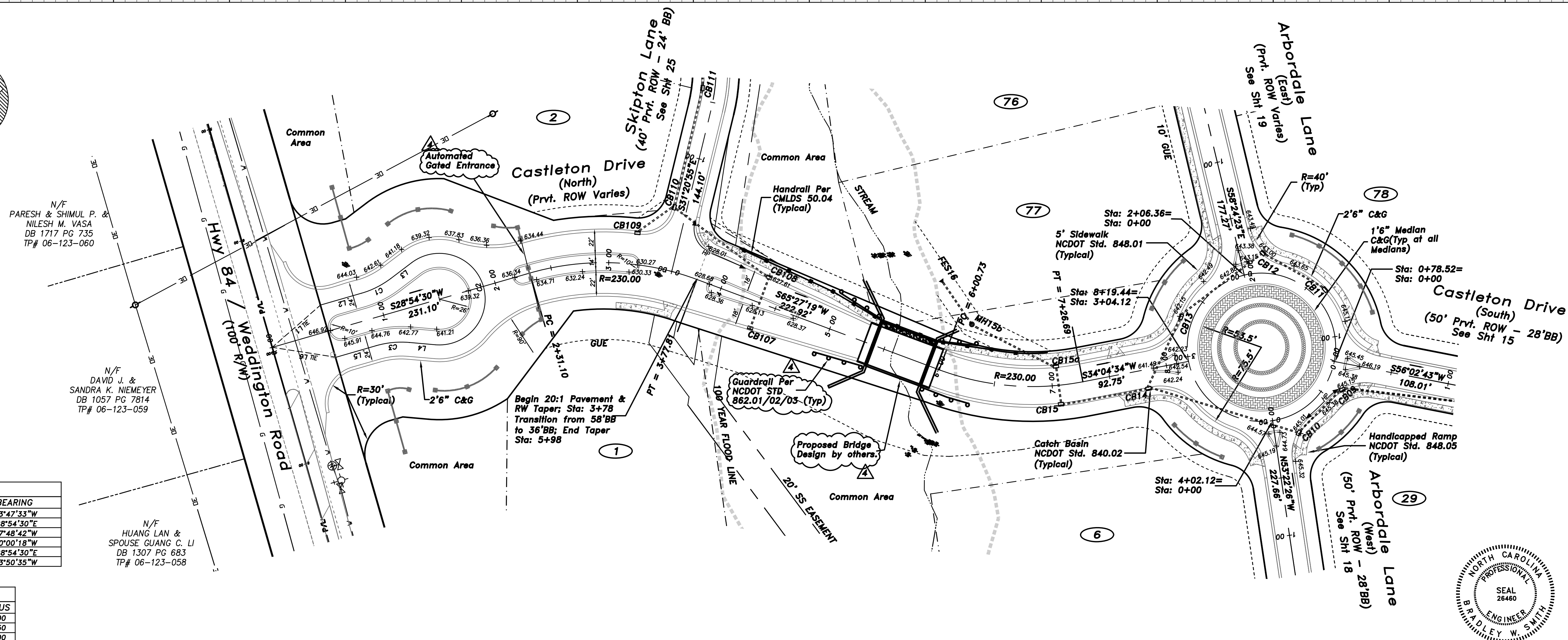
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Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
Dwg. Name
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Layout:
Horiz. Scale: 1" = 50'
Vert. Scale: 1" = 5'
Revisions
No. 1 Date 10/25/07
No. 2 Date 8/8/07
No. 3 Date 6/8/07
Issue Date 3/03/07

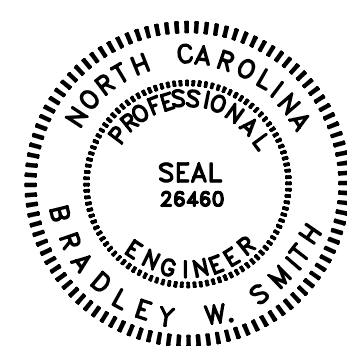
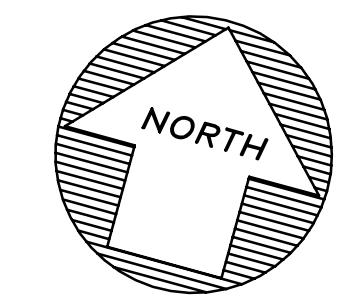
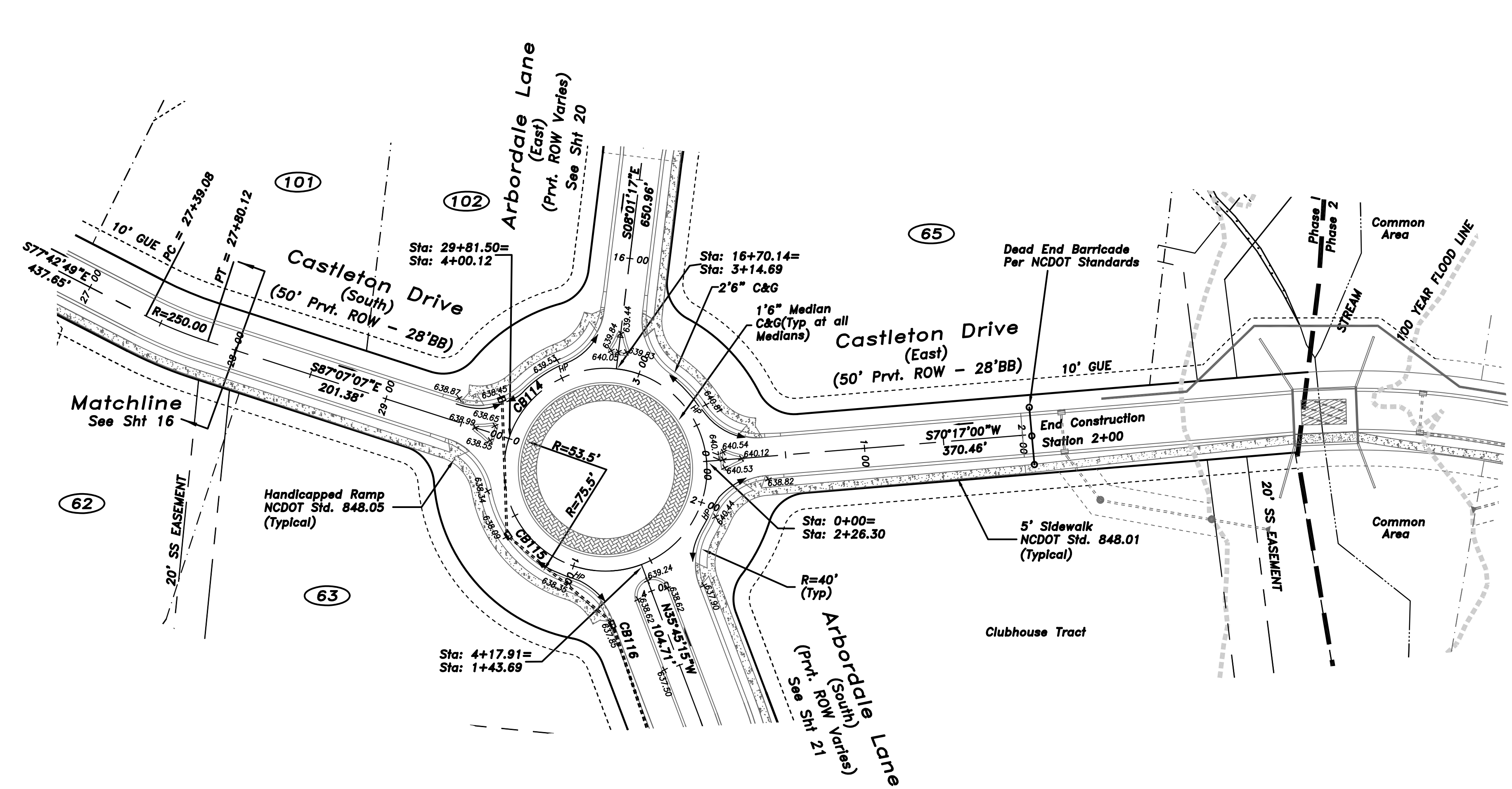
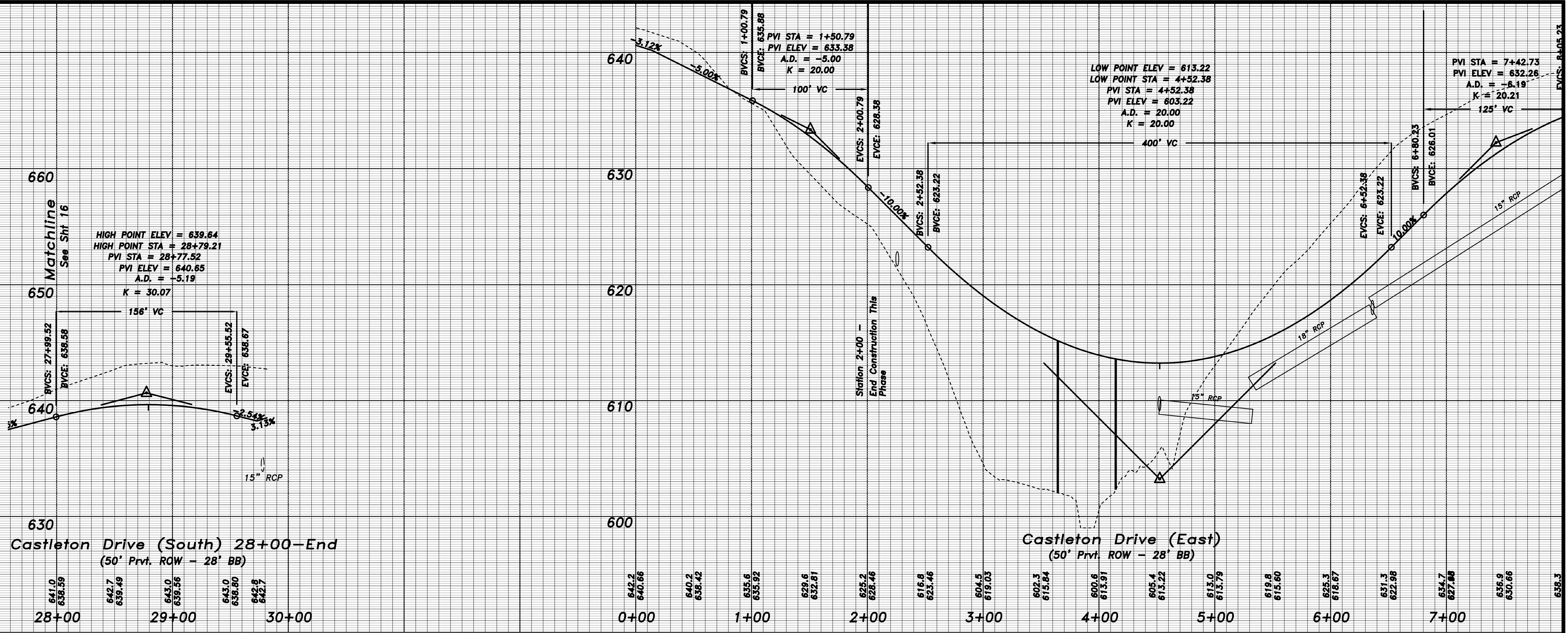
Project Number
209.001
Sheet 14 Of 28



LINE TABLE		
LINE	LENGTH	BEARING
L1	55.37	S03°42'33"W
L2	36.52	N28°54'30"E
L3	22.57	S07°48'42"W
L4	22.57	S50°00'18"W
L5	36.10	N28°54'30"E
L6	55.74	S53°50'35"W

CURVE TABLE		
CURVE	LENGTH	RADIUS
C1	28.72	78.00
C2	153.18	39.50
C3	28.72	78.00





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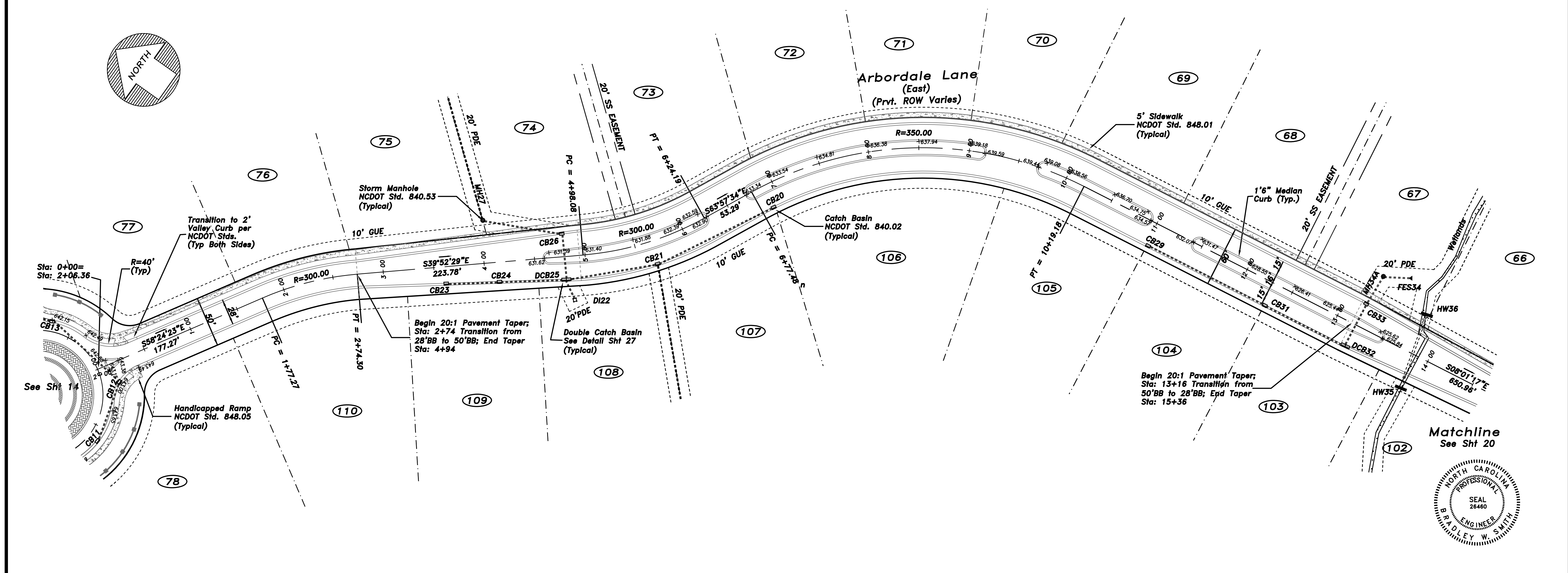
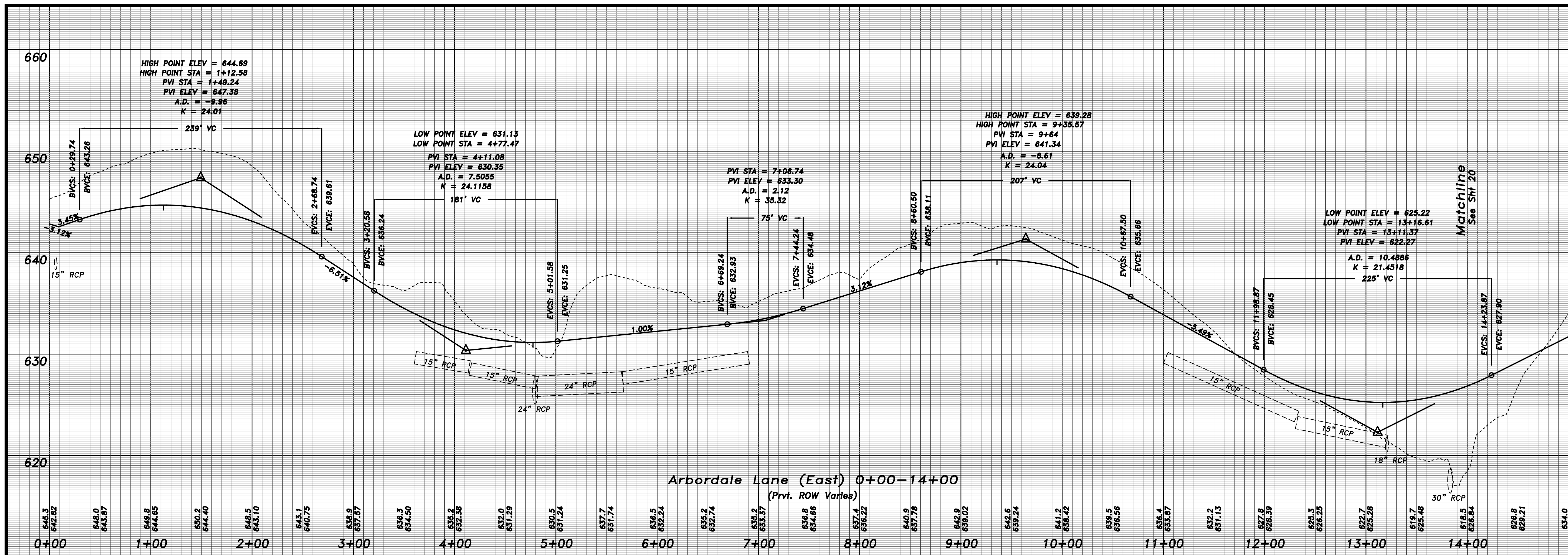
The Woods Ph. I
Residential Subdivision
Town Of Weddington, Union County, NC

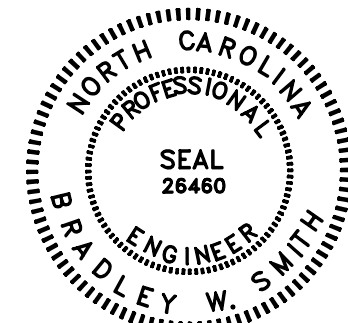
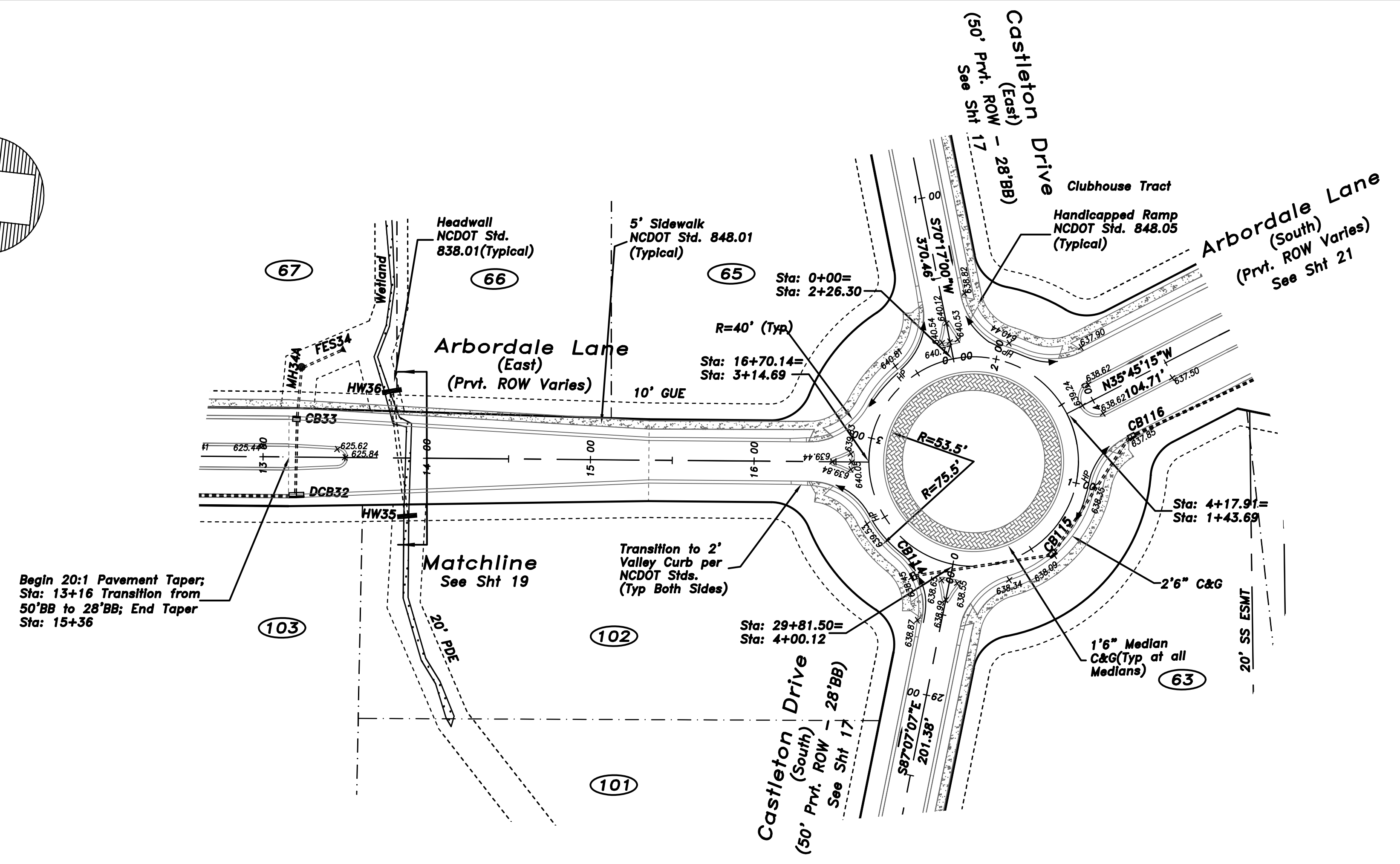
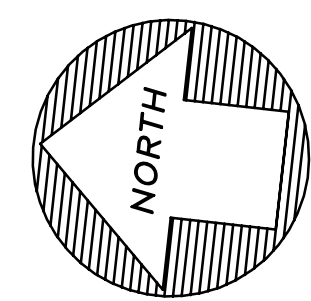
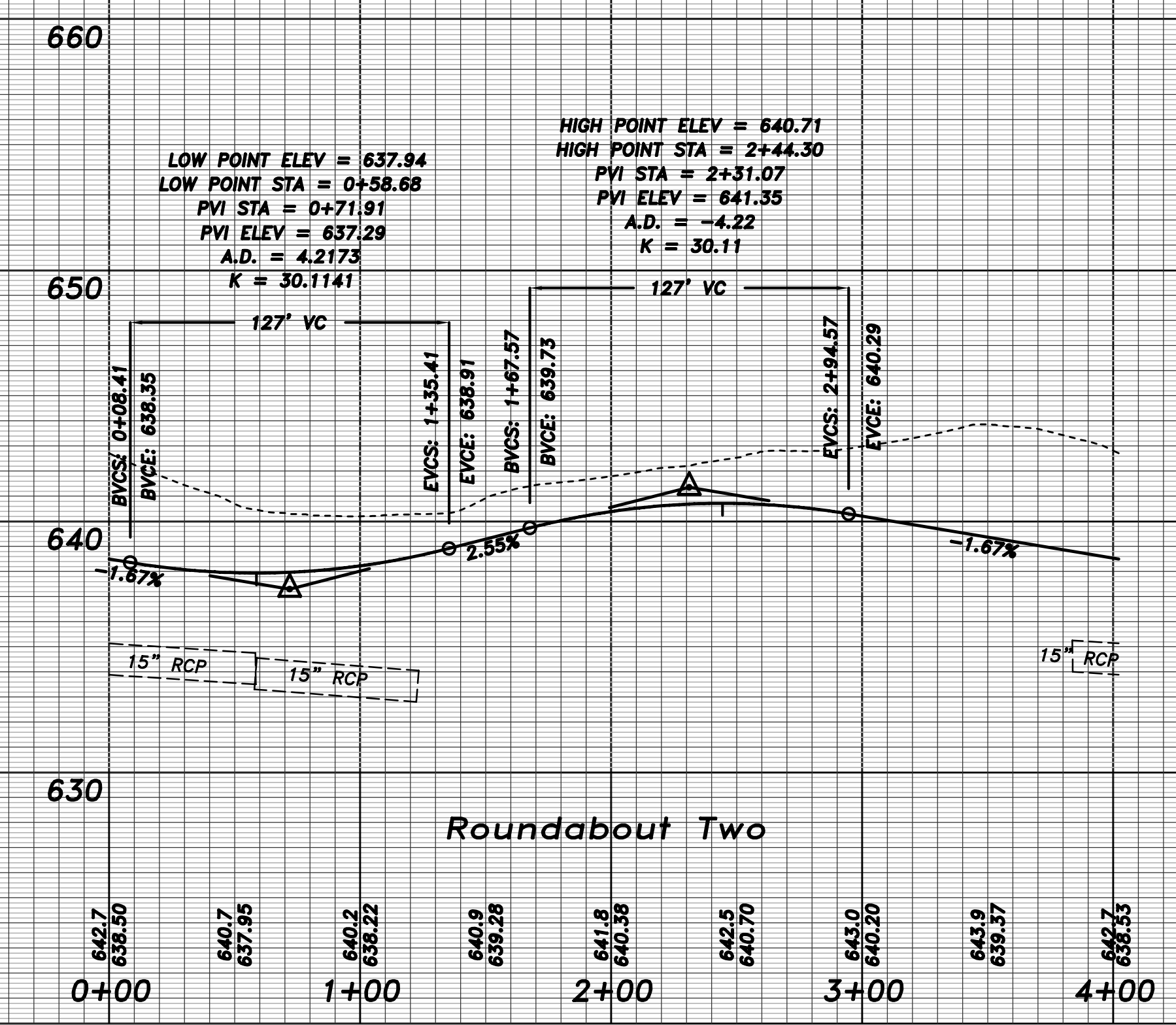
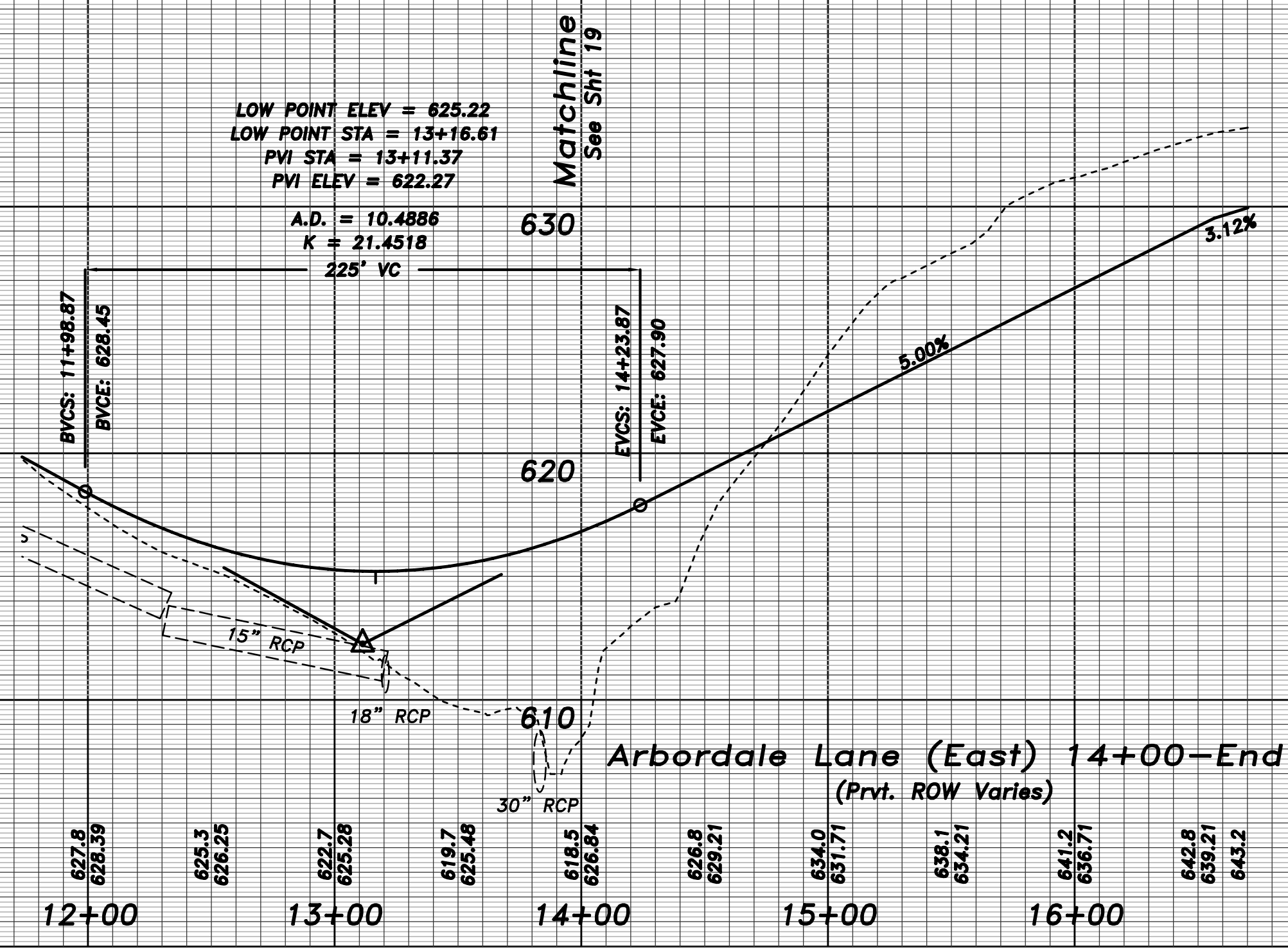
Roadway Plan & Profile
Castleton Drive (South) 28+00-End
Castleton Drive (East)

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
Dwg. Name
ROAD P&P 4
Layout:
Horiz. Scale: 1" = 50'
Vert. Scale: 1" = 5'
Revisions
No. Date
No. 4 Date 10/25/07
No. 1 Date 6/8/07
Issue Date 3/03/07

Project Number
209.001

Sheet 17 Of 28





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Indian Trail NC 28079
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(704) 821-8014 fax

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Residential Subdivision
Town Of Weedington, Union County, NC

