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**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, SEPTEMBER 12, 2016 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104
AGENDA**

Prayer – Mayor Bill Deter

1. Open the Meeting
2. Pledge of Allegiance
3. Determination of Quorum
4. Special Recognition & Presentations
 - A. Certificate of Appreciation for Deputy Rodriguez
 - B. Boy Scout Luke Hardy on Eagle Scout Project
 - C. [Bond Presentation for Union County Public Schools - Mr. Jason Marton](#)
 - D. Dr. David Cook to address Council on partnership with the Town and the Artists Music Guild

PUBLIC ADDRESS TO THE COUNCIL

Any individual or group who wishes to address the Council may do so at this time. Each speaker will have three (3) minutes to make their remarks and shall obey reasonable standards of courtesy in their remarks. Typically, this is a time for the Mayor and Council to hear from the public and not respond. If questions are raised, a member of the Town Council or Staff may contact the individual after the meeting to help address issues raised. If the item you wish to speak about is a Public Hearing item, address your concerns during that time and not under the Public Comment period.

5. Public Comments
6. Additions, Deletions and/or Adoption of the Agenda

CONSENT AGENDA

The Council may designate a part of the agenda as the "Consent Agenda." Items placed on the consent agenda are judged to be non-controversial and routine. Any member of the Council may remove an item from the consent agenda and place it on the regular agenda while the agenda is being discussed and revised prior to its adoption at the beginning of the meeting. All items on the consent agenda shall be voted on and adopted by a single motion, with the minutes reflecting the motion and vote on each item.

7. Consent Agenda
 - A. [Consideration of Proclamation – Constitution Week](#)
 - B. [Review and Consideration of SR-2 Resolution for Bonner Drive](#)
 - C. Call for Public Hearing for Review and Consideration of Preliminary Plat for the major subdivision, Weddington Pond (formerly Sugar Magnolia)
8. Approval of Minutes
None

PUBLIC HEARINGS

The Public must sign up before the beginning of the meeting to speak on an item under Public Hearings. The Mayor will recognize speakers in the order in which their names appear on the sign-up sheet. The Council sets the rules for the Public Hearing. The rules may include, but are not limited to, rules fixing the maximum time allotted to each speaker; providing for the designation of spokespersons for groups of persons supporting or opposing the same positions; providing for the selection of delegates from groups of persons supporting or opposing the same positions when the number of persons wishing to attend the hearing exceeds the capacity of the Town Hall; and for providing for the maintenance of order and decorum in the conduct of the hearing.

Each speaker must address the Council from the lectern and begin their remarks by giving their name and address. Each speaker will have three (3) minutes to make remarks. A speaker may not yield any of his or her time to another speaker. Speakers must be courteous in their language and presentation. Personal attacks on the Council or members of the public will not be tolerated.

The Mayor may determine whether a speaker has gone beyond reasonable standards of courtesy in his or her remarks and shall rule on objections from other members of the Council on discourteous behavior. A majority vote of the Council may overrule the Mayor's ruling on standards of courtesy. Speakers may leave written comments and/or supporting documents, if any, with the Town Clerk to the Council.

9. Public Hearing and Consideration of Public Hearing

- A. Review and Consideration of Carrington Preliminary Plat
- B. Review and Consideration of Conditional Rezoning for Threshold Church

10. Old Business

- A. Discussion and consideration for Town Hall maintenance

11. New Business

- A. Review and Consideration for Trash Collection at Town Hall
- B. Review and Consideration of Enclave at Weddington Final Plat Phase 1 Map 1

12. Update from Planner

13. Code Enforcement Report

14. Update from Finance Officer and Tax Collector

15. Public Safety Report

16. Transportation Report

17. Council Comments

18. Adjournment



UNION COUNTY PUBLIC SCHOOLS
VOTE NOVEMBER 8, 2016
#UCPSBOND2016


UNION COUNTY PUBLIC SCHOOLS

53 Schools

Approximately 42,000 students

Schools in the UCPS System




**BOND
2016
NOV. 8**
#UCPSBOND2016

ACHIEVEMENTS

- ▶ 1 Leader in Me Lighthouse School
- ▶ 2 National Blue Ribbon Schools
- ▶ 8 A+ Schools of Distinction
- ▶ 67 Team State Championships

9
SPLASH
IMMERSIONS

QUALITY
SCHOOLS

93.1%

GRADUATION
RATE

FISCALLY
RESPONSIBLE

INNOVATIVE
TEACHING
AND LEARNING
LEADERS

\$111.2 M

SCHOLARSHIPS
CLASS OF 2016


**BOND
2016
NOV. 8**
#UCPSBOND2016

UCPS BOND HISTORY

2000-2004-2006

Bonds resulted in **23**

New School Construction Projects:

- Weddington High
- Antioch Elementary
- Fairview Elementary
- Kensington Elementary
- Marvin Elementary
- Sandy Ridge Elementary
- Walter Bickett Elementary
- Porter Ridge Elementary
- Porter Ridge Middle
- Porter Ridge High
- Rock Rest Elementary
- Rea View Elementary
- CATA
- New Town Elementary
- Rocky River Elementary
- New Wolfe School
- Marvin Ridge Middle
- Marvin Ridge High
- Stallings Elementary
- Sun Valley Elementary
- Poplin Elementary
- Cuthbertson Middle
- Cuthbertson High


**BOND
2016
NOV. 8**
#UCPSBOND2016

UCPS Bond 2016

On Nov. 8, voters will decide on
\$54 million in school bonds.



U
BOND
2016
NOV. 8
#UCPSBOND2016

WHY DO WE NEED THIS BOND?

- ▶ Increase capacity for 6 schools nearing CAP
- ▶ Sustain growth through 2025-26
- ▶ Address safety repairs and ADA
- ▶ Renovate aging facilities
- ▶ Remove aging mobile classrooms
- ▶ Construct New Transportation Facility with adequate service bays and parking



U
BOND
2016
NOV. 8
#UCPSBOND2016

2016 BOND PROJECTS

- ▶ 8 Classrooms
- ▶ 2 Teacher Workrooms
- ▶ 2 Teacher Offices
- ▶ Additional Storage
- ▶ Increase School Capacity to 1,500 (Maximum)
- ▶ 13 Mobile Classrooms
- ▶ Built in 1960

MONROE HIGH



▶ **\$3,452,760**

2016 BOND PROJECTS

- ▶ 4 Classrooms
- ▶ 2 Teacher Offices
- ▶ 2 Teacher Workrooms
- ▶ Additional Storage
- ▶ Increase School Capacity to 1,600 (Maximum)
- ▶ Built in 1960

PIEDMONT HIGH



▶ **\$2,148,384**

2016 BOND PROJECTS

- ▶ 15 Classrooms
- ▶ 2 Teacher Workrooms
- ▶ Expand Media Center
- ▶ Additional Storage
- ▶ Increase Student Capacity to 1,600 (maximum)
- ▶ 21 Mobile Classrooms
- ▶ Built in 2005

PORTER RIDGE MIDDLE



▶ **\$6,272,514**

2016 BOND PROJECTS

- ▶ 4 Classrooms
- ▶ Expand Cafeteria
- ▶ Increase Student Capacity to 1,800 (Maximum)
- ▶ Built in 2005

PORTER RIDGE HIGH



▶ **\$1,496,196**

2016 BOND PROJECTS

- ▶ 8 Classrooms
- ▶ Expand cafeteria
- ▶ 2 Teacher Workrooms
- ▶ Remove Mobile Units (3)
- ▶ Increase Student Capacity to 804 (maximum)
- ▶ Built in 1955

WESTERN UNION ELEMENTARY



▶ **\$3,882,437**

2016 BOND PROJECTS

- ▶ 10 Classrooms
- ▶ Auditorium Renovation
- ▶ Expand Administrative Office Area
- ▶ Expand Media Center
- ▶ Add Teacher Workrooms
- ▶ Expand Cafeteria and Kitchen
- ▶ New Chorus Room
- ▶ HVAC and Plumbing Upgrades

SUN VALLEY HIGH



\$24,364,734

2016 BOND PROJECTS

- ▶ ADA Renovations
- ▶ Remove Mobile Units
- ▶ Increase Student Capacity to 1,800 (maximum)
- ▶ New Athletic Stadium
- ▶ Built in 1960

SUN VALLEY HIGH



\$24,364,734

2016 BOND PROJECTS

- ▶ New Facility on Gold Mine Road
- ▶ 50,723 s.f. Facility w/ Office Space
- ▶ Increase to 16 Bays
- ▶ Parts and Storage Areas
- ▶ Secure Parking
- ▶ Current Facility does not meet DPI Recommendations
- ▶ Current Facility Built 1980

TRANSPORTATION



▶ **\$12,000,000**

2016 BOND PROJECTS

Tax Impact \$54 Million Bond



Estimated Tax Increase

\$.16 cents per \$1,000

For example, if you have a house that is worth \$100,000, then your tax increase for this portion of the bond is approximately \$16 annually.

*Source Union County Board of County Commissioners


**BOND
2016
NOV. 8**
#UCPSBOND2016

2016 BOND PROJECTS

How Can Bond Funds Be Spent?



Proceeds from a bond issue can only be used for the costs associated with:

- ▶ Construction and renovation of facilities
- ▶ Acquisition of land
- ▶ Purchase of capital items

Bond proceeds cannot be used for teacher salaries.

FREQUENTLY ASKED QUESTIONS

Q. Why do we need a new Transportation Facility?

- A. The facility on Venus Street was built in 1980.
The facility does not meet the Department of Public Instruction's recommendation for a fleet our size.
The current facility has 6 maintenance bays.
The new facility will have at least 16 bays.
UCPS has more than 400 buses in its entire fleet.
Each day, approximately 300 buses travel more than 29,000 miles, transporting 31,000 students.

FREQUENTLY ASKED QUESTIONS

Q. How were these 6 schools chosen?

A. The Board of Education recommended these projects to the BOCC after a comprehensive list failed. These 6 schools were identified based on Enrollment Forecasts and McKibben data through 2025-26. Western Union, SVHS, PRMS, PRHS, Piedmont HS, and Monroe HS will soon exceed current school capacities causing overcrowding, larger class sizes, and possible capping.

FREQUENTLY ASKED QUESTIONS

Q. What was the 2015-16 enrollment forecast for the 6 schools on the bond list?

A.

UCPS Enrollment Forecast Proposed Bond Schools

	Watch Level	Cap Level	ADM	Forecast 20th Day ADM									
			2015-2016	2016-2017	2017-2018	2018-2019	2019-2020	2020-2021	2021-2022	2022-2023	2023-2024	2024-2025	2025-2026
Elementary													
Western Union	678	778	707	696	712	725	733	724	720	714	711	705	695
Middle													
Porter Ridge	1300	1400	1348	1318	1325	1319	1365	1368	1405	1414	1458	1472	1480
High													
Monroe	1100	1200	1151	1221	1263	1226	1181	1154	1176	1234	1332	1374	1395
Piedmont	1430	1530	1365	1389	1411	1403	1464	1498	1572	1606	1555	1542	1505
Porter Ridge	1600	1700	1693	1753	1736	1728	1672	1664	1675	1710	1725	1765	1810
Sun Valley	1560	1660	1377	1480	1598	1572	1624	1630	1557	1605	1525	1509	1533

w/in capacity
 Watch Level
 Cap Level

Visiting students and EC students are included in the ADMs
 Pre-K students are NOT included in the ADMs

FREQUENTLY ASKED QUESTIONS

Q. How will community members and school stakeholders be engaged in bond projects?

A. Each school with a bond project will have a Project Advisory Team that will participate in the planning and design of the additions and renovations. This team will consist of parents, community members, students, teachers and administrators.

FREQUENTLY ASKED QUESTIONS

Q. My child's school is not on the list, why should I be concerned with renovations, additions and a new transportation facility?

A. Union County residents value quality schools and adequate learning environments. When school capacities are properly managed and planned for, it benefits the entire county. Previous bonds were approved for new schools/renovations between 2000 and 2009. Supporting this bond allows UCPS to increase school capacity in high growth areas and creates county wide stability through 2025-26.



FREQUENTLY ASKED QUESTIONS

Q. What happens if this bond doesn't pass?

A. The Board of Education will have to work with the county to develop an alternate plan to address overcrowding, larger class sizes, aging facilities, and ADA renovations. Other schools waiting for Capital Improvements will be delayed.



FREQUENTLY ASKED QUESTIONS

Q. When will my school get needed improvements?


A. This bond referendum is separate from our annual Capital Improvement Plan and will allow other schools to move up the list for needed repairs.

[Capital Improvement Plan \(CIP\)](#)

VOTING INFORMATION

- ▶ Voter registration is open
- ▶ Early voting begins **October 20, 2016**
- ▶ <http://www.co.union.nc.us/government/boardofelections>

SEE  AT THE POLL!
VOTE NOVEMBER 8, 2016


**BOND
2016
NOV. 8**
#UCPSBOND2016



SEE U AT THE POLL!

VOTE NOVEMBER 8, 2016

www.ucps.k12.nc.us



#UCPSBOND2016

ucpsbond2016@ucps.k12.nc.us

PROCLAMATION

PROCLAIMING

CONSTITUTION DAY AND CITIZENSHIP DAY

CONSTITUTION WEEK 2016

WHEREAS, our Founding Fathers, in order to secure the blessings of liberty for themselves and their posterity, did ordain and establish a Constitution for the United States of America; and

WHEREAS, at the culmination of months of deliberation, debate and compromise, on September 17, 1787, the Constitution of the United States of America was signed; and

WHEREAS, September 17, 2016, marks the 229th anniversary of the signing of the Constitution of the United States of America by the Constitutional Convention; and

WHEREAS, through all its changes over the years, the Constitution's foundation has endured and adapted; and it is the supreme law of our land; and

WHEREAS, Constitution Day and Citizenship Day are celebrated on September 17th each year during the celebration of Constitution Week, September 17th through September 23rd; and

WHEREAS, the adoption of the Constitution and the independence guaranteed to American citizens, whether by birth or by naturalization, should be celebrated by appropriate ceremonies and activities during Constitution Week.

NOW, THEREFORE, I, Bill Deter, Mayor of the Town of Weddington do hereby proclaim September 17, 2016, as Constitution Day and Citizenship Day, and September 17 through September 23, 2016, as Constitution Week. I encourage governmental leaders, as well as leaders of civic, social and educational organizations, to conduct ceremonies and programs that bring together community members to reflect on the importance of active citizenship, recognize the enduring strength of our Constitution, and reaffirm our commitment to the rights and obligations of citizenship in this great Nation.

FURTHERMORE, I urge all citizens of Weddington to reflect during this week on the many benefits of our Federal Constitution and the responsibilities and privileges of American citizenship.

IN WITNESS WHEREOF, I have hereunto set my hand this 12th day of September 2016.

Bill Deter, Mayor
Town of Weddington



PAT McCrory
Governor

NICHOLAS J. TENNYSON
Secretary

July 14, 2016

Mr. Julian Burton
Town of Weddington
1924 Weddington Road
Weddington, NC 28105

Subject: Request for SR-2 Resolution for Bonner Drive in Arbor Oaks Subdivision in the
Town of Weddington

Dear Mr. Burton:

We have been petitioned to add the subject road to the State Maintained Road System. This road can be recommended for addition upon receipt of a resolution from the Town of Weddington approving the addition.

Therefore, our office requests your assistance in obtaining a resolution (SR-2). Please provide an approved Form SR-2 if this request is acceptable to the Town.

Thank you for your prompt attention to this matter. If you have any questions, please feel free to call me at (704) 218-5100.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tony J. Pope', written in a cursive style.

Tony J. Pope
Engineering Technician

TJP:tp



**North Carolina Department of Transportation
Division of Highways
Petition for Road Addition**

ROADWAY INFORMATION: (Please Print/Type)

County: Union Road Name: Bonner Drive
(Please list additional street names and lengths on the back of this form.)

Subdivision Name: Arbor Oaks Length (miles): .13

Number of occupied homes having street frontage: 6 Located (miles): .11

miles N ☐ S ☐ E ☐ W ☐ of the intersection of Route 1344 and Route Amanda Lane
(Check one) ^{Weddington Matthews Road} (SR, NC, US) (SR, NC, US)

We, the undersigned, being property owners and/or developers of Arbor Oaks in Union County, do hereby request the Division of Highways to add the above described road.

CONTACT PERSON: Name and Address of First Petitioner. (Please Print/Type)

Name: Alan Kerley w/ Taylor Morrison Homes Phone Number: 704-400-5308

Street Address: 1410 W. Morehead Street, S-100, Charlotte, NC 28208

Mailing Address: Same

PROPERTY OWNERS

<u>Name</u>	<u>Mailing Address</u>	<u>Telephone</u>
<u>Taylor Morrison Homes</u>	<u>1410 W. Morehead St, S-100</u> <u>Charlotte, NC 28208</u>	<u>704-357-6632</u>

INSTRUCTIONS FOR COMPLETING PETITION:

1. Complete Information Section
2. Identify Contact Person (This person serves as spokesperson for petitioner(s)).
3. Attach four (4) copies of recorded subdivision plat or property deeds, which refer to candidate road.
4. Adjoining property owners and/or the developer may submit a petition. Subdivision roads with prior NCDOT review and approval only require the developer's signature.
5. If submitted by the developer, encroachment agreements from all utilities located within the right of way shall be submitted with the petition for Road addition. However, construction plans may not be required at this time.
6. Submit to District Engineer's Office.

FOR NCDOT USE ONLY: Please check the appropriate block

☐ Rural Road ☐ Subdivision platted prior to October 1, 1975 ☐ Subdivision platted after September 30, 1975

REQUIREMENTS FOR ADDITION

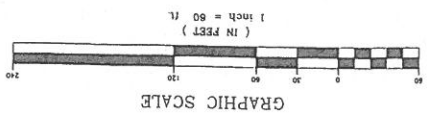
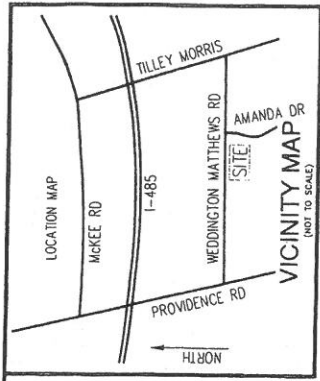
If this road meets the requirements necessary for addition, we agree to grant the Department of Transportation a right-of-way of the necessary width to construct the road to the minimum construction standards of the NCDOT. The right-of-way will extend the entire length of the road that is requested to be added to the state maintained system and will include the necessary areas outside of the right-of-way for cut and fill slopes and drainage. Also, we agree to dedicate additional right-of-way at intersections for sight distance and design purposes and execute said right-of-way agreement forms that will be submitted to us by representatives of the NCDOT. The right-of-way shall be cleared at no expense to the NCDOT, which includes the removal of utilities, fences, other obstructions, etc.

General Statute 136-102.6 (see page 29 for Statute) states that any subdivision recorded on or after October 1, 1975, must be built in accordance with NCDOT standards in order to be eligible for addition to the State Road System.

<u>ROAD NAME</u>	<u>HOMES</u>	<u>LENGTH</u>	<u>ROAD NAME</u>	<u>HOMES</u>	<u>LENGTH</u>

CURVE	LENGTH	RADIUS	CHORD	BRC	CHORD BRC
C1	8.33	668.40	570.02	352°E	8.33
C2	194.76	668.40	578.48	52°E	194.07
C3	106.29	668.40	585.15	57°E	106.18
C4	79.28	668.40	580.19	45°E	79.23
C5	36.67	28.34	550.02	21°W	34.16
C6	50.85	30.00	535.21	19°W	44.85

LEGEND:
 O MONUMENT FOUND (AS DESCRIBED)
 X PK MARK SET IN ASPHALT
 #5 REBAR SET
 G.P.U.E. GENERAL PUBLIC UTILITY EASEMENT
 CCM CONCRETE CONTROL MONUMENT

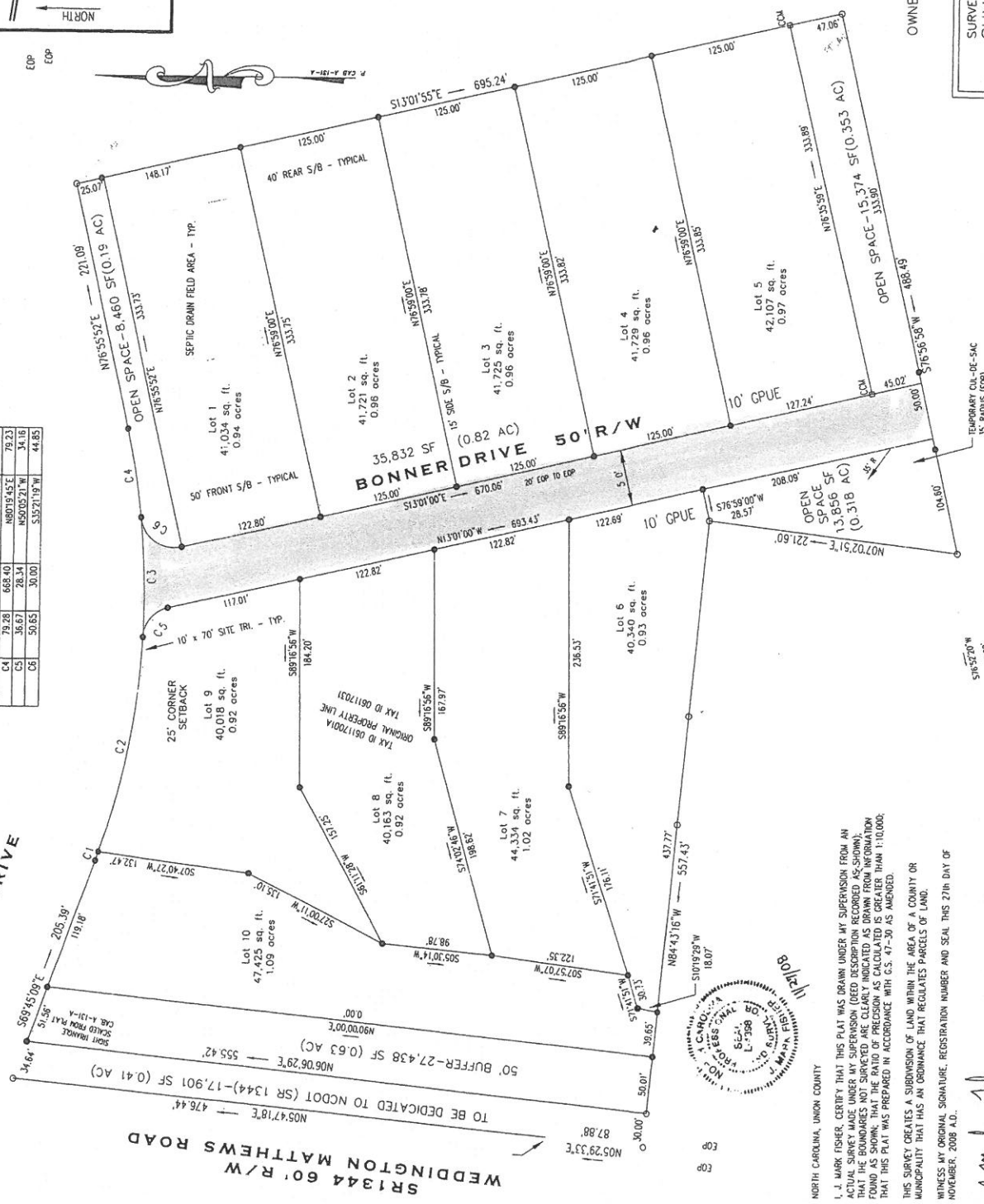


FILED Feb 13, 2009 12:09 pm
 PLAT SLIDE 0000K - 0086
 INSTRUMENT 04216
 COUNTY NC
 CRYSTAL CRUMP
 DEPUTY CLERK OF SUPERIOR COURT
 BY: *Ellen K. O'Brien*

SHEET 1 OF 3
 FINAL RECORD PLAT
 FOR
"BONNER OAKS"
 SANDY RIDGE TOWNSHIP
 TOWN OF WEDDINGTON
 UNION COUNTY, NORTH CAROLINA
 OWNER: BONNER OAKS SUBDIVISION, LLC.
 1622 LOOK OUT CIRCLE
 WAXHAW, NC 28273

SURVEY BY:
SUMMIT LAND SERVICES, PC
 9735 CALDWELL COMMONS CIRCLE, SUITE 201
 CORNELIUS, NORTH CAROLINA 28031
 (704) 506-0554

Cab K File 886



I, J. MARK FISHER, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ORIGINAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED AS SHOWN). THAT THE SURVEY HAS BEEN REVIEWED AND IS CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND AS SHOWN. THAT THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AS SHOWN. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 41-30 AS AMENDED.