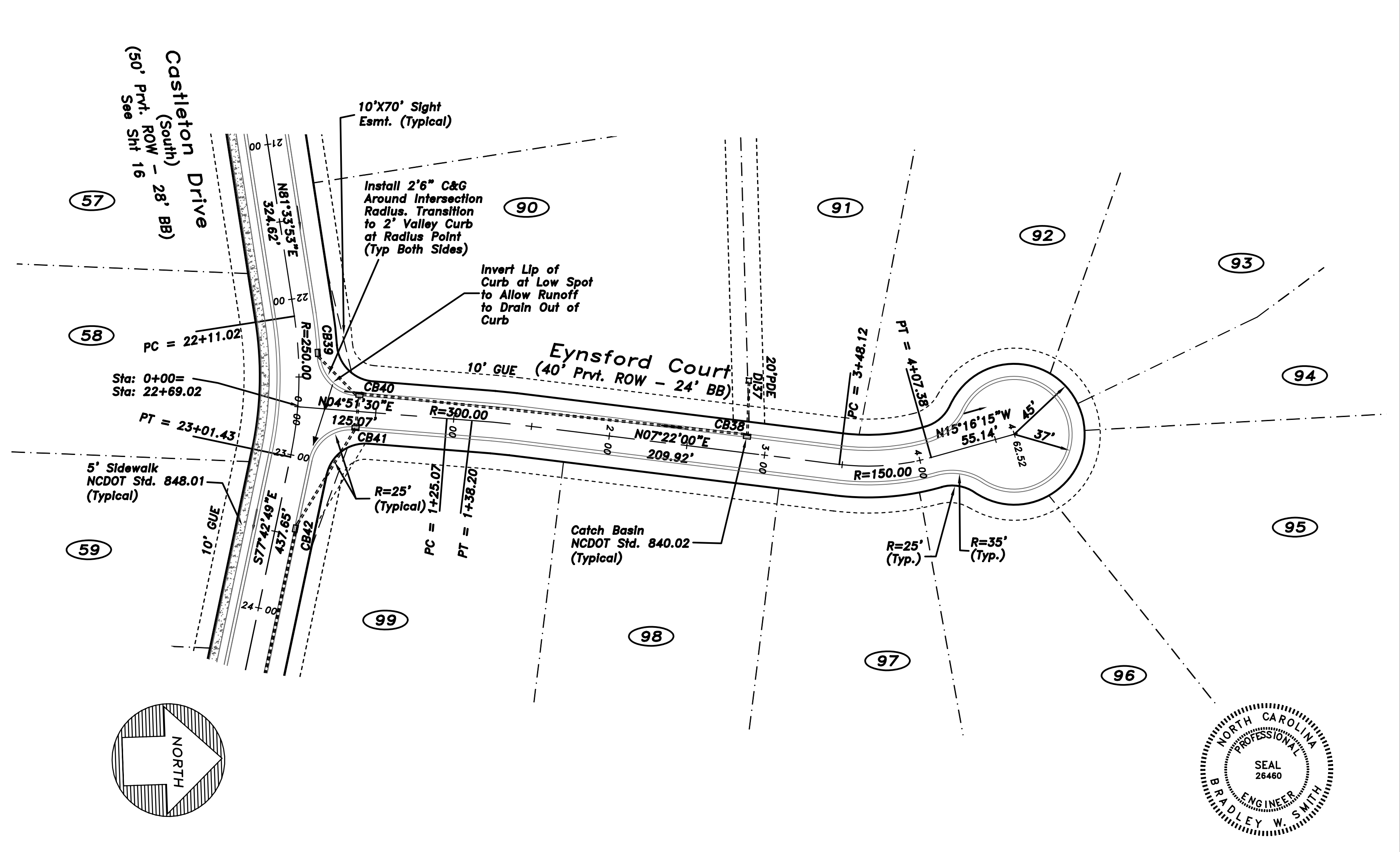
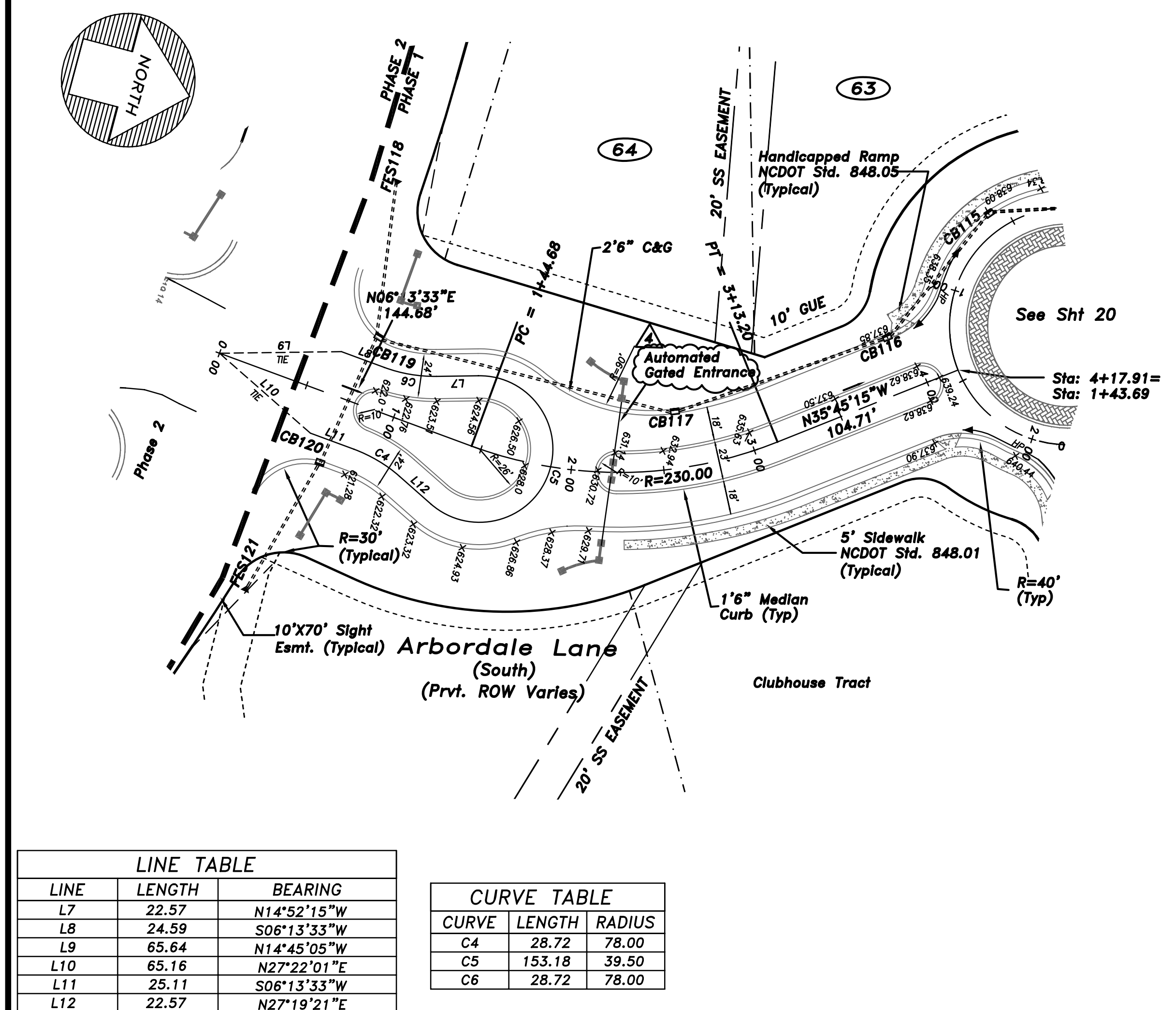
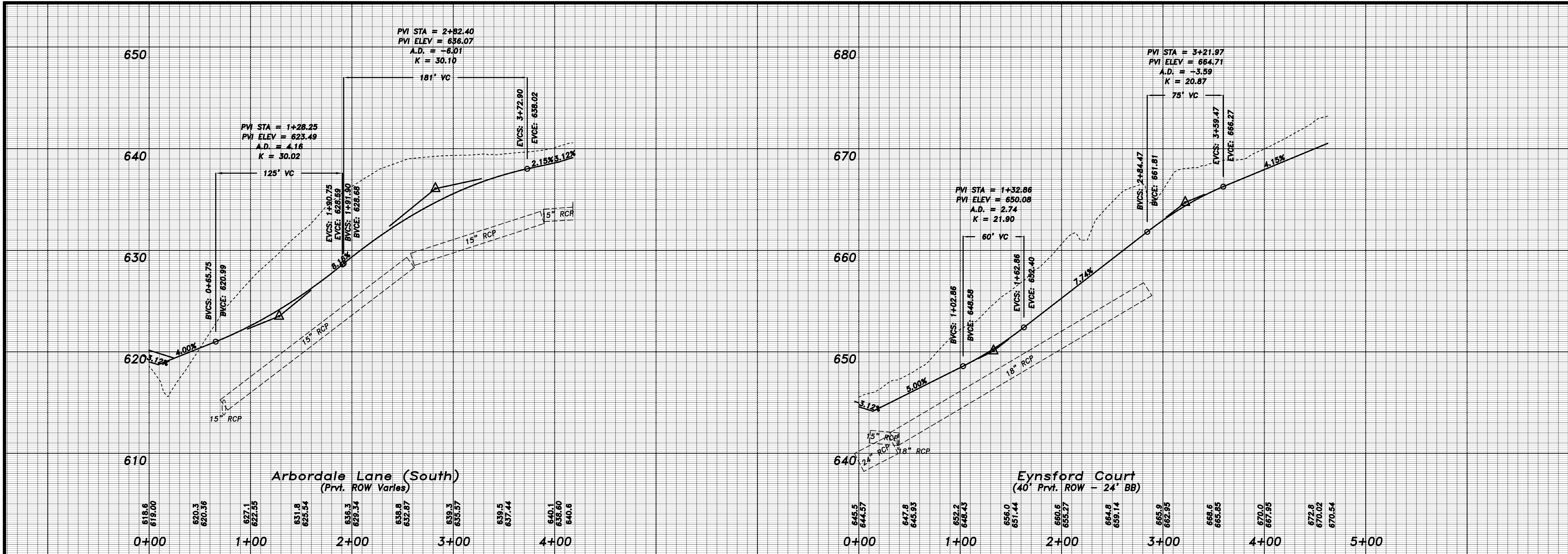
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Arbordale Lane (East) 14+00-End
Roundabout 2

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
199.002 ROAD P&P
Dwg. Name
ROAD P&P 7
Layout:
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Vert. Scale: 1" = 5'

Revisions
No. Date
No. Date
No. Date
Issue Date 3/03/07

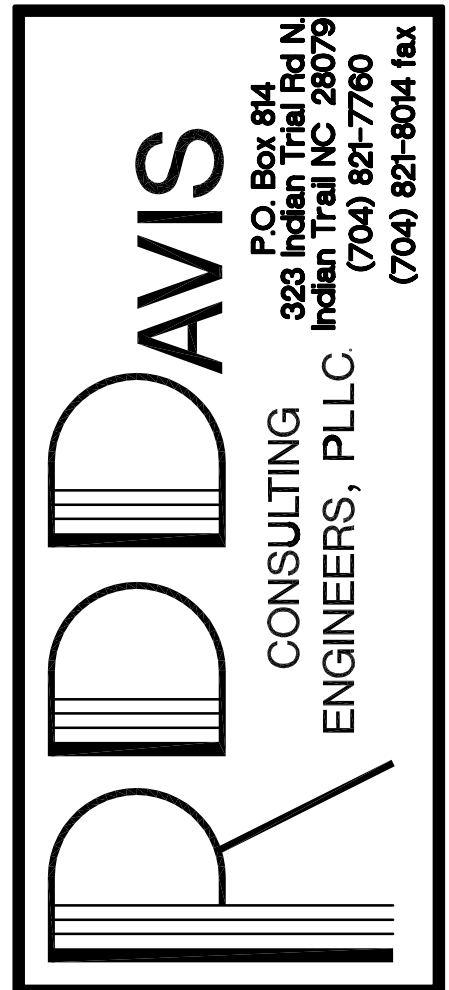
Project Number
209.001

Sheet 20 Of 28



LINE	LENGTH	BEARING
L7	22.57	N14°52'15"W
L8	24.59	S06°13'33"W
L9	65.64	N14°45'05"W
L10	65.16	N27°22'01"E
L11	25.11	S06°13'33"W
L12	22.57	N27°19'21"E

CURVE	LENGTH	RADIUS
C4	28.72	78.00
C5	153.18	39.50
C6	28.72	78.00



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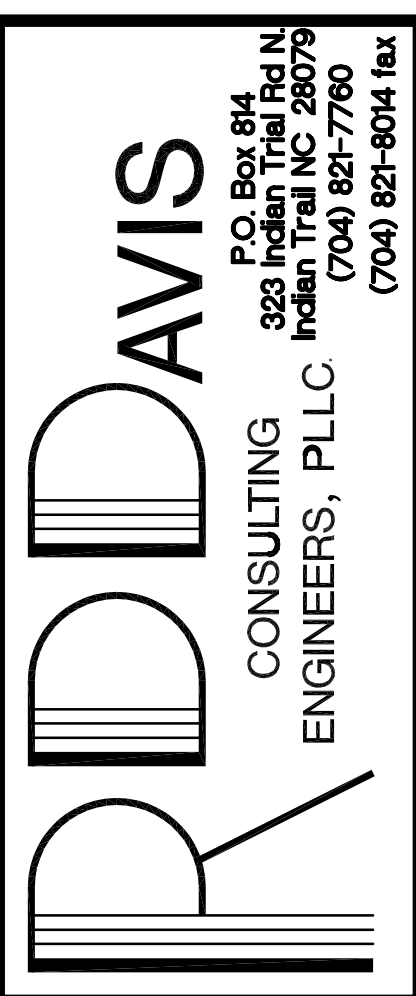
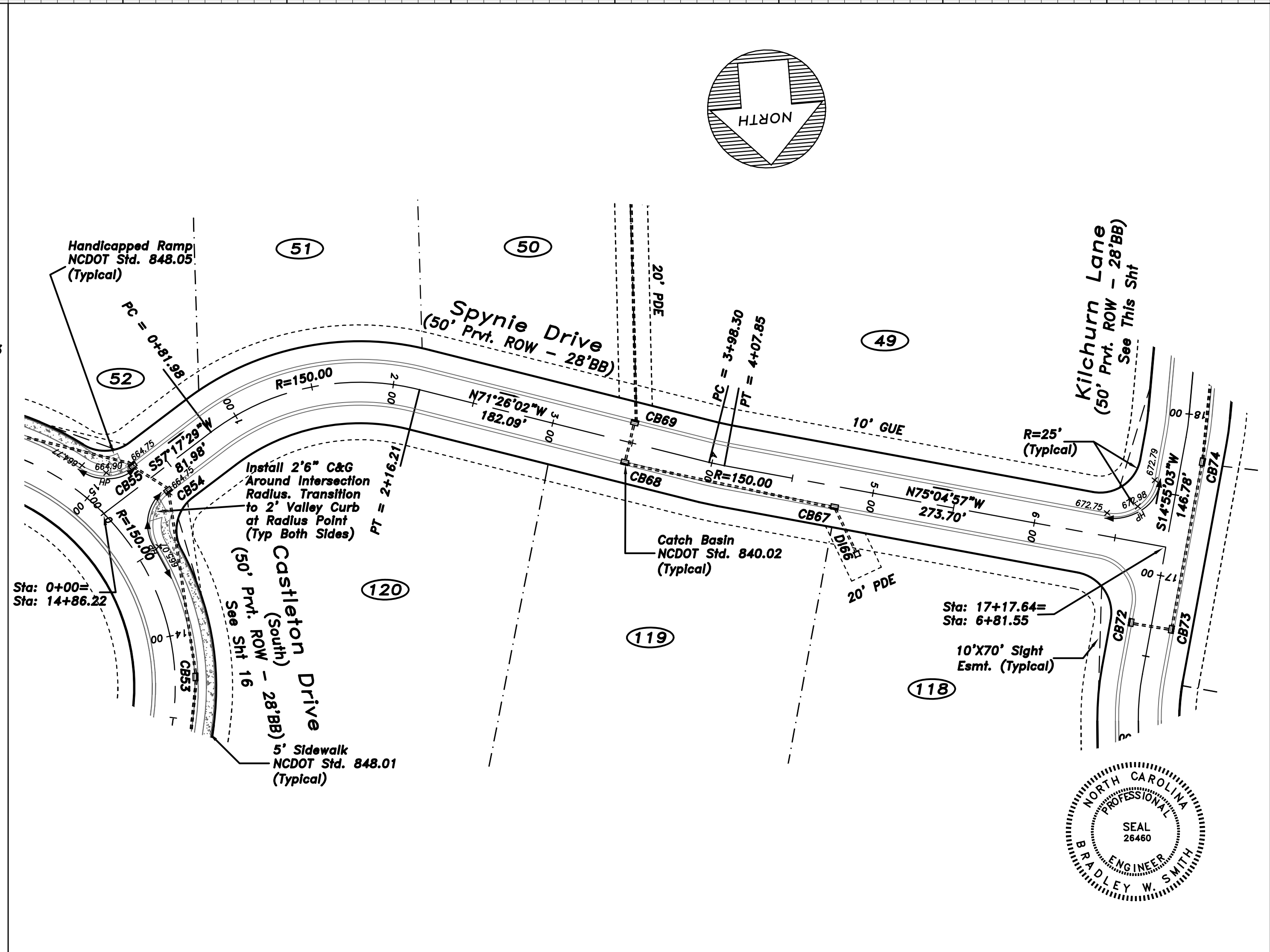
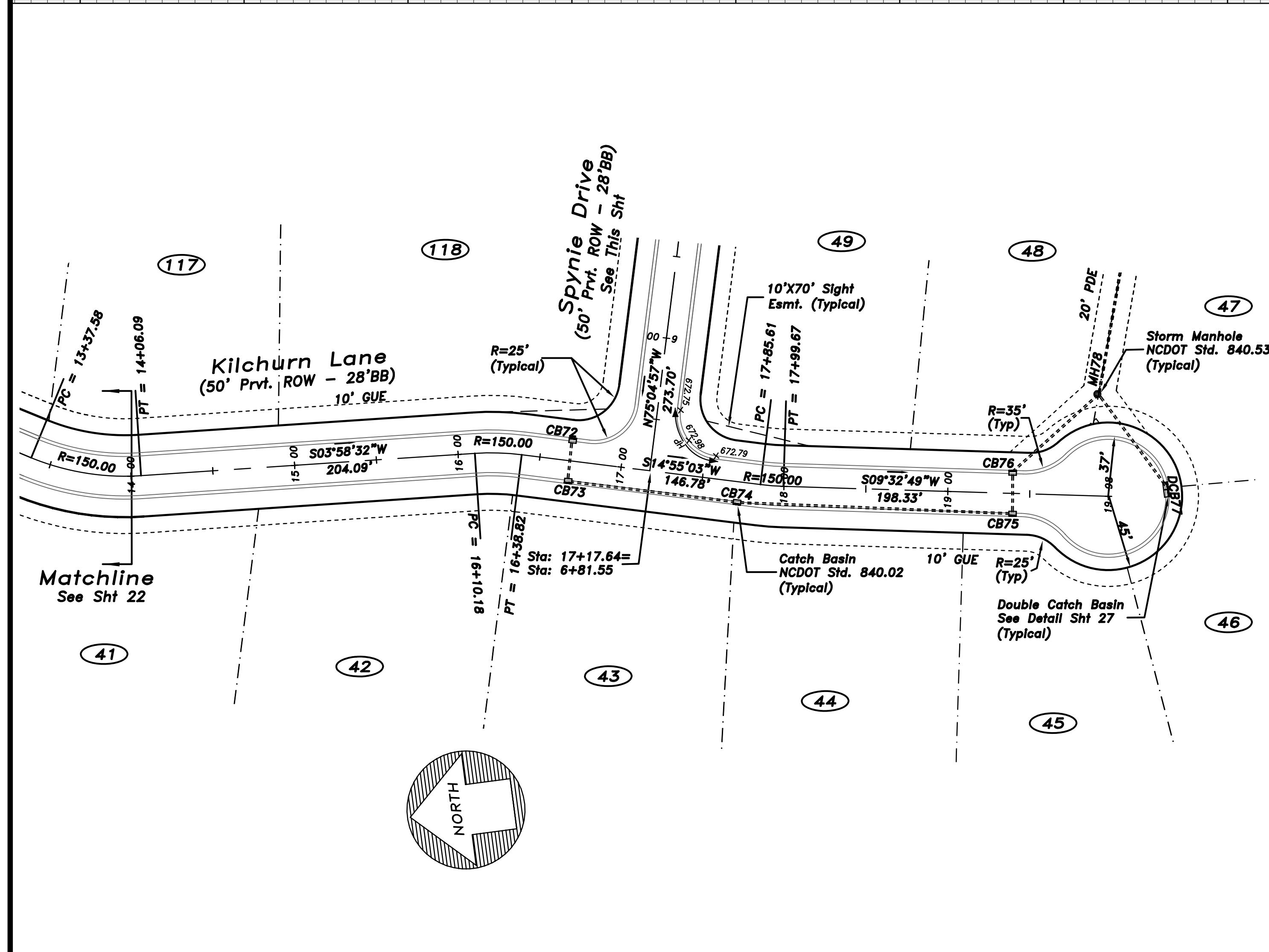
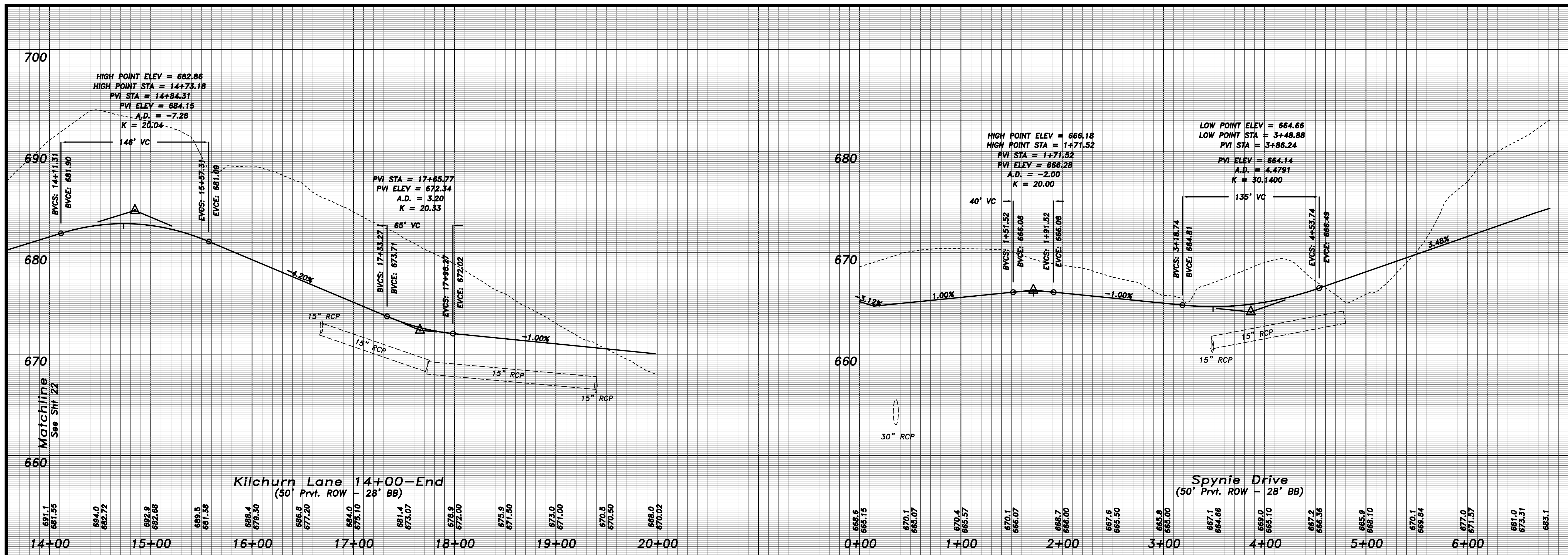
IB Development LLC

The Woods Ph. 1
Residential Subdivision
Town Of Weddington, Union County, NC

Sheet Title
Roadway Plan & Profile
Arbordale Lane (South)/Eynsford Ct.

RDD
Project Engineer
MAT/BWS
Drawn By
5/16/07
Date Drawn
199-002/Roadway
Sht. Set / Subset
Dwg. Name
ROAD P&P 8
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No. 4 Date 10/25/07
No. 3 Date 8/8/07
No. 2 Date 6/8/07
Issue Date 3/03/07

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Sheet 21 Of 28



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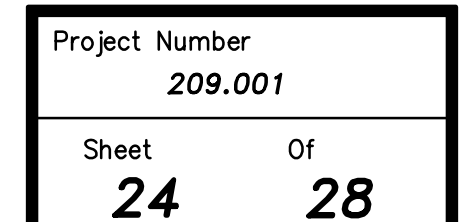
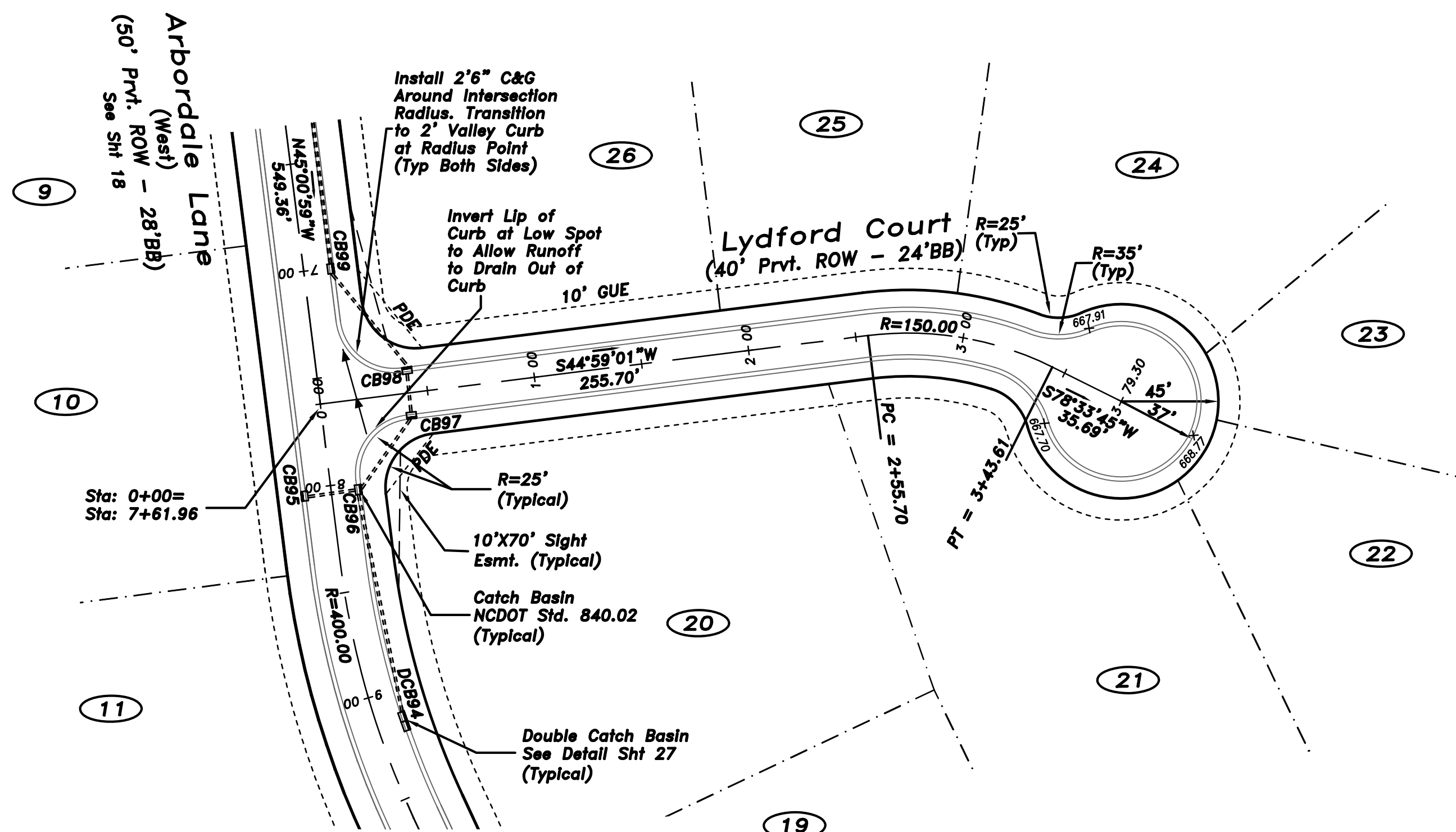
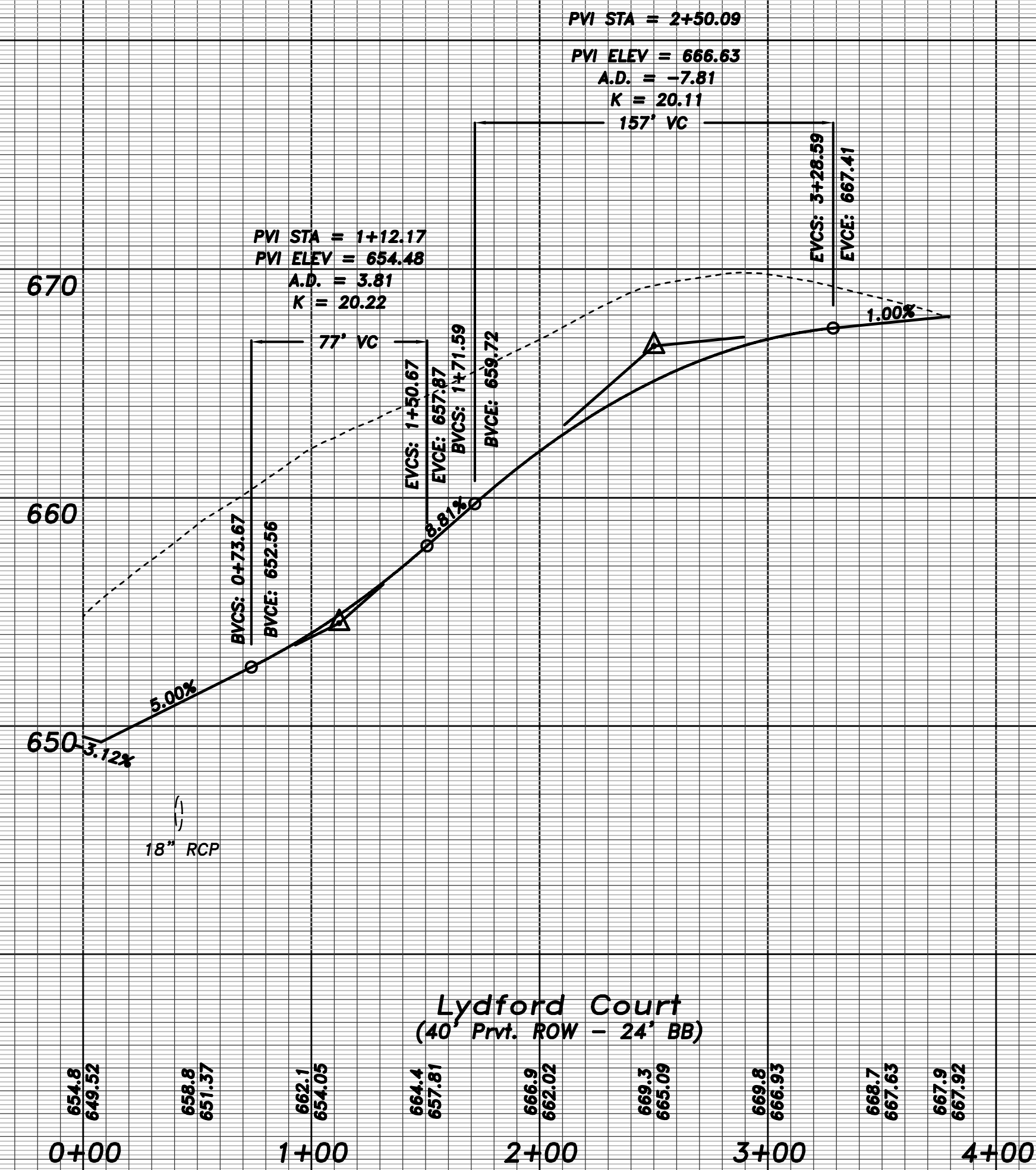
The Woods Ph. I
Residential Subdivision
Town of Weddington, Union County, NC

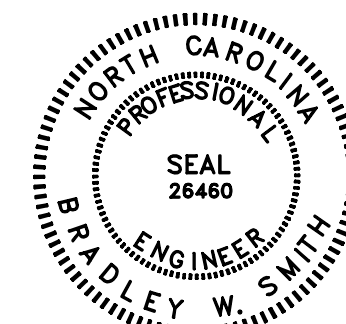
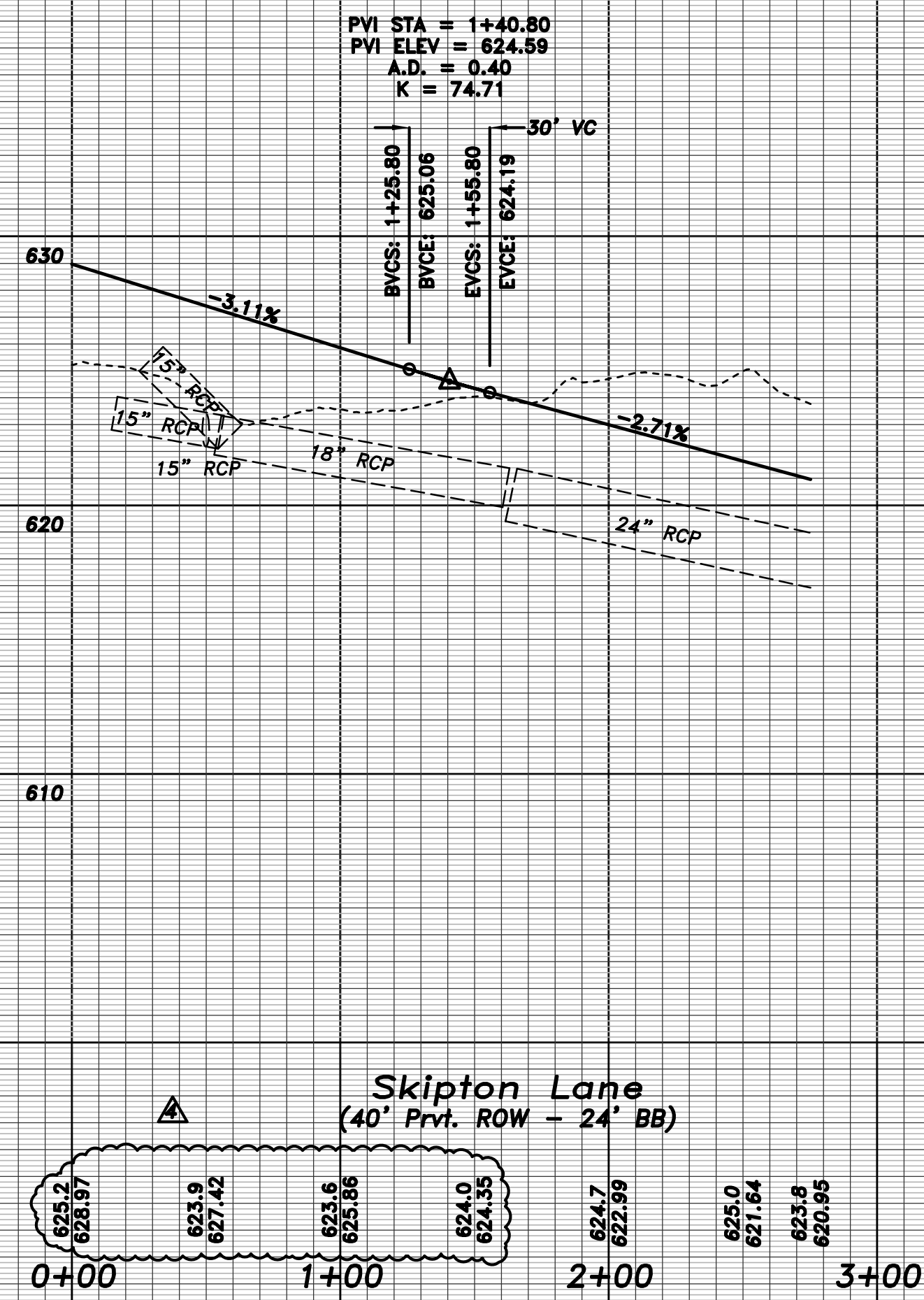
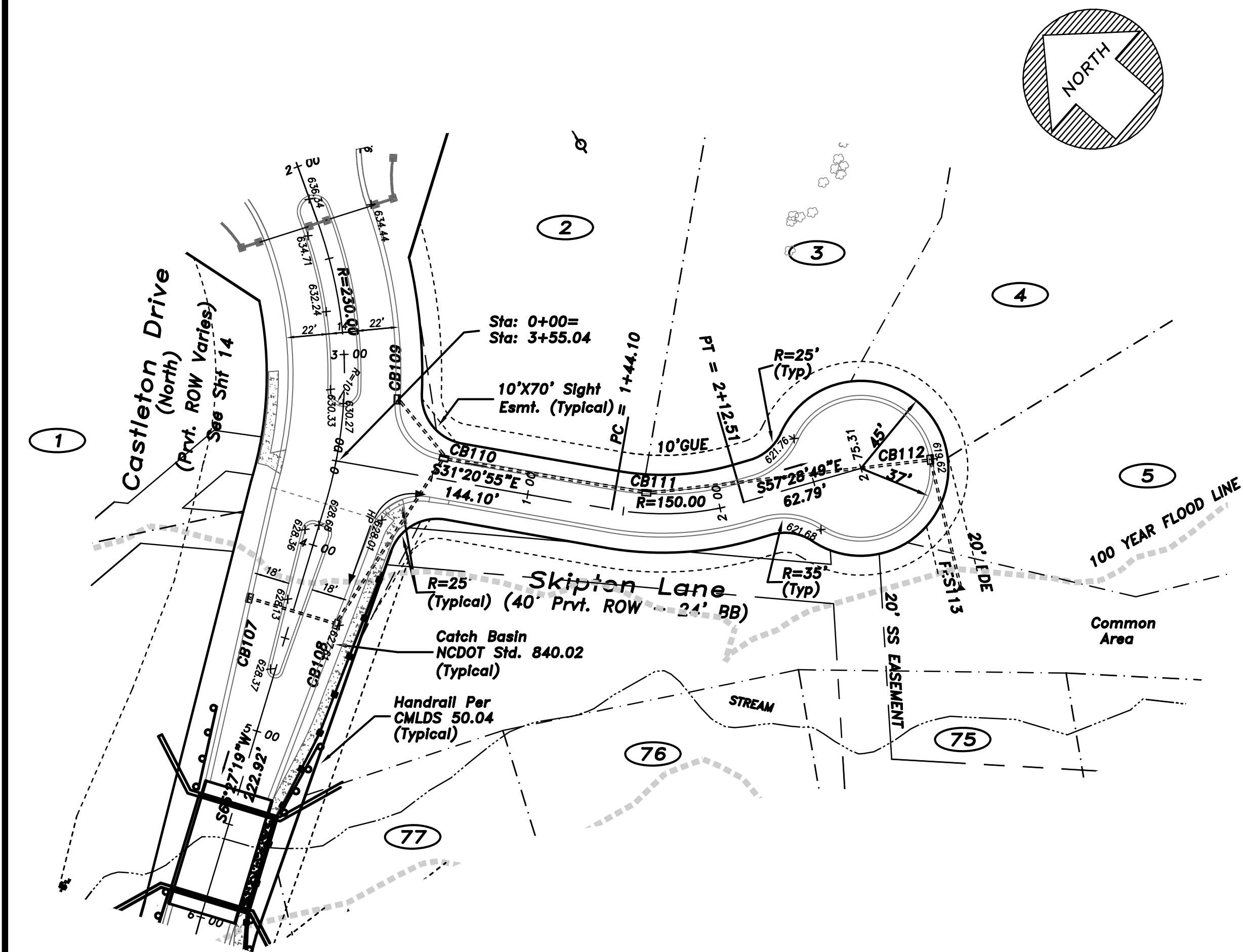
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Kilchurn Lane 14+00-End/Spynie Dr.

RDD	Project Engineer
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5/16/07	Date Drawn
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ROAD P&P 10	Dwg. Name
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Horiz. Scale: 1" = 50'	
Vert. Scale: 1" = 5'	
Revisions	
No. 1	Date 8/8/07
No. 2	Date 8/8/07
Issue Date	3/03/07

Project Number
209.001

Sheet 23 Of 28





RDDAVIS
 CONSULTING ENGINEERS, PLLC
 P.O. Box 84
 323 Indian Trail Rd N
 Indian Trail NC 28079
 (704) 821-7780
 (704) 821-8014 fax

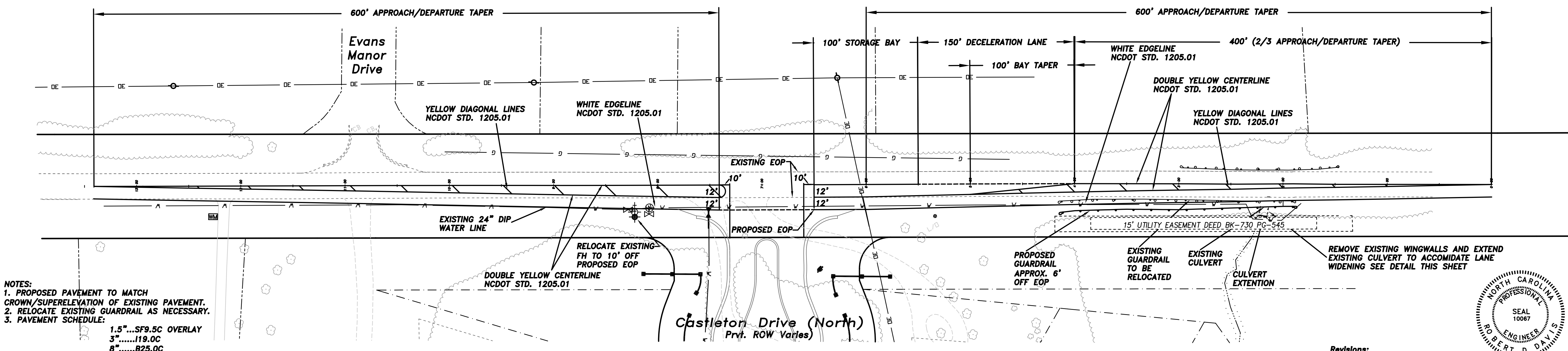
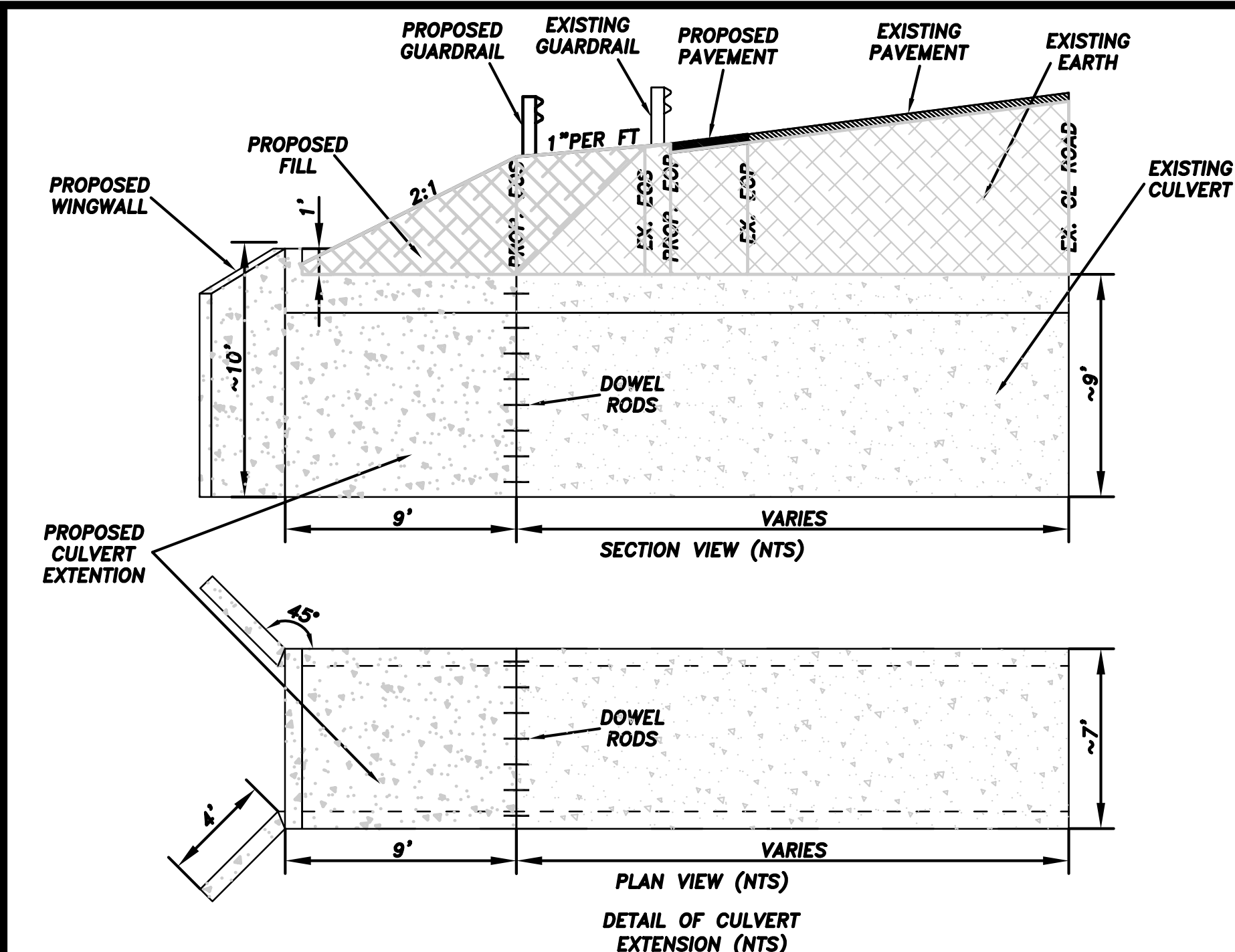
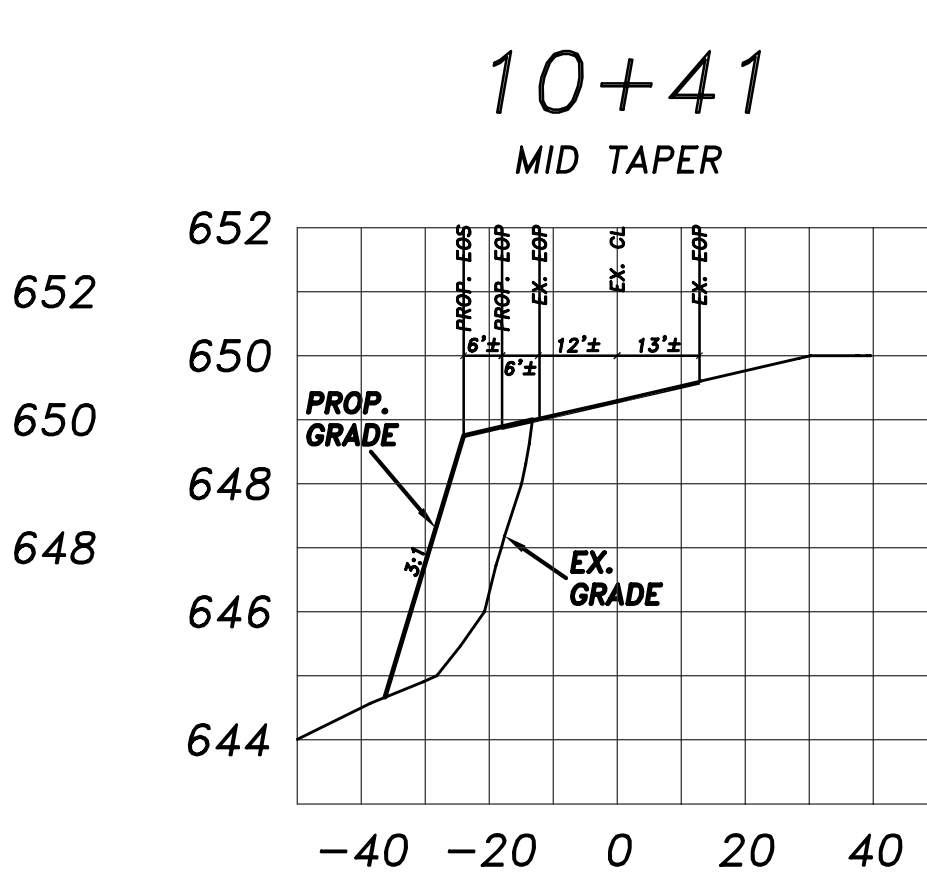
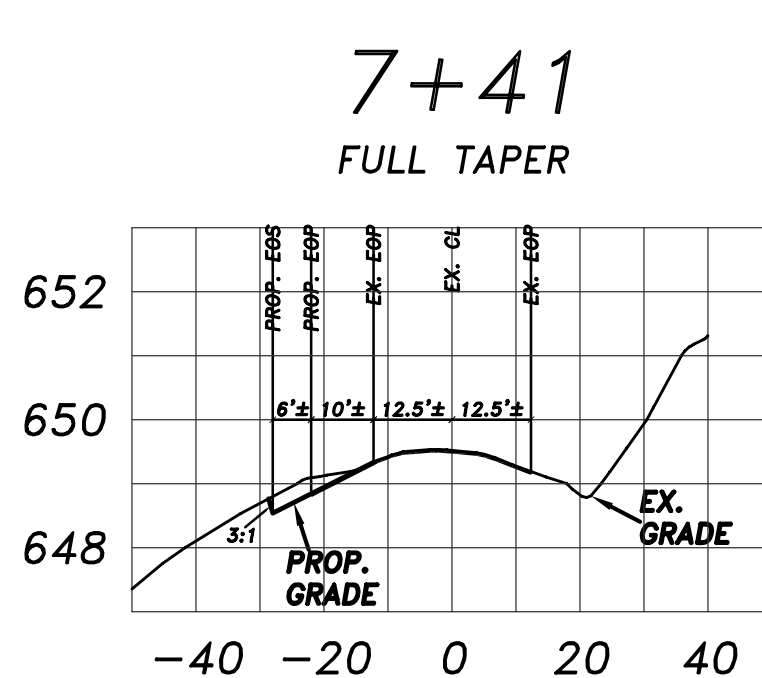
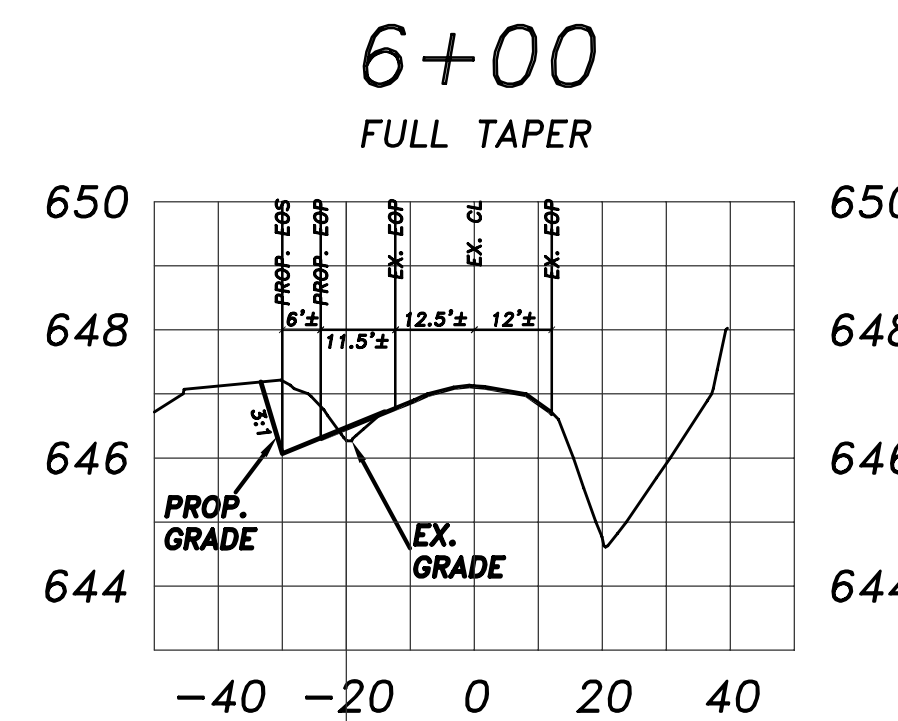
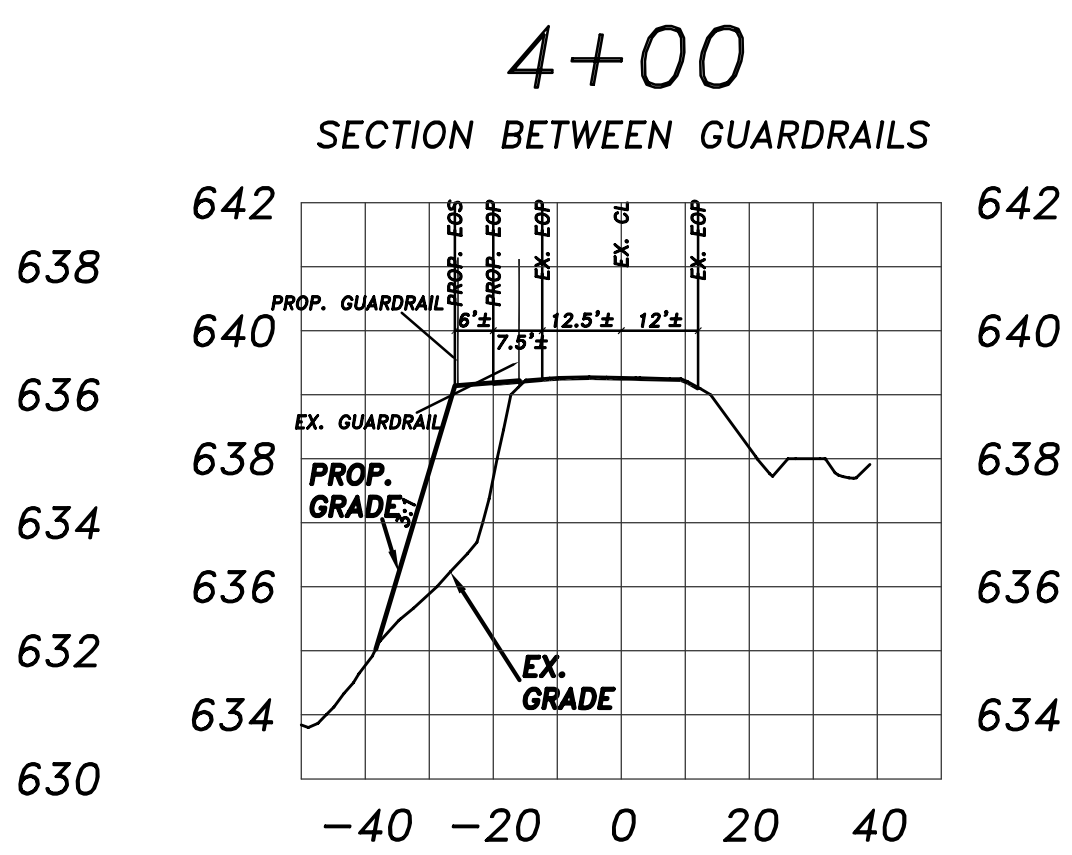
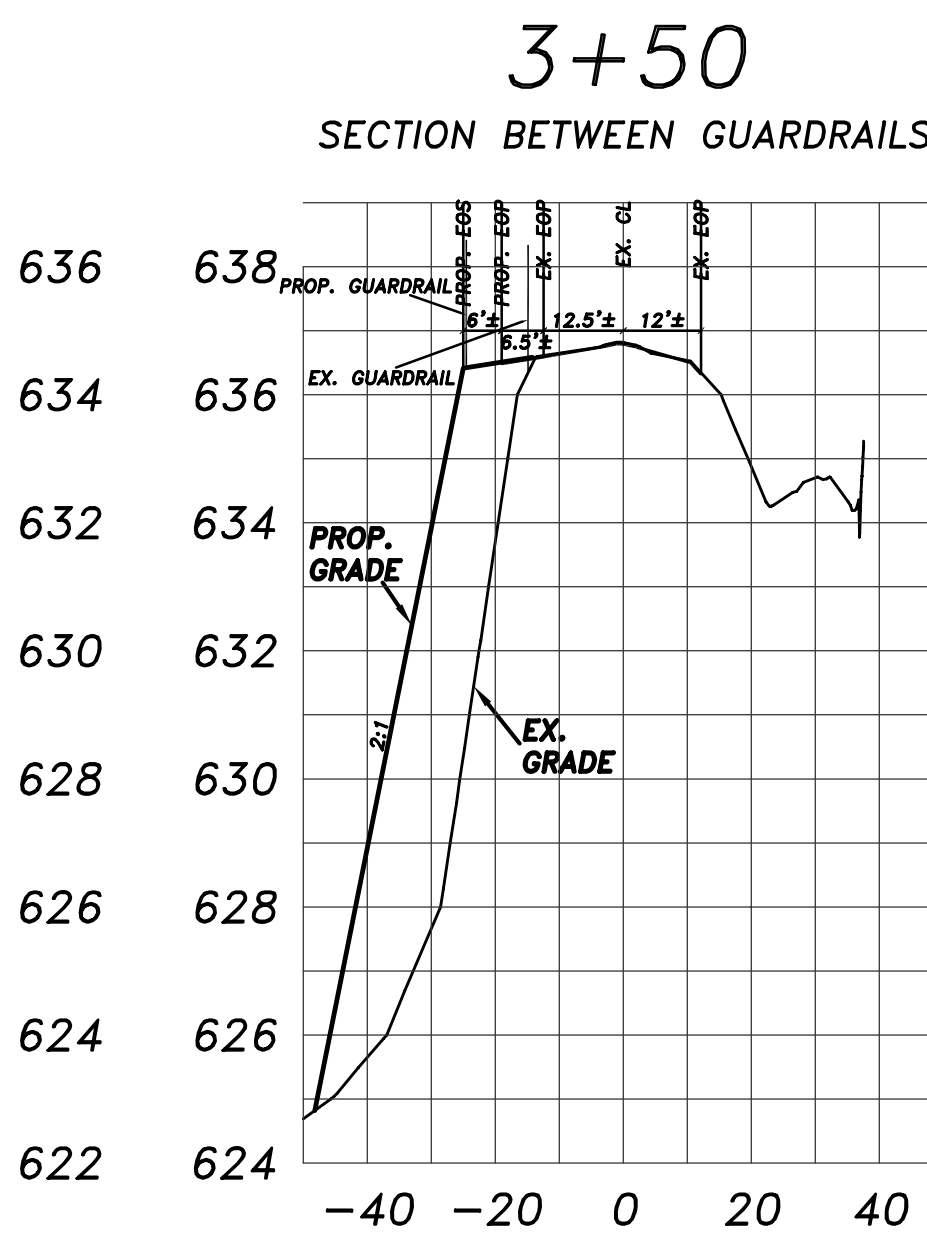
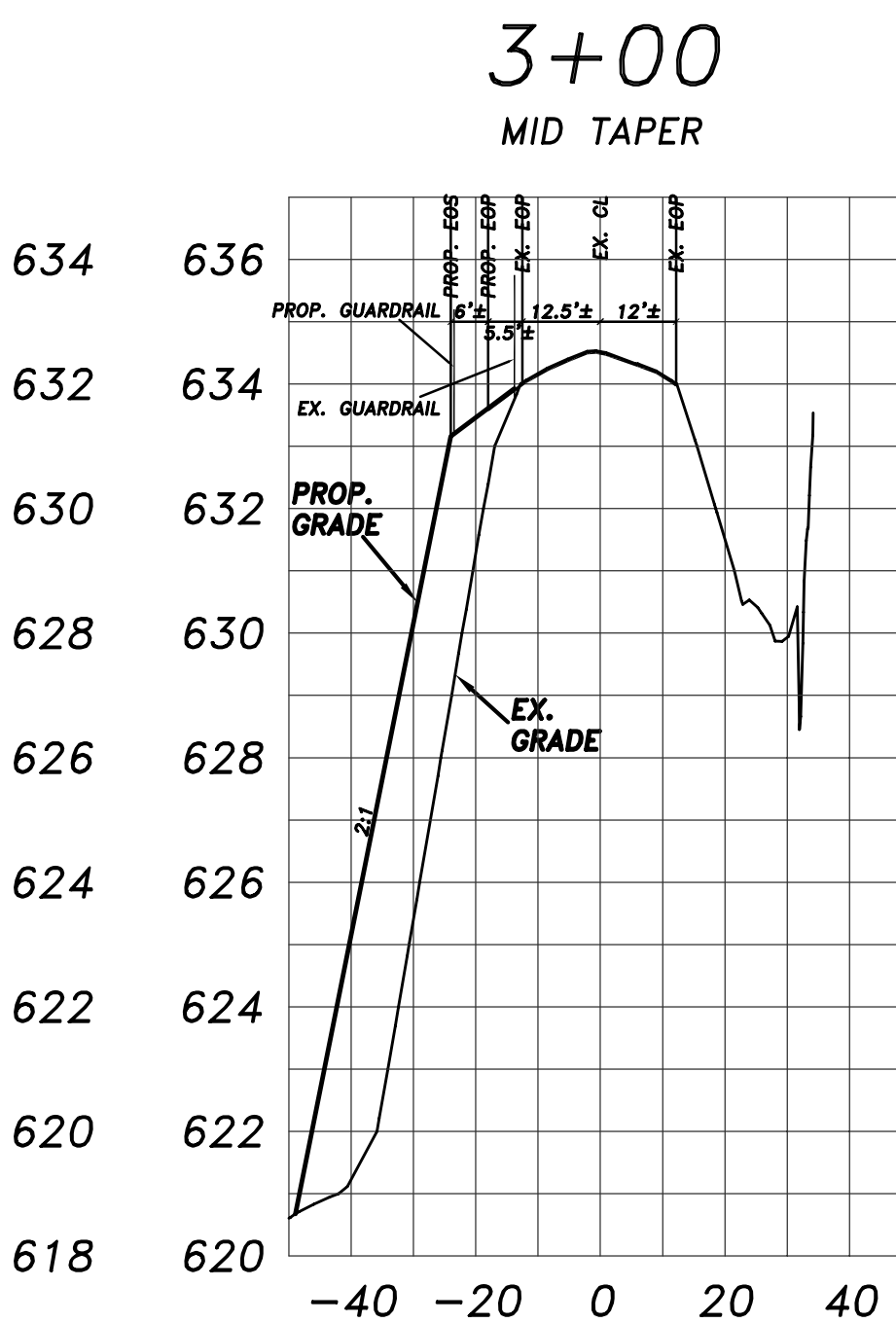
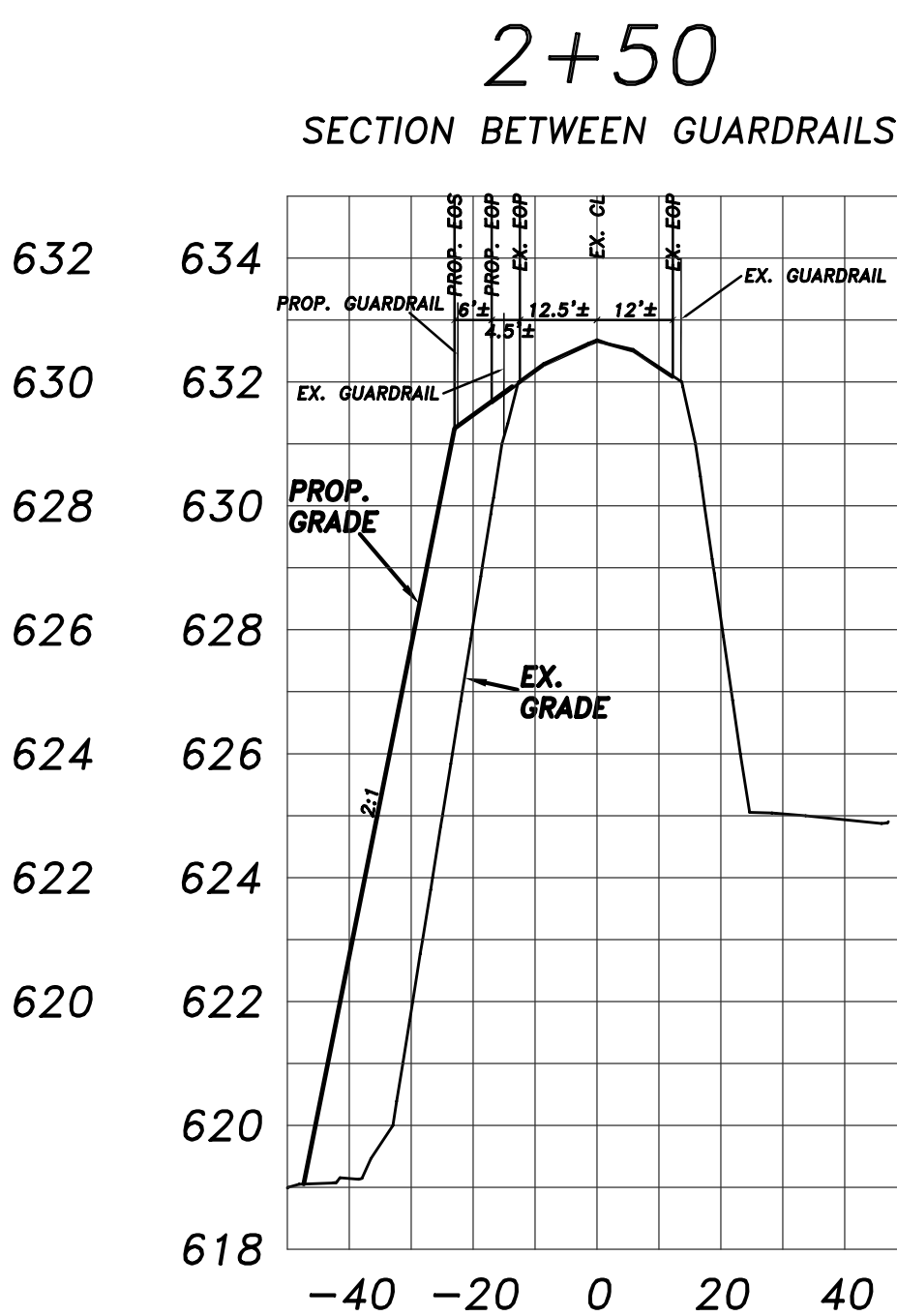
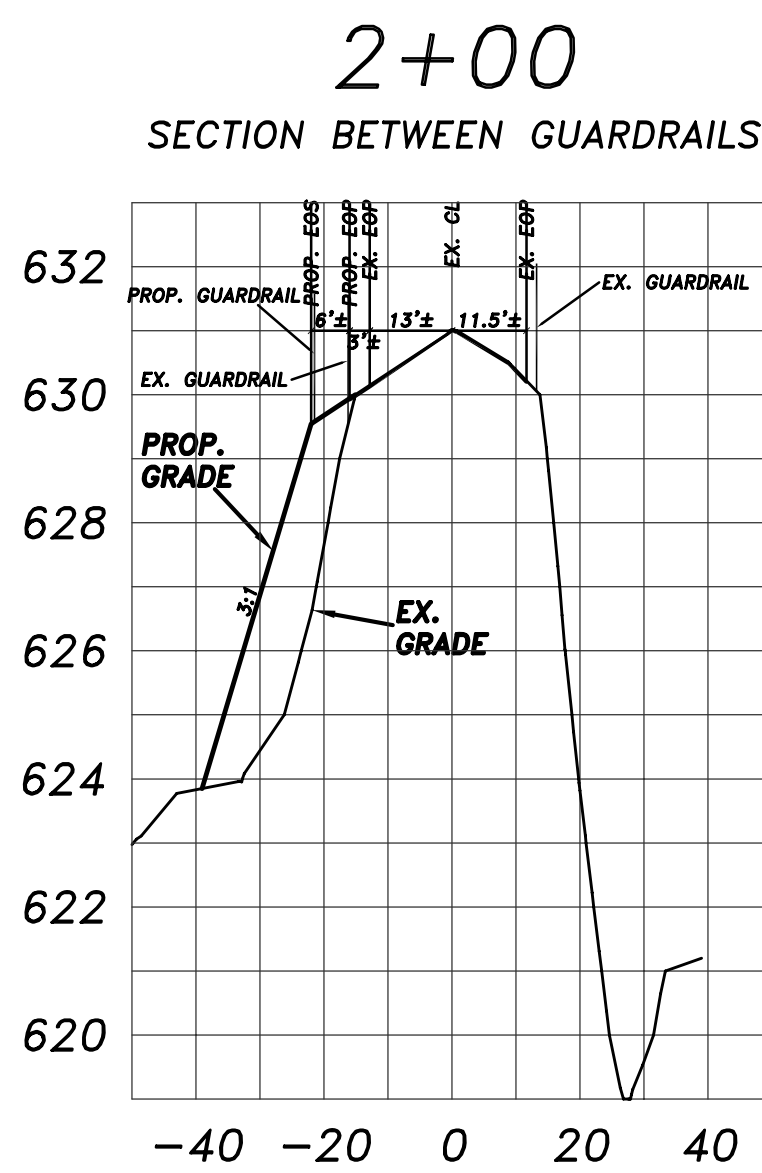
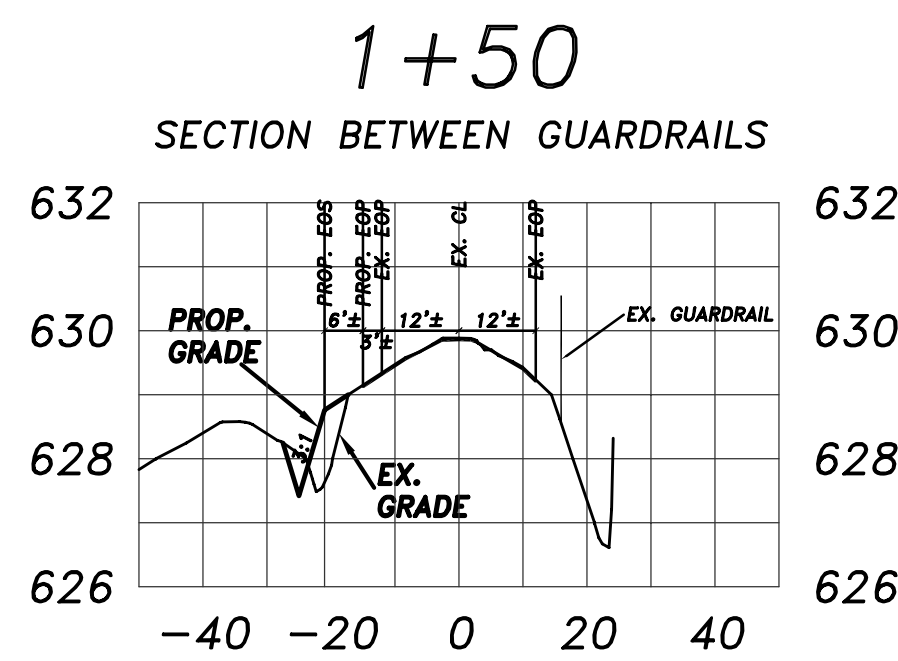
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IB Development LLC