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 27th DAY OF NOVEMBER, 2008 A.D.

J. Mark Fisher
 J. MARK FISHER
 NPLS L-4398

C:\LAND PROJECTS\2008\MARK FISHER - REDUCTION\SURVEY\BESSREY.DWG

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: September 12th, 2016

SUBJECT: Carrington R-CD Conservation Subdivision Conditional Zoning Preliminary Plat

MI Homes submits a subdivision Preliminary Plat application for a 71 lot Residential Conservation Subdivision on 117.64 acres located at the intersection of Weddington-Matthews Road and Beulah Church Road/Hemby Road.

Application Information:

Date of Application: June 7th, 2016
Applicant/Developer Name: MI Homes
Parcel ID#: 06120012; 06120012A; 06120021
Property Location: Weddington-Matthews Road and Hemby Road/Beulah Church Road
Existing Zoning: R-CD; R-40 (.98 acres)
Proposed Zoning: R-CD (Conservation Subdivision through the Conditional Zoning process)
Existing Land Use: Residential Conservation
Proposed Land Use: Residential Conservation (CZ)
Project Size: 117.64 Acres

Project Information:

Carrington is a proposed 71 subdivision on 117.64 acres. The subdivision is located at the intersection of Weddington-Matthews Road and Hemby/Beulah Church Road and is being developed by MI Homes, as an R-CD conservation subdivision.

The developer may close on the property in different phases in addition to platting the property in different phases. The applicant will provide a document which includes the signatures of all property owners, stating their understanding that the conditional rezoning will be tied to the land unless amended by the Town Council.

PIMs were held on December 8th, and December 9th, both at Town Hall and on-site. Planning Board reviewed and conditionally approved the Sketch Plan on December 21st, 2015. The applicant has since met all the Sketch Plan conditions and received administrative approval of those conditions.

Conservation Land Summary:

Section 58-58 (4) of the Weddington Zoning Ordinance stipulates that a minimum of 50% of the gross acreage must be retained as conservation land. Conservation lands must remain conservation lands in perpetuity. This is often done by requiring conservation easements and/or review and approval of neighborhood CCR's. Conservation lands are broken down into three tiers and given different priorities. Carrington has provided 70.04 acres of conservation lands.

Utilities

- Carrington is to be served by Union County Public Water and Sewer, and will utilize the pump station planned for the major subdivision, The Falls at Weddington.

Access and Traffic Analysis

- The subdivision is accessed by entrances either side of Weddington-Matthews Road. The applicant has worked through the Weddington TIA process with Town Staff and the Town's traffic consultant, Justin Carroll. The applicant is proposing right and left turn lanes in both directions on Weddington-Matthews Road and the off-site improvements can be found on Sheet C-700.
- **Emergency Access Road:** The east side of the development has an emergency access road which connects with Havenchase Drive in the Subdivision, Waybridge. Staff confirmed that Havenchase Drive was intended to provide future connectivity to the adjacent property at the preliminary plat approval for Waybridge. Waybridge is currently a gated community and the developer and/or the Waybridge HOA will be responsible for installing and maintaining a gate on Havenchase Drive. Although the access road will not provide added connectivity to the public, it still creates a second entrance for emergency service vehicles and increases safety for both Waybridge and Carrington subdivisions.

Construction Documents

US Infrastructure has provided an approval of the stormwater concept plan, and a first review of the full construction document set.

PIMS

- PIMs were held on December 8th, and December 9th, both at Town Hall and on-site.

Additional Information:

- Staff forwarded the sketch plan to Union County Schools, and they confirmed that all the schools servicing the subdivision had capacity.

Recommended Conditions of Approval:

1. Development subject to review and final approval of construction documents by Town's Engineering Consultant, US Infrastructure. Applicant must provide proof of approval of the construction documents before commencing with construction. Significant changes to the site plan during construction document finalization may require a second planning board review.
2. Development subject to review and approval/permitting of construction documents by Union County Public Works; Applicant must provide proof of approval of the construction documents before commencing with construction.

Planning Board Action (8/23/2016):

Recommended Approval with Conditions (Unanimous)

Town Council Action:

Approve/Approve with Conditions/Deny



ColeJenest & Stone

Shaping the Environment
Realizing the Possibilities

Land Planning
+
Landscape Architecture
+
Civil Engineering
+
Urban Design

TRANSMITTAL

Date: August 24, 2016

Reference: 4411.05 Carrington – Construction Documents 2nd Submittal
Town of Weddington- USI Project No. 140209-24

Attention: Mr. Julian Burton, AICP
Town Planner/Zoning Administrator

Company: Town of Weddington
Planning Department
1924 Weddington Road
Weddington, North Carolina 28104

Tel: 704-846-2709

**We Are
Transmitting:**

<input checked="" type="checkbox"/> Herewith <input type="checkbox"/> Under Separate Cover		
Copies	Dated	Description
2	08/23/16	Response Letter to 1 st Review Comments
2	08/23/16	Carrington Construction Documents
1	08/23/16	Carrington Design Calculations
1	08/18/16	Erosion Control Permit
1	08/15/16	Approval of 401 Water Quality Certification with Additional Conditions
1	07/27/16	NCDENR Stormwater Management Permit
2	08/22/16	100-Year Flood Analysis Exhibit

**Transmitted
Via:**

☐ Mail ☐ Overnight ☒ Courier ☐ Hand Delivery ☐ Pick-Up
☐ For Approval ☐ For Your Use ☐ As Requested ☒ For Review

Remarks: Please find the attached construction documents for 2nd subdivision preliminary plat review of Carrington single family project. Please contact the undersigned with any questions or concerns regarding this submittal package.

Thank you,

By:

David S. McAuley, PE

sac

cc:

Mr. Marty Davis - MI
Mr. Scott Herr – MI
Mr. Jeremia Murphy, PE – MI
Mr. Joel C. Causey, PE, LEED AP – CJS
Mr. Jacob D. Bachman, RLA – CJS



US INFRASTRUCTURE OF CAROLINA, INC.

CONSULTING ENGINEERS

September 1, 2016

Ms. Kim Woods, Asst. Zoning Administrator
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: Carrington Subdivision – 2nd Construction Plan Review
USI Project No. 140209 -24

Dear Kim:

We have reviewed the Carrington development plans with regard to applicable sections of the Town of Weddington's subdivision ordinance for major subdivisions and the North Carolina Division of Highways "Subdivision Roads Minimum Construction Standards" for street design. Below are comments that should be addressed by the designer:

General

- Provide NCDOT approval for internal roadway and storm drainage improvements.
- Provide NCDOT approval for driveway connections to Weddington Matthews Road.
- Provide copy of Army Corps of Engineers wetland permit.
- Provide Operation and Maintenance agreement for each storm water management pond.
- Provide street names on all sheets.

Calculations

- Revise detention calculations for BMP 1 to analyze Drainage area 1C separately. Verify time of concentration for Area 1C. Thirty minutes seems high for the 7 acre drainage area mostly of row crops. See attached.
- Verify the 100-year storm event HW/D for HW-E5 and FES-3 since these structures are adjacent to existing homes. Ensure that headwater does flood adjacent properties.
- Provide supporting calculations for the 100-YR flood analysis for setting flood protections elevations.
- Provide PE seal for the 100-YR flood analysis drawing.

Sheet C-413

- Verify that the Storm Schedule identifies all proposed double catch basins, per the revised spread calculations (example: CI-A28, CI-B18B, and others).

Sheet C-910

- Verify orifice diameter. Water quality calculations indicate a 1.61" diameter is required.

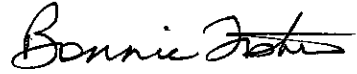
Sheet C-913

- Verify orifice diameter. Water quality calculations indicate a 2.45" diameter is required.

If you have any questions, please contact us at 704-342-3007.

Sincerely,

USInfrastructure of Carolina, Inc.

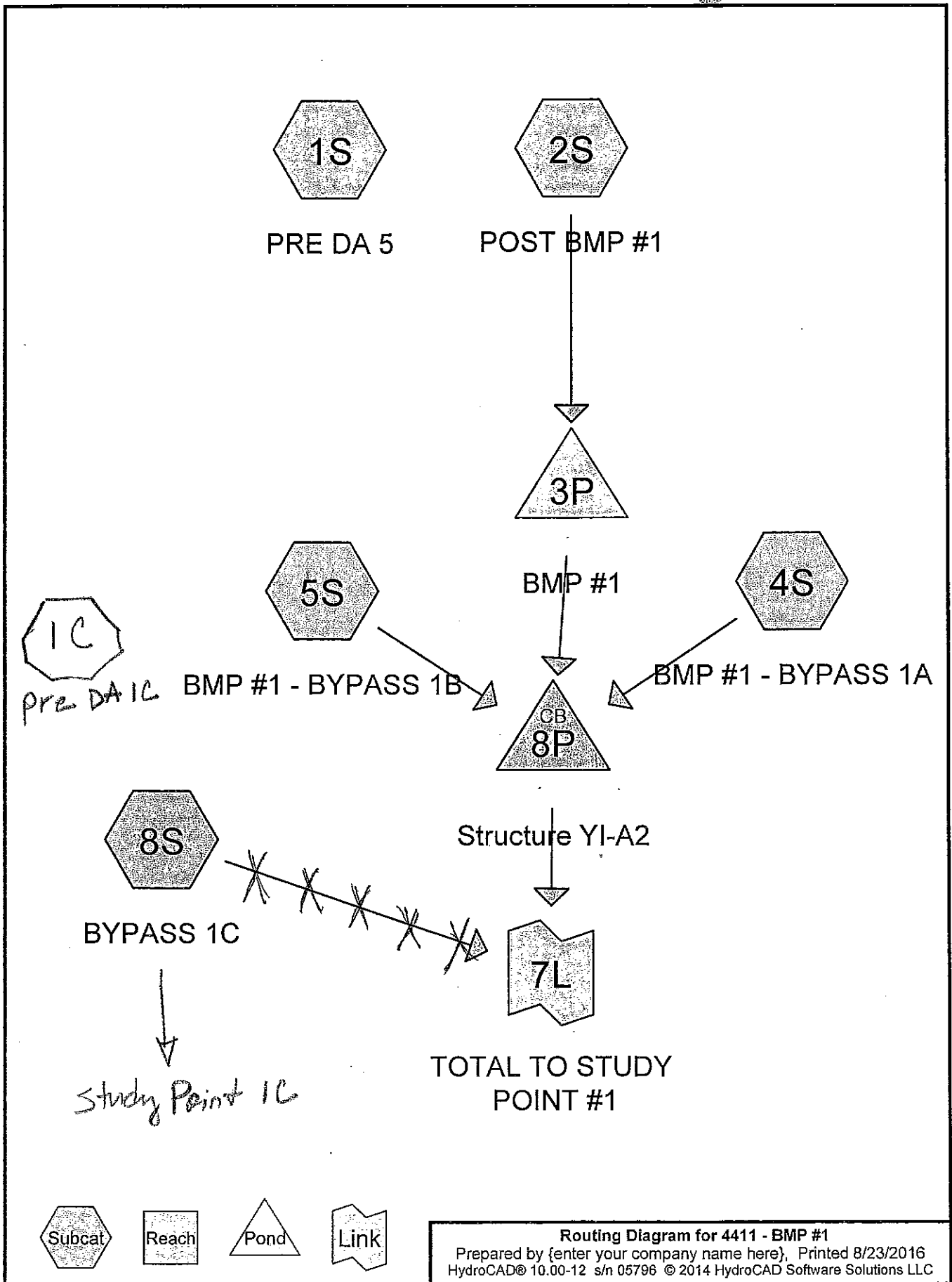


Bonnie A. Fisher, P.E.

Senior Engineer

cc: Todd Fisher, Cole Jenest & Stone
Neda Salehizadeh, NCDOT





TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: September 12th, 2016

SUBJECT: Threshold Church CZ Rezoning Construction Documents – Phase II

Threshold Church requests a conditional zoning (CZ) major amendment for Threshold Church located off of Antioch Church Rd. Phase 1 was approved in 2014 and included parking and a new driveway. Phase II includes a 17,000 square foot building expansion, additional parking, and stormwater management facilities.

Construction Documents

- US Infrastructure has provided an approval of the stormwater concept plan, and a first review of the full construction document set. The set in your packet has not addressed the first round of comments, but changes to the overall site plan are unlikely. If the site plan changes significantly, then the Town Planner will consider another planning board review and recommendation to the Town Council.

Recommended Conditions of Approval:

1. All engineering associated with construction documents to be approved by the engineering consultant, US Infrastructure

Planning Board Action for the Conditional Rezoning:

Recommended approval with conditions (July 25th, 2016)

Town Council Action:

Approve/Approve with Conditions/Deny

THRESHOLD CHURCH

SITE PLAN - PHASE 2

Antioch Church Road
Town of Weddington
North Carolina
Project Number: 14041
Date: June 22, 2016

APPLICANT

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554
richard.wilson@thresholdchurch.com

SURVEYOR

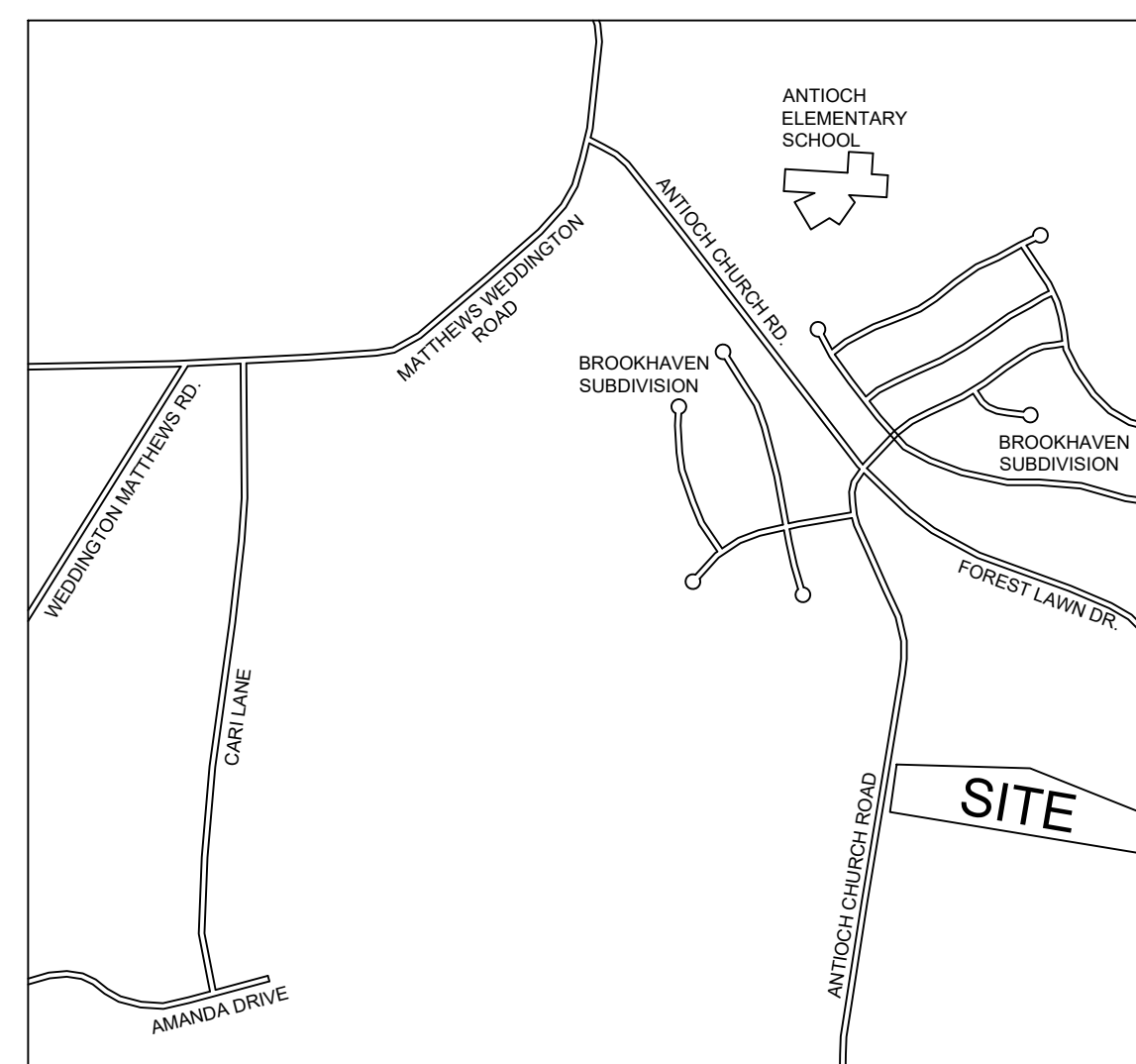
Providence Land Group
3716 Providence Road South
Waxhaw, NC 28173
704.608.4206
jking@providencelandgroup.com

ENGINEER

Construction Materials Engineering
& Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334
jmagennis@cmeccnc.com

SHEET INDEX

SP-1	SITE PLAN
SP-2	SITE PLAN DETAIL
L-1	LANDSCAPE PLAN
G-1	GRADING PLAN
S-1	STORMWATER CONCEPT PLAN
S-2	STORMWATER PRE-DEVELOPMENT PLAN
S-3	STORMWATER POST-DEVELOPMENT PLAN
S-4	DRAINAGE AREA PLAN
S-5	STORM DRAINAGE EASEMENTS
E-1	EROSION CONTROL PLAN - PHASE 1
E-2	EROSION CONTROL PLAN - PHASE 2
E-3	EROSION CONTROL DRAINAGE AREAS
U-1	UTILITY PLAN
D-1 TO D-3	CONSTRUCTION DETAILS



LOCATION MAP
SCALE: 1" = 1,000'

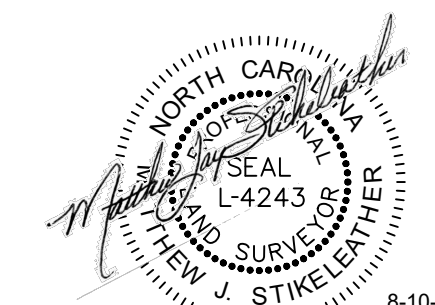
PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

CMEC, PC

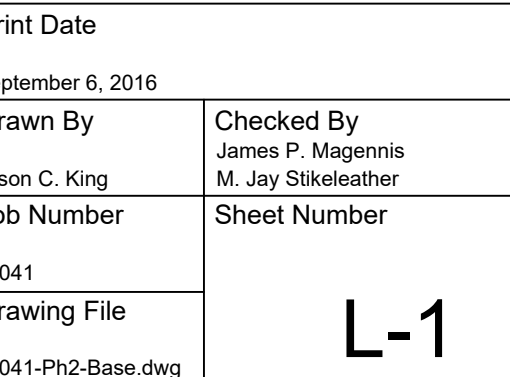
Construction Materials
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4401 Shopton Road
Charlotte, NC 28217
704.323.7334



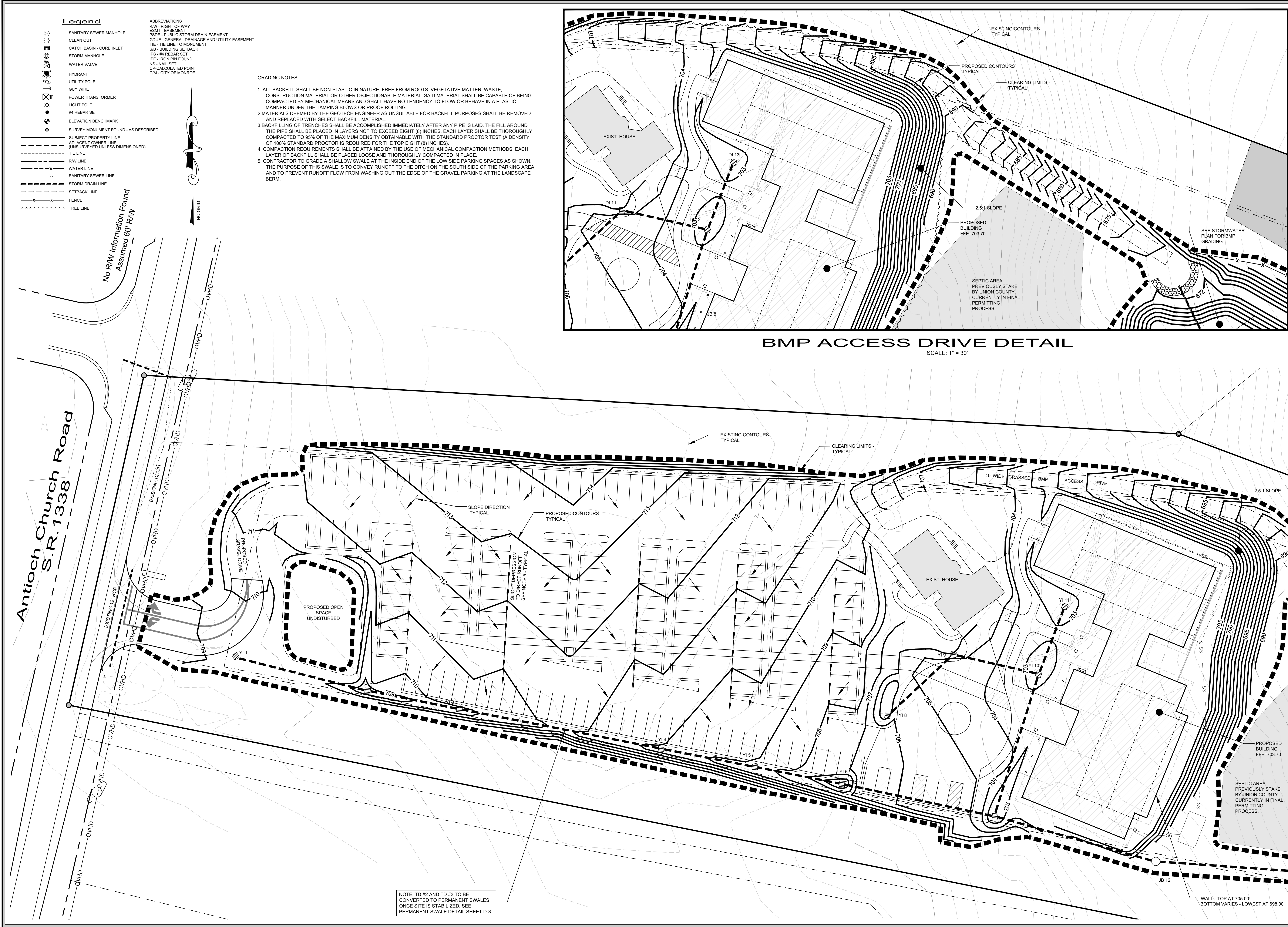
Contractor shall notify "North Carolina One Call" (811) to have utilities located at least 72 hours prior to beginning construction or excavation. Contractor shall contact any local utilities that provide their own location services independent of "North Carolina One Call". Any discrepancies should be reported to the engineer immediately.



Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 ~ SC COA #4356



ADJOINER'S
GRAVEL
DRIVE



Surveyor

Providence

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3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

Engineer

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Construction Materials
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4401 Shopton Road
Charlotte, NC 28217
704.323.7334

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

Grading Plan

Date Issued For Rev

6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By

Jason C. King

Checked By

James P. Magennis
M. Jay Stikleather

Job Number

14041

Sheet Number

Drawing File

14041-Ph2-Base.dwg

G-1

STORMWATER MANAGEMENT

The primary stormwater control for this site will be the proposed pond in the rear of the property. It will function as a skimmer basin during site construction as detailed in the erosion section of this plan, and as a water quality pond after stabilization of the site. As previously discussed, the majority of the property drains to the rear currently and after grading of the site. Storm drain pipe and catch basins will be used to divert runoff from the small area up front to the rear. By this method, all stormwater runoff can be controlled by the proposed pond.

During phase 1 of the erosion control plan, which would be after clearing and grubbing, but before the storm drain pipe is installed, the small area up front will be controlled with silt fence. The rest of the site will drain to the back through a combination of overland flow and a temporary diversion ditch on the southern side of the property. During phase 2, runoff will flow through the storm drain system to the pond. The storm drains will be protected from silt with inlet protection until the site is stabilized.

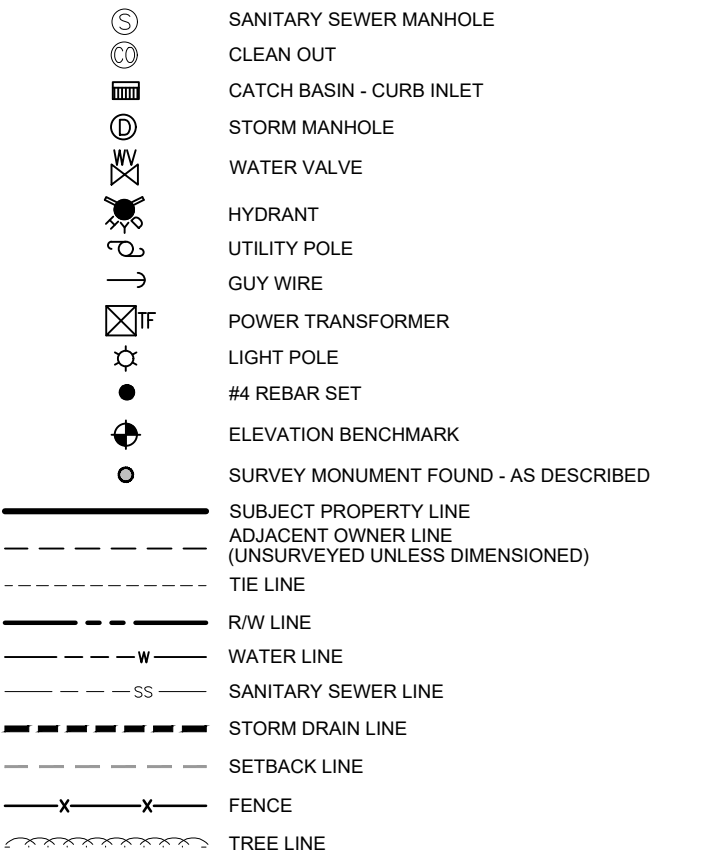
The proposed pond design is shown below. This pond is more than adequate to detain the 2,10, 25, 50 and 100 year, 24-hour storm to pre-development rates. After the site is stabilized the pond will be converted to a dry, water quality pond and reconfigured to serve as a post-construction stormwater control structure. The design for post-construction will be approved by NCDENR.

After construction, Threshold Church will be responsible for the operation and maintenance of the water quality pond.

CONSTRUCTION SCHEDULE

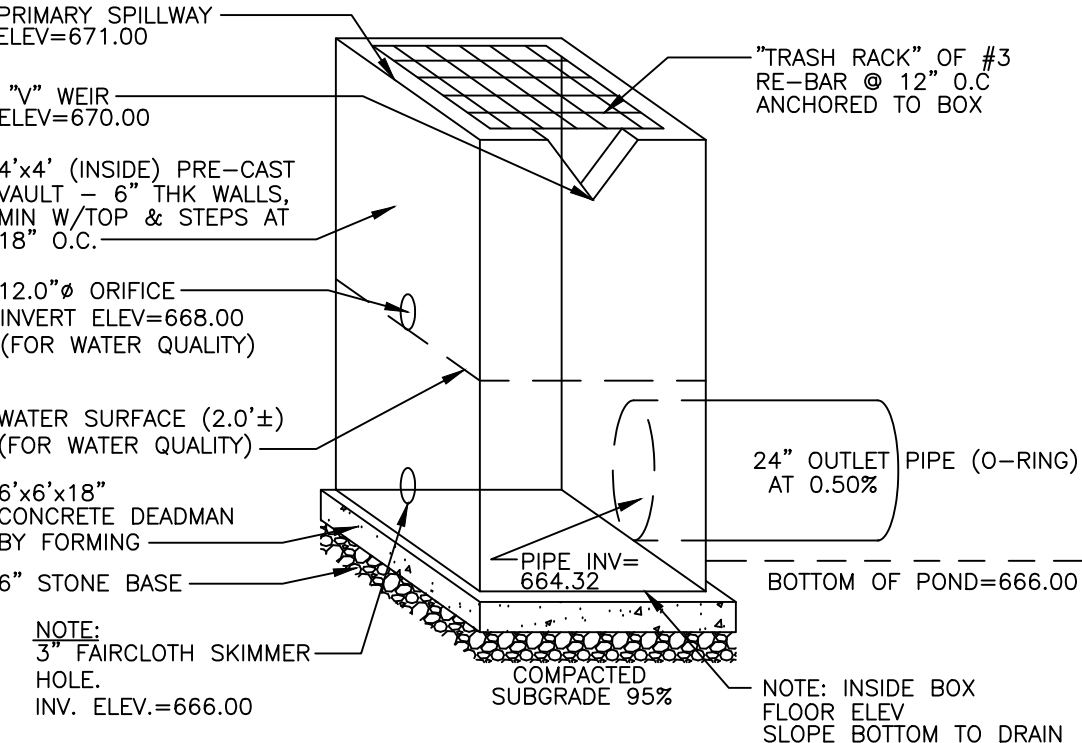
1. Obtain proper permits from NC DENR and the Town of Weddington.
2. Surveyor to flag clearing limits for the project.
3. Hold preconstruction meeting at least one week before beginning work on site.
4. Install temporary construction entrance.
5. Grade temporary diversion ditch on south side of property.
6. Build pond in rear of property for sediment control.
7. Complete clearing of the site and install silt fence.
8. Rough grade site.
9. Complete final grading and place gravel in the drive and parking areas.
10. Seed site per vegetation schedule to achieve site stabilization.
11. Inspect erosion control measures weekly or after rainfall events until the site is stabilized.
12. After stabilization is complete, removed silt fence and other temporary erosion control measures.
13. Convert pond to post-construction design for water quality.
14. Estimated time before final stabilization, 2 months.

Legend

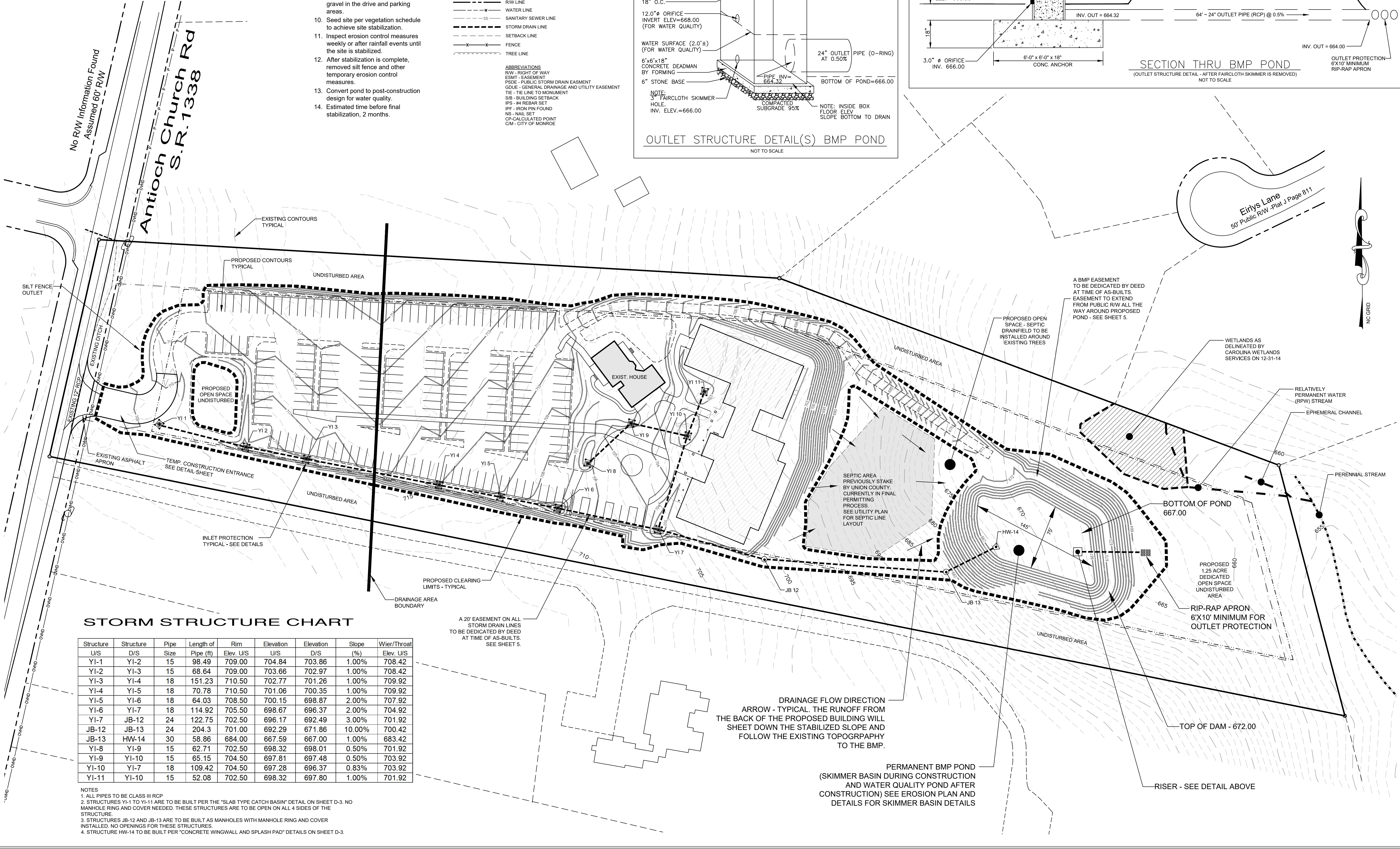
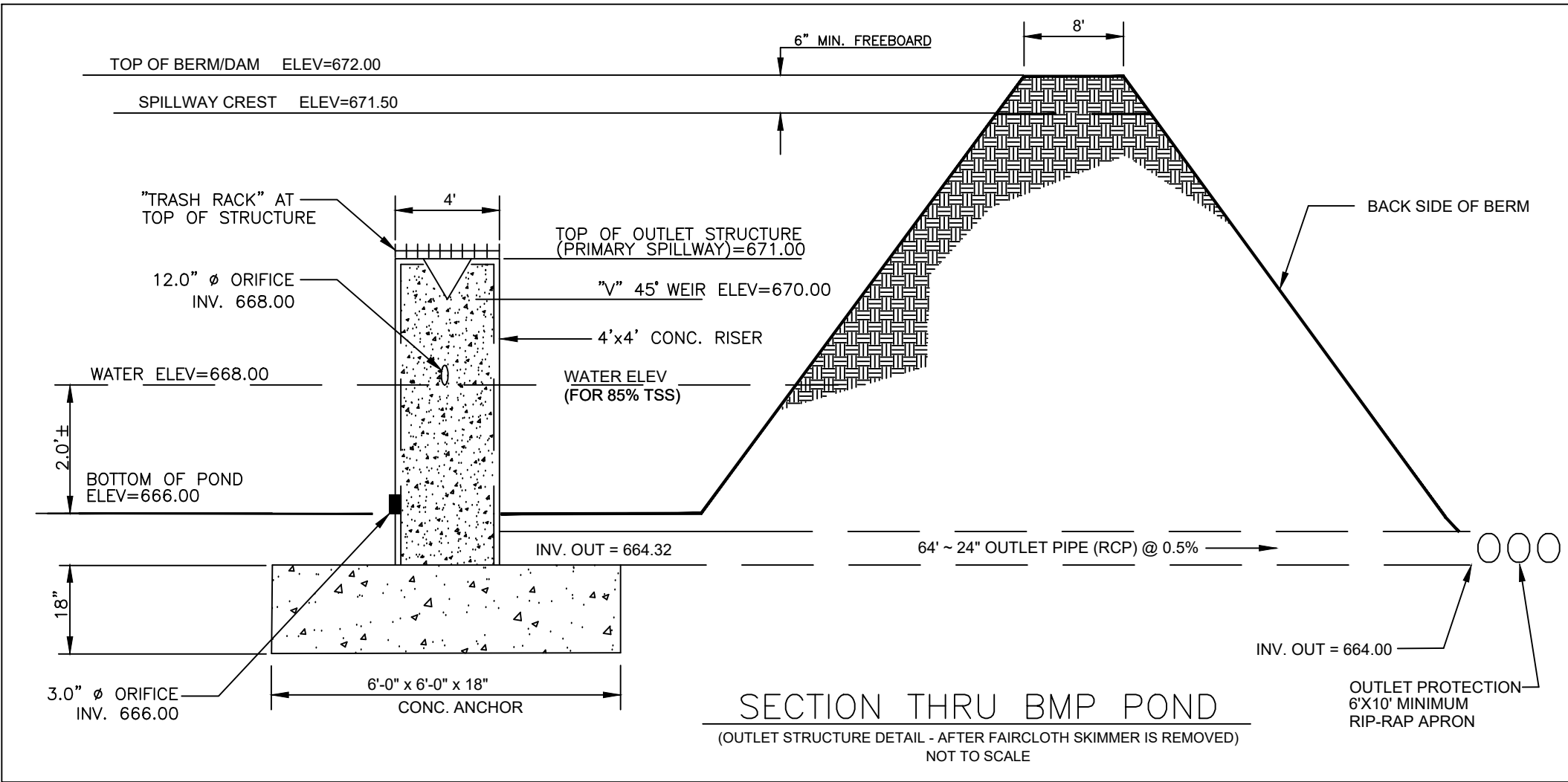


ABBREVIATIONS
R/W - RIGHT OF WAY
E/SM - EASEMENT
PS/D - PUBLIC STORM DRAIN EASEMENT
G/DUE - GENERAL DRAINAGE AND UTILITY EASEMENT
TIE - TIE LINE TO MONUMENT
S/B - BUILDING SETBACK
IPS - #4 REBAR SET
IPF - IRON PIN FOUND
NS - NAIL SET
CP-CALCULATED POINT
CM - CITY OF MONROE

- MAINTENANCE PLAN FOR DETENTION POND/WATER QUALITY POND**
1. INSPECT AFTER EVERY RAINFALL EVENT
 2. CLEAN UP TRASH, SEDIMENT, TREE LIMBS, ETC. AFTER RAINFALL EVENT OR AT LEAST EVERY 6 MONTHS.
 3. MOW GRASS IN & AROUND POND PERIODICALLY.
 4. REGRADE POND BOTTOM TO PROVIDE DRAINAGE TOWARD OUTLET STRUCTURE & DISCHARGE POINT. ADD NEW RIP-RAP AS REQUIRED. CLEAN OUT & AROUND OUTLET STRUCTURE. REMOVE ANY ACCUMULATION OF SEDIMENT.
 5. REPAIR ANY WASHED SLOPES ON POND BANKS AS REQUIRED.
 6. CHECK EMERGENCY SPILLWAY - MAKE SURE IT IS SECURE & GROUND IS STABLE AT ALL TIMES. REPAIR ANY DAMAGE TO SPILLWAY AS REQUIRED.
 7. CLEAN PERM. POOL OF WATER-REMOVE ANY DEBRIS AFTER RAINFALL EVENT.



OUTLET STRUCTURE DETAIL(S) BMP POND
NOT TO SCALE



STORM STRUCTURE CHART

Structure	Structure	Pipe	Length of	Rim	Elevation	Elevation	Slope	Weir/Throat
U/S	D/S	Size	Pipe (ft)	Elev. U/S	U/S	D/S	(%)	Elev. U/S
YI-1	YI-2	15	98.49	709.00	704.84	703.86	1.00%	708.42
YI-2	YI-3	15	68.64	709.00	703.66	702.97	1.00%	708.42
YI-3	YI-4	18	151.23	710.50	702.77	701.26	1.00%	709.92
YI-4	YI-5	18	70.78	710.50	701.06	700.35	1.00%	709.92
YI-5	YI-6	18	64.03	708.50	700.15	698.87	2.00%	707.92
YI-6	YI-7	18	114.92	705.50	698.67	696.37	2.00%	704.92
YI-7	JB-12	24	122.75	702.50	696.17	692.49	3.00%	701.92
JB-12	JB-13	24	204.3	701.00	692.29	671.86	10.00%	700.42
JB-13	HW-14	30	58.86	684.00	667.59	667.00	1.00%	683.42
YI-8	YI-9	15	62.71	702.50	698.32	698.01	0.50%	701.92
YI-9	YI-10	15	65.15	704.50	697.81	697.48	0.50%	703.92
YI-10	YI-7	18	109.42	704.50	697.28	696.37	0.83%	703.92
YI-11	YI-10	15	52.08	702.50	698.32	697.80	1.00%	701.92

NOTES
1. ALL PIPES TO BE CLASS III RCP
2. STRUCTURES YI-1 TO YI-11 ARE TO BE BUILT PER THE 'SLAB TYPE CATCH BASIN' DETAIL ON SHEET D-3. NO MANHOLE RING AND COVER NEEDED. THESE STRUCTURES ARE TO BE OPEN ON ALL 4 SIDES OF THE STRUCTURE.
3. STRUCTURES JB-12 AND JB-13 ARE TO BE BUILT AS MANHOLES WITH MANHOLE RING AND COVER INSTALLED. NO OPENINGS FOR THESE STRUCTURES.
4. STRUCTURE HW-14 TO BE BUILT PER 'CONCRETE WINGWALL AND SPLASH PAD' DETAILS ON SHEET D-3.

Surveyor

Providence

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Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

9-6-16

Engineer

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704.323.7334

9-6-16

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale

50' 0' 25' 50'
SCALE: 1" = 50'

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Stormwater
Concept Plan**

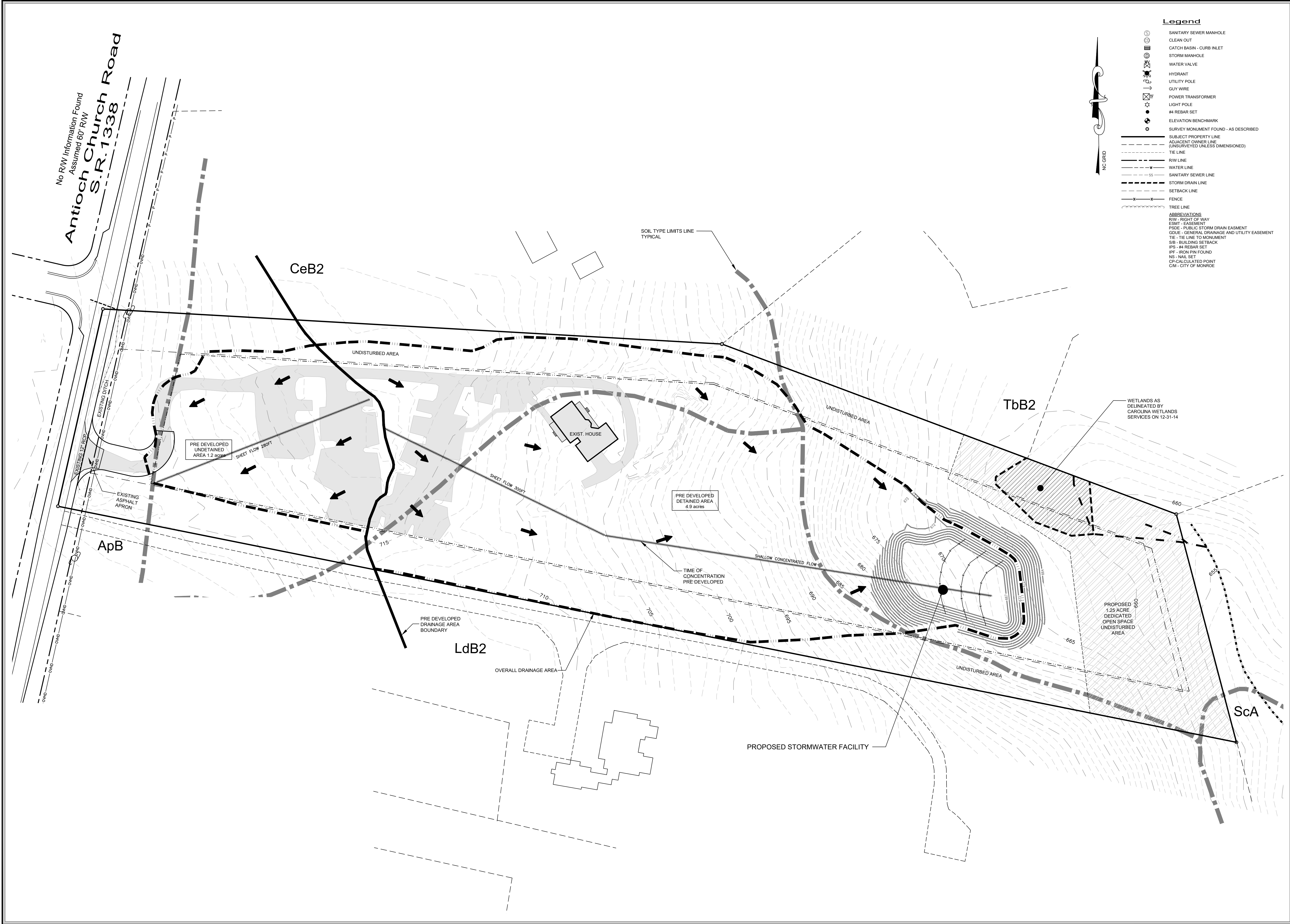
Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By Jason C. King	Checked By James P. Magennis M. Jay Stikeleather
Job Number 14041	Sheet Number
Drawing File 14041-Ph2-Base.dwg	