The Woods Ph. I
 Residential Subdivision
 Town Of Weddington, Union County, NC
Roadway Plan & Profile
 Skipton Lane

RDD
 Project Engineer
 MAT/BWS
 Drawn By
 5/16/07
 Date Drawn
 199-002/Roadway
 Sht. Set / Subset
 199.002 ROAD P&P
 Dwg. Name
 ROAD P&P 12
 Layout:
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 No. Date
 No. Date
 No. 4 Date 10/25/07
 Issue Date 3/03/07

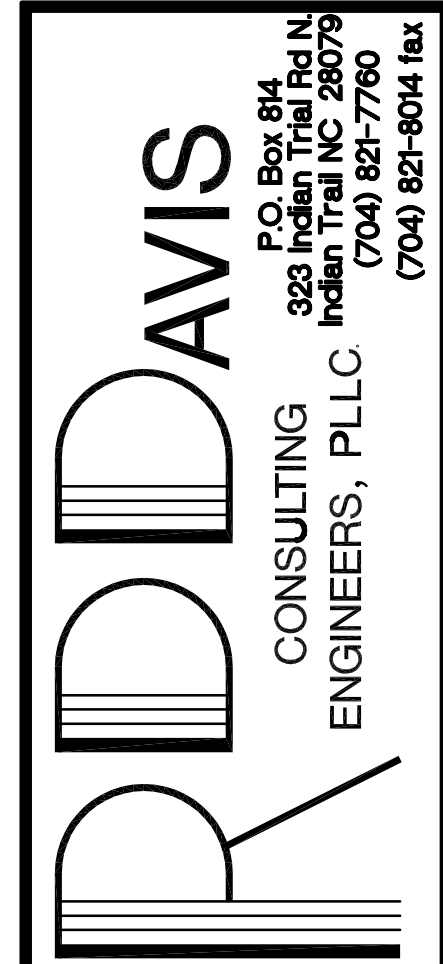
Project Number
 209.001
 Sheet 25 Of 28



NOTES:
1. PROPOSED PAVEMENT TO MATCH CROWN/SUPERELEVATION OF EXISTING PAVEMENT.
2. RELOCATE EXISTING GUARDRAIL AS NECESSARY.
3. PAVEMENT SCHEDULE:

1.5\"...SF9.5C OVERLAY
3\"...119.0C
8\"...B25.0C

Revisions:
Rev. #: 5 Date: 2/27/08
Rev. #: 6 Date: 3/20/08



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IB Development
LLC

The Woods Ph. I
Residential Subdivision
Town Of Weddington, Union County, NC
Turnlane
Detail

RDD Project Engineer	
MAT/BWS	
Drawn By	
5/16/07	
Date Drawn	
199-002/Roadway	
Sht. Set / Subset	
199.002Turn Lane	
Dwg. Name	
Turn Lane	
Layout:	
Horiz. Scale: 1" = 50'	
Vert. Scale: 1" = 4'	
Revisions	
No. 4	Date 10/29/07
No. 3	Date 9/18/07
No. 2	Date 8/10/07
No. 1	Date 7/25/07
Issue Date	

Project Number
209.001
Sheet 25A Of 28

[illegible]

SHEET 1 OF 1 840.16	ENGLISH STANDARD DRAWING FOR DROP INLET FRAME AND GRATE FOR USE WITH STD. DMS-S 840.14 AND 840.15	1-02 STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
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[illegible]

A large, empty rectangular area, likely a placeholder for a drawing or image.

1-02 STATE OF NORTH CAROLINA DIVISION OF HIGHWAYS RALEIGH, N. C.	1-02 STATE OF NORTH CAROLINA DIVISION OF HIGHWAYS RALEIGH, N. C.	<p>DETAIL SHOWING TYPES OF GRATES USE ACCORDING TO WATER FLOW.</p>		
ENGLISH STANDARD DRAWING FOR CONCRETE ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS 15" THRU 48" PIPE - 90° SKEW	ENGLISH STANDARD DRAWING FOR FRAMES, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN		<p>SECTION A-A</p>	<p>SECTION B-B</p>
ENGLISH STANDARD DRAWING FOR CONCRETE ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS 15" THRU 48" PIPE - 90° SKEW	ENGLISH STANDARD DRAWING FOR FRAMES, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN		<p>SECTION A-A</p>	<p>SECTION B-B</p>
SHEET 3 OF 3 838.01	SHEET 2 OF 2 840.03	<p>TYPE - F</p>	<p>TYPE G</p>	<p>SECTION A-A</p>

1-02 STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N. C.	ENGLISH STANDARD DRAWING FOR MANHOLE FRAME AND COVER
SHEET 1 OF 1 840.54	

1-02 NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

1-02 NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

**ENGLISH STANDARD DRAWING FOR
 CONCRETE DROP INLET
 12" THRU 30" PIPE**

1-02 NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

**ENGLISH STANDARD DRAWING FOR
 CONCRETE CATCH BASIN
 12" THRU 54" PIPE**

GENERAL NOTES:

USE CLASS "B" CONCRETE THROUGHOUT.

PROVIDE ALL DROP INLETS 20" x 48" IN DEPTH WITH STEPS 18" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 942.06.

OPTIONAL CONSTRUCTION - MONOLITHIC 20" x 24" OR #4 BAR INLETS AT 18" CENTERS AS DIRECTED BY THE ENGINEER.

USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.

IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, AD TO SLAB AS SHOWN ON STD. NO. 942.00.

CONSTRUCT WITH PIPE CROWN MATCHING.

INSTALL 2" MEHPHOLES AS DIRECTED BY THE ENGINEER.

INSTALL STEEL BRACKETS, OF A MINIMUM OF 1 CORUS POST OF NO. 7PM STEEL IN A 6" DIA. FANRIC BAR ON W/HP, AT EACH MEHP HOLE OR AS DIRECTED BY THE ENGINEER. CHAMFER ALL EXPOSED CORNERS 1".

DRAWINGS NOT TO SCALE.

DIMENSIONS AND QUANTITIES FOR DROP INLET (BASED ON MIN. HEIGHT, H)				DIMENSIONS OF BOX & PIPE				CORUS YARDS		DEDUCTIONS FOR ONE PIPE	
PIPE	SPAN	WIDTH	MIN. HEIGHT	D	A	B	H	PT.	MT.	C.M.	R.C.
12"	3'-0"	2'-0"	2'-0"	0.252	0.252	0.192		0.648	0.035	0.036	
18"	3'-0"	2'-3"	2'-3"	0.322	0.322	0.242		0.648	0.035	0.036	
24"	3'-0"	2'-6"	2'-6"	0.392	0.392	0.312		0.648	0.035	0.036	
30"	3'-0"	2'-9"	3'-0"	0.462	0.462	0.382		0.648	0.035	0.036	

1-02 STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N. C.	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>ENGLISH STANDARD DRAWING FOR DRAINAGE STRUCTURE STEPS</p> </div> <div style="width: 50%; text-align: right;"> <p>Drawn By <u>5/16/07</u></p> <p>Date Drawn _____</p> <p><u>199-002/Roadway</u></p> <p>Sht. Set / Subset _____</p> <p><u>199.002 RD Details</u></p> <p>Dwg. Name _____</p> <p><u>NCDDOT Details 1</u></p> <p>Layout: _____</p> </div> </div> <div style="margin-top: 10px;"> <p>Horiz. Scale: 1" = _____</p> <p>0 _____</p> <p>Vert. Scale: 1" = _____</p> <p>0 _____</p> </div> <div style="margin-top: 10px;"> <p>Revisions</p> <table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%;">No. _____</td><td style="width: 50%;">Date _____</td></tr> <tr><td>No. _____</td><td>Date _____</td></tr> <tr><td>No. _____</td><td>Date _____</td></tr> <tr><td>No. _____</td><td>Date _____</td></tr> </table> <p>Issue Date <u>3/03/07</u></p> </div>	No. _____	Date _____	No. _____	Date _____	No. _____	Date _____	No. _____	Date _____
No. _____	Date _____								
No. _____	Date _____								
No. _____	Date _____								
No. _____	Date _____								
SHEET 1 OF 1 <div style="border: 1px solid black; padding: 2px; display: inline-block;"> 840.66 </div>	<div style="border: 1px solid black; padding: 5px;"> <p>Project Number</p> <p style="text-align: center; font-size: 1.2em;">209.001</p> </div> <div style="margin-top: 10px; display: flex; justify-content: space-around;"> Sheet Of </div> <div style="display: flex; justify-content: space-around; font-size: 2em; font-weight: bold;"> 26 28 </div>								

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Project	<i>The Woods Ph. I</i> Residential Subdivision Town Of Weddington, Union County, NC
Sheet Title	<i>Roadway & Drainage Details</i>

STATE OF
NEW YORK
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
ALBANY, N.Y.

STATE OF
NEW YORK
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
ALBANY, N.Y.

ENGLISH STANDARD DRAWING FOR
CONCRETE SIDEWALK

NOTES:

CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.

PLACE A GROOVE JOINT 1" DEEP WITH $\frac{1}{8}$ " RADII IN THE CONCRETE SIDEWALK AT 5' INTERVALS.

ONE $\frac{1}{2}$ " EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A $\frac{1}{2}$ " EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.

SEE STD. DWG. 848.05 FOR WHEELCHAIR RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.

PLAN VIEW

$\frac{1}{8}$ " RAD

SURFACE OF SIDEWALK

JOINT SEALER

$\frac{1}{2}$ " JOINT WIDTH

JOINT FILLER

T = SIDEWALK THICKNESS

TRANSVERSE EXPANSION JOINT IN SIDEWALK

$\frac{1}{2}$ " EXPANSION JOINT

BUILDING, WALL, ETC.

PROPOSED CONCRETE SIDEWALK

PROP. C&G

CONC. PAVEMENT

FILL $\frac{3}{8}$ " WIDE x 1" DEEP GROOVED OR SAW JOINT WITH JOINT SEALING COMPOUND

$\frac{1}{8}$ " RAD

$\frac{1}{8}$ " RAD

$\frac{1}{2}$ " EXPANSION JOINT

CROSSWALK

50'-0" INTERVALS

5'-0" INTERVALS

5'-0" INTERVALS

1 1/2" DEEP FULL-DEPTH GROOVE WITH 1/8" RADII

$\frac{1}{8}$ " EXPANSION JOINT

(SEE STD. 848.01)

CROSSWALK

5'-0" INTERVALS

5'-0" INTERVALS

5'-0" INTERVALS

$\frac{1}{8}$ " EXPANSION JOINT

(SEE STD. 848.01)

DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK

SHEET 1 OF 1
848.01

SHEET 1 OF 1
848.01

[illegible][illegible]

8480DS

STATE OF ILL.
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
HALES, ILL.

ENGLISH DETAIL DRAWING FOR
WHEELCHAIR RAMP
CURB CUT

STATE OF ILL.
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS

8480DS

SEE NOTE 4

SEE NOTE 12

SEE NOTE 3

6' MIN. CROSSWALK

4'-0" (TYP)

SEE NOTE 12

SEE NOTE 4

6' MIN. CROSSWALK

4'-0" (TYP)

DETAIL SHOWING TYPICAL LOCATION OF WHEELCHAIR RAMPS, PEDESTRIAN CROSSWALKS AND STOP LINED FOR TEE INTERSECTIONS

DETAIL SHOWING TYPICAL LOCATION OF WHEELCHAIR RAMPS, PEDESTRIAN CROSSWALKS AND STOP LINES

ROADWAY PLAN SYMBOL

OCFR

CURB CUT FOR FUTURE RAMP

ROADWAY PLAN SYMBOL

WCR

FOR PROPOSED WHEELCHAIR RAMP

PROPOSED WHEELCHAIR RAMP

PROPOSED ON FUTURE SIDEWALK

ALLOWABLE LOCATIONS

DUAL RAMP RAMP:..... ANY

SHEET 3 OF 4

8480DS

SHEET 3 OF 4

8480DS

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C. 27601	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C. 27601	<p>NOTES:</p> <ol style="list-style-type: none"> 1. CONSTRUCT THE WALKING SURFACE WITH SLIP RESISTANT AND A 70% CONTRASTING COLOR TO THE SIDEWALK. 2. CROSSWALK WIDTHS AND CONFIGURATION VARY BUT MUST CONFORM TO TRAFFIC DESIGN STANDARDS. 3. NORTH CAROLINA GENERAL STATUTE 136-44.14 REQUIRES THAT ALL STREET CURBS BEING CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PURPOSES SHALL BE CONSTRUCTED WITH A 12" MINIMUM CURB HEIGHT. ALL CURBS OR ALIGNED FOR ANY REASON AFTER SEPTEMBER 1, 1973 SHALL PROVIDE WHEELCHAIR RAMPS FOR THE PHYSICALLY DISABLED AT ALL INTERSECTIONS WHERE BOTH CURBS AND GUTTER AND SIDEWALKS ARE PROVIDED AND AT OTHER POINTS OF SIDEWALK FLOW. 4. IN ADDITION, SECTION 209 OF THE 1973 FEDERAL AID TO HIGHWAY SAFETY ACT REQUIRES PROVISION OF CURB RAMPS ON ANY CURB CONSTRUCTION AFTER JULY 1, 1976 WHERE A SIDEWALK IS PROPOSED INITIALLY OR IS PLANNED FOR A FUTURE DATE. 5. THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990 EXTENDS TO INDIVIDUALS WITH DISABILITIES. COMPREHENSIVE CIVIL RIGHTS PROVISIONS SIMILAR TO THOSE PROHIBITED TO PRESSING ON THE BASIS OF RACE, SEX, COLOR, RELIGION AND NATIONAL ORIGIN UNDER THE CIVIL RIGHTS ACT OF 1964. THESE CURB RAMPS HAVE BEEN DESIGNED TO COMPLY WITH THE CURRENT ADA STANDARDS. 6. PROVIDE WHEELCHAIR RAMPS AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMPS AS DIRECTED BY THE ENGINEER WHERE EXISTING TIOLE, POLES, FIRE HYDRANTS, DRAIN INLETS, ETC. AFFECT PLACEMENT. WHERE TWO RAMPS ARE INSTALLED, THE RAMP WITH LESS THAN 2 FEET OF FULL HEIGHT CURB BETWEEN THE RAMPS. PLACE DUAL RAMPS AS NEAR PERPENDICULAR TO THE TRAVEL LANE BEING CROSSWALK AS POSSIBLE. 7. PAY FOR ALL VARIABLE DEPTH CONCRETE USED FOR CONSTRUCTION OF WHEELCHAIR RAMPS AS CONCRETE WHEELCHAIR RAMPS. (SQ. YDS.) 8. PAY FOR ALL DEEPRESSED CURBS AT WHEELCHAIR RAMPS AS THE TYPE CURB AND GUTTER USED ADJACENT TO DEPRESSED CURB. (LN. FT.) 9. SUDN PRICES AND PAYMENTS IS CONSIDERED FULL COMPENSATION FOR ALL MATERIALS, LABOR, EQUIPMENT, TOOLS AND INCIDENTALS NECESSARY TO SATISFACTORILY COMPLETE THE WORK. 10. DO NOT EXCEED 0.08 (12:1) SLOPE ON THE WHEELCHAIR RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET. 11. CONSTRUCT WHEELCHAIR RAMPS 4' (3'-4") OR GREATER FOR DUAL RAMPS. 12. USE CLASS "B" CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE. 13. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STD. DWG. 84-01. 14. PLACE THE INSIDE DEPRESSION CROSSWALK LINES NO CLOSER IN THE INTERSECTION BY BISECTING THE INTERSECTION RADI, WITH ALL ALIGNMENT OF A 4' CLEAR ZONE IN THE VERTICAL TRAVELWAY WHEN ONE RAMP IS INSTALLED. (SEE NOTE 17) 15. COORDINATE THE CURB CUT AND THE PEDESTRIAN CROSSWALK LINES. THE FLOOR OF THE WHEELCHAIR RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES. PLACE DIAGONAL RAMPS WITH FLARED SIDES NO 24" OF FULL HEIGHT CURB FALLS WITHIN THE SIDEWALK MARKINGS ON EITHER SIDE OF THE SIDEWALK. 16. CONSTRUCT THE PEDESTRIAN CROSSWALK A MINIMUM OF 6 FEET. A CROSSWALK WIDTH OF 10 FEET OR MORE IS DESIRABLE. 17. USE STOP LINES, NORMALLY PERPENDICULAR TO THE LANE LINES, WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER LEGAL REQUIREMENT. AN UNUSUAL APPROACH SHIELD MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTING ROADWAY. 18. TERMINATE PARKING A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK. 19. PLACE ALL PAYMENT MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF ROADWAY TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD. 	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C. 27601
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PLAN VIEW

L = 10 FEET IN LONGITUDINAL SECTION

END 2'-0" CURB AND GUTTER

FACE OF CURB

BACK OF CURB

2'-0" VALLEY GUTTER

LIP OF GUTTER/EXP

SECTION A-A

SECTION B-B

SECTION C-C

NOTES:

1. TRANSITION IS NOT TO BE LOCATED WITHIN THE CURB RADIUS.

NOT TO SCALE

<p>CITY OF CHARLOTTE LAND DEVELOPMENT STAFF INCLUDES CHARLOTTE #71</p>	<p align="center">CURB TRANSITION</p> <p align="center">2" 6" CURB AND GUTTER TO 2'-0" VALLEY GUTTER</p> <p align="right"> <p>CITY OF CHARLOTTE LAND DEVELOPMENT STAFF INCLUDES CHARLOTTE #71</p> </p>
---	---

GENERAL NOTES:

1. SEE NCDOT STANDARD 840.01 FOR DETAILS BASED ON PIPE SIZE FOR CROSS SECTION.

NOTES:

1. WHERE A DEAD-END STREET REQUIRES A CURB AND GUTTER TRANSITION, THE TRANSITION SHALL BE LOCATED WITHIN THE CURB RADIUS.

1. CONSTRUCT TWO SINGLE BASIN NCDOT STANDARD WITH DOUBLE INTERIOR WALL.

2. ALL CONCRETE TO BE 3000 PSI (3) COMPRESSIVE STRENGTH.

3. BASE SLAB SHALL BE MONOLITHIC.

4. SEE STANDARD NUMBERS 10.29 AND 10.30 FOR PLACEMENT OF CATCH BASIN.

5. RCP PIPE SECTION D2 CONNECTING CATCH BASINS SHALL HAVE A MINIMUM DIAMETER SAME AS OF OUTLET PIPE D2.

6. ALL REINFORCING STEEL SHOWN ON NCDOT STANDARDS IS TO BE PROVIDED AS CONTINUOUS MEMBERS. (NO LAPS, USED AS A SINGLE CONTINUOUS BAR IN THE SLAB)

7. REINFORCING STEEL SHALL BE PLACED BEHIND THE GUARDRAILS.

8. SIGNS ARE TO BE PLACED BEHIND THE GUARDRAILS.

9. THE CENTERLINE LOCATION AND ADDITIONAL S.D. IF O.C. (MINIMUM OF 3 SIGNS, MAXIMUM OF 5 SIGNS).

PLAN

SECTION Y-Y 15" TO 24"

PLAN

SECTION J-J 30" TO 36" PIPE

NOT TO SCALE

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE #71

BRICK DOUBLE CATCH BASIN
15" THRU 36" PIPE

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE #71

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE #71

Curb and Gutter

1'-6" MOUNTABLE CURB AND GUTTER

TO BE USED IN MEDIANS ONLY WHEN SPECIFIED BY THE APPROPRIATE CITY ENGINEERING DEPT.

STANDARD 2'-6" CURB AND GUTTER

TRANSVERSE EXPANSION JOINT

2'-0" VALLEY GUTTER

NOTES:

- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. FOR VALLEY GUTTER, A 10-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE CITY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
- ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS MUST MATCH LOCATIONS WITH JOINTS IN ABUTTING SIDEWALK.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
- CURB SHALL BE DEPRESSSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
- TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

PLAN

6" OR 10"

1'-8" APPROX.

12'-6" MAX.

9/16" DIA. LINE BOLT

4 #4 REBAR

BORN TYPE GUARD RAIL

MAX. 12'-6" CENTER TO ORDER OF POSTS

TYPICAL ELEVATION

DETAIL OF BOLT

DETAIL OF NUT

SECTION THRU RAIL ELEMENT

DEAD-END STREET BARRICADE

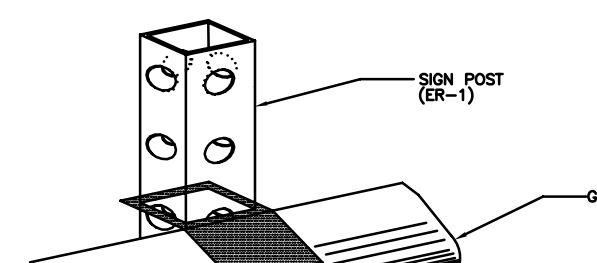
NOTE:
THIS DETAIL IS NOT A QUADRANTAL DETAIL FOR ROUNDING QUADRANTS; SEE NC DOT STANDARD DRAWINGS REG-271--REG-283.

**CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS**

INCLUDES CHARLOTTE RT7

NOT TO SCALE

SHEET NO. 100
50.07A

<p>SHALL BE INSTALLED AT THE END OF ALL DEAD-END STREETS, EXCEPT C/A--DE-SC STREETS WITH A PERMANENT TURN-AROUND.</p> <p>GUARD RAIL SHALL CONSIST OF TWO(2) 12"-6" SECTIONS OR ONE(1) 25" SECTION, THREE (3) STEEL SECTIONS, FOR STREETS GREATER THAN 25' IN WIDTH THE GUARD RAIL SHALL SPAN THE</p> <p>RAIL ELEMENTS FABRICATED TO DEVELOP CONTINUOUS BEAM STRENGTH AND INSTALLED AS SHOWN.</p> <p>RAIL SHALL BE 12 GAUGE U.S. STANDARD.</p> <p>PLATES, SHALL HAVE A MINIMUM ULTIMATE TENSILE STRENGTH OF 80,000 LBS.</p> <p>SHALL BE INTERCHANGEABLE WITH SIMILAR PARTS REGARDLESS OF THE SOURCE OF MANUFACTURE.</p> <p>ITS SHALL BE PUNCHED OR DRILLED, BURNING WILL NOT BE PERMITTED.</p> <p>POSTS, AND ALL OTHER METAL PARTS SHALL BE GALVANIZED TO CONFORM TO THE REQUIREMENTS OF 1.5 OUNCES PER SQUARE FOOT OF THE CURRENT SPECIFICATIONS FOR ZINC-COATED (GALVANIZED) IRON, AND LENGTHS, IN ACCORDANCE WITH ASTM 123A.</p> <p>AS DETERMINED FROM THE REQUIRED SAMPLES IS LESS THAN TWO (2) OUNCES OF SPECTER PER SQUARE FOOT, THE FINISHED SHEETS SHALL BE OF FIRST CLASS COMMERCIAL QUALITY, FREE FROM INJURIOUS DEFECTS, INCLUDING SPOTS.</p> <p>REQUIRED TO DETERMINE THAT THE MATERIAL, DIMENSIONS, AND WORKMANSHIP ARE IN ACCORDANCE WITH THE SPECIFICATIONS.</p> <p>REQUIRES GUARD RAIL, END OF ROADWAY MARKER SIGNS SHALL ALSO BE REQUIRED.</p> <p>(R-1).</p>	
NOT TO SCALE	NOT TO SCALE
<p>DEAD END STREET BARRICADE GENERAL NOTES</p>	<p>END OF ROADWAY MARKER (ER-1) GUARD RAIL CLAMP INSTALLATION</p>
<p>50.07B</p>	<p>50.08B</p>

END OF ROADWAY MARKER (ER-1)

GENERAL NOTES:

1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
2. TYPE OF PIPE TO BE USED IS 1-5/8" MAX. O.D. BLACK IRON, LOW CARBON PIPE.
3. ALL JOINTS TO HAVE A 1/2" FLLET WELD AT ALL JOINTS.
4. AFTER INSTALLATION PAINT ASSEMBLY WITH BLACK ALL WEATHER ENAMEL.
5. TO BE USED AS REQUIRED BY THE APPROPRIATE CITY/COUNTY ENGINEERING DEPT.

APPROVED DATE _____

A circular professional engineer seal for the State of North Carolina. The outer ring contains the text "NORTH CAROLINA" at the top and "BRADLEY W. SMITH" at the bottom. Inside this, the word "PROFESSIONAL" is at the top and "ENGINEER" is at the bottom. The center of the seal contains the word "SEAL" above the license number "26460".

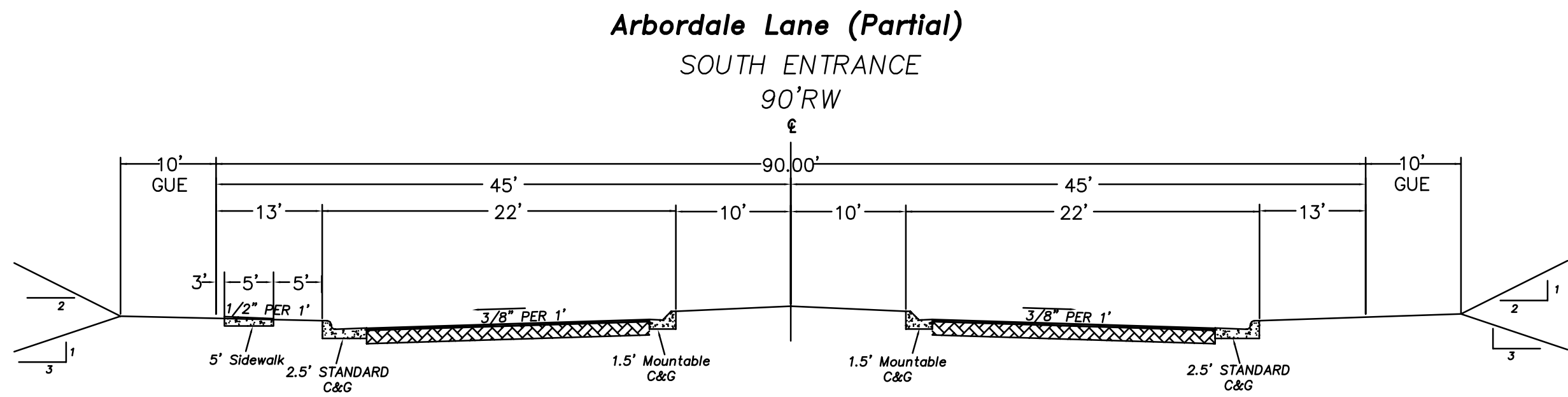
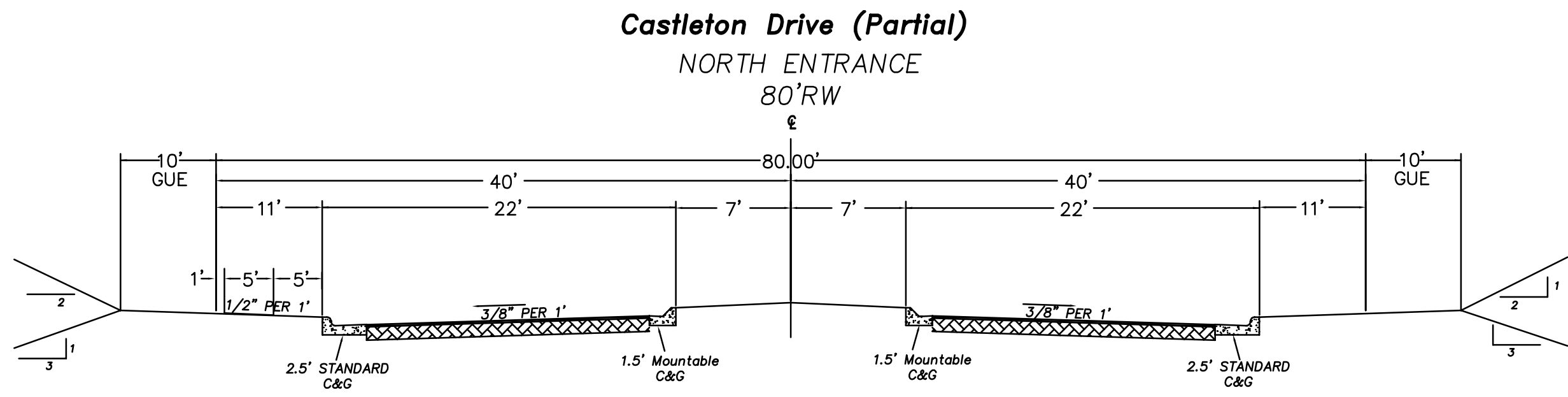
RDDAVIS
CONSULTING
ENGINEERS, PLLC
P.O. Box 894
323 Parkside Plaza N
Indian Trail NC 28079
(704) 821-7760
(704) 821-5014 fax

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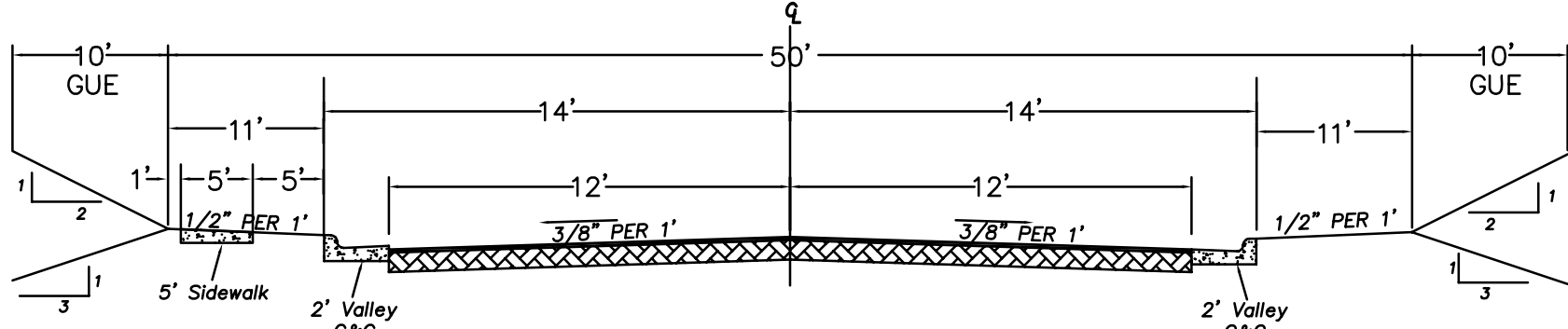
*IB Development
LLC*

Project	<p><i>The Woods Ph. I</i> <i>Residential Subdivision</i> Town Of Weddington, Union County, NC</p>
Sheet Title	<p><i>Roadway & Drainage</i> <i>Details</i></p>

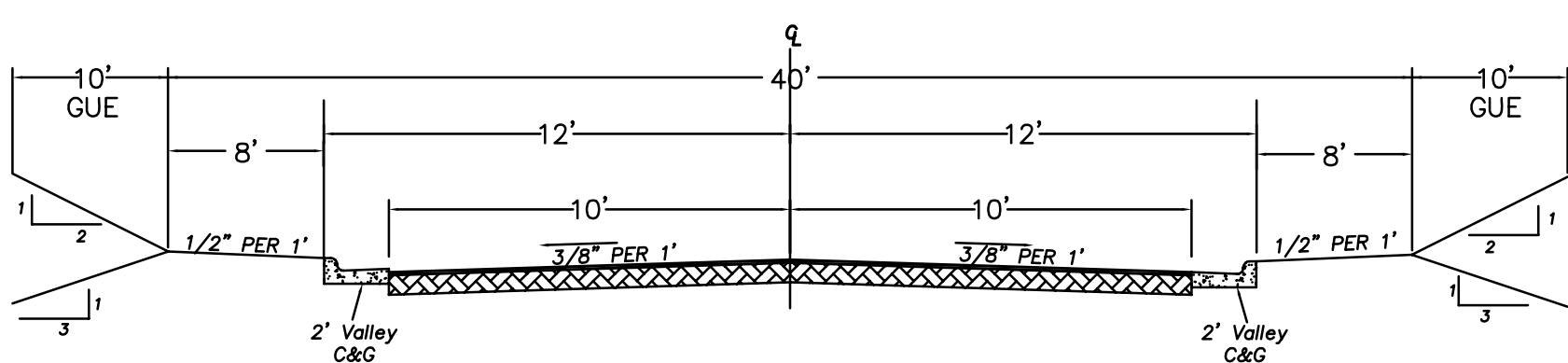
RDD Project Engineer	
MAT/BWS Drawn By <u>5/16/07</u> Date Drawn <u>199-002/Roadway</u> Sht. Set / Subset <u>199-002 RD Details</u> Dwg. Name <u>NCDOT Details 2</u> Layout: Horiz. Scale: 1" = _____ 0 _____ Vert. Scale: 1" = _____ 0 _____ Revisions No. _____ Date _____ No. _____ Date _____ No. _____ Date _____ No. _____ Date _____ Issue Date <u>3/03/07</u>	
Project Number <div style="text-align: center; font-size: 1.2em;">209.001</div>	
Sheet <div style="text-align: center; font-size: 1.5em;">27</div>	Of <div style="text-align: center; font-size: 1.5em;">28</div>



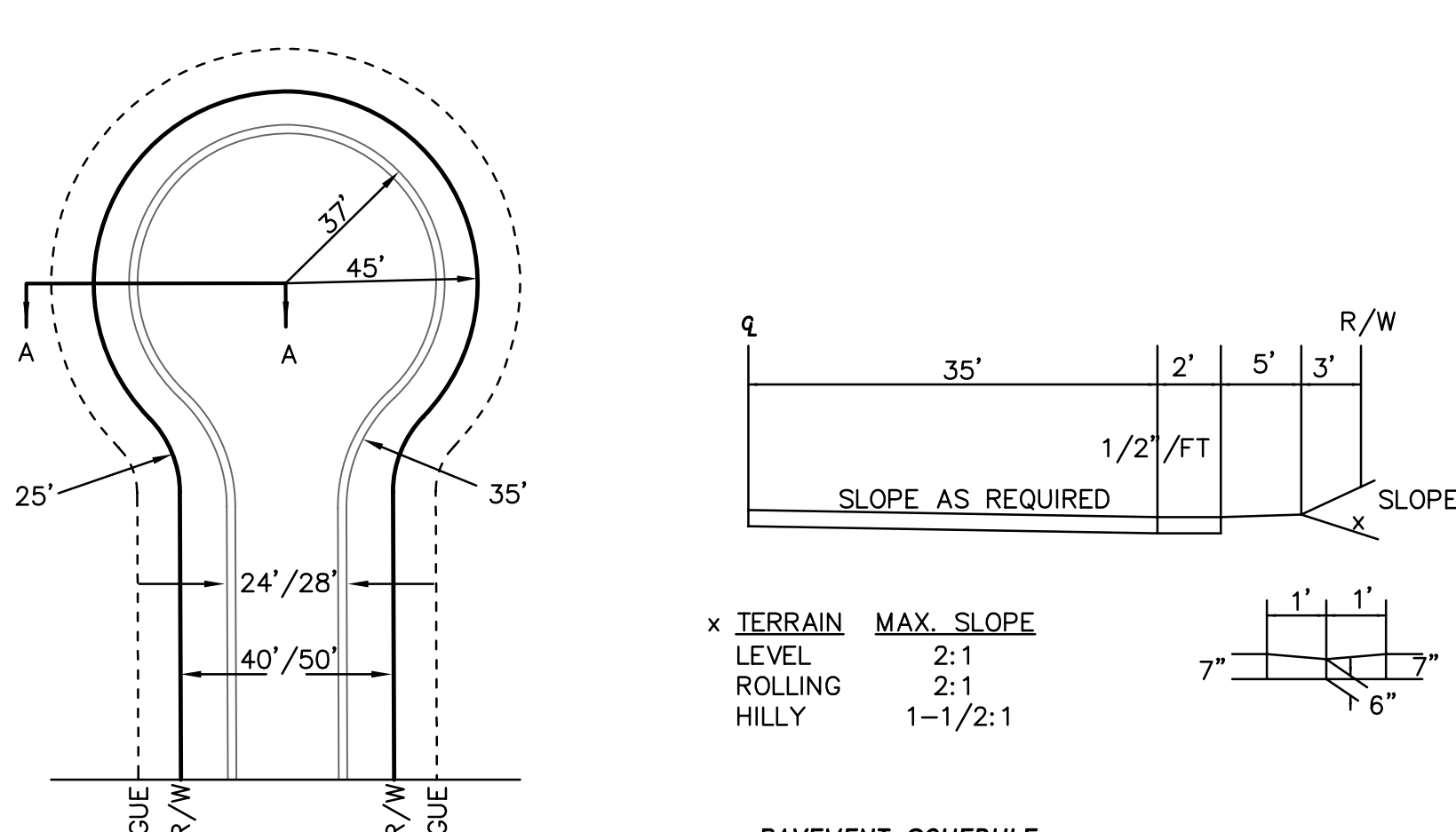
Castleton Drive (Partial)
Arbordale Lane (Partial)
Kilchurn Lane
Spynie Drive
50'RW-28'BB



Eynsford Court
Lynford Court
Morton Drive
Skilton Lane
40'RW-24'BB



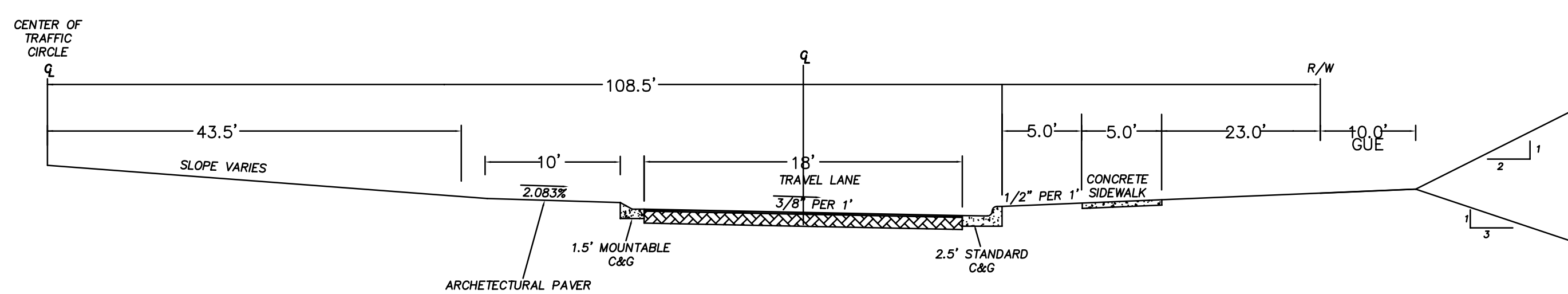
CUL-DE-SAC



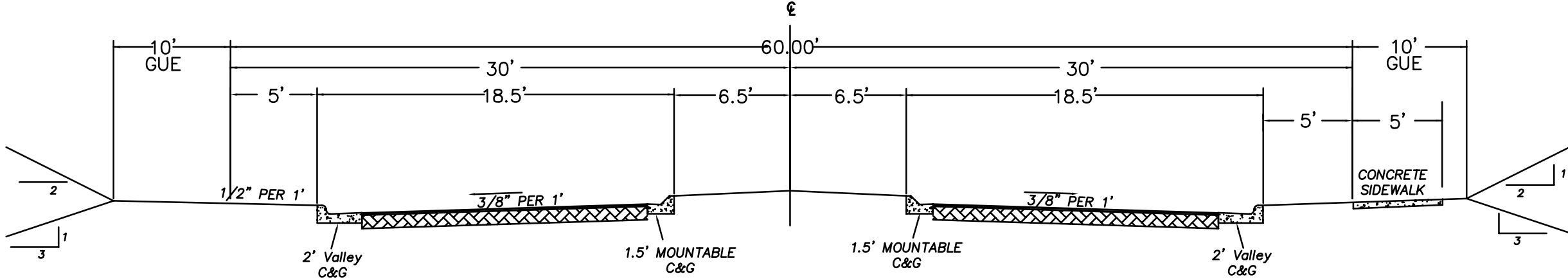
x TERRAIN MAX. SLOPE
LEVEL 2:1
ROLLING 2:1
HILLY 1-1/2:1

PAVEMENT SCHEDULE:
8" ABC
1.5" SF9.5A

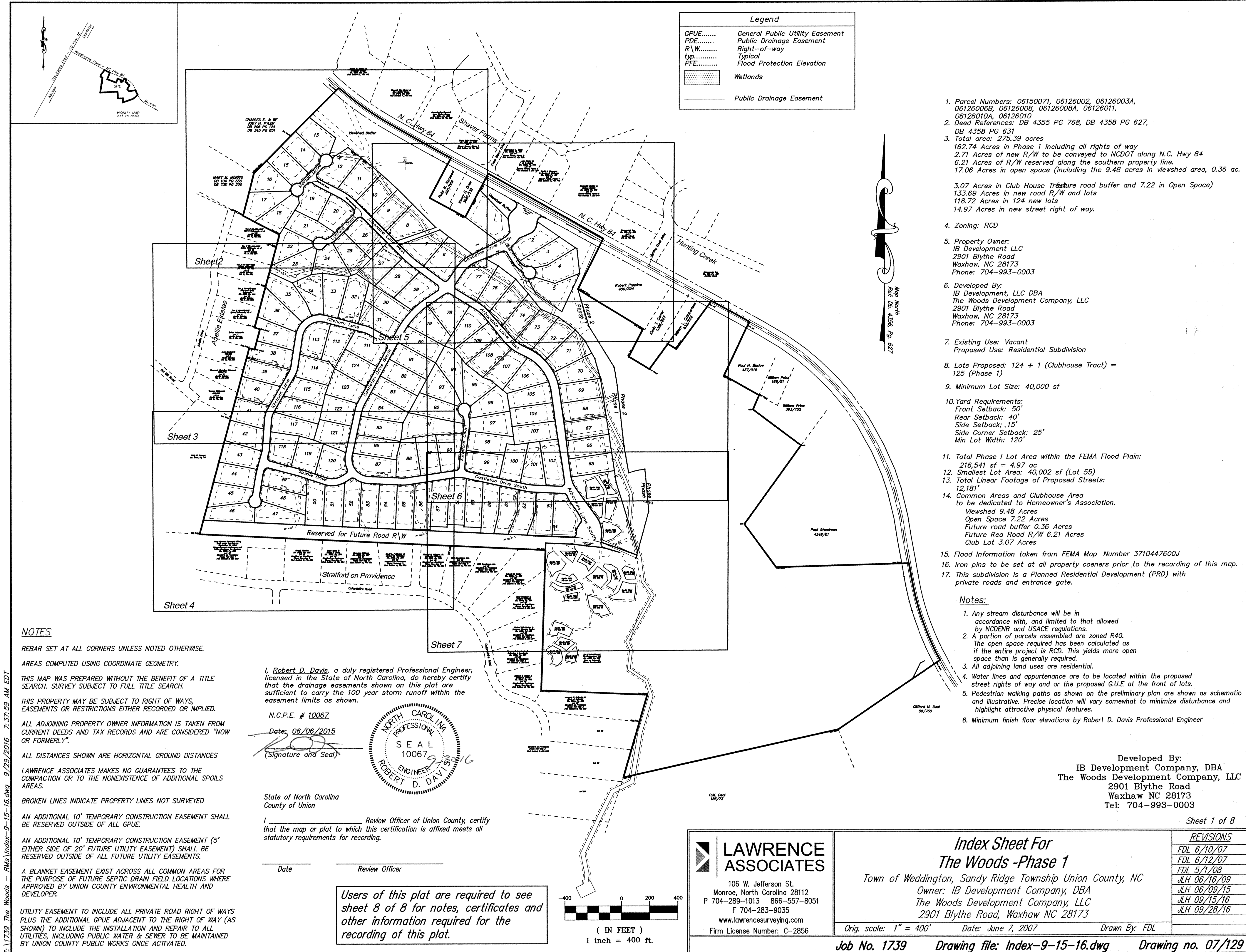
ROUNDBOUT
108.5'RW-10'BB(24'BB)



Arbordale Lane (Partial)
60'RW-18.5'BB



STORM DRAIN SCHEDULE																													
FROM	TO	AREA	Q (CFS)	LENGTH	SLOPE	US INV	DS INV	DIAM (IN)	STATION	RIM	REMARKS	FROM	TO	AREA	Q (CFS)	LENGTH	SLOPE	US INV	DS INV	DIAM (IN)	STATION	RIM	REMARKS						
CB04B	CB04A	0.16	0.56	25.00	0.80	670.00	669.80	15.00	6+05	674.13		DI66	CB67	0.81	2.85	32.00	2.50	664.00	663.20	15.00			668.00						
CB04A	CB04	0.76	2.67	134.00	0.67	669.60	668.70	15.00	6+05	674.13		CB67	CB68	0.98	3.44	131.00	1.91	663.00	660.50	15.00	4+78	667.25							
CB04	CB05	1.80	6.33	136.00	3.90	668.50	663.20	15.00	4+72	672.71		CB68	CB69	1.84	6.47	26.00	1.15	660.30	660.00	15.00	3+48	664.59							
CB05	CB05A	2.00	7.03	108.00	7.22	663.00	655.20	15.00	3+35	667.40		CB69	MH70	2.17	7.63	216.00	9.17	659.80	640.00	15.00	3+48	664.59							
CB05A	CB07	2.22	7.80	98.00	8.47	655.00	646.70	15.00	2+21	659.11		MH70	FES71	2.17	7.63	49.00	0.82	638.40	638.00	18.00		646.00							
DI06	CB07	0.96	3.37	45.00	1.78	647.50	646.70	15.00		651.00		CB72	CB73	0.20	0.70	25.00	0.80	672.20	672.00	15.00	16+69	676.40							
CB07	CB08	3.45	12.13	25.00	1.80	646.45	646.00	18.00	1+22	651.04		CB73	CB74	0.53	1.86	103.00	3.50	671.80	668.20	15.00	16+69	676.40							
CB08	CB09	3.89	13.67	111.00	4.23	645.50	640.80	24.00	1+22	651.04		CB74	CB75	1.08	3.80	168.00	0.89	668.00	666.50	15.00	17+72	672.37							
CB09	CB10	4.37	15.36	53.00	1.89	640.80	639.80	24.00	0+10	645.20		CB75	CB76	1.63	5.73	25.00	1.20	666.30	666.00	15.00	19+40	670.52							
CB10	CB14	4.87	17.12	135.00	4.40	639.60	633.66	24.00	0+17	645.00		CB76	MH78	1.77	6.22	71.00	9.51	665.00	658.25	15.00	19+40	670.52							
CB11	CB12	0.70	2.46	62.00	2.90	640.50	638.70	15.00	1+38	644.58		DCB77	MH78	0.46	1.62	72.00	9.38	665.00	658.25	15.00		668.88							
CB12	CB13	1.28	4.50	90.00	0.89	638.50	637.70	15.00	0+16	643.20		MH78	MH79	2.23	7.84	183.00	9.02	658.00	641.50	15.00		668.55							
CB13	CB14	1.49	5.24	67.00	2.39	637.50	635.90	15.00	2+68	642.22		MH79	FES80	2.23	7.84	20.00	2.00	638.40	638.00	18.00		647.00							
CB14	CB15	6.62	23.27	76.00	1.92	633.66	632.20	24.00	7+81	640.69		STCB81A	MH81B	3.42	9.99	46.00	1.09	676.80	676.30	18.00		680.99							
CB15	CB15A	6.71	23.59	32.00	1.25	632.00	631.60	24.00	7+08	637.20		MH81B	DI81C	3.42	9.98	72.00	0.76	676.05	675.50	24.00		682.50							
CB15A	MH15B	6.80	23.90	80.00	6.38	631.10	626.00	30.00	7+06	637.20		DI81 C	CB81D	4.36	13.29	160.00	0.69	675.30	674.20	24.00		680.50							
MH15B	FES16	6.80	23.90	42.00	1.19	622.50	622.00	30.00		632.00		CB81D	CB83	4.60	14.13	155.00	2.94	674.00	669.45	24.00	13+12	678.80							
DI17	DI18	0.83	2.92	159.00	0.63	656.00	655.00	15.00		660.50		CB82	CB83	0.25	0.88	25.00	2.80	669.90	669.20	15.00	11+57	673.84							
DI18	DI19	2.09	7.35	178.00	0.98	654.75	653.00	18.00		659.61		CB83	CB84	5.92	18.77	138.00	3.12	669.00	664.70	24.00	11+57	673.84							
DI19	CB21	3.10	10.90	272.00	9.49	652.80	627.00	18.00		656.41		STCB84A	DI84B	5.41	15.80	153.00	2.16	674.00	670.70	24.00		678.04							
CB20	CB21	0.69	2.43	128.00	1.56	629.00	627.00	15.00	6+87	632.78		DI84B	CB84	6.45	19.46	168.00	3.45	670.50	664.70	24.00		675.50							
CB21	DCB25	4.40	15.47	92.00	0.49	626.25	625.80	24.00	5+64	631.47		CB84	DCB85	12.70	39.39	140.00	2.50	663.70	660.20	36.00	10+15	669.60							
DI22	DCB25	1.08	3.80	23.00	6.30	628.00	626.55	15.00		632.50		DCB85A	DCB85	0.35	1.23	42.00	2.38	663.00	662.00	15.00	8+30	666.46							
CB23	CB24	0.73	2.57	53.00	1.70	629.00	628.10	15.00	3+61	633.80		DCB85	CB86	14.37	45.26	25.00	1.60	660.20	659.80	36.00	8+72	666.08							
CB24	DCB25	1.92	6.75	66.00	2.05	627.90	626.55	15.00	4+15	631.71		CB86	MH87	14.73	46.53	38.00	2.11	659.80	659.00	36.00	8+72	666.08							
DCB25	CB26	7.64	26.85	45.00	1.11	625.30	624.80	30.00	4+80	630.74		MH87	MH88	14.73	46.53	253.00	1.38	659.00	655.50	36.00		667.50							
CB26	MH27	8.21	28.86	78.00	0.77	624.80	624.00	30.00	4+80	630.74		MH88	FES89	14.73	46.53	93.00	0.54	655.00	654.50	36.00		662.00							
MH27	FES28	8.21	28.86	162.00	1.54	620.00	617.50	30.00		630.50		HW90	CB91	22.14	75.61	26.00	6.92	650.00	648.20	42.00									
CB29	CB31	0.31	1.09	130.00	4.46	629.00	623.20	15.00	11+04	633.27		CB91	CB92	22.71	77.55	26.00	1.92	648.00	647.50	42.00	3+17	658.03							
CB31	DCB32	1.15	4.04	89.00	0.88	622.60	620.75	15.00	12+31	626.50		CB92	FES93	23.29	79.54	43.00	0.70	647.30	647.00	42.00	3+17	658.03							
DCB32	CB33	2.35	8.26	46.00	0.87	620.50	620.10	18.00	13+20	624.82		DCB94	CB96	1.32	4.64	109.00	3.35	650.00	646.35	15.00	9+19	654.27							
CB33	MH34A	2.69	9.46	31.00	11.61	619.00	616.30	18.00	13+20	624.82		CB95	CB96	0.24	0.84	25.00	0.80	646.50	646.30	15.00	8+04	650.86							
MH34A	FES34	2.69	9.46	26.00	1.15	616.30	616.00	18.00		619.80		CB96	CB97	2.11	7.42	41.00	0.98	646.10	645.70	18.00		650.86							
											25 YR; 12 MIN TC; I=6.45	CB97	CB98	2.61	9.17	22.00	0.91	645.50	645.30	18.00	0+40	650.86							
HW35	HW36	7.74	24.96	75.00	0.67	616.50	616.00	30.00				CB98	CB99	2.94	10.33	57.00	5.44	645.10	642.00	18.00	0+40	650.86							
DI37	CB38	1.71	6.01	35.00	2.57	658.00	657.10	15.00		663.34		CB99	CB100	3.01	10.58	198.00	4.19	641.80	633.50	18.00	7+00	646.43							
CB38	CB40	2.27	7.98	250.00	5.92	655.54	640.75	18.00	2+89	661.96		CB100	CB101	3.57	12.55	25.00	1.20	633.00	632.70	24.00	5+02	639.10							
CB39	CB40	0.33	1.16	37.00	0.68	641.00	640.75	15.00	22+34	645.40		CB101	MH102	3.81	13.59	45.00	6.00	632.70	630.00	24.00	5+02	639.10							
CB40	CB41	3.09	10.86	21.00	1.43	640.50	640.20	18.00	0+37	645.39		MH102	FES103	4.05	14.24	159.00	1.44	628.00	626.00	24.00		634.00							
CB41	CB42	3.47	12.20	75.00	2.33	639.95	638.20	24.00	0+37	645.41		CB104	CB105	0.29	1.02	125.00	4.80	661.00	655.00	15.00	1+00	665.17							
CB42	CB43	3.58	12.51	286.00	2.85	637.95	629.80	24.00	23+46	642.27		CB105	FES106	0.55	1.93	36.00	1.39	646.50	646.00	15.00		658.38							
CB43	CB44	4.20	14.76	26.00	0.77	629.60	629.60	24.00	26+33	635.13		CB107	CB108	0.59	2.07	48.00	0.63	623.10	622.80	15.00	4+36	627.60							
CB44	MH45	4.61	16.20	60.00	0.67	629.60	629.20	24.00	26+33	635.13		CB108	CB110	0.91	3.20	101.00	0.69	622.80	622.10	15.00	4+36	627.60							
MH45	MH46	4.61	16.20	153.00	0.52	629.00	628.20	24.00		637.26		CB109	CB110	1.05	3.69	38.00	7.63	625.00	622.10	15.00	3+21	629.28							
MH46	FES47	4.61	16.20	83.00	1.20	628.00	627.00	24.00		633.50		CB110	CB111	2.45	8.61	105.00	1.86	621.85	619.90	18.00	0+54	627.40							
DI48	CB49	2.43	8.54	123.00	0.57	657.70	657.00	24.00		660.90		CB111	CB112	3.20	11.25	148.00	2.23	619.40	616.10	24.00	1+61	624.10							
CB49	CB50	2.94	10.33	110.00	0.64	656.50	655.80	30.00	11+98	665.32		CB112	FES113	3.20	11.25	66.00	0.53	615.90	615.55	24.00		619.56							
CB50	DCB52	1.12	10.97	25.00	0.80	654.40	654.2	30.00	13+07	663.26		CB114	CB115	0.11	0.39	86.00	0.58	634.00	633.50	15.00	3+83	638.50							
DI51	DCB52	2.71	9.53	42.00	1.19	658.50	658.00	24.00		664.50		CB115	CB116	0.16	0.91	86.00	0.58	633.50	633.00	15.00	0+54	638.08							
DCB52	CB53	6.67	23.45	68.00	0.74	654.20	653.70	30.00	13+07	663.26		CB116	CB117	0.43	1.51	122.00	3.36	632.60	628.50	15.00	3+89	637.85							
CB53	CB54	6.92	24.32	114.00	0.53	653.70	653.10	30.00	13+69	664.00		CB117	CB119	0.57	2.00	177.00	7.94	628.30	614.25	15.00	2+59	632.98							
CB54	CB55	7.17	25.20	26.00	0.77	653.10	652.90	30.00	0+40	664.89		FES118	CB119	1.22	4.29	82.00	8.29	621.00	614.20	18.00									
CB55	CB56	7.29	25.62	92.00	0.61	652.90	652.40	30.00	0+31	664.79		CB119	CB120	2.09	7.35	72.00	0.69	614.00	613.50	18.00	0+38	618.48							
CB56	CB57	7.35	25.84	26.00	1.20	652.40	652.10	30.00	15+60	663.54		CB120	FES121	2.62	9.21	76.00	0.92	610.20	609.50	18.00	0+38	618.48							
CB57	CB59	7.40	26.01	165.00	2.24	652.10	648.40	30.00	15+60	663.54		CB61	DCB62	0.66	2.32	76.00	0.99	641.00	640.25	15.00	20+56	645.10							
DI58	CB59	1.48	5.20	25.00	4.20	650.50	649.45	15.00		653.50		DCB62	CB63	12.19	42.85	26.00	0.77	638.00	638.30	36.00	19+78	644.48							
CB59																													



NOTES

REBAR SET AT ALL CORNERS UNLESS NOTED OTHERWISE.