S-1



Surveyor



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9-6-16

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3127 Weddington Road
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704.578.6554

Scale


SCALE: 1" = 50'

Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Stormwater Plan
Pre-Developed

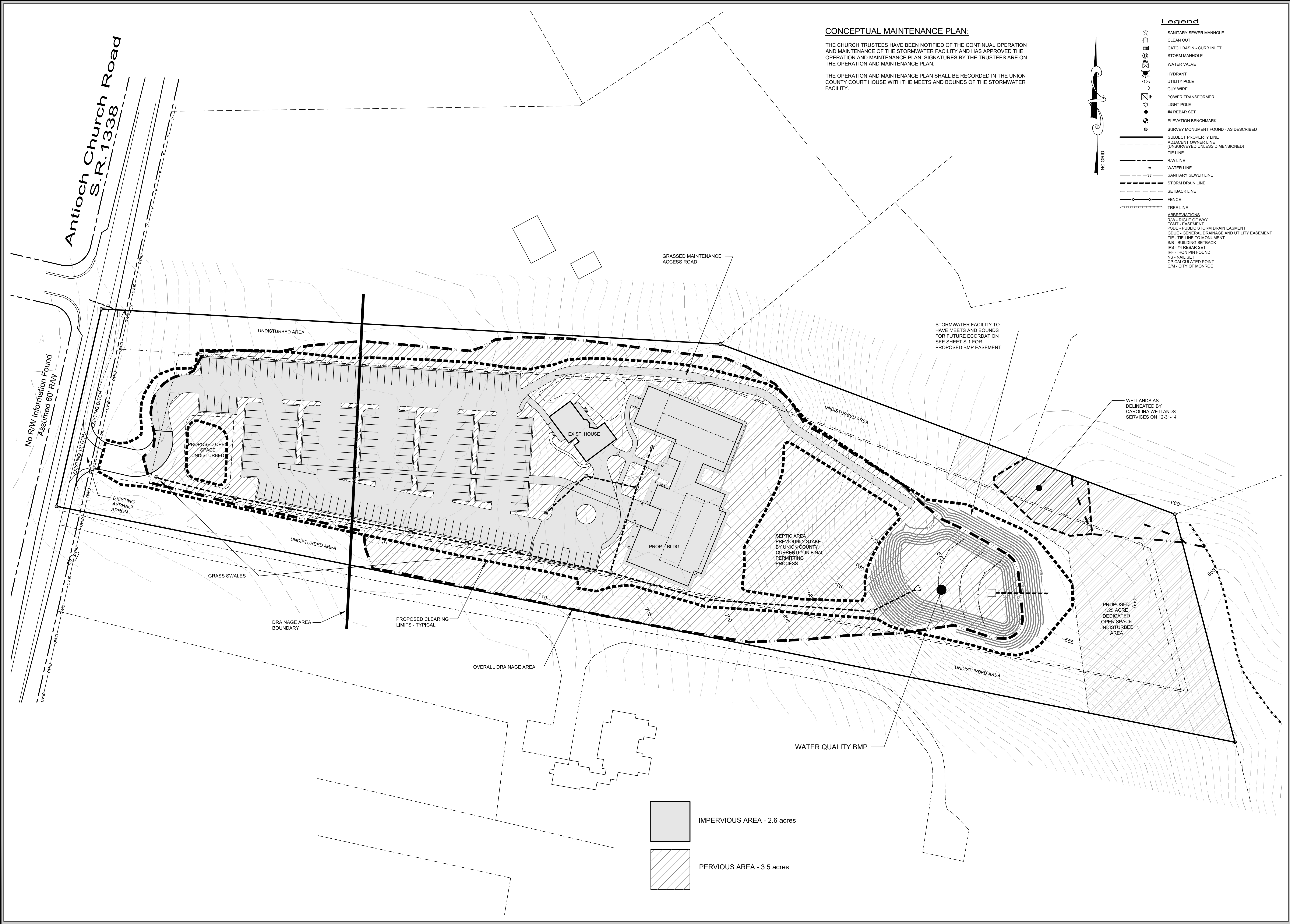
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9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikleather
Job Number	Sheet Number
14041	
Drawing File	
14041-Ph2-Base.dwg	

S-2



CONCEPTUAL MAINTENANCE PLAN:

THE CHURCH TRUSTEES HAVE BEEN NOTIFIED OF THE CONTINUAL OPERATION AND MAINTENANCE OF THE STORMWATER FACILITY AND HAS APPROVED THE OPERATION AND MAINTENANCE PLAN. SIGNATURES BY THE TRUSTEES ARE ON THE OPERATION AND MAINTENANCE PLAN.

THE OPERATION AND MAINTENANCE PLAN SHALL BE RECORDED IN THE UNION COUNTY COURT HOUSE WITH THE MEETS AND BOUNDS OF THE STORMWATER FACILITY.

Legend

- SANITARY SEWER MANHOLE
- CLEAN OUT
- CATCH BASIN - CURB INLET
- STORM MANHOLE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- GUY WIRE
- POWER TRANSFORMER
- LIGHT POLE
- #4 REBAR SET
- ELEVATION BENCHMARK
- SURVEY MONUMENT FOUND - AS DESCRIBED
- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- R/W LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TREE LINE

ABBREVIATIONS

- R/W - RIGHT OF WAY
- ESMT - EASEMENT
- PSDE - PUBLIC STORM DRAIN EASEMENT
- GDUE - GENERAL DRAINAGE AND UTILITY EASEMENT
- TIE - TIE LINE TO MONUMENT
- S/B - BUILDING SETBACK
- IPS - #4 REBAR SET
- IPF - IRON PIN FOUND
- NS - NAIL SET
- CP - CALCULATED POINT
- CM - CITY OF MONROE

Surveyor

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704.323.7334

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Stormwater Plan
Post Developed**

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

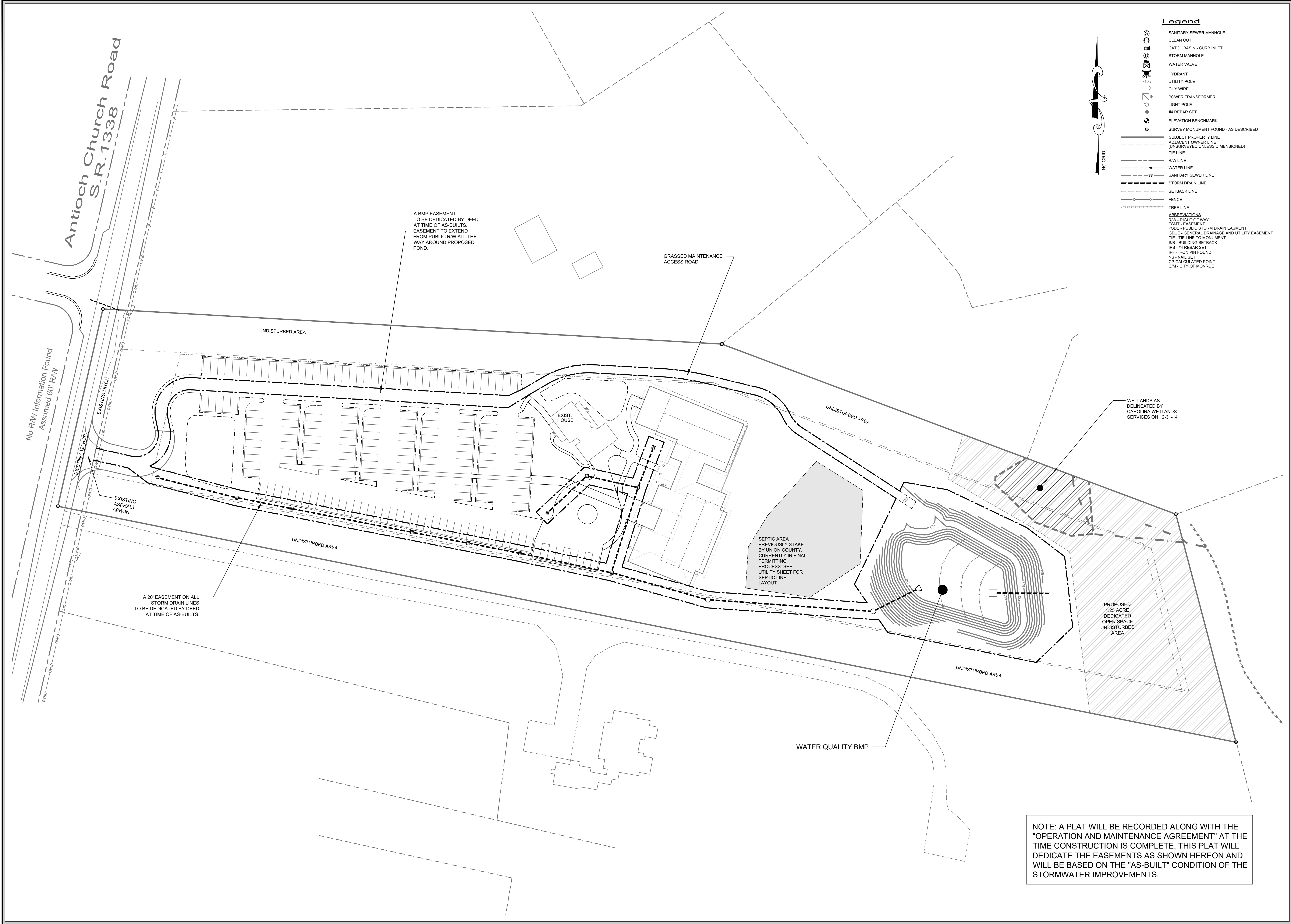
September 6, 2016

Drawn By	Checked By
Jason C. King	James P. Magennis M. Jay Stikleather

Job Number	Sheet Number
14041	

Drawing File
14041-Ph2-Base.dwg

S-3



NOTE: A PLAT WILL BE RECORDED ALONG WITH THE "OPERATION AND MAINTENANCE AGREEMENT" AT THE TIME CONSTRUCTION IS COMPLETE. THIS PLAT WILL DEDICATE THE EASEMENTS AS SHOWN HEREON AND WILL BE BASED ON THE "AS-BUILT" CONDITION OF THE STORMWATER IMPROVEMENTS.

Legend

- SANITARY SEWER MANHOLE
- CLEAN OUT
- CATCH BASIN - CURB INLET
- STORM MANHOLE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- GUY WIRE
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- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- R/W LINE
- WATER LINE
- SS - SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TREE LINE
- ABBREVIATIONS
- R/W - RIGHT OF WAY
- ESMT - EASEMENT
- PSDE - PUBLIC STORM DRAIN EASEMENT
- GDUE - GENERAL DRAINAGE AND UTILITY EASEMENT
- TIE - TIE LINE TO MONUMENT
- SIB - BUILDING SETBACK
- IPS - #4 REBAR SET
- IPF - IRON PIN FOUND
- NS - NAIL SET
- CP - CALCULATED POINT
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Surveyor

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James P. Magennis
NORTH CAROLINA
PROFESSIONAL SEAL
L-4243
JAMES P. MAGENNIS
9-6-16

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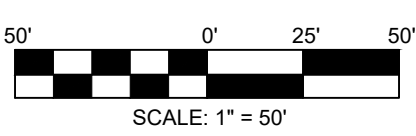
James P. Magennis
NORTH CAROLINA
PROFESSIONAL SEAL
24898
JAMES P. MAGENNIS
9-6-16

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Stormwater Plan
Easements and
Maintenance Plan**

Date	Issued For	Rev
9/1/16	Added sheet to show easements and maintenance information	0

Print Date

September 6, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

14041-Ph2-Base.dwg

Checked By

James P. Magennis

M. Jay Stikleather

Sheet Number

S-5

EROSION AND SEDIMENT CONTROL PLAN

PURPOSE:

THE PURPOSE OF THIS EROSION & SEDIMENT CONTROL PLAN IS FOR THE GRADING OF A FUTURE SITE

GENERAL NOTES:

1. DURING CONSTRUCTION AND UNTIL TURF IS ESTABLISHED, USE THE DESIGNED EROSION DEVICES AS SHOWN ON DETAIL SHEETS AND MAINTAIN AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION RUNOFF.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL VERIFY LOCATION AND AVAILABILITY OF ALL UTILITIES AFFECTING THE PROJECT ON AND OFF THE SITE.
4. ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING, REMOVE ALL MATERIALS OF WHATEVER SUBSTANCE ENCOUNTERED.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY/STATE ENGINEERING DEPARTMENT.
6. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING ALL UTILITY CONSTRUCTION.
7. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY CONSTRUCTION. CONTRACTOR MUST VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
8. 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT N.C. ONE-CALL 1(800) 632-4949 FOR UNDERGROUND UTILITIES LOCATION.
9. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
10. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON PLAN. ALL GRADED SLOPES MUST BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETION OF GRADING. ALL REMAINING AREAS ARE TO BE SEEDED AND MULCHED WITHIN 14 DAYS.
11. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1
12. ALL FILL MUST BE PLACED IN MAXIMUM 1 FOOT LIFTS TO A MINIMUM 95% COMPACTION. N.C. STATE BUILDING CODE FOR 3000psf MINIMUM COMPACTION IS REQUIRED IN BUILDING AREA.
13. ANY CUT AND/OR FILL SLOPE EXCEEDING 10' IN HEIGHT IS TO HAVE A SLOPE DRAIN INSTALLED AT TOP OF SLOPE. SLOPE DRAIN TO REMAIN UNTIL DRAINAGE AREA HAS STABILIZED.

EROSION CONTROL CONSTRUCTION NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CLEARING OPERATIONS. NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL OF THE NC DENR.
2. ANY FAILURE TO MAINTAIN EROSION CONTROL MEASURES WILL RESULT IN APPROPRIATE ENFORCEMENT ACTIONS IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NCGS CHAPTER 113A, ARTICLE 4), AND THE NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CHAPTER 4.
3. ANY EXISTING STREETS THAT ARE AFFECTED BY MUD, DEBRIS, OR SEDIMENT SHALL BE CLEANED WITHIN 24 HOURS OF NOTICE.
4. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN 2:1 IN CUT AND 2:1 IN FILL THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE OVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
5. TOPOGRAPHY FROM A FIELD RUN TOPOGRAPHIC SURVEY BY PROVIDENCE LAND GROUP.
6. TEMPORARY DITCHES TO HAVE A 10% MAXIMUM SLOPE. DITCHES TO BE TEMPORARILY SEEDED.
7. ANY NEW TRAP OR BASIN NEEDS TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.

CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING PERMIT FROM NCDEQ AND SET UP PRE-CONSTRUCTION CONFERENCE ON-SITE WITH THE EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES. (704)-663-1699.
2. INSTALL CONSTRUCTION ENTRANCE INTO PROPERTY.
3. CLEAR ONLY AREA NECESSARY TO INSTALL SILT FENCE AND SEDIMENT BASIN AREA.
4. WHEN ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND ARE FULLY FUNCTIONAL, CALL FOR INSPECTION OF DEVICES. ONCE APPROVED, BEGIN CLEARING.
5. HAVE SITE INSPECTIONS FOR PHASES OF CONSTRUCTIONS AS NECESSARY TO COMPLY WITH THE SELF INSPECTION PROGRAM.
6. MAINTENANCE OF EROSION CONTROL DEVICES WILL BE DONE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL OF 0.5 INCH OR GREATER. A DAILY LOG BOOK OF CONSTRUCTION ACTIVITY IS TO BE KEPT OF ALL MAINTENANCE IN COMPLIANCE WITH THE LATEST NPDES PERMITTING STANDARDS.
7. TRANSITION EROSION SEDIMENT CONTROL DEVICES AS GRADES CHANGE.
8. USE TEMPORARY AND PERMANENT SEEDING AS NECESSARY.
9. AFTER COMPLETION OF THE PROJECT CALL FOR A FINAL INSPECTION AND TERMINATE GRADING PERMIT.

STOCKPILE NOTE:

ALL MATERIAL IS TO REMAIN ON-SITE. TOP SOIL IS TO BE STRIPPED AND USED IN FINAL LOT GRADING OUTSIDE OF BUILDING PAD OR ON SLOPE SURFACES AND NON-STRUCTURAL AREAS. STOCKPILED MATERIAL FOR SEDIMENT BASIN CLOSURE SHALL BE PLACED ON ADJACENT LOTS TO BASIN COMPACTED AND STABILIZED.

SITE NOTES:

ALL CONTOUR ELEVATIONS ARE BASED ON A SURVEY FROM PROVIDENCE LAND GROUP. ANY ISSUES PERTAINING TO ELEVATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION.

Legend

- SANITARY SEWER MANHOLE
- CLEAN OUT
- CATCH BASIN - CURB INLET
- STORM MANHOLE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- GUY WIRE
- POWER TRANSFORMER
- LIGHT POLE
- #4 REBAR SET
- ELEVATION BENCHMARK
- SURVEY MONUMENT FOUND - AS DESCRIBED
- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- R/W LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TREE LINE
- ABBREVIATIONS
- R/W - RIGHT OF WAY
- ESMT - EASEMENT
- PSDE - PUBLIC STORM DRAIN EASEMENT
- GDUE - GENERAL DRAINAGE AND UTILITY EASEMENT
- TIE - TIE LINE TO MONUMENT
- SIB - BUILDING SETBACK
- IPS - #4 REBAR SET
- IPF - IRON PIN FOUND
- NS - NAIL SET
- CP-CALCULATED POINT
- C/M - CITY OF MONROE

CONTACT:
JAY STIKELEATHER - 704-400-0117

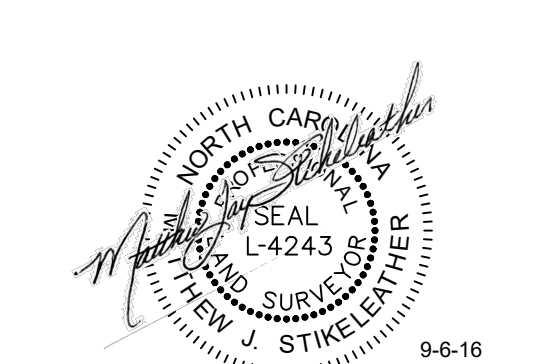
WATERSHED:
THE SITE IS LOCATED WEST TWELVE MILE CREEK BASIN IN THE CATAWBA RIVER BASIN

SOILS NOTES:
THE SOILS IN THIS AREA ARE:
CECIL - Csb2 HYDROLOGIC GROUP "B"
LLOYD - Lsb2 HYDROLOGIC GROUP "B"
TARRUS - Tsb2 HYDROLOGIC GROUP "B"
APPLING - Wsb2 HYDROLOGIC GROUP "B"

LOCATION:
LATITUDE 35.0500° LONGITUDE 80.7199°

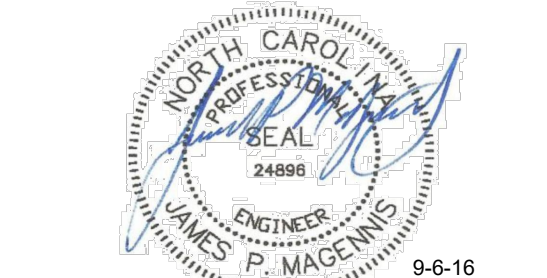
Surveyor

Providence
Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356



Engineer

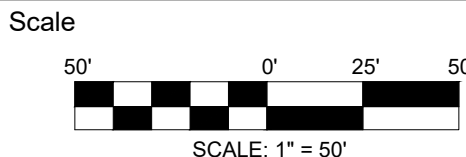
CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334



PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554



Project Name

Threshold Church
Phase 2
Town of Weddington
Union County, North Carolina

Sheet Title

Erosion Control
Plan - Phase 1

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

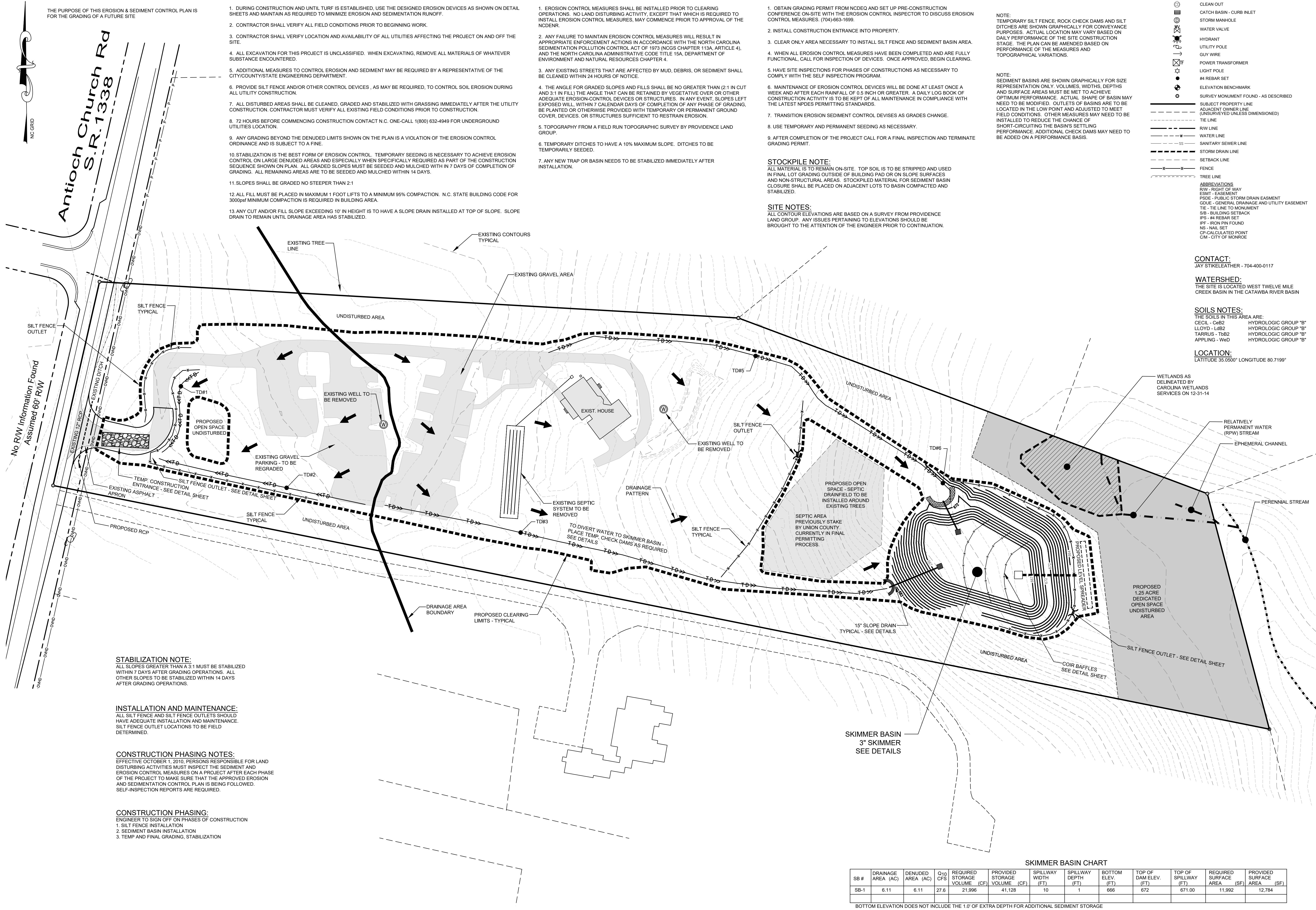
Drawn By	Checked By
Jason C. King	James P. Magennis
Job Number	Sheet Number

14041

Drawing File

14041-Ph2-Base.dwg

E-1



STABILIZATION NOTE:
ALL SLOPES GREATER THAN A 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING OPERATIONS. ALL OTHER SLOPES TO BE STABILIZED WITHIN 14 DAYS AFTER GRADING OPERATIONS.

INSTALLATION AND MAINTENANCE:
ALL SILT FENCE AND SILT FENCE OUTLETS SHOULD HAVE ADEQUATE INSTALLATION AND MAINTENANCE. SILT FENCE OUTLET LOCATIONS TO BE FIELD DETERMINED.

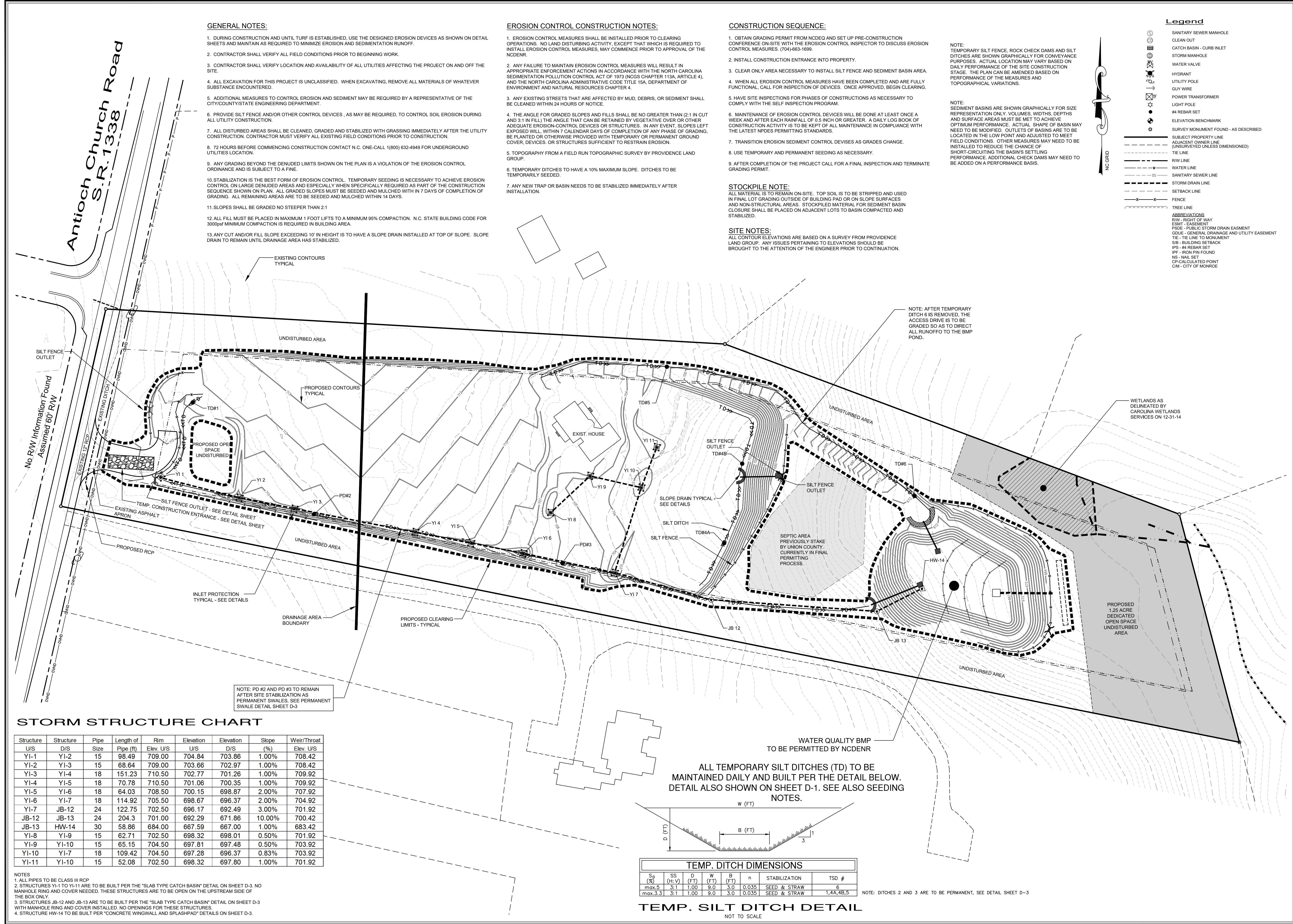
CONSTRUCTION PHASING NOTES:
EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED.

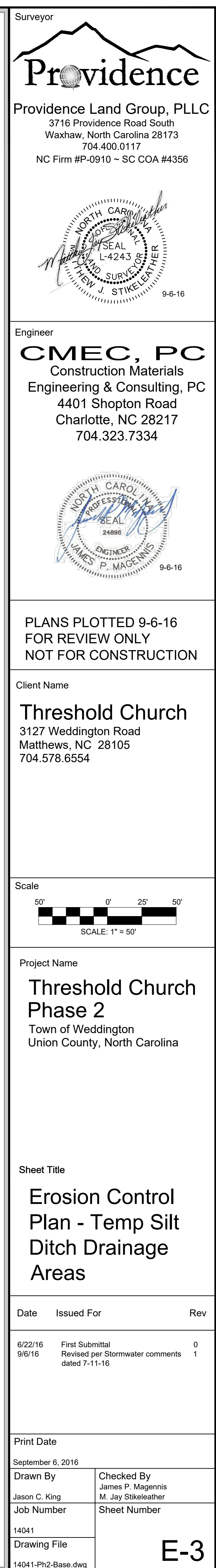
CONSTRUCTION PHASING:
ENGINEER TO SIGN OFF ON PHASES OF CONSTRUCTION
1. SILT FENCE INSTALLATION
2. SEDIMENT BASIN INSTALLATION
3. TEMP AND FINAL GRADING, STABILIZATION

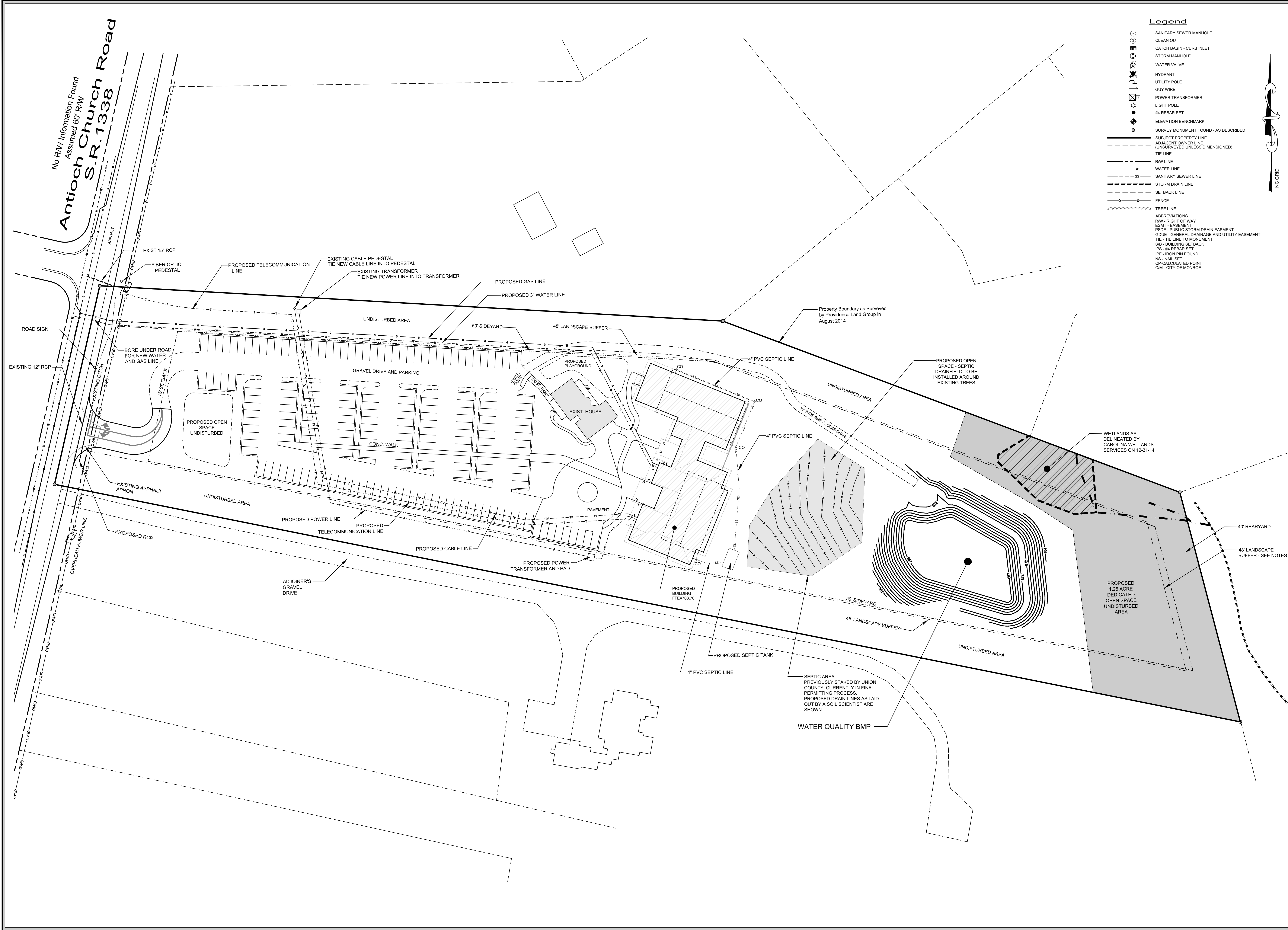
SKIMMER BASIN CHART

SB #	DRAINAGE AREA (AC)	DENUDED AREA (AC)	Q10 CFS	REQUIRED STORAGE VOLUME (CF)	PROVIDED STORAGE VOLUME (CF)	SPILLWAY WIDTH (FT)	SPILLWAY DEPTH (FT)	BOTTOM ELEV. (FT)	TOP OF DAM ELEV. (FT)	TOP OF SPILLWAY (FT)	REQUIRED SURFACE AREA (SF)	PROVIDED SURFACE AREA (SF)
SB-1	6.11	6.11	27.6	21,996	41,128	10	1	666	672	671.00	11,992	12,784


BOTTOM ELEVATION DOES NOT INCLUDE THE 1.0' OF EXTRA DEPTH FOR ADDITIONAL SEDIMENT STORAGE








Surveyor


**Providence**

Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356


9-6-16

Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334



9-6-16

PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale


SCALE: 1" = 50'

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

Utility Plan

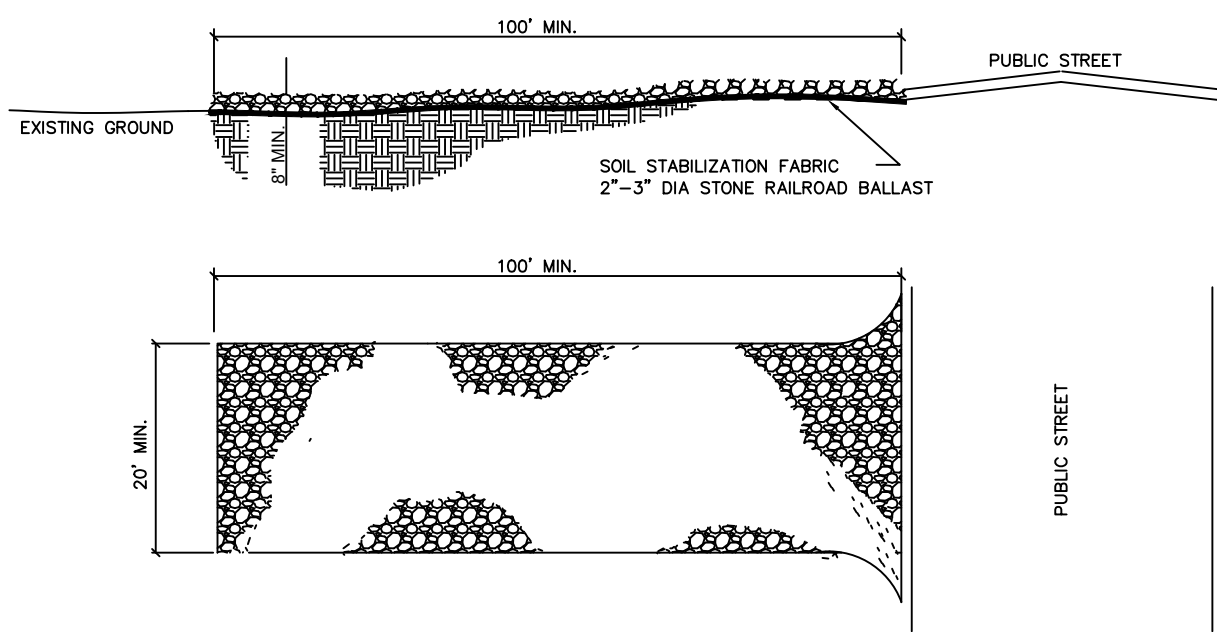
Date	Issued For	Rev
6/22/16	First Submittal	0
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Jason C. King	James P. Magennis M. Jay Stikeleather
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14041	
Drawing File	
14041-Ph2-Base.dwg	

U-1

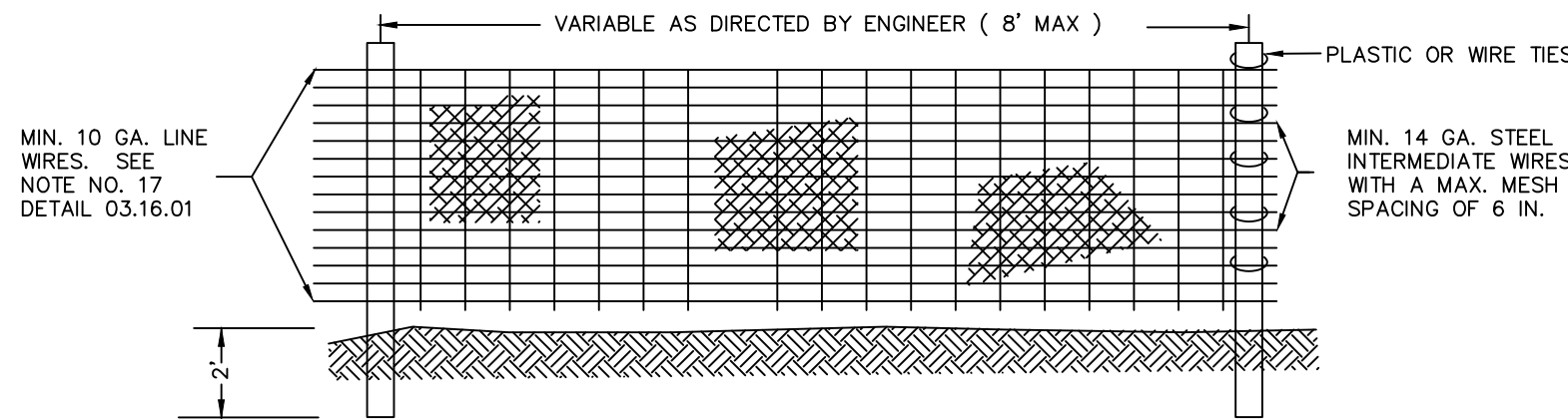


- GENERAL NOTES:
1. A STABILIZED PAD OF CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET.
 2. STONE TO BE NO. 5 FILTER STONE.
 3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 4. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. WHEN NECESSARY WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
 5. FILTER FABRIC SHALL BE MINIMUM 500 OR EQUAL.
 6. ENTRANCE SHALL BE A MINIMUM OF 20' IN WIDTH OR THE WIDTH OF THE EXIT, WHICHEVER IS GREATER.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

- GENERAL NOTES:
1. FENCE FABRIC SHALL BE A MINIMUM OF 24" ABOVE GROUND SURFACE AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 6" STAY SPACING.
 2. FILTER FABRIC SHALL BE MIRAFI 100 FABRIC OR EQUIVALENT.
 3. BURLAP CANNOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
 4. STEEL POSTS SHALL BE 6"-Ø" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 5. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO STREAMS OR WETLANDS. THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
 6. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS, OR OTHER AREAS OF CONCENTRATED FLOW.
 7. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE FOR SLOPES LESS THAN 2%.
 8. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



MAINTENANCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

REFERENCE: NCCENR PLANNING AND DESIGN MANUAL, JUNE 2006

SILT FENCE INSTALLATION

NOT TO SCALE

SEEDING PREPARATION
AREAS TO BE SEEDED SHALL BE THOROUGHLY LOOSENEED AND WORKED TO A MINIMUM DEPTH OF AT LEAST 5 INCHES.

THE AREA SHALL THEN BE RACKED OR OTHERWISE CLEARED OF ROCKS, LARGER THAN 2 INCHES IN DIAMETER, STICKS OR OTHER DEBRIS.

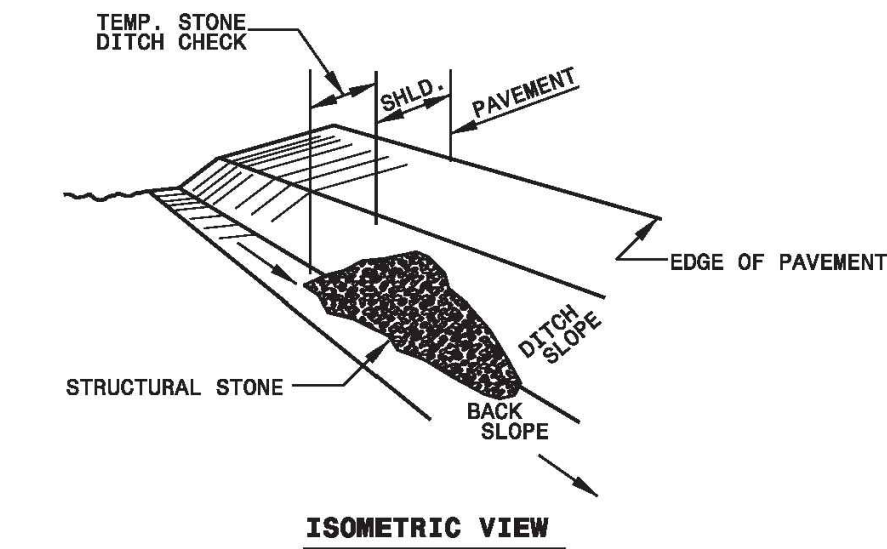
SEEDING

80 #/ AC. TALL FESCUE
4000 #/ AC AGRICULTURAL LIME
1000 #/ AC 10-10-10 FERTILIZER
500 #/ AC 0-20-0 SUPERPHOSPHATE
1-1/2 TN/ AC STRAW MULCH
225 GAL/ AC ASPHALT TIE-DOWN
30 #/AC RYE GRAIN (NOVEMBER THROUGH FEBRUARY)
WORK LIME AND FERTILIZER INTO SOIL

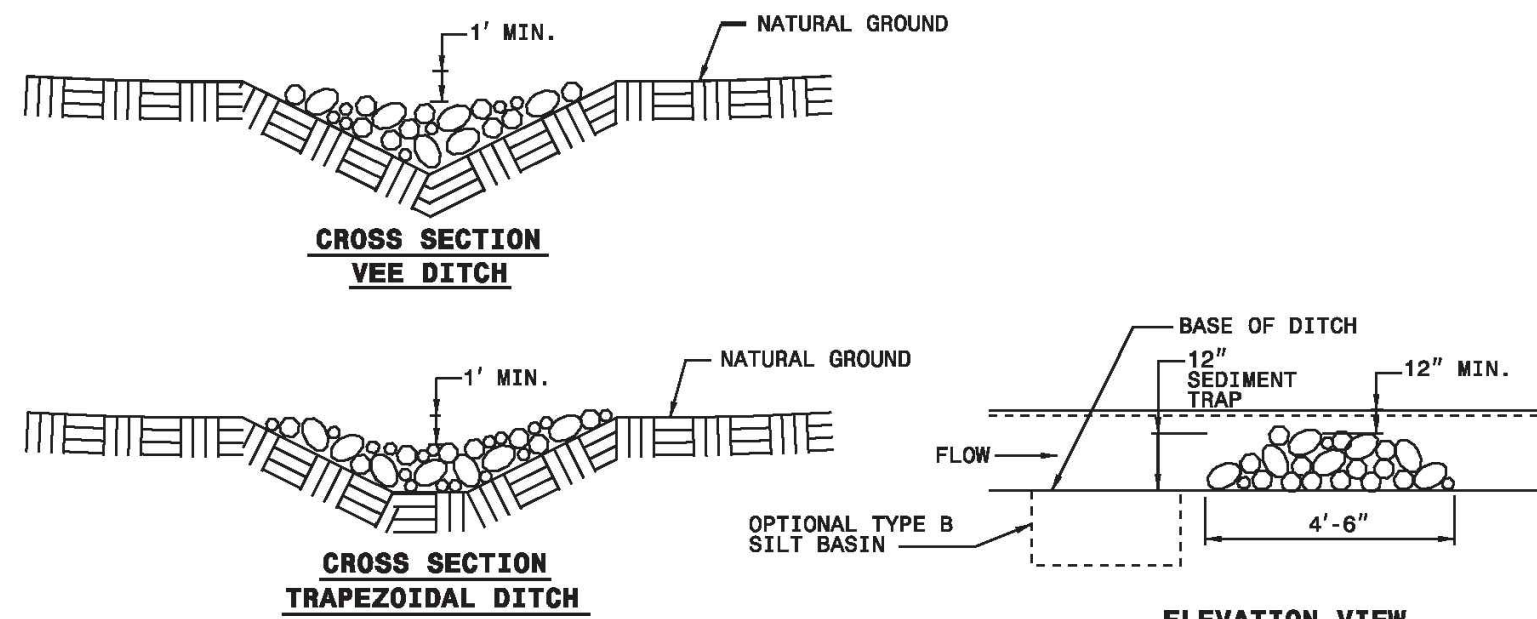
NOTE:
IN AREAS THAT WILL NOT BE WELL MAINTAINED, ALSO ADD 50#/ AC UNSCARIFIED SERICEA LESPEDEZA (AUGUST THROUGH NOVEMBER) OR 40 #/ AC SCARIFIED SERICEA LESPEDEZA (DECEMBER – JULY).