AREAS COMPUTED USING COORDINATE GEOMETRY.

THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. SURVEY SUBJECT TO FULL TITLE SEARCH.

THIS PROPERTY MAY BE SUBJECT TO RIGHT OF WAYS, EASEMENTS OR RESTRICTIONS EITHER RECORDED OR IMPLIED.

ALL ADJOINING PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".

ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES

LAWRENCE ASSOCIATES MAKES NO GUARANTEES TO THE COMPACTION OR TO THE NONEXISTENCE OF ADDITIONAL SPOILS AREAS.

BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED

AN ADDITIONAL 10' TEMPORARY CONSTRUCTION EASEMENT SHALL BE RESERVED OUTSIDE OF ALL GPUE.

AN ADDITIONAL 10' TEMPORARY CONSTRUCTION EASEMENT (5' EITHER SIDE OF 20' FUTURE UTILITY EASEMENT) SHALL BE RESERVED OUTSIDE OF ALL FUTURE UTILITY EASEMENTS.

A BLANKET EASEMENT EXIST ACROSS ALL COMMON AREAS FOR THE PURPOSE OF FUTURE SEPTIC DRAIN FIELD LOCATIONS WHERE APPROVED BY UNION COUNTY ENVIRONMENTAL HEALTH AND DEVELOPER.

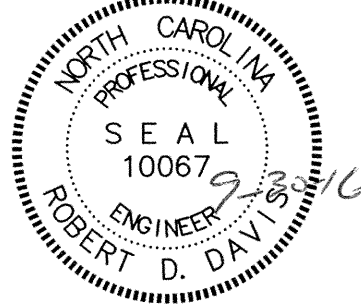
UTILITY EASEMENT TO INCLUDE ALL PRIVATE ROAD RIGHT OF WAYS PLUS THE ADDITIONAL GPUE ADJACENT TO THE RIGHT OF WAY (AS SHOWN) TO INCLUDE THE INSTALLATION AND REPAIR TO ALL UTILITIES, INCLUDING PUBLIC WATER & SEWER TO BE MAINTAINED BY UNION COUNTY PUBLIC WORKS ONCE ACTIVATED.

I, Robert D. Davis, a duly registered Professional Engineer, licensed in the State of North Carolina, do hereby certify that the drainage easements shown on this plat are sufficient to carry the 100 year storm runoff within the easement limits as shown.

N.C.P.E. # 10067

Date: 06/06/2015

(Signature and Seal)



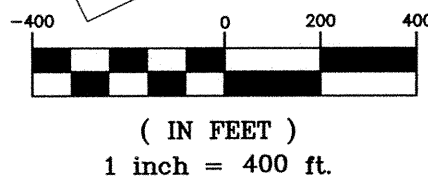
State of North Carolina
County of Union

I, _____ Review Officer of Union County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Date

Review Officer

Users of this plat are required to see sheet 8 of 8 for notes, certificates and other information required for the recording of this plat.



Legend

- GPUE..... General Public Utility Easement
- PDE..... Public Drainage Easement
- R/W..... Right-of-way
- typ..... Typical
- PFE..... Flood Protection Elevation
- Wetlands
- Public Drainage Easement

- Parcel Numbers: 06150071, 06126002, 06126003A, 06126006B, 06126008, 06126008A, 06126011, 06126010A, 06126010
- Deed References: DB 4355 PG 768, DB 4358 PG 627, DB 4358 PG 631
- Total area: 275.39 acres
162.74 Acres in Phase 1 including all rights of way
2.71 Acres of new R/W to be conveyed to NCDOT along N.C. Hwy 84
6.21 Acres of R/W reserved along the southern property line.
17.06 Acres in open space (including the 9.48 acres in viewshed area, 0.36 ac. 3.07 Acres in Club House Tracture road buffer and 7.22 in Open Space)
133.69 Acres in new road R/W and lots
118.72 Acres in 124 new lots
14.97 Acres in new street right of way.
- Zoning: RCD
- Property Owner:
IB Development LLC
2901 Blythe Road
Waxhaw, NC 28173
Phone: 704-993-0003
- Developed By:
IB Development, LLC DBA
The Woods Development Company, LLC
2901 Blythe Road
Waxhaw, NC 28173
Phone: 704-993-0003
- Existing Use: Vacant
Proposed Use: Residential Subdivision
- Lots Proposed: 124 + 1 (Clubhouse Tract) = 125 (Phase 1)
- Minimum Lot Size: 40,000 sf
- Yard Requirements:
Front Setback: 50'
Rear Setback: 40'
Side Setback: 15'
Side Corner Setback: 25'
Min Lot Width: 120'
- Total Phase I Lot Area within the FEMA Flood Plain:
216,541 sf = 4.97 ac
- Smallest Lot Area: 40,002 sf (Lot 55)
- Total Linear Footage of Proposed Streets:
12,181'
- Common Areas and Clubhouse Area to be dedicated to Homeowner's Association.
Viewshed 9.48 Acres
Open Space 7.22 Acres
Future road buffer 0.36 Acres
Future Rea Road R/W 6.21 Acres
Club Lot 3.07 Acres
- Flood Information taken from FEMA Map Number 3710447600J
- Iron pins to be set at all property coeners prior to the recording of this map.
- This subdivision is a Planned Residential Development (PRD) with private roads and entrance gate.

Notes:

- Any stream disturbance will be in accordance with, and limited to that allowed by NCDENR and USACE regulations.
- A portion of parcels assembled are zoned R40. The open space required has been calculated as if the entire project is RCD. This yields more open space than is generally required.
- All adjoining land uses are residential.
- Water lines and appurtenance are to be located within the proposed street rights of way and or the proposed G.U.E at the front of lots.
- Pedestrian walking paths as shown on the preliminary plan are shown as schematic and illustrative. Precise location will vary somewhat to minimize disturbance and highlight attractive physical features.
- Minimum finish floor elevations by Robert D. Davis Professional Engineer

Developed By:
IB Development Company, DBA
The Woods Development Company, LLC
2901 Blythe Road
Waxhaw NC 28173
Tel: 704-993-0003

Sheet 1 of 8

LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

Index Sheet For
The Woods -Phase 1

Town of Weddington, Sandy Ridge Township Union County, NC
Owner: IB Development Company, DBA
The Woods Development Company, LLC
2901 Blythe Road, Waxhaw NC 28173

Orig. scale: 1" = 400' Date: June 7, 2007 Drawn By: FDL

Job No. 1739 Drawing file: Index-9-15-16.dwg Drawing no. 07/129

REVISIONS

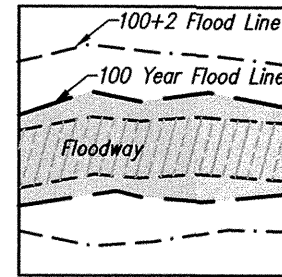
FDL 6/10/07
FDL 6/12/07
FDL 5/1/08
JLH 06/16/09
JLH 06/09/15
JLH 09/15/16
JLH 09/28/16

Flood Note

Flood Lines shown per
Flood Study Robert D. Davis, PE.
CLOMR 16-04-6595R

Flood Protection Elevations (FPE)
determined by Robert D. Davis, PE

Use of land within a Floodway or Special
Hazard Area (SFHA) is substantially
restricted by the Town of Weddington
Zoning Ordinance.



Tax # 06-150-0728
Charles E Plyler and
Judy H Plyler
Db. 296, Pg. 124
Db. 345, Pg. 851
(Now or Formerly)

Swede R. McGee &
Anastasia McGee
Db. 5841, Pg. 780
Plat Cabinet L, File 139

I, Robert D. Davis, a duly registered Professional Engineer,
licensed in the State of North Carolina, do hereby certify
that the drainage easements shown on this plat are
sufficient to carry the 100 year storm runoff within the
easement limits as shown.

N.C.P.E. # 10067
Date: 9-30-10

(Signature and Seal)

Kenneth Ray Evans &
Jane Shaver Evans
Db. 6494, Pg. 670
Plat Cabinet K, File 560

Area Dedicated to NCDOT
As Public R/W
47,394 sf. - 1.09 Acres

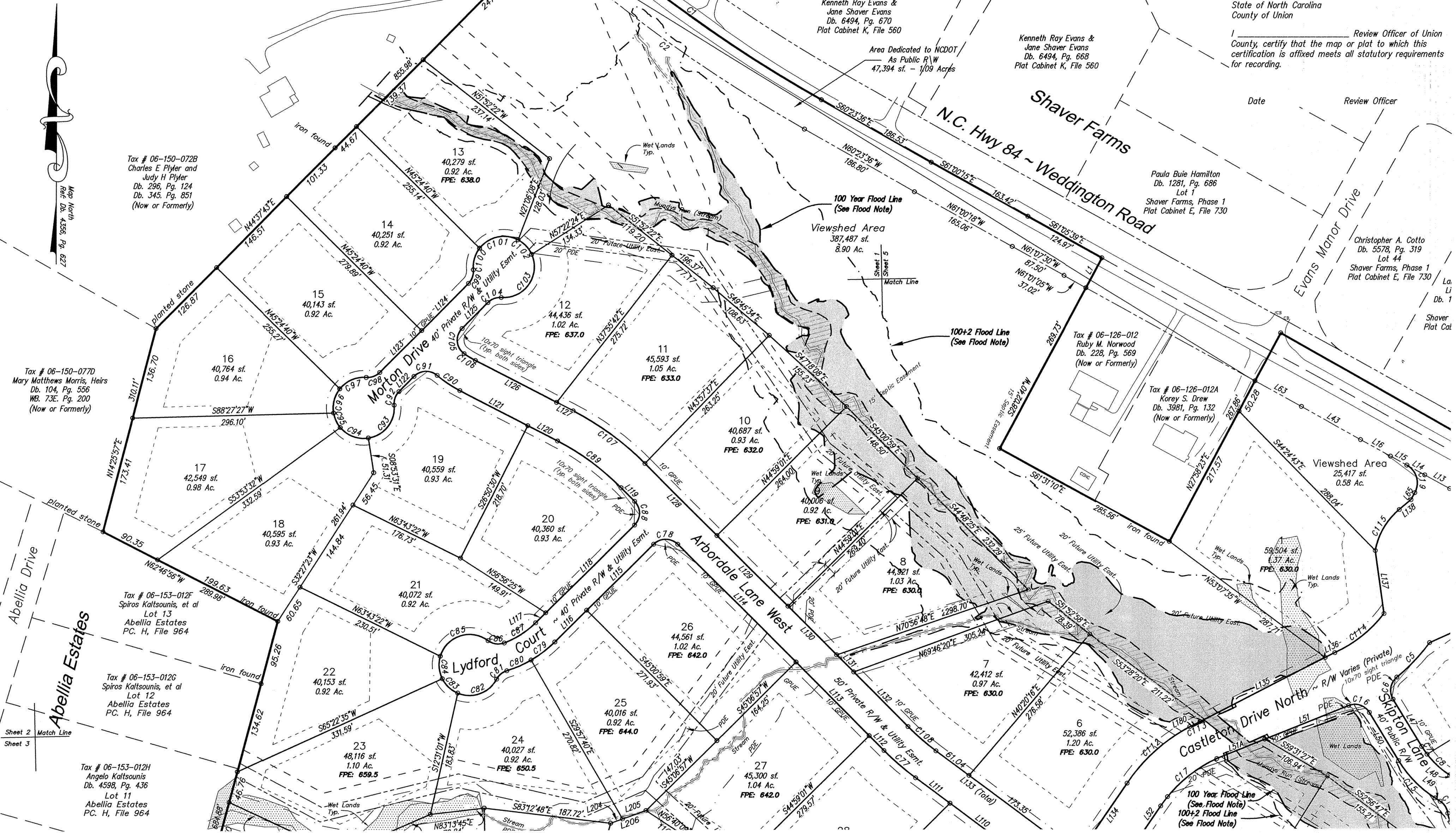
Kenneth Ray Evans &
Jane Shaver Evans
Db. 6494, Pg. 668
Plat Cabinet K, File 560

Legend	
GPUE.....	General Public Utility Easement
PDE.....	Public Drainage Easement
R/W.....	Right-of-way
typ.....	Typical
PFE.....	Flood Protection Elevation
	Wetlands
	Public Drainage Easement

State of North Carolina
County of Union

I, _____ Review Officer of Union
County, certify that the map or plat to which this
certification is affixed meets all statutory requirements
for recording.

Date _____ Review Officer _____



Sheet 2 Match Line
Sheet 3

Sheet 2 of 8

Users of this plat are required to see
sheet 8 of 8 for notes, certificates and
other information required for the
recording of this plat.

Developed By:
IB Development Company, DBA
The Woods Development Company, LLC
2901 Blythe Road
Waxhaw NC 28173
Tel: 704-993-0003

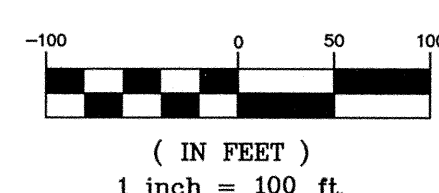
LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

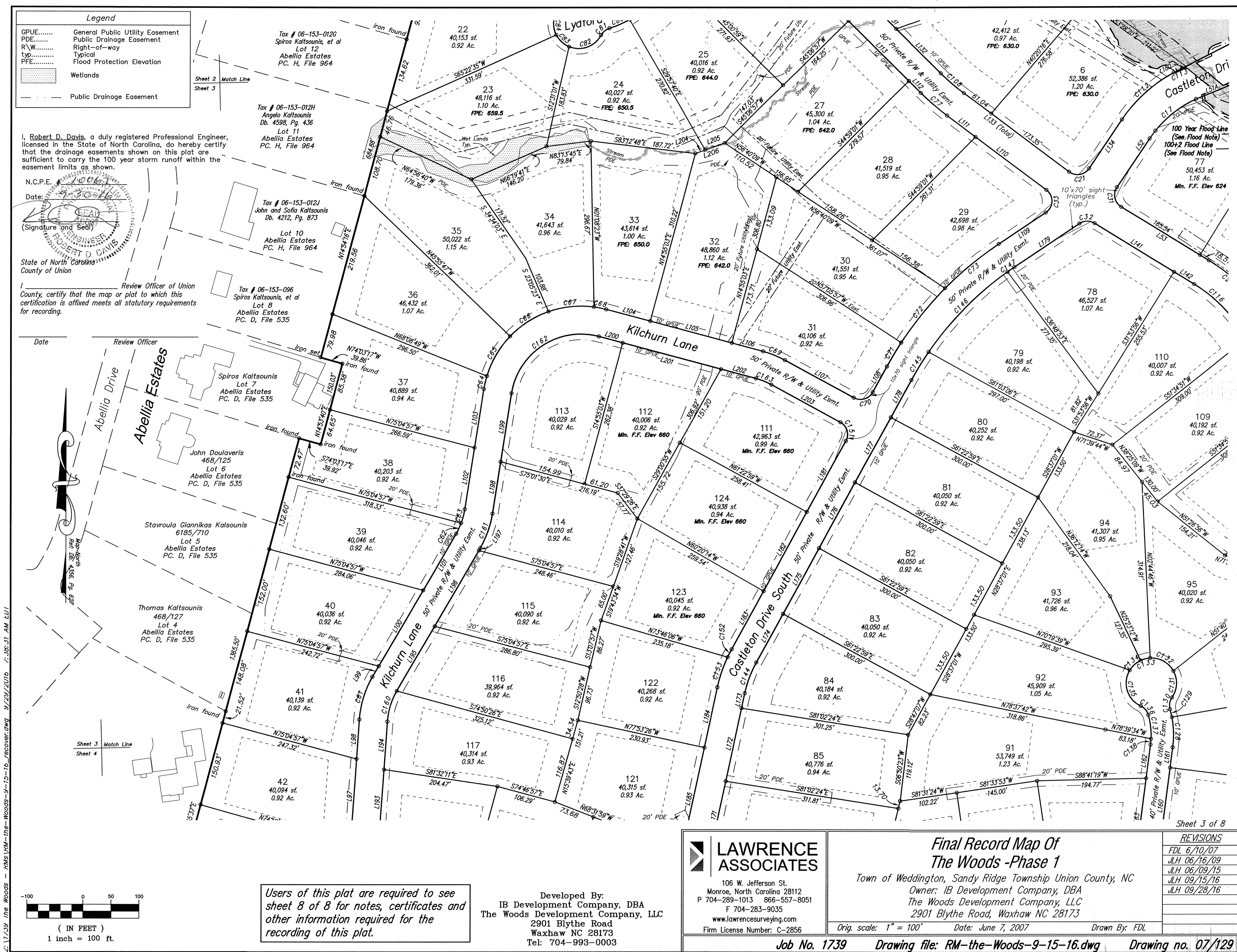
**Final Record Map Of
The Woods -Phase 1**
Town of Weddington, Sandy Ridge Township Union County, NC
Owner: IB Development Company, DBA
The Woods Development Company, LLC
2901 Blythe Road, Waxhaw NC 28173

Orig. scale: 1" = 100' Date: June 7, 2007 Drawn By: FDL

REVISIONS	
FDL	6/10/07
JLH	06/16/09
JLH	06/09/15
JLH	09/15/16
JLH	09/28/16

Job No. 1739 Drawing file: RM-the-Woods-9-15-16.dwg Drawing no. 07/129





Legend

GPUE..... General Public Utility Easement
PDE..... Public Drainage Easement
R/W..... Right-of-way
typ..... Typical
PFE..... Flood Protection Elevation
Wetlands
Public Drainage Easement

I, Robert D. Davis, a duly registered Professional Engineer, licensed in the State of North Carolina, do hereby certify that the drainage easements shown on this plat are sufficient to carry the 100 year storm runoff within the easement limits as shown.

N.C.P.E. # 10067
Date: 7-30-16
(Signature and Seal)

State of North Carolina
County of Union

I, Review Officer of Union County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Date: Review Officer

Z:\1739 The Woods - RM\1739-16-16-recover.dwg 9/29/2016 1:35:31 AM LUI

100 0 50 100
(IN FEET)
1 inch = 100 ft.

Users of this plat are required to see sheet 8 of 8 for notes, certificates and other information required for the recording of this plat.

Developed By:
IB Development Company, DBA
The Woods Development Company, LLC
2901 Blythe Road
Waxhaw NC 28173
Tel: 704-993-0003

LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrenceassociates.com
Firm License Number: C-2856

Final Record Map Of The Woods -Phase 1
Town of Weddington, Sandy Ridge Township Union County, NC
Owner: IB Development Company, DBA
The Woods Development Company, LLC
2901 Blythe Road, Waxhaw NC 28173
Orig. scale: 1" = 100' Date: June 7, 2007 Drawn By: FDL
Job No. 1739 Drawing file: RM-the-Woods-9-15-16.dwg Drawing no. 07/129

REVISIONS
FDL 6/10/07
JLH 06/16/09
JLH 06/09/15
JLH 09/15/16
JLH 09/28/16

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N.C.P.E.

Date:



State of North Carolina
County of Union

I, _____ Review Officer of Union
County, certify that the map or plat to which this
certification is affixed meets all statutory requirements for recording.

Date

Sheet 3 Match Line
Sheet 4

Review Officer

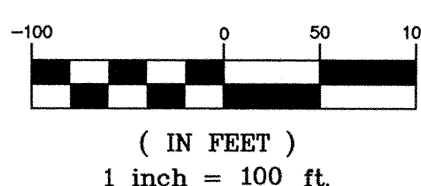
Kelly M. Granger
Db. 1078, Pg. 54



Map North
Ref. Db. 4556, Pg. 627

Rosa Mystica Revocable Living Trust
under the date of September 17, 2010
Idhayachandran Manivannan and Pritha
Moultapa, Co-Trustees
Db. 5515, Pg. 880
Lot 43
Stratford on Providence
Phase Two-Map 1
Plat Cabinet G, File 803

Legend	
GPUE.....	General Public Utility Easement
PDE.....	Public Drainage Easement
R/W.....	Right-of-way
typ.....	Typical
PFE.....	Flood Protection Elevation
	Wetlands
	Public Drainage Easement



(IN FEET)
1 inch = 100 ft.

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sheet 8 of 8 for notes, certificates and
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Stratford on Providence

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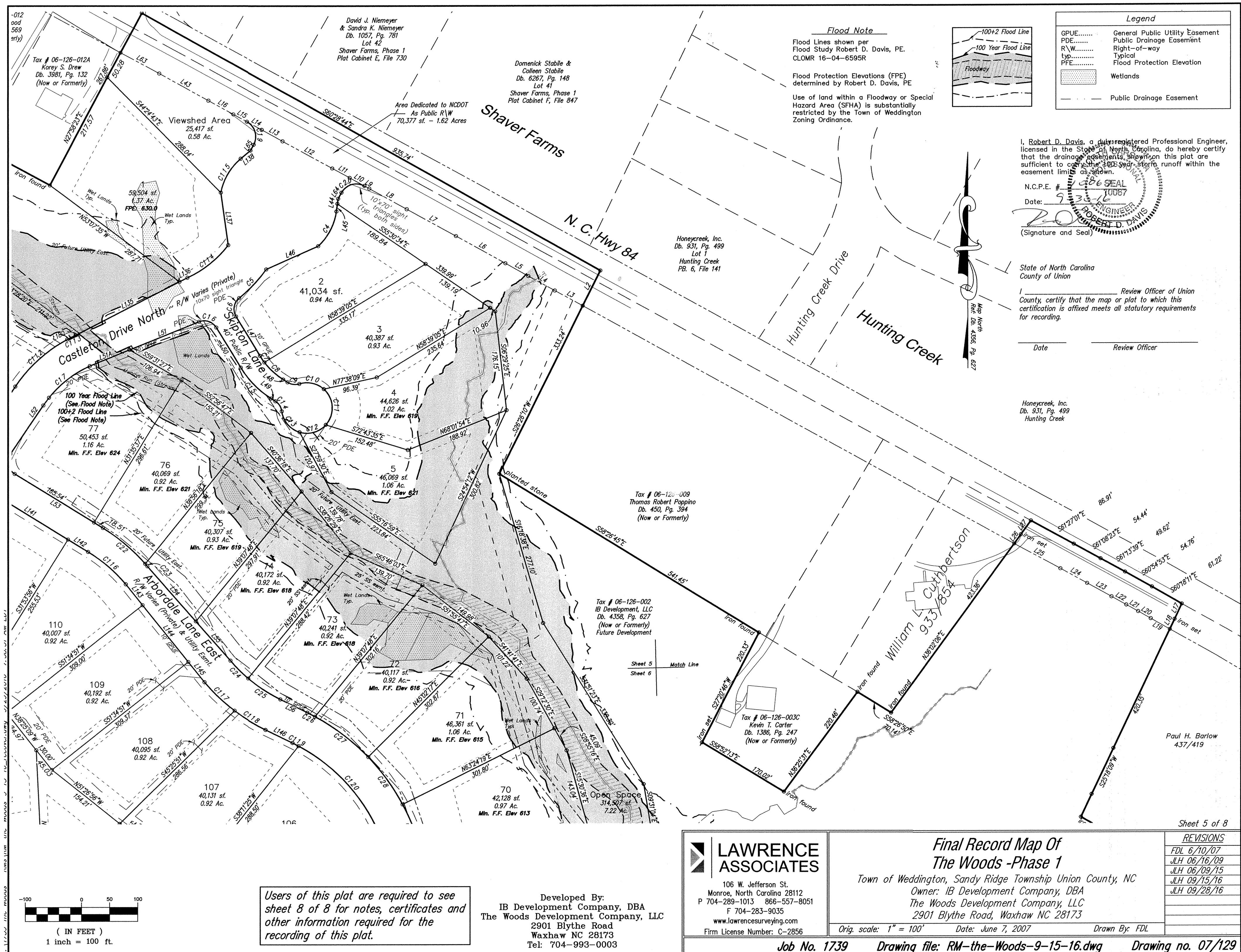
Orig. scale: 1" = 100' Date: June 7, 2007 Drawn By: FDL

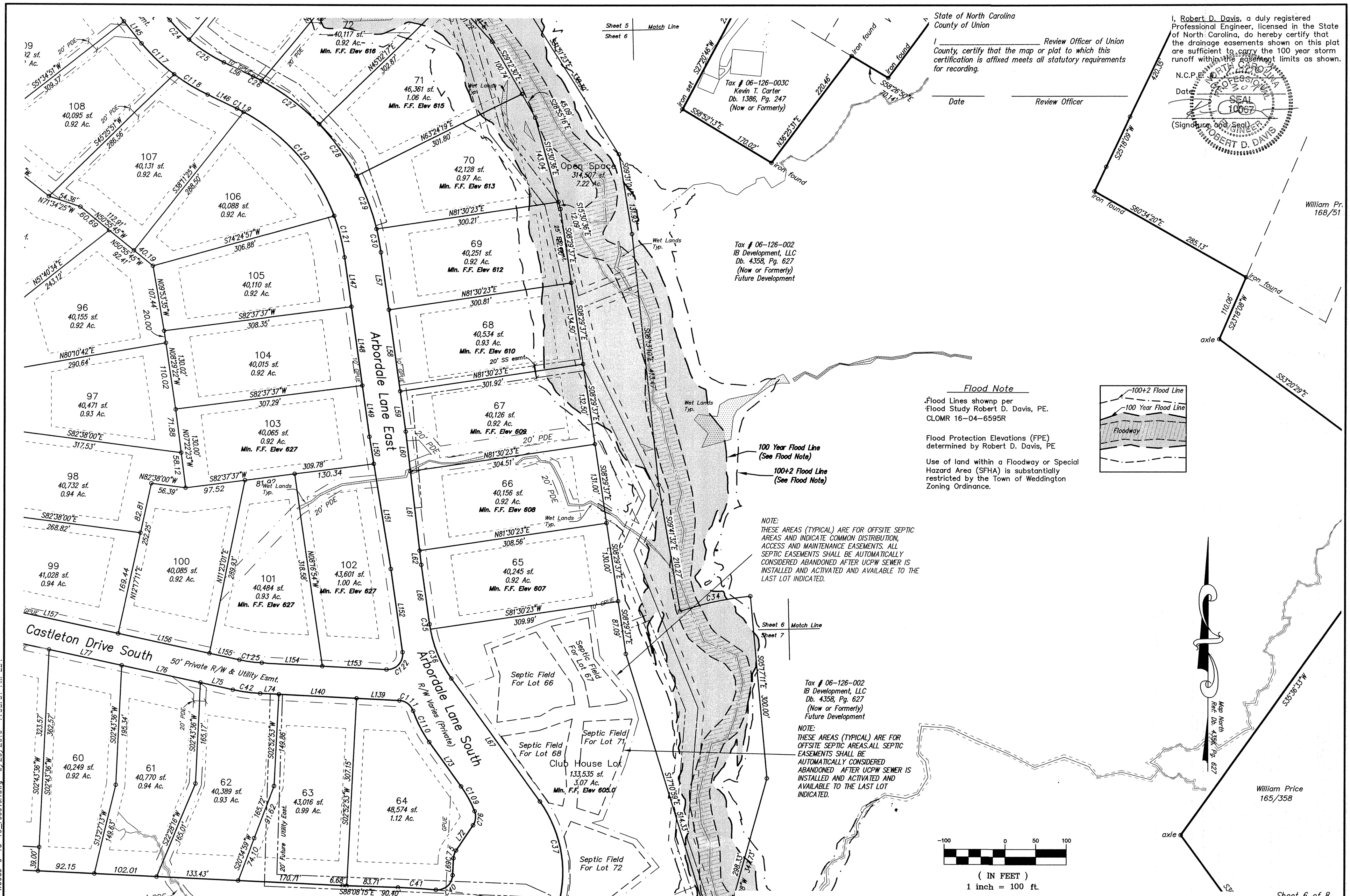
Job No. 1739 Drawing file: RM-the-Woods-9-15-16.dwg Drawing no. 07/129

Sheet 4 of 8

REVISIONS

FDL 6/10/07
JLH 06/16/09
JLH 06/09/15
JLH 09/15/16
JLH 09/28/16





Legend

GPUE..... General Public Utility Easement
PDE..... Public Drainage Easement
R/W..... Right-of-way
typ..... Typical
PFE..... Flood Protection Elevation

Wetlands

Public Drainage Easement

Users of this plat are required to see sheet 8 of 8 for notes, certificates and other information required for the recording of this plat.

Developed By:
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LAWRENCE ASSOCIATES

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**Final Record Map Of
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Owner: IB Development Company, DBA
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2901 Blythe Road, Waxhaw NC 28173

Orig. scale: 1" = 100' Date: June 7, 2007 Drawn By: FDL

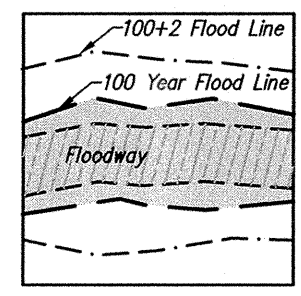
REVISIONS
FDL 6/10/07
JLH 06/16/09
JLH 06/09/15
JLH 09/15/16
JLH 09/28/16

Flood Note

Flood Lines shown per Flood Study Robert D. Davis, PE. CLOMR 16-04-6595R

Flood Protection Elevations (FPE) determined by Robert D. Davis, PE

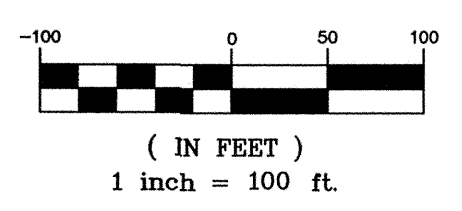
Use of land within a Floodway or Special Hazard Area (SFHA) is substantially restricted by the Town of Weddington Zoning Ordinance.



NOTE: THESE AREAS (TYPICAL) ARE FOR OFFSITE SEPTIC AREAS AND INDICATE COMMON DISTRIBUTION, ACCESS AND MAINTENANCE EASEMENTS. ALL SEPTIC EASEMENTS SHALL BE AUTOMATICALLY CONSIDERED ABANDONED AFTER UCPW SEWER IS INSTALLED AND ACTIVATED AND AVAILABLE TO THE LAST LOT INDICATED.

Tax # 06-126-002
IB Development, LLC
Db. 4358, Pg. 627
(Now or Formerly)
Future Development

NOTE: THESE AREAS (TYPICAL) ARE FOR OFFSITE SEPTIC AREAS. ALL SEPTIC EASEMENTS SHALL BE AUTOMATICALLY CONSIDERED ABANDONED AFTER UCPW SEWER IS INSTALLED AND ACTIVATED AND AVAILABLE TO THE LAST LOT INDICATED.



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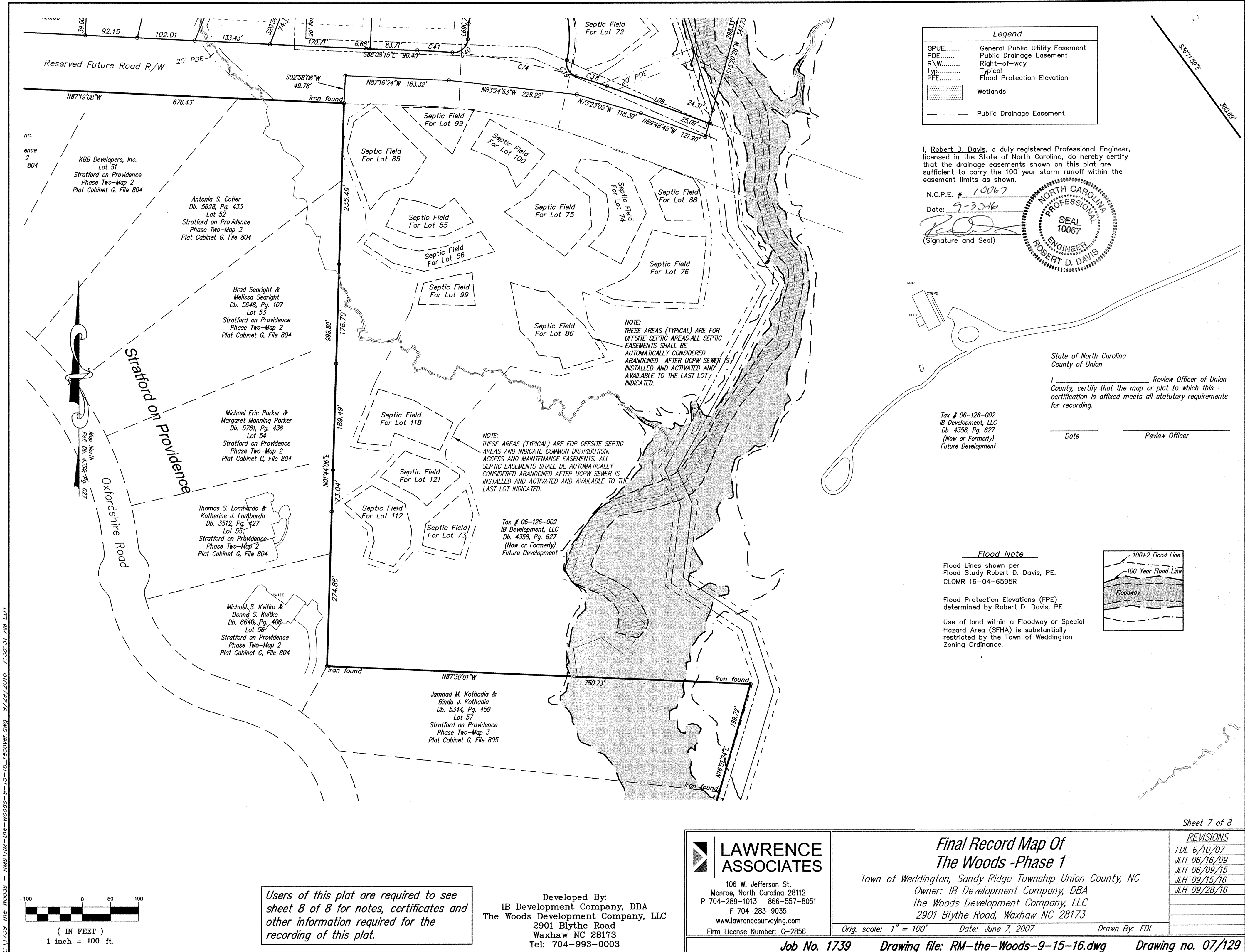
N.C.P.E. 30097
Date: 6/10/07
(Signature and Seal)
ROBERT D. DAVIS

State of North Carolina
County of Union

I, _____ Review Officer of Union County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Date: _____ Review Officer: _____





Legend	
GPUE.....	General Public Utility Easement
PDE.....	Public Drainage Easement
R/W.....	Right-of-way
typ.....	Typical
PFE.....	Flood Protection Elevation
	Wetlands
.....	Public Drainage Easement

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N.C.P.E. # 10067

Date: 9-30-16

(Signature and Seal)



State of North Carolina
County of Union
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Date _____ Review Officer _____

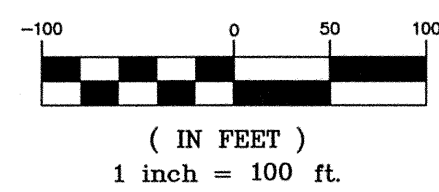
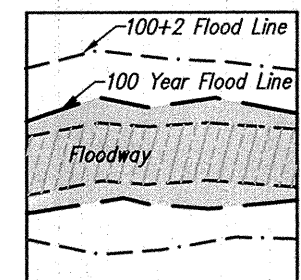
Tax # 06-126-002
IB Development, LLC
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Flood Lines shown per
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Tel: 704-993-0003

**LAWRENCE ASSOCIATES**

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Job No. 1739 Drawing file: RM-the-Woods-9-15-16.dwg Drawing no. 07/129

REVISIONS	
FDL	6/10/07
JLH	06/16/09
JLH	06/09/15
JLH	09/15/16
JLH	09/28/16

Z:\1739 The Woods - RM\RM-1739-16-WOODS-9-15-16-Record.dwg 9/29/2016 1:58:31 AM ELL

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	2244.25	465.75	464.91	S54°26'53"E	11°53'26"
C2	2294.25	478.86	477.99	N54°24'50"W	11°57'32"
C3	1504.87	6.21	6.21	S26°05'12"E	0°14'11"
C4	104.00	71.47	70.07	S27°29'51"W	39°22'19"
C5	270.00	70.58	70.38	S43°16'48"W	14°58'39"
C6	25.00	35.83	32.84	S09°42'36"W	82°07'03"
C7	130.00	13.88	13.87	S34°24'28"E	6°07'05"
C8	130.00	45.41	45.18	S47°28'24"E	20°00'49"
C9	25.00	21.81	21.13	S82°28'40"E	49°59'41"
C10	45.00	46.66	44.60	S77°46'13"E	59°24'34"
C11	45.00	70.48	63.49	S03°11'53"E	89°44'06"
C12	45.00	51.17	48.46	S74°14'47"W	65°09'16"
C13	45.00	51.59	48.81	N40°19'51"W	65°41'27"
C14	25.00	21.81	21.13	N32°28'58"W	49°59'41"
C15	170.00	77.53	76.86	N44°24'52"W	26°07'54"
C16	25.00	35.17	32.34	N71°38'44"W	80°35'37"
C17	200.00	92.55	91.72	S52°11'56"W	26°30'46"
C18	200.00	16.99	16.98	S36°30'33"W	4°51'58"
C19	30.00	47.19	42.47	N16°09'18"W	
C20	30.00	47.05	42.37	S73°50'12"W	
C21	25.00	40.38	36.13	N80°21'04"E	
C22	325.00	99.27	98.88	S49°39'22"E	17°30'02"
C23	325.00	5.85	5.85	S40°23'25"E	1°01'52"
C24	270.00	44.94	44.89	S44°38'35"E	9°32'12"
C25	270.00	68.56	68.37	S56°41'07"E	14°32'53"
C26	380.00	15.41	15.41	S62°47'51"E	2°19'26"
C27	380.00	119.32	118.83	S52°38'25"E	17°59'27"
C28	380.00	104.59	104.26	S35°45'37"E	15°46'09"
C29	380.00	92.84	92.61	S20°52'35"E	13°59'55"
C30	380.00	38.84	38.82	S10°56'57"E	5°51'20"
C31	25.00	40.35	36.11	S12°09'54"E	
C32	25.00	28.60	27.07	S88°49'10"W	
C33	25.00	47.74	40.81	N01°20'09"E	
C34	475.00	117.83	117.53	S77°36'25"W	
C35	200.00	8.33	8.33	S09°12'54"E	
C36	200.00	88.63	87.91	S23°06'16"E	
C37	200.00	161.71	157.34	N12°38'14"W	
C38	1075.00	57.27	57.27	N71°20'19"W	
C39	25.00	37.11	33.80	S30°20'06"E	
C40	25.00	40.34	36.10	N48°57'03"E	
C41	1075.00	62.15	62.14	N86°28'53"W	
C42	275.00	45.14	45.09	N82°24'58"W	9°24'19"
C43	225.00	81.37	80.93	N88°04'28"W	20°43'19"
C44	275.00	53.57	53.49	S87°08'44"W	11°09'44"
C45	175.00	50.20	50.03	N79°03'21"W	16°26'06"
C46	175.00	53.99	53.78	N61°59'59"W	17°40'36"
C47	25.00	30.35	28.52	N87°56'06"W	69°32'50"
C48	175.00	9.41	9.41	S58°49'57"W	3°04'56"
C49	175.00	142.63	138.71	N83°43'19"E	
C50	125.00	7.96	7.96	N73°15'30"W	3°38'55"
C51	25.00	39.27	35.36	S59°55'03"W	90°00'00"
C52	125.00	11.72	11.71	S12°13'56"W	5°22'14"
C53	25.00	19.38	18.90	S12°39'39"E	44°24'55"
C54	45.00	24.22	23.93	S19°27'00"E	30°50'12"
C55	45.00	73.85	65.84	S42°59'03"W	94°01'54"
C56	45.00	65.20	59.64	N48°29'40"W	83°00'40"
C57	45.00	47.87	45.65	N23°29'12"E	60°57'04"
C58	25.00	19.38	18.90	N31°45'16"E	44°24'55"
C59	175.00	16.40	16.40	N12°13'56"E	5°22'14"
C60	125.00	23.87	23.84	N09°26'48"E	10°56'31"
C61	175.00	79.92	79.23	N17°03'30"E	26°09'56"
C62	125.00	20.84	20.82	N25°21'52"E	9°33'12"
C63	125.00	25.58	25.53	N14°43'33"E	11°43'27"
C64	175.00	23.97	23.95	N12°47'17"E	7°50'55"
C65	175.00	82.70	81.93	N30°15'02"E	27°04'35"
C66	175.00	82.20	81.45	S57°14'42"W	
C67	175.00	82.20	81.45	S84°09'26"W	
C68	175.00	22.31	22.29	S78°44'05"E	7°18'15"
C69	175.00	41.84	41.74	S68°13'58"E	13°41'58"
C70	25.00	39.27	35.36	N73°37'01"E	90°00'00"
C71	625.00	49.73	49.72	N30°53'47"E	4°33'32"
C72	625.00	124.77	124.56	N38°53'41"E	11°26'16"
C73	625.00	124.70	124.50	N50°19'46"E	11°25'55"
C74	1075.00	224.40	223.99	N78°50'42"W	
C75	25.00	13.42	13.25	S18°05'57"W	
C76	25.00	23.95	23.05	N06°01'35"E	
C77	425.00	61.99	61.94	N49°11'42"W	8°21'27"
C78	25.00	39.27	35.36	S89°59'01"W	90°00'00"
C79	170.00	44.00	43.87	S52°23'53"W	14°49'43"
C80	170.00	39.33	39.25	S66°26'27"W	13°15'25"

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C81	25.00	19.83	19.32	S50°20'36"W	45°27'07"
C82	45.00	66.82	60.85	S70°09'29"W	85°04'54"
C83	45.00	31.73	31.08	N47°06'06"W	40°23'55"
C84	45.00	34.03	33.23	N05°14'09"W	43°19'59"
C85	45.00	86.92	74.02	N71°45'58"E	110°40'15"
C86	25.00	25.19	24.12	S81°45'45"E	57°43'42"
C87	130.00	55.34	54.92	N57°10'43"E	24°23'23"
C88	25.00	39.27	35.36	N00°00'59"W	90°00'00"
C89	375.00	116.45	115.99	N53°54'46"W	17°47'35"
C90	175.00	40.22	40.13	N56°13'31"W	13°10'05"
C91	25.00	37.42	34.03	S87°28'26"W	85°46'12"
C92	25.00	21.81	21.13	S19°35'29"W	49°59'41"
C93	45.00	67.95	61.67	S37°51'04"W	86°30'51"
C94	45.00	46.31	44.29	N69°24'40"W	58°57'42"
C95	45.00	23.67	23.40	N24°51'33"W	30°08'31"
C96	45.00	37.72	36.63	N14°13'37"E	48°01'50"
C97	45.00	44.25	42.49	N66°24'46"E	56°20'29"
C98	25.00	21.81	21.13	N69°35'10"E	49°59'41"
C99	25.00	21.81	21.13	N19°35'29"E	49°59'41"
C100	45.00	33.69	32.91	N16°02'27"E	42°53'37"
C101	45.00	63.04	58.01	N77°37'14"E	80°15'56"
C102	45.00	29.87	29.33	S43°13'48"E	38°02'01"
C103	45.00	93.30	77.47	S35°11'07"W	18°47'48"
C104	25.00	21.81	21.13	S69°35'10"W	49°59'41"
C105	25.00	42.97	37.87	S04°39'10"E	98°29'00"
C106	125.00	19.45	19.43	S58°21'07"E	8°54'53"
C107	425.00	131.98	131.45	S53°54'46"E	17°47'35"
C108	375.00	54.70	54.65	S49°11'42"E	8°21'27"
C109	185.00	46.29	46.16	N28°35'12"W	
C110	200.00	57.52	57.32	S27°30'54"E	
C111	25.00	29.60	27.90	N53°11'50"W	
C112	260.00	125.66	124.44	N47°55'19"E	27°41'31"
C113	260.00	16.73	16.73	N63°36'42"E	3°41'14"
C114	190.00	93.93	92.98	N51°17'31"E	28°19'36"
C115	104.00	71.47	70.07	N30°19'09"E	39°22'19"
C116	275.00	88.94	88.56	S49°08'26"E	18°31'53"
C117	330.00	74.16	74.00	S46°18'45"E	12°52'31"
C118	330.00	64.56	64.46	S58°21'17"E	11°12'33"
C119	320.00	12.03	12.03	S62°52'55"E	2°09'17"
C120	320.00	230.34	225.40	S41°11'00"E	41°14'34"
C121	320.00	70.04	69.90	S14°17'30"E	12°32'26"
C122	25.00	44.03	38.55	N42°25'48"E	
C123					
C124					
C125	225.00	36.93	36.89	N82°24'58"W	9°24'19"
C126	25.00	36.03	32.99	N36°25'39"W	82°34'19"
C127	280.00	12.26	12.26	N06°06'45"E	2°30'30"
C128	170.00	53.97	53.75	N01°43'44"W	18°11'27"
C129	170.00	14.51	14.51	N13°16'13"W	4°53'31"
C130	25.00	22.01	21.31	N09°30'25"E	50°26'47"
C131	45.00	50.17	47.61	N02°47'30"E	63°52'37"
C132	45.00	49.95	47.43	N60°56'47"W	63°35'57"
C133	45.00	17.78	17.67	S75°56'01"W	22°38'27"
C134	45.00	26.41	26.04	S47°47'55"W	33°37'47"
C135	45.00	75.58	67.01	S17°08'06"E	96°14'15"
C136	25.00	21.44	20.79	S40°40'47"E	49°08'53"
C137	130.00	43.00	42.80	S06°37'48"E	18°57'04"
C138	130.00	10.26	10.26	S05°06'22"W	4°31'16"
C139	320.00	14.01	14.01	S06°06'45"W	2°30'30"
C140	25.00	35.51	32.60	S45°32'41"W	81°22'23"
C141	255.80	22.40	22.40	S83°53'54"W	5°01'05"
C142	225.00	43.83	43.76	S87°08'44"W	11°09'44"
C143	125.00	216.82	190.64	N37°34'55"W	99°22'58"
C144	205.00	59.06	58.86	N20°21'47"E	16°30'27"
C145	575.00	58.77	58.74	N31°32'42"E	5°51'22"
C146	575.00	201.48	200.45	N44°30'41"E	20°04'36"
C147	575.00	15.01	15.01	N55°17'51"E	1°29'45"
C148	175.00	4.57	4.57	S72°10'54"E	
C149	1050.00	221.00	220.59	N78°49'15"W	
C150	25.00	39.27	35.36	S16°22'59"E	90°00'00"
C152	255.00	16.11	16.11	S26°48'23"W	3°37'15"
C153	255.00	57.35	57.23	S18°33'10"W	12°53'12"
C154	175.00	110.44	108.62	S05°58'11"E	36°09'31"
C155	25.00	35.49	32.59	S16°37'16"W	81°20'25"
C156	125.00	111.86	108.17	S82°55'43"W	51°16'29"
C157	175.00	11.14	11.14	N73°15'30"W	3°38'55"
C158	25.00	39.27	35.36	N30°04'57"W	90°00'00"
C159	175.00	33.42	33.37	N09°26'48"E	10°56'31"
C160	125.00	57.08	56.59	N17°03'30"E	26°09'56"
C161	175.00	64.99	64.62	N19°30'09"E	21°16'39"
C162	125.00	209.56	185.86	N56°53'26"E	96°03'13"
C163	125.00	29.89	29.82	S68°13'58"E	13°41'58"

LINE TABLE		
LINE	BEARING	LENGTH
L1	S27°55'52"W	50.00
L2	S26°26'10"W	70.15
L3	N61°08'03"W	56.59
L4	N61°17'04"W	53.87
L5	N60°40'36"W	46.72
L6	N60°52'32"W	100.55
L7	N61°09'59"W	99.80
L8	N61°19'54"W	75.79
L9	N61°14'06"W	9.78
L10	N61°14'06"W	29.93
L11	N61°14'06"W	35.25
L12	N61°11'51"W	100.50
L13	N61°13'06"W	42.06
L14	N61°13'06"W	30.07
L15	N61°13'06"W	27.67
L16	N61°05'19"W	50.54
L17	S25°18'09"W	30.17
L18	S25°18'09"W	19.98
L19	N60°18'11"W	39.05
L20	N60°18'11"W	25.74
L21	N60°54'53"W	24.26
L22	N60°54'53"W	30.09
L23	N61°13'39"W	49.52
L24	N61°08'23"W	54.34
L25	N61°27'01"W	93.35
L26	N36°02'06"E	20.19
L27	N36°02'06"E	30.24
L28	S55°42'10"W	30.64
L29	S55°42'10"W	19.88
L30	N28°31'37"W	64.52
L31	N25°07'14"W	63.85
L32	N23°28'26"W	73.80
L33	N21°28'24"W	61.71
L34	N19°36'49"W	79.68
L35	N17°47'36"W	64.12
L36	N15°31'03"W	66.74
L37	N13°27'20"W	55.23
L38	N11°59°06"W	62.63
L39	N10°34'19"W	63.45
L40	N09°57'23"W	67.11
L41	N09°52°34"W	25.38
L42	N88°18'40"E	50.51
L43	N60°48'42"W	100.05
L44	S07°48'42"W	9.10
L45	S07°48'42"W	13.47
L46	S65°48'33"W	101.09
L47	S31°20'55"E	81.84
L48	S51°28'49"E	9.18
L49	N57°28'49"W	9.18
L50	N31°20°55"W	83.52
L51	S68°01'17"W	133.12
L51A	N68°01'17"E	76.37
L52	S34°04'34"W	38.96
L53	N58°24'23"W	184.05
L54	S41°09'17"E	130.62
L55	S41°09'17"E	93.21
L56	S63°57'34"E	53.29
L57	S08°01'17"E	95.22
L58	S08°01'17"E	134.50
L59	S08°01'17"E	66.78
L60	S06°43'10"E	65.75
L61	S06°43'10"E	131.06
L62	S06°43'10"E	23.24
L63	N61°19'13"W	78.27
L64	N28°54'30"E	12.24
L65	N28°54'30"E	11.73
L66	S08°01'17"E	98.44
L67	S35°48'02"E	247.91
L68	N69°48'45"W	192.69
L69	N02°43'36"E	27.99
L72	N33°28'18"E	50.26
L73	N35°45'15"W	89.43
L74	N87°07'07"W	30.57
L75	N77°42'49"W	54.16
L76	N77°42'49"W	131.73
L77	N77°42'49"W	121.69
L78	N77°42'49"W	121.69
L79	N77°42'49"W	8.38
L80	S81°33'53"W	31.40
L81	S81°33'53"W	122.31
L82	S81°33'53"W	122.31

2016 WEDDINGTON FALL FESTIVAL REVENUE and EXPENSE

CASH INCOME		EXPENSES		"IN KIND DONATIONS"	
Artist Fees (8)	\$350	1 new tent	\$80	AMC Theater	\$40
Arboretum/Obgyn	\$250	BBQ Purchase	\$195	American Burger	\$10
Carolina Healthcare	\$500	Bouncy/Spin art	\$294	Bella & Guy Salon	\$105
Chesterbrook Academy	\$250	Deputies (3)	\$487	Carrabba's	\$25
Compunet	\$250	Fund Raising Mileage est.	\$300	Char Bar 7	\$25
Daryl's lawn service	\$250	Hinson Girls	\$875	Cheesecake Factory	\$50
David Rogers Builders	\$250	Junior Scoops	\$68	Chik-Filet	\$25
Haymond Properties	\$250	McCollum Staffing	\$216	Cinema 14 Theaters	\$20
Kuester Management	\$1,000	Other Miscellaneous	\$350	Coca-Cola	\$500
Mere Designs	\$500	RCS Porta Johns	\$575	Costco	\$25
MI Homes	\$1,000	Recreational Equipment	\$6,449	Craig Horn - NC flag	\$25
Park Sterling Bank	\$500	Refrigerator Rental	\$120	Hickory Tavern (2)	\$45
Parker - Poe	\$1,000	Signage	\$120	Hunter Farme - pumpkins	\$900
Polivka International	\$2,500	Whispering Hope Farms	\$700	Illios Noches	\$50
Serene Dental	\$250			Kristophers Sports Bar	\$65
Shea Group Homes	\$500			Lovely Nails Spa	\$40
Taylor Morrison Bldrs	\$1,000			Lowes (2)	\$255
Anonymous	\$1,000			Marios Pizza	\$25
Toll Brothers	\$500			Massage Envy (2)	\$158
Weddington Animal Hptal	\$250			Mere Design time	\$150
Weddington Associates	\$500			Olive Garden	\$25
Weddington Dental	\$250			Pittenger - cuff links	\$25
CASH DONATIONS	\$13,100			Pittenger - US Flag	\$25
				Publix	\$100
Raffel Ticket Sales	\$371			RCS - discount	\$500
Food Ticket Sales	\$597			Sun Valley Cinema	\$25
Clothing Sales	\$3			Targets (3)	\$150
Rides & Petting Zoo	\$490			Walmart (2)	\$75
TOTAL CASH RECEIPTS	\$14,561	TOTAL EXPENSES	\$10,829	TOTAL IN KIND VALUE	\$3,463

CASH RECEIPTS LESS EXPENSES \$3,732
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Proposal:

<p>Higher an Event Planner (not part of Town Staff but an independent contractor) at \$15/hr who would average about 4 hours/week.....some weeks more, some weeks less.</p> <p>This person will be paid from festival profits not the town budget.</p>
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October 4, 2016



225 Old Mill Rd. Waxhaw, NC 28173
704-651-9152

LANDSCAPE ESTIMATE FOR
PROVIDENCE RD. & REA RD MEDIANS

WEDDINGTON LIFE CENTER MEDIAN

DELIVERED & INSTALLED 33 KALIEDSCOPES \$1155.00

MEDIAN IN FRONT OF HUNTERS FARM

DELIVERED & INSTALLED

35 LIRIOPE	1 GAL	\$280.00
45 DAYLILIES	1 GAL	\$450.00
66 KALIEDSCOPES	3 GAL	\$2310.00
23 KNOCKOUT ROSES	3 GAL	\$ 920.00
DOUBLEHAMMER MULCH	20 YDS	\$800.00
BEDDING SOIL		\$100.00
SPRAY, TILL & EDGE BEDS		\$300.00
	TOTAL	\$5160.00

HEMBY ROAD MEDIAN

DELIVERED & INSTALLED

72 LIRIOPES \$576.00

97 DAYLILLIES		\$970.00
DOUBLEHAMMERED MULCH	9YDS	\$360.00
SPRAY, TILL, EDGE BEDS		\$175.00
BEDDING SOIL		\$ 30.00
TOTAL		\$2111.00

MEDIAN SOUTH OF HEMBY RD ON PROVIDENCE RD.

REMOVED DEAD MUHLY GRASSES		\$ 35.00
TRANSPLANT 25 MUHLY GRASSES		\$750.00
23 CARISSA HOLLIES		\$920.00
BEDDING SOIL		\$ 75.00
DOUBLEHAMMERED MULCH	1 YD	\$ 40.00
TOTAL		\$1820.00

MEDIAN NORTH OF HEMBY RD ON PROVIDENCE RD.

DELIVER & INSTALL		
25 CONE FLOWERS		\$375.00
2 MUHLY GRASSES		\$ 80.00
BEDDING SOIL		\$ 20.00
DOUBLEHAMMERED MULCH	1 YD	\$ 40.00
TOTAL		\$515.00

MEDIAN AT BRIDGE ON PROVIDENCE RD

DELIVER & INSTALL 30 CONE FLOWERS		\$450.00
BEDDING SOIL		\$ 25.00

DOUBLEHAMMERED MULCH	1 YD	\$40.00
TOTAL		515.00

MEDIAN ON REA RD AT PROVIDENCE

DELIVER & INSTALL

82 KALIEDSCOPE		\$2870.00
5 ROSES		\$200.00
BEDDING SOIL		\$100.00
DOUBLEHAMMERED MULCH	3YDS	\$120.00
TOTAL		\$3290.00

BED ALONG ROAD AT ENTRANCE

DELIVER & INSTALL

33 RADIANCE ABELIA	3 GAL	1320.00
9 ENCORE AZALEAS CARNATION	3 GAL	\$405.00
50 DAYLILLIES	1 GAL	\$500.00
BEDDING SOIL		\$ 50.00
TOTAL		2275.00

BED LEFT FRONT CORNER OF BUILDING & SIDE

1 VARIGATED ACUBA	1 GAL	\$40.00
11 LENTON ROSES	3 GAL	\$440.00
3 SOFT TOUCH HOLLIES	3 GAL	\$105.00
29 LIRIOPE	1 GAL	\$232.00
BEDDING SOIL		\$15.00
TOTAL		\$832.00

WEDDINGTON-MATTHEWS & TILLEY MORRIS RD

DELIVER & INSTALL 25 VARIGATED LIRIOPE

\$200.00

TOTAL

\$200.00

GRAND TOTAL

\$17873.00

Median In Front of Hunter Farms

35 Liriope	45 Daylillies	33 Kaliedscope AbeliAs	23 Knockout Roses	33 Kaliedscope AbeliAs
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Median South of HEMBY RD INTERSECTION ON PROVIDENCE

Transplant 25 Muhly Grass
Install 23 Carissa Hollies

Median ON HEMBY RD

72 Liriope	97 Daylillies	Existing Plants
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Rea Rd. Median

Existing Daylillies	Existing Muhly GRASS	41 Kaliedscopes Rose (T) Rose (T) Rose (T) Rose	Existing Muhly GRASS
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TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

09/01/2016 TO 09/30/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
REVENUE:				
10-3101-110 AD VALOREM TAX - CURRENT	68,784.46	163,902.35	985,000.00	83
10-3102-110 AD VALOREM TAX - 1ST PRIOR	528.00	777.54	3,500.00	78
10-3103-110 AD VALOREM TAX - NEXT 8	0.00	0.00	1,500.00	100
10-3110-121 AD VALOREM TAX - MOTOR	9,627.75	9,627.75	80,000.00	88
10-3115-180 TAX INTEREST	47.55	70.99	2,250.00	97
10-3231-220 LOCAL OPTION SALES TAX REV	0.00	0.00	311,250.00	100
10-3322-220 BEER & WINE TAX	0.00	0.00	45,000.00	100
10-3324-220 UTILITY FRANCHISE TAX	102,460.69	102,460.69	475,000.00	78
10-3340-400 ZONING & PERMIT FEES	2,550.00	9,250.50	24,850.00	63
10-3350-400 SUBDIVISION FEES	100.00	5,020.00	58,300.00	91
10-3830-891 MISCELLANEOUS REVENUES	200.00	466.00	1,000.00	53
10-3831-491 INVESTMENT INCOME	37.61	37.61	5,000.00	99
TOTAL REVENUE	184,336.06	291,613.43	1,992,650.00	85
AFTER TRANSFERS				
	184,336.06	291,613.43	1,992,650.00	
4110 GENERAL GOVERNMENT				
EXPENDITURE:				
10-4110-126 FIRE DEPT SUBSIDIES	61,350.01	177,927.51	717,710.00	75
10-4110-127 FIRE DEPARTMENT	0.00	0.00	10,000.00	100
10-4110-128 POLICE PROTECTION	0.00	64,250.25	258,620.00	75
10-4110-192 ATTORNEY FEES - GENERAL	0.00	2,247.50	95,000.00	98
10-4110-193 ATTORNEY FEES - LITIGATION	0.00	1,266.00	100,000.00	99
10-4110-195 ELECTION EXPENSE	0.00	0.00	3,500.00	100
10-4110-340 PUBLICATIONS	0.00	0.00	12,000.00	100
10-4110-341 WEDDINGTON FESTIVAL	2,619.39	-3,996.02	10,000.00	140
10-4110-342 HOLIDAY/TREE LIGHTING	0.00	0.00	6,500.00	100
10-4110-343 SPRING EVENT	0.00	0.00	750.00	100
10-4110-344 OTHER COMMUNITY EVENTS	0.00	0.00	500.00	100
10-4110-495 OUTSIDE AGENCY FUNDING	0.00	0.00	1,500.00	100
TOTAL EXPENDITURE	63,969.40	241,695.24	1,216,080.00	80
BEFORE TRANSFERS				
	-63,969.40	-241,695.24	-1,216,080.00	
AFTER TRANSFERS				
	-63,969.40	-241,695.24	-1,216,080.00	
4120 ADMINISTRATIVE				
EXPENDITURE:				
10-4120-121 SALARIES - CLERK	6,055.42	18,166.26	73,150.00	75
10-4120-123 SALARIES - TAX COLLECTOR	3,517.71	10,255.93	47,650.00	78
10-4120-124 SALARIES - FINANCE OFFICER	900.13	2,198.21	14,250.00	85
10-4120-125 SALARIES - MAYOR & TOWN	2,100.00	6,300.00	25,200.00	75
10-4120-181 FICA EXPENSE	961.76	2,824.17	12,800.00	78
10-4120-182 EMPLOYEE RETIREMENT	1,468.54	4,360.09	19,650.00	78

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TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

09/01/2016 TO 09/30/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4120-183 EMPLOYEE INSURANCE	2,026.00	6,078.00	26,000.00	77
10-4120-184 EMPLOYEE LIFE INSURANCE	38.92	99.40	400.00	75
10-4120-185 EMPLOYEE S-T DISABILITY	24.00	72.00	300.00	76
10-4120-191 AUDIT FEES	0.00	0.00	8,500.00	100
10-4120-193 CONTRACT LABOR	0.00	0.00	19,000.00	100
10-4120-200 OFFICE SUPPLIES - ADMIN	835.95	2,950.98	13,000.00	77
10-4120-210 PLANNING CONFERENCE	0.00	0.00	4,000.00	100
10-4120-321 TELEPHONE - ADMIN	203.54	590.02	3,500.00	83
10-4120-325 POSTAGE - ADMIN	570.40	711.90	2,500.00	72
10-4120-331 UTILITIES - ADMIN	677.38	999.83	4,250.00	76
10-4120-351 REPAIRS & MAINTENANCE -	0.00	0.00	22,500.00	100
10-4120-352 REPAIRS & MAINTENANCE -	16,166.78	24,185.96	65,000.00	63
10-4120-354 REPAIRS & MAINTENANCE -	3,515.00	6,577.50	63,520.00	90
10-4120-355 REPAIRS & MAINTENANCE -	0.00	595.00	1,000.00	41
10-4120-356 REPAIRS & MAINTENANCE -	500.00	900.00	6,000.00	85
10-4120-370 ADVERTISING - ADMIN	0.00	107.10	1,000.00	89
10-4120-397 TAX LISTING & TAX	15.48	-31.12	500.00	106
10-4120-400 ADMINISTRATIVE:TRAINING	0.00	0.00	4,000.00	100
10-4120-410 ADMINISTRATIVE:TRAVEL	276.53	625.42	5,000.00	87
10-4120-450 INSURANCE	0.00	13,533.28	15,500.00	13
10-4120-491 DUES & SUBSCRIPTIONS	0.00	14,091.92	18,000.00	22
10-4120-498 GIFTS & AWARDS	221.74	721.74	3,000.00	76
10-4120-499 MISCELLANEOUS	407.80	411.72	5,000.00	92
TOTAL EXPENDITURE	40,483.08	117,325.31	484,170.00	76
BEFORE TRANSFERS	-40,483.08	-117,325.31	-484,170.00	
AFTER TRANSFERS	-40,483.08	-117,325.31	-484,170.00	