SEEDING REQUIREMENTS FOR EROSION CONTROL

NOT TO SCALE

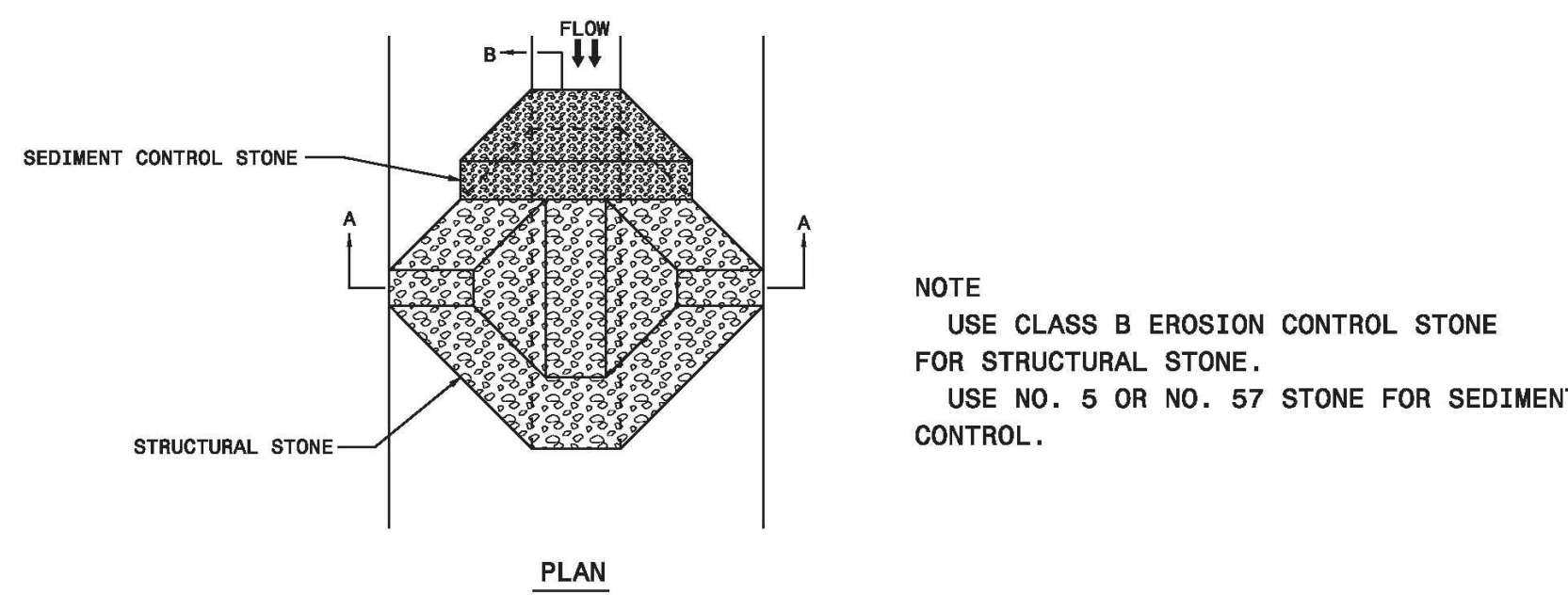


- NOTES:
- USE CLASS B EROSION CONTROL STONE FOR STRUCTURAL STONE.
- THE ENGINEER MAY DIRECT THE OPTION OF CLASS A STONE FOR SITES HAVING LESS THAN ONE (1) ACRE DRAINAGE AREA AND A DITCH GRADE LESS THAN 3%.
- USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL. PLACE SEDIMENT CONTROL STONE AS DIRECTED.

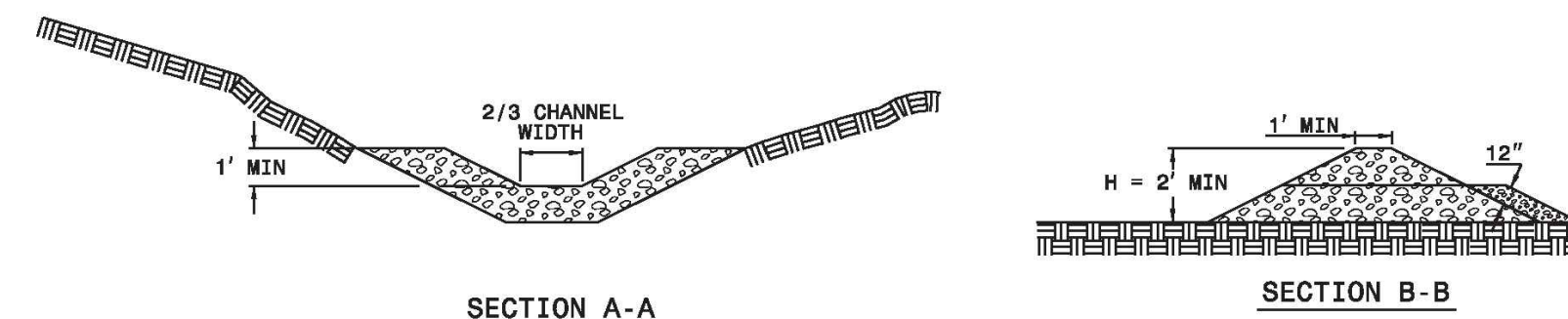


TEMPORARY ROCK CHECK DAM

NOT TO SCALE

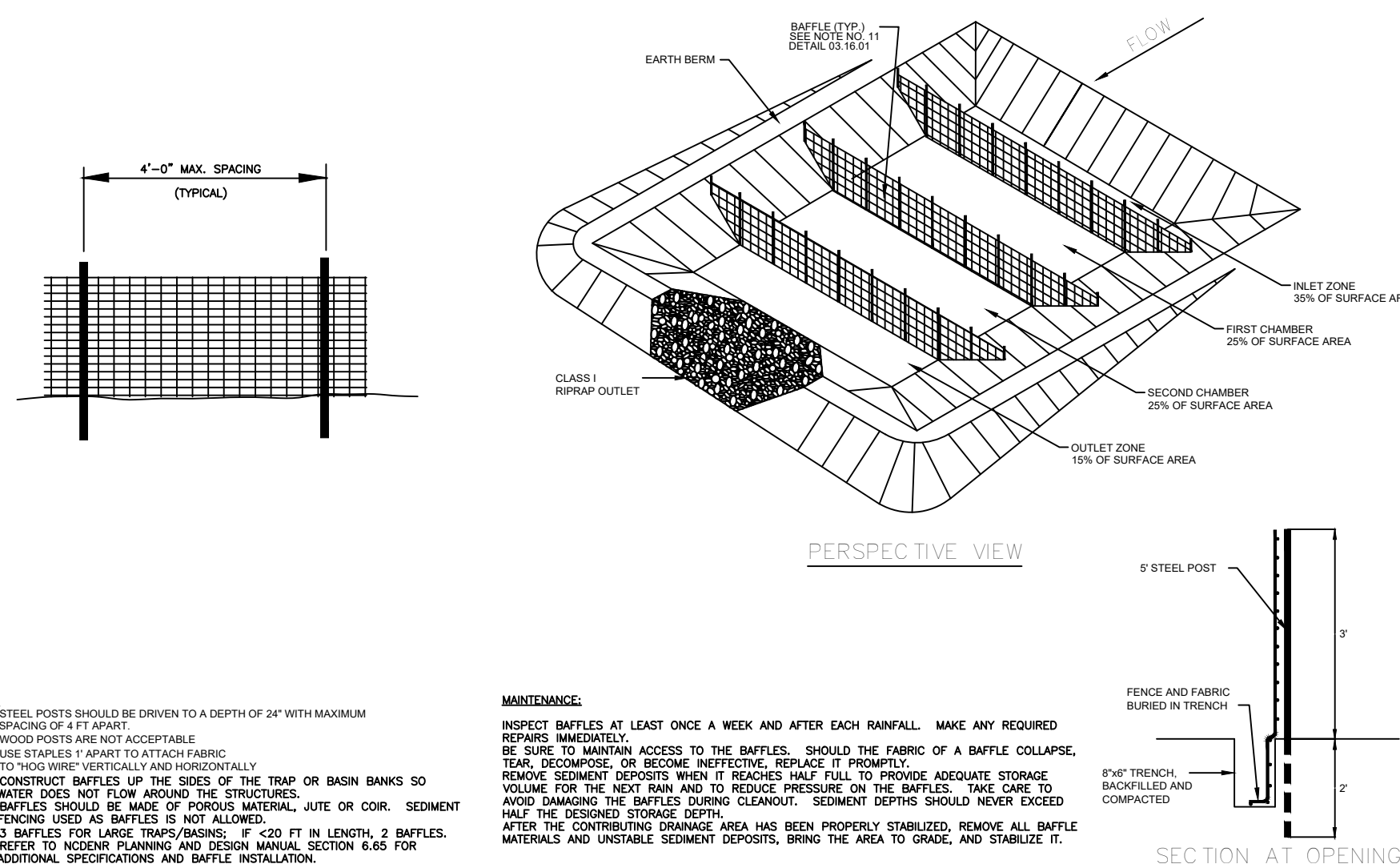


- NOTE
- USE CLASS B EROSION CONTROL STONE FOR STRUCTURAL STONE.
- USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL.



TEMPORARY ROCK CHECK DAM

NOT TO SCALE



- NOTES:
1. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24" WITH MAXIMUM SPACING OF 4 FT. APART.
 2. WOOD POSTS ARE NOT ACCEPTABLE.
 3. USE STAPLES 1" AWAY TO ATTACH FABRIC.
 4. CONSTRUCT Baffles UP THE SIDES OF THE TRAP OR BASIN BANKS SO WATER DOES NOT FLOW AROUND THE STRUCTURES.
 5. Baffles SHOULD BE MADE OF ROBUST MATERIAL, JUTE OR CORR. SEDIMENT FENCING USED AS Baffles IS NOT ALLOWED.
 6. 3 Baffles FOR LARGE TRAPS/BASINS. IF <20 FT IN LENGTH, 2 Baffles.
 7. REFER TO NCCENR PLANNING AND DESIGN MANUAL, SECTION 6.65 FOR ADDITIONAL SPECIFICATIONS AND Baffle INSTALLATION.

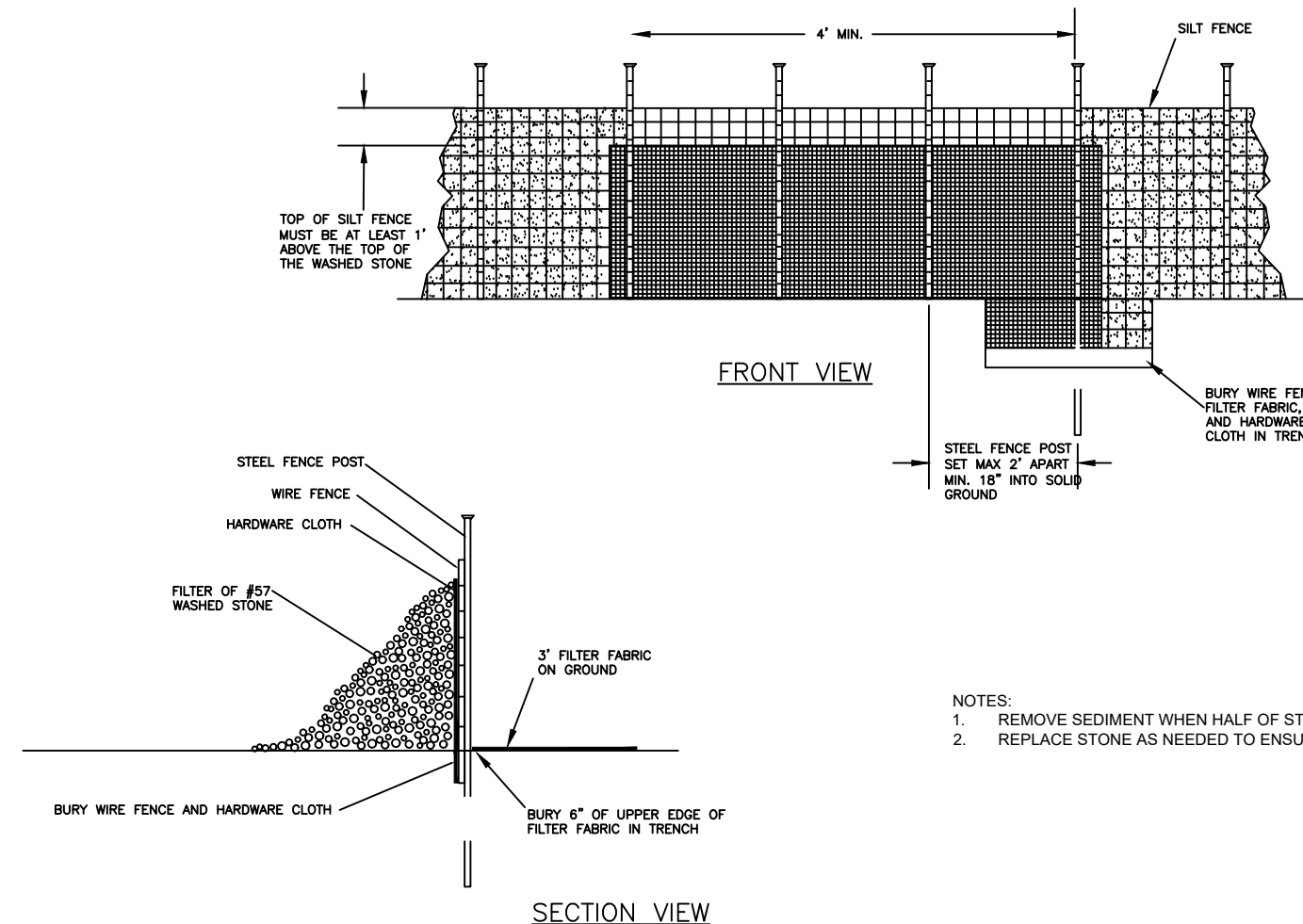
MAINTENANCE:
INSPECT Baffles AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
BE SURE TO MAINTAIN ACCESS TO THE Baffles. SHOULD THE FABRIC OF A Baffle COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE Baffles. TAKE CARE TO AVOID DAMAGING THE Baffles DURING CLEANOUT. SEDIMENT DEPOSITS SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.
AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL Baffle MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

SECTION A-A OPENING

REFERENCE: NCCENR PLANNING AND DESIGN MANUAL, JUNE 2006

BAFFLE INSTALLATION

NOT TO SCALE

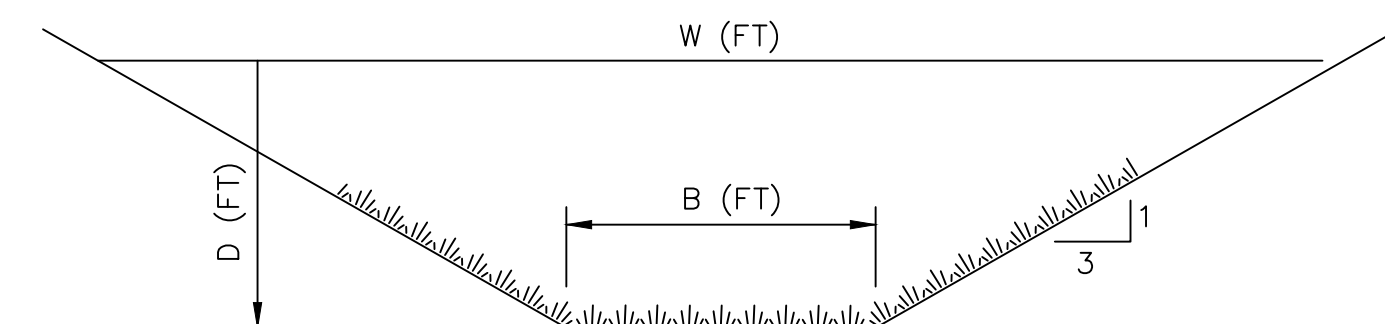


- NOTES:
1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
 2. REPLACE STONE AS NEEDED TO ENSURE DOWATERING.

SECTION VIEW

STANDARD SILT FENCE OUTLET

NOT TO SCALE



TEMP. DITCH DIMENSIONS							
S ₀ (%)	SS (H:V)	D (FT)	W (FT)	B (FT)	n	STABILIZATION	TSD #
max.5	3:1	1.00	9.0	3.0	0.035	SEED & STRAW	6
max.3.3	3:1	1.00	9.0	3.0	0.035	SEED & STRAW	1,4A,4B,5

NOTE: DITCHES 2 AND 3 ARE TO BE PERMANENT, SEE DETAIL SHEET D-3

TEMP. SILT DITCH

NOT TO SCALE

Surveyor

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Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 – SC COA #4356



Engineer

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Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Construction
Details**

Date	Issued For	Rev
6/22/16	First Submittal	0
9/6/16	Revised per Stormwater comments dated 7-11-16	1

Print Date

September 6, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

14041-Ph2-Base.dwg

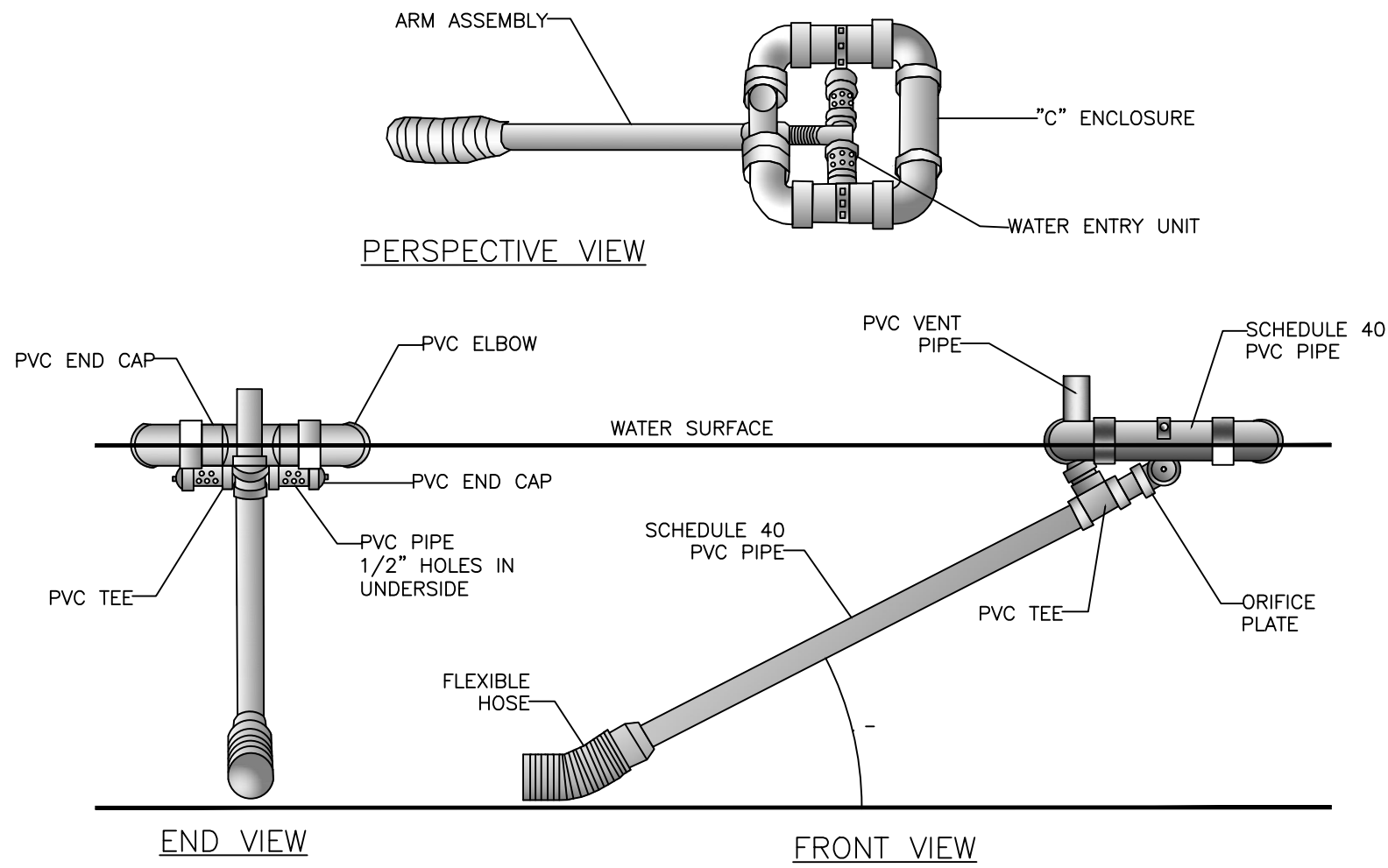
Checked By

James P. Magennis

M. Jay Stikeleather

Sheet Number

D-1

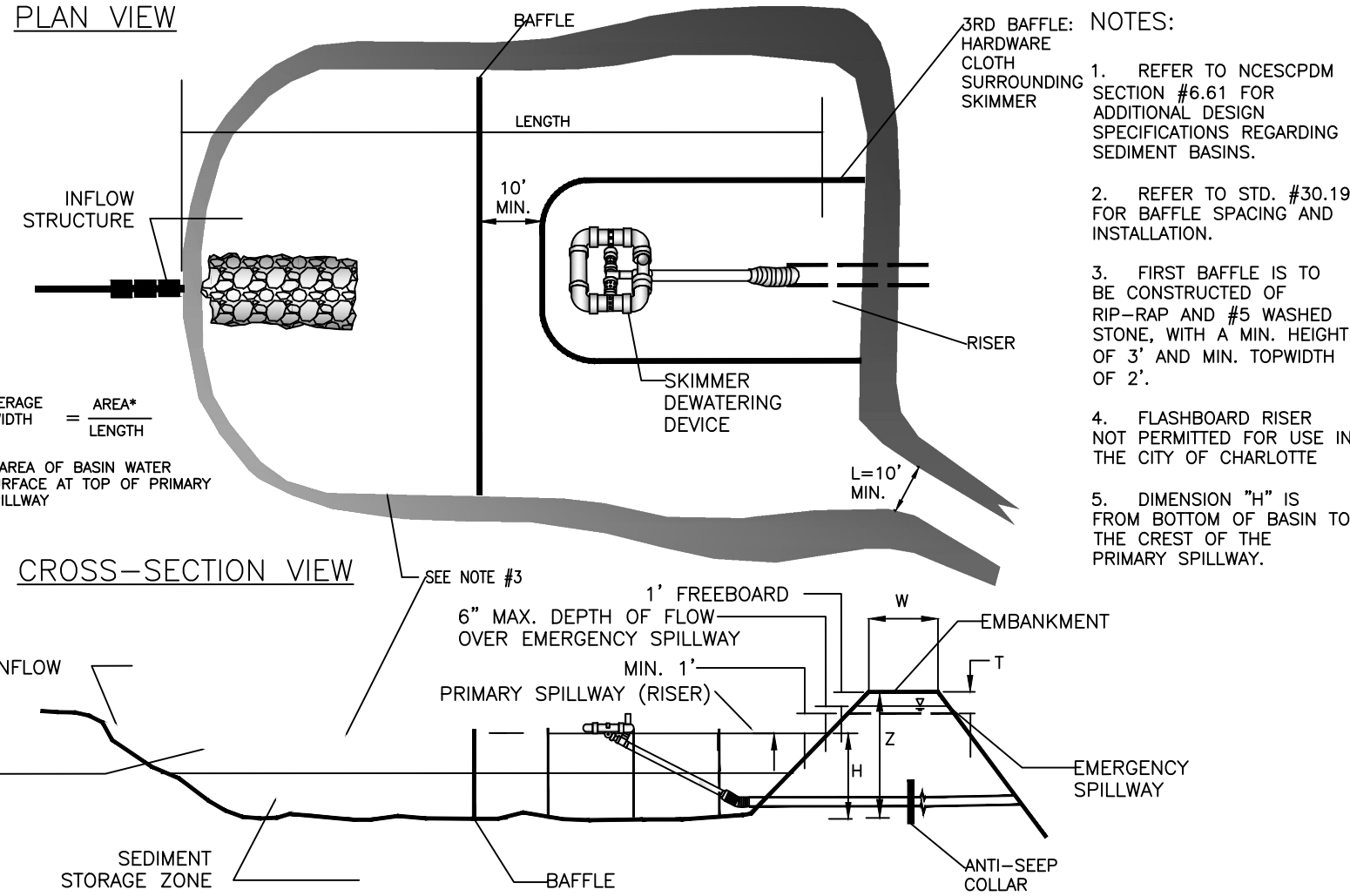


SCHEMATIC OF SKIMMER TAKEN FROM PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL MANUAL, MARCH 2000.