4130 PLANNING & ZONING

EXPENDITURE:

10-4130-121 SALARIES - ZONING	0.00	11,311.73	58,750.00	81
10-4130-122 SALARIES - ASST ZONING	921.57	1,067.43	2,250.00	53
10-4130-123 SALARIES - ADMINISTRATIVE	1,732.80	5,208.00	25,725.00	80
10-4130-124 SALARIES - PLANNING BOARD	425.00	1,075.00	5,200.00	79
10-4130-125 SALARIES - SIGN REMOVAL	246.61	692.09	4,000.00	83
10-4130-181 FICA EXPENSE - P&Z	254.47	1,480.68	8,025.00	82
10-4130-182 EMPLOYEE RETIREMENT - P&Z	265.81	2,534.09	13,500.00	81
10-4130-183 EMPLOYEE INSURANCE	1,013.00	5,065.00	27,000.00	81
10-4130-184 EMPLOYEE LIFE INSURANCE	8.96	49.84	300.00	83
10-4130-185 EMPLOYEE S-T DISABILITY	0.00	24.00	150.00	84
10-4130-193 CONSULTING	2,356.75	-1,819.42	10,000.00	118
10-4130-194 CONSULTING - COG	1,250.00	655.00	21,750.00	97
10-4130-200 OFFICE SUPPLIES - PLANNING	720.08	2,472.54	5,000.00	51
10-4130-201 ZONING SPECIFIC OFFICE	0.00	0.00	2,500.00	100
10-4130-215 HISTORIC PRESERVATION	0.00	249.46	2,500.00	90

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

09/01/2016 TO 09/30/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4130-220 INFRASTRUCTURE	0.00	0.00	94,500.00	100
10-4130-321 TELEPHONE - PLANNING &	203.56	590.05	3,500.00	83
10-4130-325 POSTAGE - PLANNING & ZONING	525.31	666.81	2,500.00	73
10-4130-331 UTILITIES - PLANNING & ZONING	677.37	999.82	4,250.00	76
10-4130-370 ADVERTISING - PLANNING &	-76.50	30.60	1,000.00	97
TOTAL EXPENDITURE	<u>10,524.79</u>	<u>32,352.72</u>	<u>292,400.00</u>	<u>89</u>
BEFORE TRANSFERS	<u>-10,524.79</u>	<u>-32,352.72</u>	<u>-292,400.00</u>	
AFTER TRANSFERS	<u>-10,524.79</u>	<u>-32,352.72</u>	<u>-292,400.00</u>	
GRAND TOTAL	<u>69,358.79</u>	<u>-99,759.84</u>	<u>0.00</u>	

TOWN OF WEDDINGTON
BALANCE SHEET

FY 2016-2017

PERIOD ENDING: 09/30/2016

10

ASSETS

ASSETS

10-1120-000	TRINITY CHECKING ACCOUNT	936,099.00
10-1120-001	TRINITY MONEY MARKET	1,110,651.32
10-1170-000	NC CASH MGMT TRUST	531,365.62
10-1211-001	A/R PROPERTY TAX	870,502.60
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	5,088.74
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	11,289.59
10-1232-000	SALES TAX RECEIVABLE	1,685.97
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	1,753,018.11
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	23,513.12
10-1610-003	FIXED ASSETS - EQUIPMENT	118,306.60
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.01
TOTAL ASSETS		<u>5,388,371.68</u>

LIABILITIES & EQUITY

LIABILITIES

10-2120-000	BOND DEPOSIT PAYABLE	75,002.25
10-2155-000	HEALTH INSURANCE PAYABLE	-1,025.00
10-2156-000	LIFE INSURANCE PAYABLE	-16.24
10-2620-000	DEFERRED REVENUE - DELQ TAXES	5,088.74
10-2625-000	DEFERRED REVENUE - CURR YR TAX	870,502.60
10-2630-000	DEFERRED REVENUE-NEXT 8	11,289.59
TOTAL LIABILITIES		<u>960,841.94</u>

EQUITY

10-2620-001	FUND BALANCE - UNASSIGNED	2,238,530.00
10-2620-003	FUND BALANCE-ASSIGNED	54,000.00
10-2620-004	FUND BALANCE-INVEST IN FIXED ASSETS	1,921,691.04
10-2620-005	CURRENT YEAR EQUITY YTD	313,068.54
CURRENT FUND BALANCE - YTD NET REV		-99,759.84
TOTAL EQUITY		<u>4,427,529.74</u>

TOTAL LIABILITIES & FUND EQUITY	<u>5,388,371.68</u>
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TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: October 10, 2016

SUBJECT: Monthly Report –September 2016

Transactions:	
Interest Charges	\$82.82
Adjustments Under 5.00	\$(1.76)
Refunds	\$254.44
Penalty & Interest Payments	\$(57.45)
Taxes Collected:	
2016	\$(41594.70)
2015	\$(528.00)
As of September 30, 2016; the following taxes remain Outstanding:	
2006	\$56.80
2007	\$93.78
2008	\$1033.81
2009	\$865.35
2010	\$729.72
2011	\$381.13
2012	\$2329.63
2013	\$2749.81
2014	\$3049.56
2015	\$5088.74
2016	\$870502.60
Total Outstanding:	\$886880.93



Union County Sheriff's Office

Events By Nature

For the Month of: September 2016

Date of Report

10/4/2016

9:20:42AM

<u>Event Type</u>	<u>Total</u>
911 HANG UP	43
911 MISDIAL	6
ACCIDENT EMD	3
ACCIDENT HITRUN PD LAW	2
ACCIDENT PD COUNTY NO EMD	18
ACCIDENT PD MUNICIPAL	1
ALARMS LAW	45
ANIMAL BITE FOLLOW UP	2
ANIMAL BITE REPORT LAW	2
ANIMAL COMP SERVICE CALL LAW	5
ASSIST EMS OR FIRE	2
ATTEMPT TO LOCATE	3
BOLO	17
BURGLARY HOME OTHER NONBUSINESS	4
BURGLARY VEHICLE	5
BUSINESS CHECK	11
CALL BY PHONE	17
CARDIAC RESPIRTY ARREST EMD	1
DISCHARGE OF FIREARM	1
DISTURBANCE OR NUISANCE	4
DOMESTIC DISTURBANCE	3
ESCORT	5
FOLLOW UP INVESTIGATION	5
FOOT PATROL	1
FRAUD DECEPTION FORGERY	2
FUNERAL ESCORT	1
HARASSMENT STALKING THREATS	2
ILLEGAL DUMPING LITTERING	1

<u>Event Type</u>	<u>Total</u>
INVESTIGATION	7
JURISDICTION CONFIRMATION LAW	18
JUVENILE COMPLAINT	1
KNOCK AND TALK	1
LARCENY THEFT	8
LOST OR FOUND PROPERTY	1
MEDICAL EXAMINER	2
MEET REQUEST NO REFERENCE GIVN	4
MENTAL DISORDER	1
MOTORIST ASSIST	7
POISONING EMD	1
PREVENTATIVE PATROL	240
PROP DAMAGE VANDALISM MISCHIEF	5
RADAR PATROL INCLUDING TRAINIG	21
REFERAL OR INFORMATION CALL	3
RUNAWAY REPORT	2
SEARCH CONDUCTED BY LAW AGENCY	3
SERVE CRIMINAL CIVIL SUBPOENA	1
SERVE WARRANT	2
SPEEDING VEHICLE COMPLAINT	1
STRUCTURE FIRE EFD	1
SUSPICIOUS CIRCUMSTANCES	3
SUSPICIOUS PERSON	10
SUSPICIOUS VEHICLE	9
THEFT OF VEHICLE OR PARTS	2
TRAFFIC HAZARD	3
TRAFFIC STOP	86
TRAFFIC VIOLATION COMPLAINT	6
TRESPASSING UNWANTED SUBJ	1
UNAUTHORIZED USE	1
VEHICLE FIRE EFD	1
WELL BEING CHECK	1

Event Type

Total

Total Calls for Month: **665**

Weddington

9/2016

UCR Code	Description	Date of Report	Incident ID	
13B				
13B	SIMPLE ASSAULT	9/6/16	201607972	
			Total:	1
13C				
13C	COMMUNICATING THREATS	9/9/16	201608137	
			Total:	1
220				
220	BREAKING/ENTERING-FELONY	9/2/16	201607880	
220	ATT BREAK OR ENTER BLDG (M)	9/8/16	201608065	
220	BURGLARY-1ST DEGREE	9/22/16	201608529	
220	BREAKING/ENTERING-FELONY	9/27/16	201608704	
220	BREAKING/ENTERING-FELONY	9/27/16	201608715	
220	BREAKING OR ENTERING (M)	9/30/16	201608827	
			Total:	6
23F				
23F	BEL / THEFT FROM MOTOR VEHICLE	9/6/16	201607963	
23F	BEL / THEFT FROM MOTOR VEHICLE	9/20/16	201608448	
23F	BEL / THEFT FROM MOTOR VEHICLE	9/22/16	201608546	
23F	BEL / THEFT FROM MOTOR VEHICLE	9/29/16	201608763	
23F	BEL / THEFT FROM MOTOR VEHICLE	9/30/16	201608802	
			Total:	5
23H				
23H	LARCENY-FELONY	9/14/16	201608257	
23H	LARCENY-FELONY	9/20/16	201608441	Unfounded
23H	LARCENY-MISDEMEANOR	9/23/16	201608587	
23H	LARCENY-MISDEMEANOR	9/27/16	201608689	
23H	LARCENY-FELONY	9/28/16	201608740	
23H	LARCENY-MISDEMEANOR	9/29/16	201608762	
			Total:	6
26A				
26A	OBTAINING PROPERTY BY FALSE PRETENSES	9/11/16	201608179	
26A	IDENTITY THEFT	9/29/16	201608772	
			Total:	2
290				
290	INJURY TO REAL PROPERTY	9/2/16	201607880	
290	INJURY TO REAL PROPERTY	9/22/16	201608529	
290	INJURY TO REAL PROPERTY	9/27/16	201608704	
290	VANDALISM	9/28/16	201608720	
290	INJURY TO REAL PROPERTY	9/30/16	201608827	
			Total:	5
35B				
35B	POSSESS DRUG PARAPHERNALIA	9/6/16	201608020	

Weddington

9/2016

UCR Code	Description	Date of Report	Incident ID	
			Total:	1
370				
370	DISSEMINATING OBSCENITY	9/19/16	201608418	
			Total:	1
90C				
90C	DISORDERLY CONDUCT	9/27/16	201608693	
			Total:	1
90D				
90D	DRIVING WHILE IMPAIRED	9/13/16	201608238	
			Total:	1
90I				
90I	RUNAWAY	9/19/16	201608425	
			Total:	1
90Z				
90Z	LITTERING	9/7/16	201608041	
90Z	HARASSING PHONE CALL	9/30/16	201608825	
			Total:	2
999				
999	ACCIDENT NO VISIBLE INJURY	9/1/16	201607840	
999	ACCIDENT NO VISIBLE INJURY	9/2/16	201607855	
999	ACCIDENT NO VISIBLE INJURY	9/2/16	201607871	
999	ACCIDENT POSSIBLE INJURY	9/4/16	201607917	
999	ACCIDENT NO VISIBLE INJURY	9/7/16	201608039	
999	DOMESTIC	9/9/16	201608136	
999	DOMESTIC	9/11/16	201608160	
999	ACCIDENT NO VISIBLE INJURY	9/13/16	201608223	
999	DOMESTIC	9/13/16	201608226	
999	INVESTIGATION	9/14/16	201608255	Unfounded
999	INVESTIGATION	9/14/16	201608262	
999	INVESTIGATION	9/16/16	201608352	
999	ANIMAL CALL BITE	9/21/16	201608466	
999	ACCIDENT NO VISIBLE INJURY	9/22/16	201608552	
999	DEATH INVESTIGATION	9/24/16	201608602	
999	HIT & RUN - LEAVE SCENE	9/26/16	201608661	
999	ACCIDENT NO VISIBLE INJURY	9/29/16	201608782	
			Total:	17

Monthly Crime Total

50

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {09/01/2016} And {09/30/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1608566-000	09/01/2016	00:01:26	7112 STONEHAVEN DR	311 Medical assist, assist EMS c
16-1608575-000	09/01/2016	08:34:58	2831 CRANE RD	321 EMS call, excluding vehicle
16-1608590-000	09/01/2016	17:22:01	3911 VOLTAIRE DR /Monroe,	611 Dispatched & cancelled en ro
16-1608597-000	09/01/2016	19:50:35	7509 NEW TOWN RD	321 EMS call, excluding vehicle
16-1608602-000	09/01/2016	21:26:33	4817 SANDTYN DR	611 Dispatched & cancelled en ro
16-1608617-000	09/02/2016	09:06:36	4901 WEDDINGTON RD /Weddi	321 EMS call, excluding vehicle
16-1608621-000	09/02/2016	09:44:39	NEW TOWN RD & BILLY HOWEY	611 Dispatched & cancelled en ro
16-1608622-000	09/02/2016	10:24:50	2825 CRANE RD	611 Dispatched & cancelled en ro
16-1608629-000	09/02/2016	17:32:24	408 FIVE LEAF LN	745 Alarm system activation, no
16-1608637-000	09/02/2016	18:36:09	WAXHAW INDIAN TRAIL RD &	324 Motor Vehicle Accident with
16-1608658-000	09/03/2016	04:57:49	8814 SILVER CHARM LN	745 Alarm system activation, no
16-1608672-000	09/03/2016	14:49:23	1214 HIGH BROOK DR	554 Assist invalid
16-1608680-000	09/03/2016	20:00:48	3438 FOREST LAWN DR /Wedd	163 Outside gas or vapor combust
16-1608695-000	09/04/2016	09:36:47	650 COTTONFIELD CIR /Wedd	321 EMS call, excluding vehicle
16-1608696-000	09/04/2016	09:43:12	5110 TWIN CEDARS DR /Wesl	321 EMS call, excluding vehicle
16-1608707-000	09/04/2016	17:10:24	1258 WILLOW OAKS TR /Wedd	321 EMS call, excluding vehicle
16-1608709-000	09/04/2016	18:01:33	1675 COX RD /Weddington,	151 Outside rubbish, trash or wa
16-1608710-000	09/04/2016	18:06:47	HADLEY PARK LN & BEULAH C	322 Motor vehicle accident with
16-1608718-000	09/05/2016	02:41:48	2016 AUTUMN BLOSSOM LN /M	321 EMS call, excluding vehicle
16-1608728-000	09/05/2016	14:31:27	WAXHAW INDIAN TRAIL RD &	324 Motor Vehicle Accident with
16-1608730-000	09/05/2016	16:20:43	504 CASTLESTONE LN /Matth	311 Medical assist, assist EMS c
16-1608748-000	09/06/2016	07:28:04	8200 POTTER RD /Weddingto	321 EMS call, excluding vehicle
16-1608758-000	09/06/2016	09:12:12	4914 WAXHAW MARVIN RD	111 Building fire
16-1608757-000	09/06/2016	11:00:04	201 GATEWOOD LN /Weddingt	321 EMS call, excluding vehicle
16-1608772-000	09/06/2016	17:24:05	10709 WAXHAW HWY	611 Dispatched & cancelled en ro
16-1608773-000	09/06/2016	17:46:10	13601 PROVIDENCE RD /Wedd	321 EMS call, excluding vehicle
16-1608791-000	09/06/2016	21:57:07	6063 FOGGY GLEN PL /Weddi	321 EMS call, excluding vehicle
16-1608794-000	09/07/2016	08:39:54	8707 LAURELWOOD LN /Marvi	542 Animal rescue
16-1608798-000	09/07/2016	11:17:38	5925 Weddington RD /Wesle	321 EMS call, excluding vehicle
16-1608803-000	09/07/2016	13:50:06	425 AMANDA DR /Weddington	321 EMS call, excluding vehicle
16-1608809-000	09/07/2016	17:06:50	503 PALMERSTON LN	622 No Incident found on arrival
16-1608810-000	09/07/2016	17:22:38	LAURELWOOD LN & SANDALWOO	132 Road freight or transport ve
16-1608822-000	09/07/2016	22:17:48	11006 MAGNA LN /Indian Tr	321 EMS call, excluding vehicle
16-1608831-000	09/08/2016	07:45:00	WESLEY CHAPEL RD & TAYLOR	324 Motor Vehicle Accident with
16-1608837-000	09/08/2016	08:55:29	905 OLIVE MILL LN	321 EMS call, excluding vehicle
16-1608841-000	09/08/2016	11:47:55	424 WAXHAW INDIAN TRAIL R	351 Extrication of victim(s) fro
16-1608842-000	09/08/2016	12:22:09	8712 CHEWTON GLEN DR	733 Smoke detector activation du
16-1608843-000	09/08/2016	12:34:20	110 S POTTER RD /Monroe,	321 EMS call, excluding vehicle
16-1608851-000	09/08/2016	20:01:58	4309 OVERBECKS LN	113 Cooking fire, confined to co
16-1608867-000	09/09/2016	10:03:02	824 UNDERWOOD RD /Wesley	321 EMS call, excluding vehicle
16-1608872-000	09/09/2016	13:09:08	3304 BANYAN WAY /Marvin,	745 Alarm system activation, no
16-1608877-000	09/09/2016	15:37:42	1149 SARANDON DR /Stallin	112 Fires in structure other tha
16-1608878-000	09/09/2016	17:12:09	13801 PROVIDENCE RD /Matt	611 Dispatched & cancelled en ro
16-1608879-000	09/09/2016	17:48:04	815 Beckford Glen DR	321 EMS call, excluding vehicle
16-1608889-000	09/09/2016	22:24:55	1114 OLEANDER LN	311 Medical assist, assist EMS c
16-1608909-000	09/10/2016	13:01:09	9411 BELMONT LN /Marvin,	745 Alarm system activation, no

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {09/01/2016} And {09/30/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1608915-000	09/10/2016	18:49:37	S PROVIDENCE RD & NEW TOW	324 Motor Vehicle Accident with
16-1608920-000	09/10/2016	19:57:58	7509 SPARKLEBERRY DR /Ind	611 Dispatched & cancelled en ro
16-1608923-000	09/10/2016	21:53:10	419 SEMMES LN /Indian Tra	311 Medical assist, assist EMS c
16-1608925-000	09/10/2016	22:30:34	7401 YELLOWHORN	520 Water problem, Other
16-1608928-000	09/11/2016	01:17:08	7203 YELLOWHORN TR	321 EMS call, excluding vehicle
16-1608937-000	09/11/2016	07:08:21	6063 FOGGY GLEN PL /Weddi	554 Assist invalid
16-1608941-000	09/11/2016	08:43:21	4009 PAUL ROSE LN /Weddin	611 Dispatched & cancelled en ro
16-1608950-000	09/11/2016	17:44:37	4003 CLOVER HILL RD /Indi	311 Medical assist, assist EMS c
16-1608956-000	09/11/2016	20:02:05	4201 AVOCET LN /Monroe, N	321 EMS call, excluding vehicle
16-1608958-000	09/11/2016	20:15:18	4714 GOLDMINE RD /Wesley	321 EMS call, excluding vehicle
16-1608973-000	09/12/2016	08:41:28	315 WAXHAW INDIAN TRAIL R	
16-1608974-000	09/12/2016	09:10:20	1722 WALDEN POND LN	321 EMS call, excluding vehicle
16-1608982-000	09/12/2016	11:16:16	4005 HONEYBROOK CT /Wesle	445 Arcing, shorted electrical e
16-1609002-000	09/13/2016	13:29:41	502 CIRCLE TRACE RD /Monr	736 CO detector activation due t
16-1609004-000	09/13/2016	14:38:32	2825 CRANE RD	143 Grass fire
16-1609010-000	09/13/2016	16:09:31	1225 HADLEY PARK LN /Wedd	321 EMS call, excluding vehicle
16-1609017-000	09/13/2016	18:45:18	299 STILLWELL DR & PECAN	154 Dumpster or other outside tr
16-1609018-000	09/13/2016	18:58:24	2831 CRANE RD /Wesley Cha	353 Removal of victim(s) from st
16-1609020-000	09/13/2016	19:16:35	9710 REA RD	611 Dispatched & cancelled en ro
16-1609035-000	09/14/2016	12:38:25	427 LOCHAVEN RD	162 Outside equipment fire
16-1609036-000	09/14/2016	13:17:38	7009 WILLOW TRACE LN /Wed	321 EMS call, excluding vehicle
16-1609052-000	09/14/2016	22:37:55	416 MAPLE GROVE CHURCH RD	311 Medical assist, assist EMS c
16-1609056-000	09/15/2016	07:29:25	NEW TOWN RD & OPENGATE LN	324 Motor Vehicle Accident with
16-1609059-000	09/15/2016	09:02:55	8600 LONGVIEW CLUB DR	736 CO detector activation due t
16-1609066-000	09/15/2016	13:10:57	3000 Tilly Morris RD /Wed	321 EMS call, excluding vehicle
16-1609067-000	09/15/2016	14:27:40	1801 GRAYSCROFT DR	311 Medical assist, assist EMS c
16-1609071-000	09/15/2016	16:08:52	MARVIN SCHOOL RD & GROVES	322 Motor vehicle accident with
16-1609083-000	09/15/2016	21:44:46	424 RUNNING HORSE LN /Mar	622 No Incident found on arrival
16-1609106-000	09/16/2016	14:37:40	1525 Crane RD	321 EMS call, excluding vehicle
16-1609112-000	09/16/2016	17:01:08	3004 HONEYBROOK CT /Wesle	542 Animal rescue
16-1609114-000	09/16/2016	17:59:18	6320 Weddington RD /Wesle	411 Gasoline or other flammable
16-1609116-000	09/16/2016	20:20:09	4105 GLENOLA DR	611 Dispatched & cancelled en ro
16-1609133-000	09/17/2016	09:56:36	1924 Weddington RD /Weddi	553 Public service
16-1609127-000	09/17/2016	10:46:03	910 HOUSTON DR /Wesley Ch	311 Medical assist, assist EMS c
16-1609139-000	09/17/2016	18:30:12	13801 Providence RD /Wedd	321 EMS call, excluding vehicle
16-1609145-000	09/17/2016	20:10:59	1525 Crane RD	322 Motor vehicle accident with
16-1609150-000	09/17/2016	21:42:10	201 AIRPORT RD /Monroe, N	611 Dispatched & cancelled en ro
16-1609151-000	09/17/2016	22:43:54	8605 BONDS GROVE CHURCH R	311 Medical assist, assist EMS c
16-1609154-000	09/18/2016	01:21:17	1011 SPRING ROSE LN /Wedd	735 Alarm system sounded due to
16-1609156-000	09/18/2016	05:25:52	1032 UNDERWOOD RD /Wesley	311 Medical assist, assist EMS c
16-1609158-000	09/18/2016	07:12:44	708 PROVIDENCE OAK LN /We	311 Medical assist, assist EMS c
16-1609171-000	09/18/2016	09:35:05	1525 Crane RD	553 Public service
16-1609176-000	09/18/2016	13:25:07	1108 FIRETHORNE CLUB DR	311 Medical assist, assist EMS c
16-1609185-000	09/18/2016	17:07:31	504 ARBORVITAE CT /Marvin	745 Alarm system activation, no
16-1609187-000	09/18/2016	17:19:28	NEW TOWN RD & S TWELVE MI	444 Power line down
16-1609192-000	09/18/2016	21:48:51	1208 FARM CREEK RD	735 Alarm system sounded due to

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {09/01/2016} And {09/30/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1609196-000	09/19/2016	03:06:43	6000 LEEDS CT /Monroe, NC	311 Medical assist, assist EMS c
16-1609216-000	09/19/2016	12:28:12	2321 WEDGEWOOD DR /Weddin	311 Medical assist, assist EMS c
16-1609217-000	09/19/2016	12:54:09	8811 KENTUCKY DERBY DR	611 Dispatched & cancelled en ro
16-1609221-000	09/19/2016	15:13:56	942 EAGLE RD /Weddington,	611 Dispatched & cancelled en ro
16-1609222-000	09/19/2016	15:16:05	9211 WOODHALL LAKE DR	
16-1609234-000	09/19/2016	19:40:51	709 SPRINGWOOD DR	321 EMS call, excluding vehicle
16-1609249-000	09/20/2016	10:04:08	5001 RED WILLOW LN /Weddi	611 Dispatched & cancelled en ro
16-1609261-000	09/20/2016	15:08:43	1525 Crane RD	324 Motor Vehicle Accident with
16-1609278-000	09/21/2016	05:31:08	202 EAGLE BEND DR	321 EMS call, excluding vehicle
16-1609289-000	09/21/2016	12:56:26	9200 UNBRIDLE LN	311 Medical assist, assist EMS c
16-1609295-000	09/21/2016	16:13:25	5253 HEMBY RD /A/Weddingt	113 Cooking fire, confined to co
16-1609299-000	09/21/2016	17:37:18	JOE KERR RD & WHEAT FIELD	324 Motor Vehicle Accident with
16-1609300-000	09/21/2016	18:08:42	4008 N TWELVE MILE CREEK	542 Animal rescue
16-1609303-000	09/21/2016	19:44:36	5208 GOLDMINE RD /Wesley	554 Assist invalid
16-1609318-000	09/22/2016	08:29:53	617 GREENBROOK PKWY /Wedd	412 Gas leak (natural gas or LPG
16-1609321-000	09/22/2016	11:57:47	9005 SKIPAWAY DR	321 EMS call, excluding vehicle
16-1609336-000	09/22/2016	18:56:12	13601 Providence RD /Wedd	311 Medical assist, assist EMS c
16-1609354-000	09/23/2016	11:00:18	617 WHITE TAIL TER /Marvi	321 EMS call, excluding vehicle
16-1609358-000	09/23/2016	13:07:36	6350 WEDDINGTON RD /Wesle	735 Alarm system sounded due to
16-1609367-000	09/23/2016	17:08:09	5607 WEDDINGTON RD /Weddi	322 Motor vehicle accident with
16-1609368-000	09/23/2016	17:40:20	1101 LONGMEADOW LN /Monro	321 EMS call, excluding vehicle
16-1609370-000	09/23/2016	17:47:04	4689 WEDDINGTON RD /Monro	142 Brush or brush-and-grass mix
16-1609369-000	09/23/2016	17:52:12	ANTIOCH CHURCH RD & BEULA	622 No Incident found on arrival
16-1609371-000	09/23/2016	19:23:35	2423 CREEK MANOR DR	311 Medical assist, assist EMS c
16-1609373-000	09/23/2016	19:41:52	2423 CREEK MANOR DR	311 Medical assist, assist EMS c
16-1609374-000	09/23/2016	20:13:09	6350 WEDDINGTON RD /Wesle	733 Smoke detector activation du
16-1609378-000	09/23/2016	20:54:05	6916 PINWOOD FOREST DR /	321 EMS call, excluding vehicle
16-1609389-000	09/24/2016	02:05:43	4532 GLEN OAKS DR /Weddin	321 EMS call, excluding vehicle
16-1609393-000	09/24/2016	07:19:26	1351 CHESTNUT LN /Indian	611 Dispatched & cancelled en ro
16-1609406-000	09/24/2016	17:16:36	516 PACER LN /Marvin, NC	554 Assist invalid
16-1609408-000	09/24/2016	18:12:10	9620 BELLOAK LN	321 EMS call, excluding vehicle
16-1609413-000	09/24/2016	19:15:54	1400 CUTHBERTSON RD	311 Medical assist, assist EMS c
16-1609421-000	09/25/2016	01:31:14	7306 STONEHAVEN DR /Marvi	311 Medical assist, assist EMS c
16-1609450-000	09/25/2016	07:33:05	2620 WAXHAW MARVIN RD /Ma	381 Rescue or EMS standby
16-1609431-000	09/25/2016	10:34:50	1410 WAXHAW INDIAN TRAIL	743 Smoke detector activation, n
16-1609434-000	09/25/2016	11:00:52	6513 BLACKWOOD LN	321 EMS call, excluding vehicle
16-1609442-000	09/25/2016	12:51:18	1112 CUTHBERTSON RD /Wesl	311 Medical assist, assist EMS c
16-1609441-000	09/25/2016	12:57:39	3608 BOUNTY CT /Weddingto	736 CO detector activation due t
16-1609489-000	09/26/2016	19:38:42	3304 MCPHERSON ST	611 Dispatched & cancelled en ro
16-1609494-000	09/26/2016	21:01:58	1007 ASHLEY LN /Wesley Ch	311 Medical assist, assist EMS c
16-1609499-000	09/27/2016	00:47:53	156 CARI LN /Weddington,	321 EMS call, excluding vehicle
16-1609512-000	09/27/2016	09:00:00	3500 WAXHAW PKWY	571 Cover assignment, standby, m
16-1609521-000	09/27/2016	21:24:23	825 CHESTNUT LN /Indian T	651 Smoke scare, odor of smoke
16-1609525-000	09/28/2016	06:57:13	WEDDINGTON RD & JIM PARKE	324 Motor Vehicle Accident with
16-1609529-000	09/28/2016	09:31:24	1306 CHURCHILL DOWNS DR	321 EMS call, excluding vehicle
16-1609545-000	09/28/2016	17:12:20	9020 YELLOW PINE CT	736 CO detector activation due t

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {09/01/2016} And {09/30/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1609546-000	09/28/2016	17:34:50	WAXHAW HWY & HANCOCK RD	611 Dispatched & cancelled en ro
16-1609562-000	09/29/2016	08:40:54	8805 KENTUCKY DERBY DR	321 EMS call, excluding vehicle
16-1609561-000	09/29/2016	08:50:18	1041 SPYGLASS LN /Marvin,	733 Smoke detector activation du
16-1609568-000	09/29/2016	13:16:05	6000 LEEDS CT /Monroe, NC	611 Dispatched & cancelled en ro
16-1609577-000	09/29/2016	17:50:33	409 TIMBER TOP CT /Weddin	321 EMS call, excluding vehicle
16-1609590-000	09/30/2016	07:26:45	JIM PARKER RD & WEDDINGTO	324 Motor Vehicle Accident with
16-1609589-000	09/30/2016	07:40:14	4408 WEDDINGTON MATTHEWS	322 Motor vehicle accident with
16-1609599-000	09/30/2016	13:39:48	8233 VICTORIA LAKE DR	743 Smoke detector activation, n
16-1609603-000	09/30/2016	14:23:03	1408 VAUX HALL LN	321 EMS call, excluding vehicle
16-1609604-000	09/30/2016	14:33:04	509 Weddington RD /Weddin	714 Central station, malicious f
16-1609608-000	09/30/2016	17:13:45	205 BELVEDERE LN	611 Dispatched & cancelled en ro
16-1609611-000	09/30/2016	18:20:37	709 SPRINGWOOD DR	321 EMS call, excluding vehicle
16-1609619-000	09/30/2016	19:57:46	9399 NEW TOWN RD & LEGACY	321 EMS call, excluding vehicle

Total Incident Count 151