SKIMMER
NOT TO SCALE

SEDIMENT BASIN DESIGN CRITERIA	
DRAINAGE AREA (ACRES)	>10 AC. <100 AC.
MIN. LENGTH TO WIDTH RATIO	2:1
MAX. LENGTH TO WIDTH RATIO	6:1
MIN. VOLUME REQUIRED (CU. FT. PER AC. DISTURBED)	1800
SURFACE AREA REQUIRED	435 (SQ. FT. PER CFS Q10)

PLAN VIEW



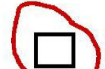




SEDIMENT BASIN (SB-1)
NOT TO SCALE

GENERAL NOTES-SEDIMENT BASINS

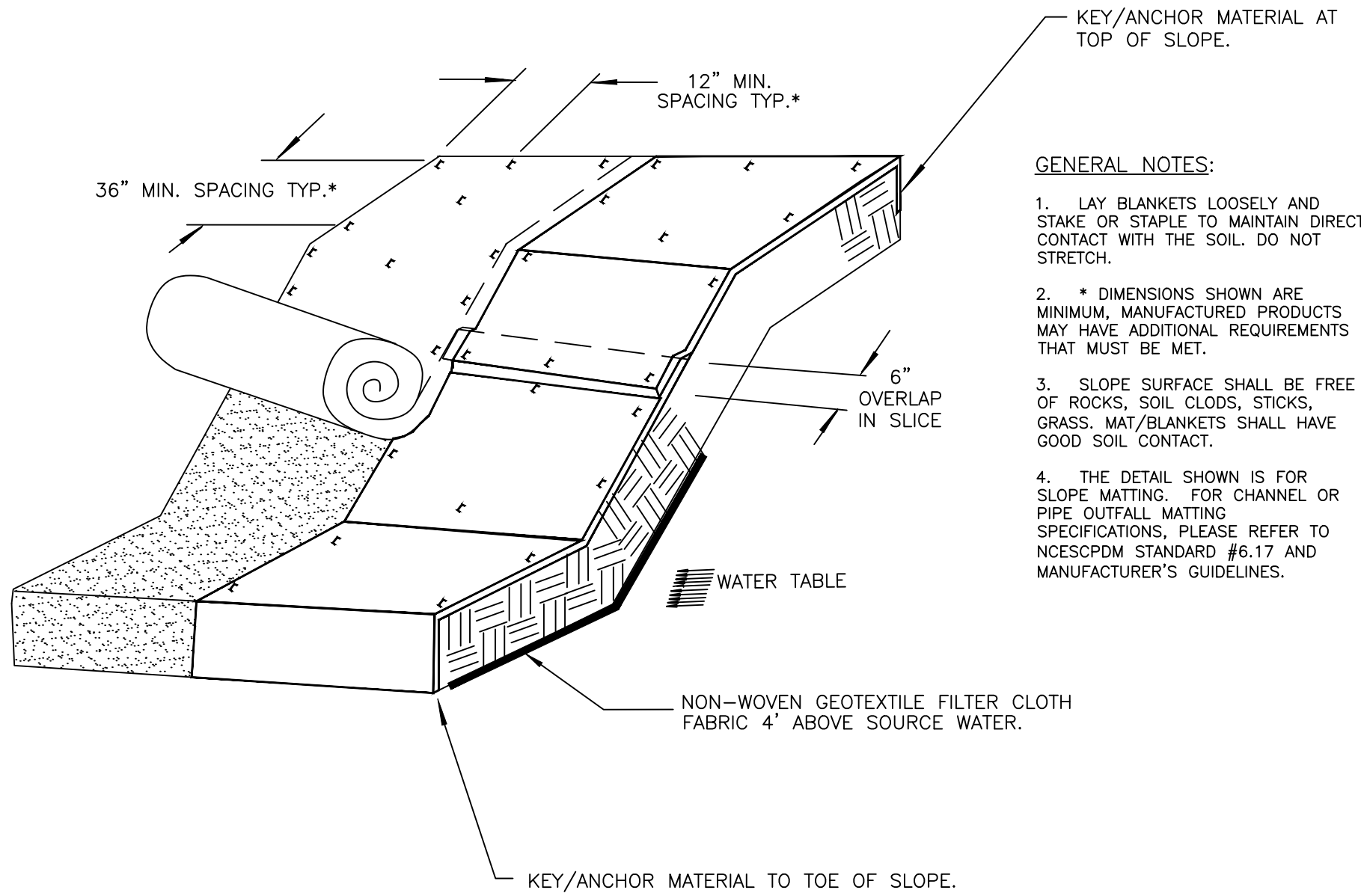
- GENERAL NOTES:**
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL. THE BASIN AREA SHALL BE CLEARED.
 - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE BEING CONSTRUCTED. SPILLWAYS SHOULD NOT BE CONSTRUCTED THROUGH FILL SECTIONS. ALL SPILLWAYS SHOULD BE LINED AND/OR RIPRAPPED.
 - SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO DEPTH SHOWN ON STANDARD.
 - THE TRAP SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
 - CONSTRUCTION OPERATION SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
 - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER, UNLESS CERTIFIED BY REGISTERED GEOTECHNICAL ENGINEER.
 - SEDIMENT BASIN EMBANKMENTS SHOULD BE PROVIDED WITH EROSION CONTROL AND STABILIZATION.
 - STORAGE AREA MAY BE CONSTRUCTED IN ANY SHAPE PROVIDED THE MINIMUM STORAGE VOLUME REQUIREMENT IS MET. THE BASIN SHOULD ALSO BE ORIENTED SUCH THAT THE FILTER AND THE MAIN FLOW OF WATER AND SEDIMENT ARE ON OPPOSITE ENDS ON THE LONGER BASIN DIMENSIONS.
 - THE LENGTH OF THE STONE OUTLET (SPILLWAY) IS TO BE BASED ON A 10 YEAR STORM.
 - WHENEVER TOPOGRAPHY ALLOWS, THE BASIN LENGTH SHOULD BE TWICE (2X) THE BASIN WIDTH, TO ALLOW FOR SETTLING. BAFFLES SHALL BE INSTALLED IN ALL BASINS.
 - CLEANOUT STAKES SHALL BE PLACED IN ALL SEDIMENT BASINS AT THE LOW POINT IN THE BASIN. THE STAKES SHALL BE MARKED SHOWING THE HALF FULL CLEANOUT POINT OF THE BASIN.
 - SAFETY FENCING 3' HIGH SHOULD BE PLACED AROUND ALL SEDIMENT BASINS.
 - FOR DESIGN OF SEDIMENT BASINS, REFER TO THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
 - FOR SLOPES GREATER THAN 10' IN LENGTH AND PROTECTED BY SILT FENCE AT THE TOE OF THE SLOPE, SLOPE TERRACING WILL BE REQUIRED.
 - THE BERM ON SEDIMENT BASINS SHALL BE SEEDED ONCE FINAL GRADE HAS BEEN REACHED. THE SILT FENCE MAY BE REMOVED IF PERMISSION HAS BEEN GRANTED BY THE CITY LAND DEVELOPMENT INSPECTOR AFTER THE GRASS HAS GERMINATED AND STABLE GROUND HAS BEEN ESTABLISHED.
 - SILT FENCE ANCHORED WITH COMPACTED SOIL.

NPDES Stormwater Discharge Permit for Construction Activities (NGC01)

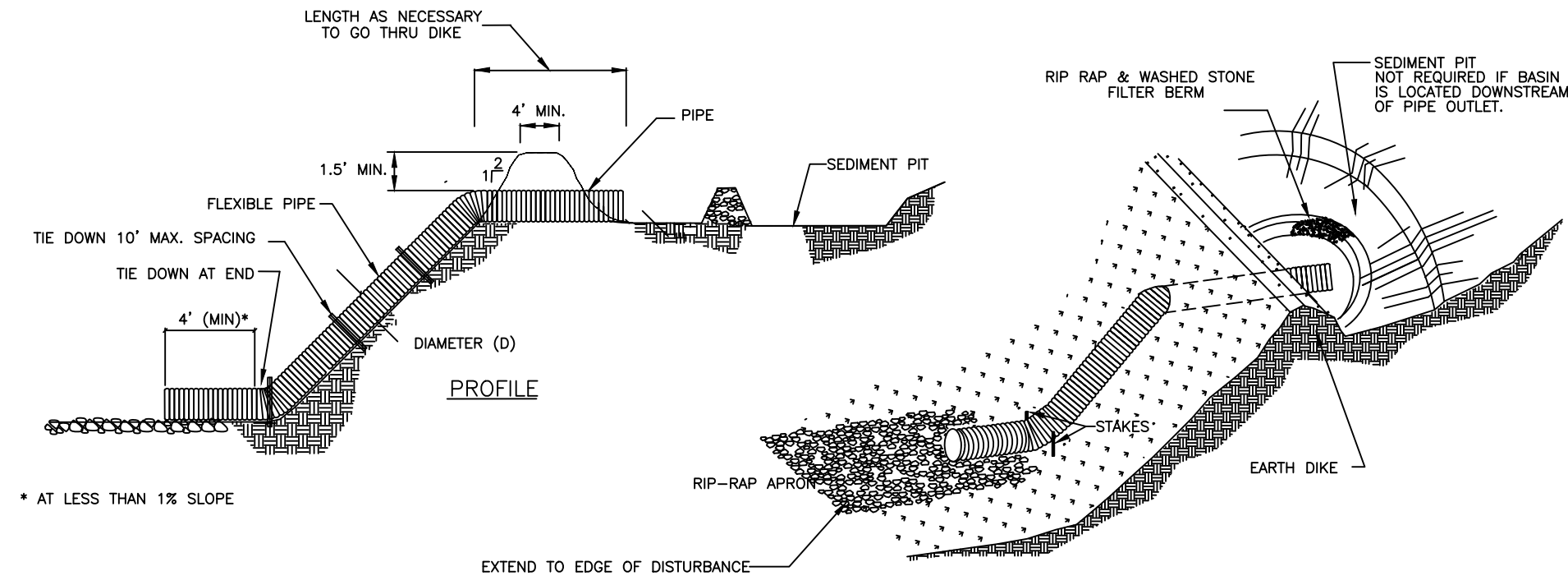
NCDENR/Division of Water Quality

NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
 Perimeter dikes, swales, ditches, slopes	7 days	None
 High Quality Water (HQW) Zones	7 days	None
 Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
 Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
 All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

STABILIZATION SCHEDULE



EMBANKMENT MATTING DETAIL
NOT TO SCALE



FLEXIBLE PIPE SLOPE DRAIN
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- THE TOP OF THE EARTH DIKE OVER THE INLET PIPE AND THOSE DIKES CARRYING WATER TO THE PIPE SHALL BE AT LEAST 1.5 FEET HIGHER AT ALL POINTS THAN THE TOP OF THE INLET PIPE.
 - THE PIPE SHALL BE FLEXIBLE WITH WATER TIGHT CONNECTING BANDS. FLEXIBLE PIPE SHOULD BE STAKED ON EITHER SIDE.
 - A RIP RAP APRON SHALL BE PROVIDED AT THE OUTLET, IF EMPTYING INTO A DISTURBED AREA.
 - THE SOIL AROUND AND UNDER THE INLET PIPE AND ENTRANCE SECTION SHALL BE HAND TAMPED IN 4" LIFTS TO THE TOP OF THE EARTH DIKE.
 - FOLLOW-UP INSPECTION AND ANY NEEDED MAINTENANCE SHALL BE PERFORMED AFTER EACH STORM BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT.
 - OUTLET PIPE SHOULD BE TAKEN OVER OR THROUGH ANY SILT FENCE, TAKING CARE NOT TO VOID THE EFFECTIVENESS OF THE SILT FENCE.

TEMPORARY SEEDING FOR WARM AND COOL SEASON

EARLY SUMMER SEASON

STEEP SLOPES

SEEDING MIXTURE	40 lbs/acre of German millet 80 lbs/acre of tall fescue	120 lbs/acre Rye (grain) 80 lbs/acre tall fescue
SEEDING DATES	May 1 – August 15 Refertilize if growth is not fully adequate. Apply 4000 lbs/acre straw or equivalent hydroseeding.	October 25 – December 30 Between December 30 – February 15, add 50 lbs/acre of annual Kobe lespedeza. Apply 4000 lbs/acre straw or equivalent hydroseeding.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.

SEEDING SCHEDULE
(SEASONAL)

NOT TO SCALE

GENTLE SLOPES

STEEP SLOPES

SEEDING MIXTURE	80 lbs/acre of tall fescue	100 lbs/acre tall fescue 30 lbs/acre Sericea lespedeza (unscarified after August 15) 10 lbs/acre Kobe lespedeza
SEEDING DATES	FALL: August 25 – October Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.	FALL: August 25 – October 15 Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.

NOTE 1
Ground Cover--Protective cover must be established on all disturbed areas within 14 calendar days after land disturbing activity is completed or has temporarily ceased.

NOTE 2
Graded slopes and fills--Protective cover must be established on all graded slopes and fills within 7 calendar days after a phase of grading is completed or has temporarily ceased.

SEEDING SCHEDULE

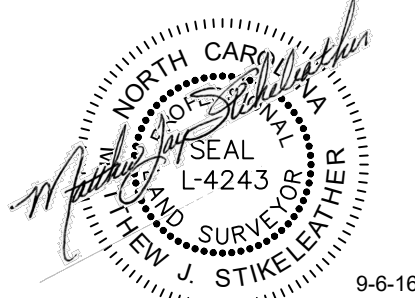
STD. & SPEC. #	TITLE	SPECIAL REQUIREMENTS & NOTES
6.17	ROLLED EROSION CONTROL PRODUCTS	—
6.51	HARDWARE CLOTH & GRAVEL INLET PROTECTION	—
6.60	TEMPORARY SEDIMENT TRAP	WEIR TOP WIDTH 10' MIN., BOTTOM 7' MIN.
6.61	SEDIMENT BASIN	FLASH BOARD RISER NOT PERMITTED
6.64	SKIMMER SEDIMENT BASIN	1ST BAFFLE: COIR MESH 2ND BAFFLE: COIR MESH 3RD BAFFLE: COIR MESH

THE STANDARDS & SPECIFICATIONS SHOWN ARE FROM THE "NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" (NCSCPD) PREPARED BY NC DEPT. OF ENVIRONMENT AND NATURAL RESOURCES (NCDENR).

SPECIAL EROSION CONTROL
REQUIREMENTS & NOTES

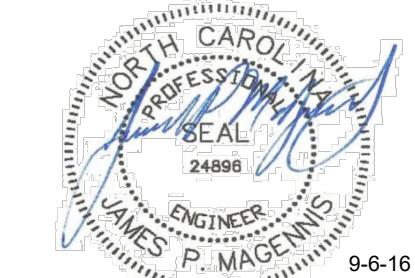
Surveyor

Providence
Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 – SC COA #4356



Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334



PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



SCALE AS NOTED ON DETAIL

Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Construction
Details**

Date

Issued For

Rev

8/22/16

First Submittal

0

9/6/16

Revised per Stormwater comments dated 7-11-16

1

Print Date

September 6, 2016

Drawn By

Checked By

Jason C. King

James P. Magennis

Job Number

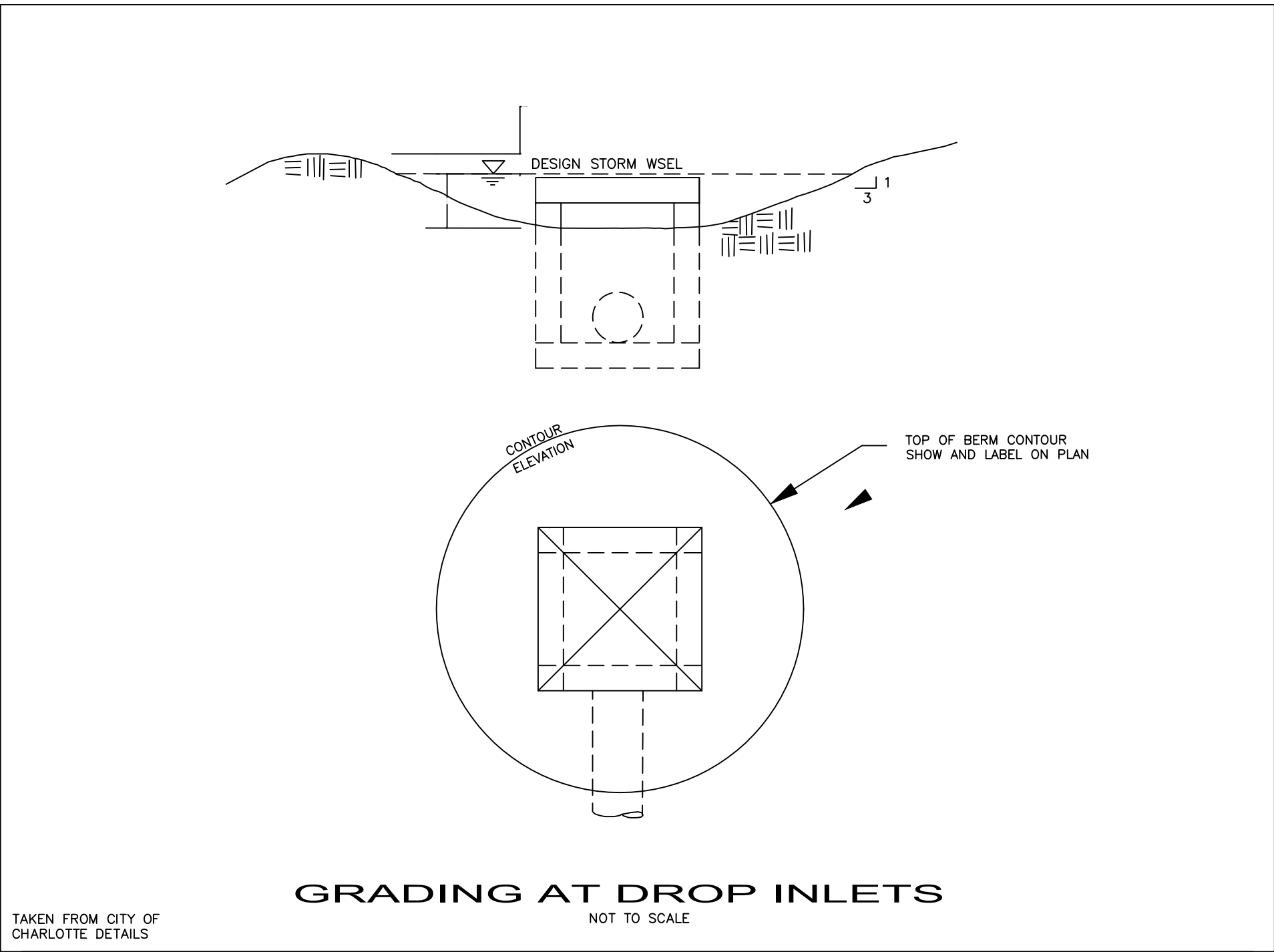
Sheet Number

14041

Drawing File

14041-Ph2-Base.dwg

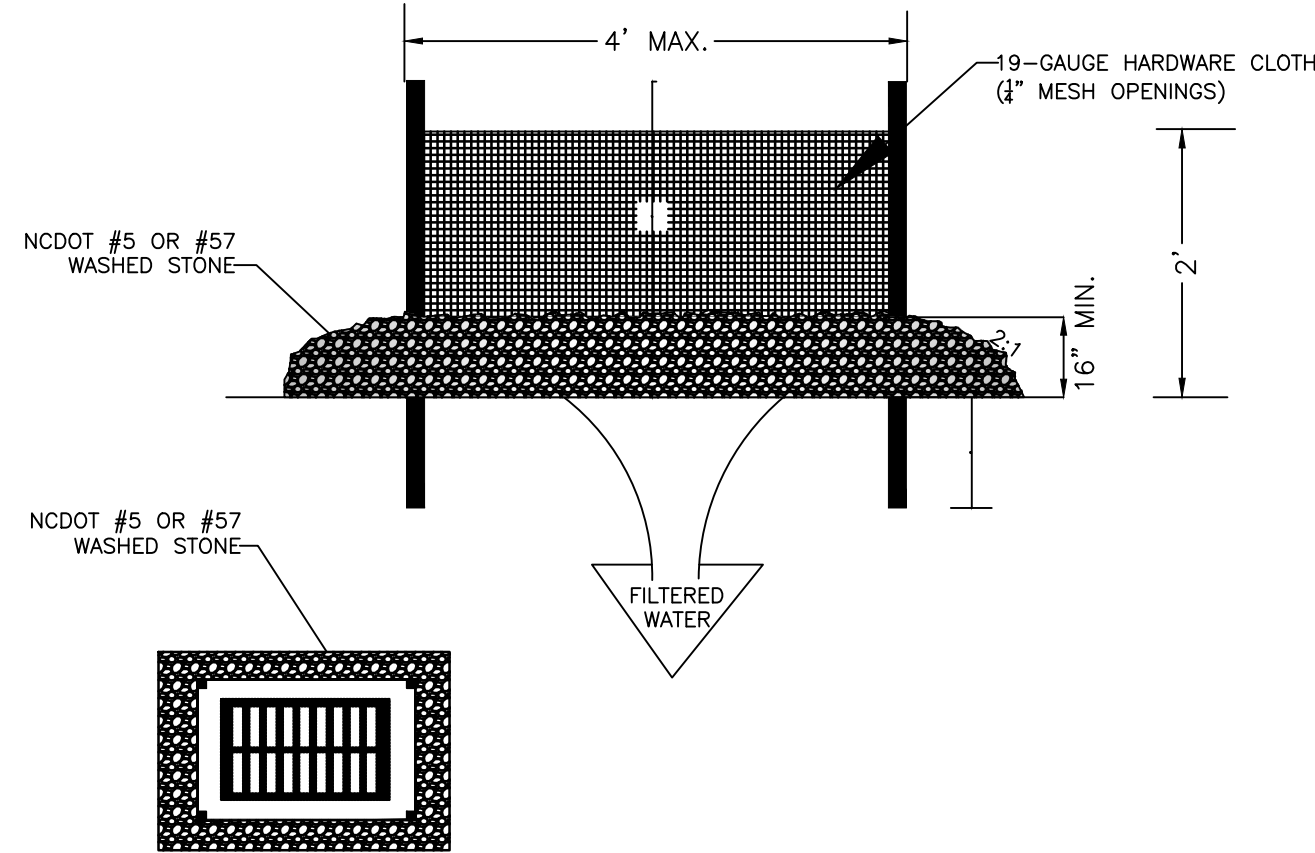
D-2



TAKEN FROM CITY OF CHARLOTTE DETAILS

GENERAL NOTES:

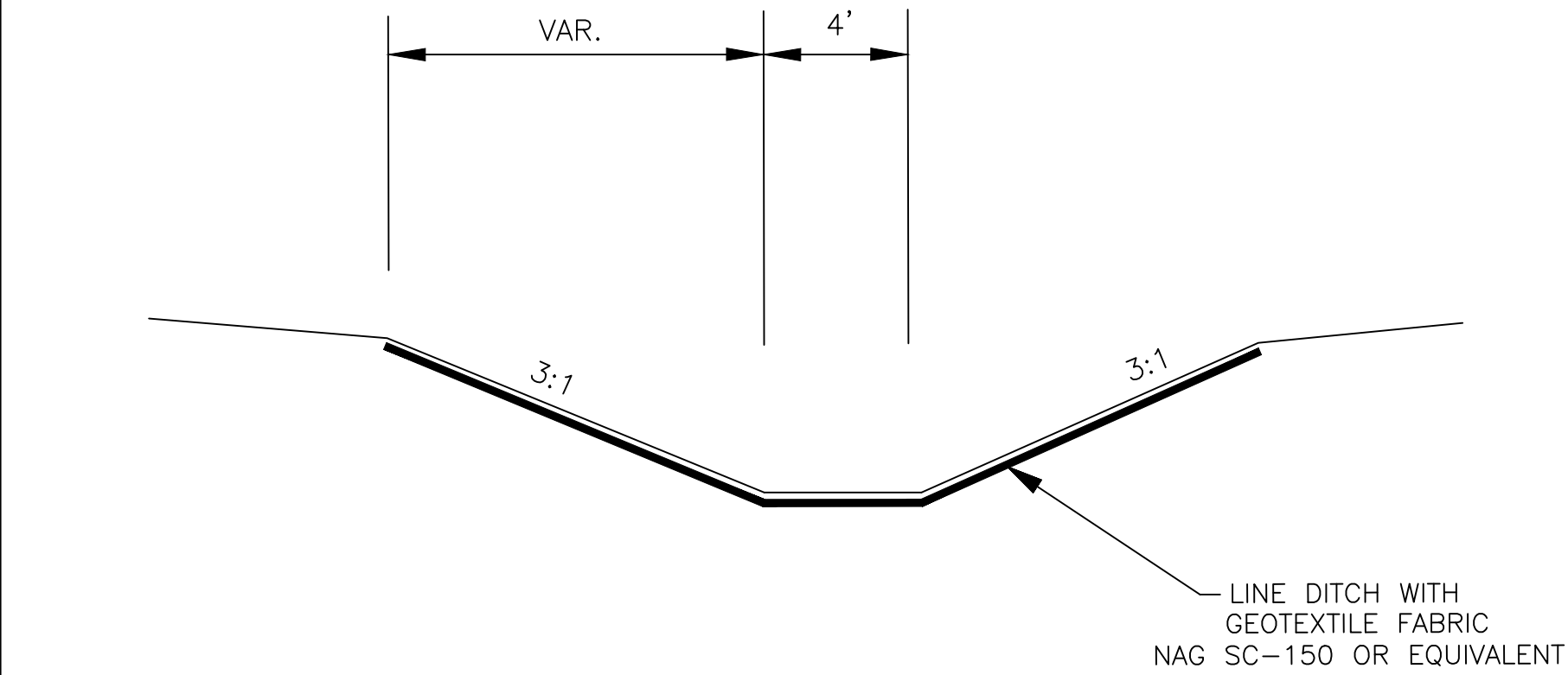
1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.



INLET PROTECTION

NOT TO SCALE

TAKEN FROM CITY OF CHARLOTTE DETAILS



PERMANENT SWALE DETAIL

NOT TO SCALE

* DEPTH VARIES, MIN. 2 FT.

GENERAL NOTES:

1. MORTAR JOINTS SHOULD BE BETWEEN 3/8" AND 5/8" THICK.
2. ALL CONCRETE TO BE 3600 P.S.I COMPRESSIVE STRENGTH.
3. THE 6" OPENING SHOWN MAY BE INCREASED TO 8" MAX. IF DEEMED TO BE NECESSARY BY THE ENGINEER.
4. ALL CATCH BASIN OVER 3'-6" IN DEPTH SHALL BE PROVIDED WITH STEPS 1'-2" ON CENTERS. STEPS SHALL BE IN ACCORDANCE WITH STD. 20.12.
5. CONCRETE BRICK MAY BE USED IN LIEU OF HARD COMMON CLAY BRICK.
6. JUMBO BRICK WILL BE PERMITTED.
7. FOR 6'-0" IN HEIGHT OR LESS USE 8" WALL. OVER 8'-0" IN HEIGHT USE 12" WALL TO 6'-0" FROM TOP OF WALL, AND 8" WALL FOR THE REMAINING 6'-0".
8. ALL EXPOSED JOINTS WILL BE CONCAVE TOOLED.
9. ALL PIPE IN STORM DRAIN STRUCTURE SHALL BE STRUCK EVEN WITH THE INSIDE WALL, GROUTED AND BRUSHED SMOOTH.
10. WEEP HOLES SHALL BE PLACED IN BACK WALL WITH FILTER FABRIC OR STONE ON BACK SIDE.
11. THIS CATCH BASIN IS NOT TO BE USED WITHIN STREET RIGHT OF WAY UNLESS OTHERWISE APPROVED BY CITY ENGINEER.

DIMENSIONS OF BOX AND PIPE				REINFORCING			COVER DIMENSION	
PIPE	SPAN	WIDTH	HEIGHT	BARS - X	BARS - Y	TOTAL	F	G
D	A	B	H (MIN)	NO.	LENGTH	LBS.		
15"	3'-6"	2'-3"	2'-7"	2	3'-4"	7	4'-7"	26
18"	4'-0"	2'-8"	2'-11"	2	3'-9"	8	5'-1"	33
24"	4'-0"	2'-8"	3'-5"	2	3'-9"	8	5'-1"	33
30"	4'-0"	3'-6"	3'-11"	2	4'-7"	9	5'-4"	37
36"	4'-0"	3'-6"	4'-6"	2	4'-7"	9	5'-4"	37
42"	4'-0"	3'-6"	4'-11"	2	4'-7"	9	5'-4"	37
48"	4'-6"	4'-0"	5'-5"	2	5'-1"	10	5'-10"	45

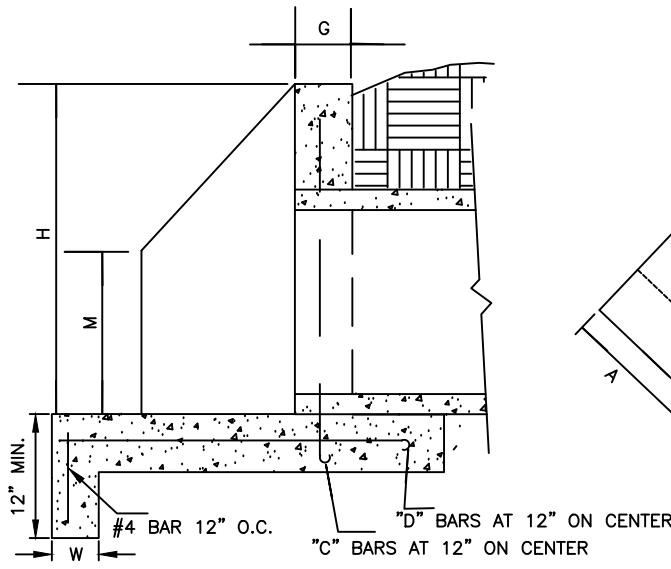
SLAB TYPE CATCH BASIN
15" THRU 48" PIPE

NOT TO SCALE

TAKEN FROM CITY OF CHARLOTTE DETAILS

CONCRETE PIPE		DIMENSIONS												
WALL THK.	OUT DIA.	IN DIA.	H	A	B	C	E	F	G	W	K	M		
2 1/4"	18 1/2"	15 1/2"	27 1/2"	20"	24"	8"	7 1/2"	4"	4"	8"	17"	10"		
2 1/2"	23"	18"	31"	20"	24"	8"	8"	4"	4"	8"	17"	12"		
3"	30"	24"	38"	20"	30"	8"	12"	4"	4"	8"	21"	15"		
3 1/2"	37"	30"	45"	20"	44"	12"	15"	6"	8"	8"	31"	18"		
4"	44"	36"	52"	30"	44"	12"	18"	8"	8"	8"	31"	22"		
4 1/2"	51"	42"	59"	32"	48"	12"	21"	8"	8"	8"	34"	26"		
5"	58"	48"	66"	32"	48"	12"	24"	8"	8"	8"	34"	29"		
5 1/2"	65"	54"	73"	32"	54"	12"	27"	8"	8"	8"	38"	33"		
6"	72"	60"	80"	36"	58"	12"	30"	8"	8"	12"	46"	36"		
6 1/2"	79"	66"	87"	36"	72"	12"	33"	8"	8"	12"	51"	40"		
7"	86"	72"	94"	36"	78"	12"	36"	8"	8"	12"	56"	43"		

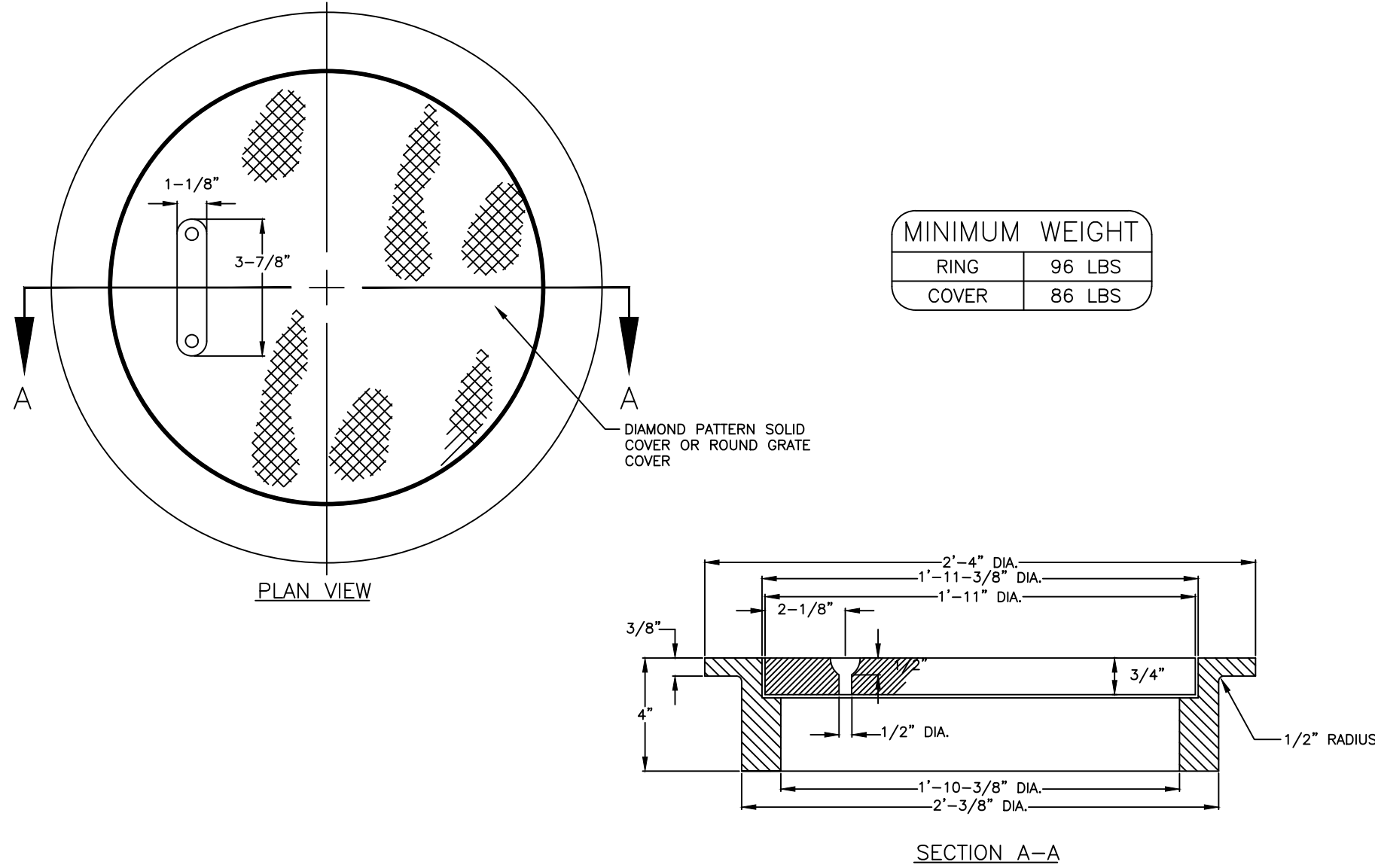
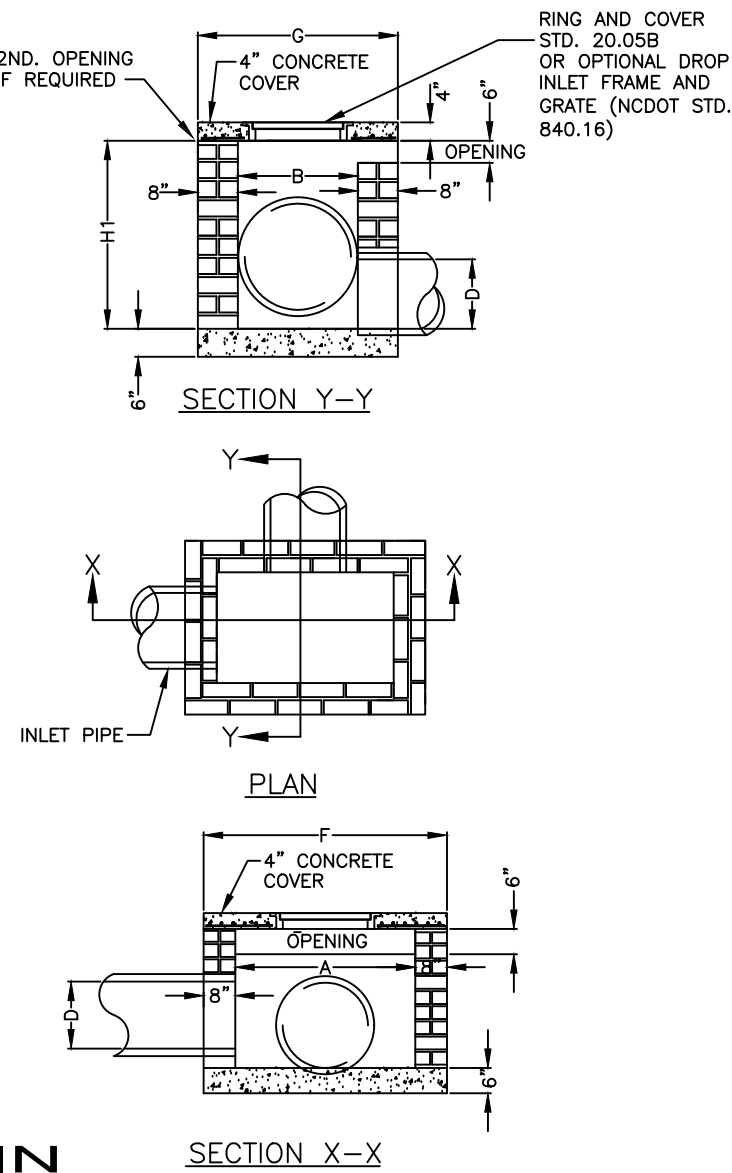
REINFORCING			
PIPE DIA.	"C" BAR NO.	"D" BAR LGT.	"D" BAR LGT.
15"	4	2'-0"	4
18"	4	2'-3"	4
24"	4	2'-9"	4
30"	4	3'-3"	4
36"	4	3'-9"	4
42"	4	4'-3"	4
48"	4	4'-9"	4
54"	4	5'-3"	4
60"	4	5'-9"	4
66"	4	6'-3"	4
72"	4	6'-9"	4



CONCRETE WINGWALL WITH SPLASH PAD

NOT TO SCALE

TAKEN FROM CITY OF CHARLOTTE DETAILS



MANHOLE RING AND COVER
FOR SLAB TYPE CATCH BASIN

NOT TO SCALE

GENERAL NOTES:

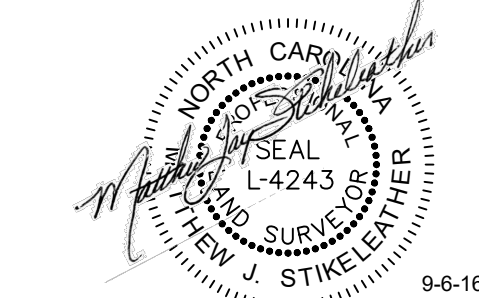
1. ALL CORNERS TO BE CHAMFERED 1" IF CONCRETE.
2. THE CONTRACTOR WILL BE REQUIRED TO PLACE 2-#6 BARS "Y" IN THE TOP OF ALL ENDWALL FOR PIPE CULVERTS 42" AND OVER WITH A MINIMUM 3" COVER AND A LENGTH OF 6" LESS THAN ENDWALL.
3. FORMS ARE TO BE USED FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
4. WALL THICKNESS (T) SHOWN IS NOT TO BE INTERPRETED TO MEAN THE THICKNESS ACCEPTABLE, BUT IS USED ONLY IN COMPUTING ENDWALL QUANTITIES.
5. IF CONTRACTOR ELECTS TO USE CONSTRUCTION JOINT AT BOTTOM OF PIPE, AND POURS BASE SEPARATELY, THE TOP OF BASE SHALL BE LEFT ROUGH.
6. ALL CONCRETE TO BE 3600 P.S.I COMPRESSIVE STRENGTH.

CONCRETE WINGWALL WITH SPLASH PAD NOTES

TAKEN FROM CITY OF CHARLOTTE DETAILS

Surveyor

Providence
Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356



Engineer

CMEC, PC
Construction Materials
Engineering & Consulting, PC
4401 Shopton Road
Charlotte, NC 28217
704.323.7334



PLANS PLOTTED 9-6-16
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Client Name

Threshold Church
3127 Weddington Road
Matthews, NC 28105
704.578.6554

Scale



Project Name

**Threshold Church
Phase 2**
Town of Weddington
Union County, North Carolina

Sheet Title

**Construction
Details**

Date Issued For Rev

6/22/16 First Submittal 0
9/6/16 Revised per Stormwater comments dated 7-11-16 1

Print Date

September 6, 2016

Drawn By

Jason C. King

Job Number

14041

Drawing File

14041-Ph2-Base.dwg

Checked By

James P. Magennis

Sheet Number

14041

D-3

21 ROOFING GROUP

1119

PROPOSAL/ CONTRACT DATE: 2016-06-08 3:44 PM

8918 Blakeney Professional Dr. Ste. 110 Charlotte, NC 28277
980.277.4421
21roofinggroup@gmail.com
www.21roofinggroup.com

Name:

Address: 1924 Weddington Road Matthews, NC

Phone:

21 Roofing Group, LLC, hereby proposes to furnish materials and labor necessary for completion of:

Repairs:

Replace 3 Squares of Lifetime shingles at rear low slope section. Replace damaged sheathing

Install drip edge and ice and water shield as underlayment. Replace 2 pipe boots and turtle V.

Install proper step flashing and Replace 8 LF of damaged Fascia board and paint.

Caulk chimney flashing and exposed nails. Add rain collars to pipe boots. Repair metal roof

At front right section 12 LF to include step flashing, ice and water shield and new sheathing.

Replace 1 Square of shingles at second story section causing current leak at valley. Install

ice and water shield and properly install metal at valley. Replace up to 1 bundle of damaged

Ridge cap.

TOTAL: \$ 5,800.00

DEPOSIT: \$ 2,900.00

FINAL: \$ 2,900.00

Company's Limited Warranty: 1 Year Craftsmanship Warranty, effective date of completion. No Warranty exists until contract is paid in FULL.

Payment is due upon completion of work. Interest will accrue on any balance unpaid for 30 days at the rate of 18% per annum. If it becomes necessary for 21 Roofing Group to pursue collection activities to collect on an overdue account, all costs including attorney fees shall be added to the unpaid amount.

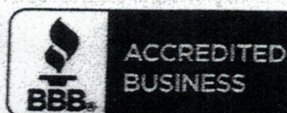
All material is guaranteed to be as specified. All work to be completed in a workmanlike manner, according to the specifications submitted and the terms and conditions on Page 2. Any alteration or deviation from specifications involving extra costs will be an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or weather delays beyond our control.

You, the customer, may cancel this transaction at any time prior to midnight of the third business day after the acceptance date.

ACCEPTANCE OF PROPOSAL: I have read, understand and agree to both pages of the proposal. The prices, specifications and terms and conditions of both pages are satisfactory and are hereby accepted. 21 Roofing Group is authorized to work as specified.

Signature: _____

Date: _____





TERMS AND CONDITIONS.

If you are like most of our customers, this is probably your first experience with re-roofing and you are wondering what to expect. The following is offered to prevent misunderstandings:

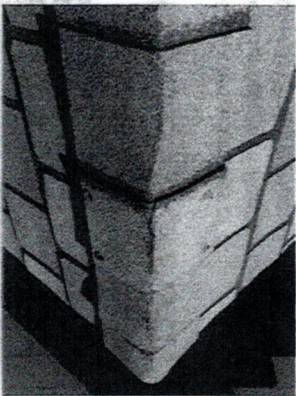
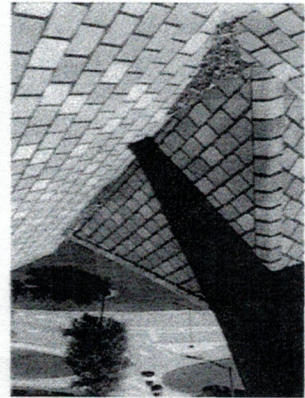
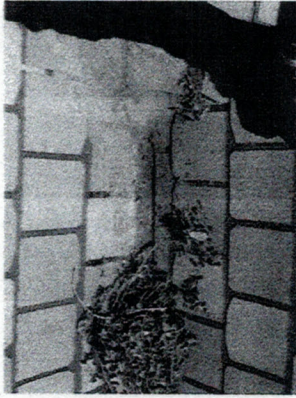
- **Sign.** Placing a sign on your property is the first step. We are proud of our work and this is effective advertising. You hereby give us permission to place our sign on your property for the duration of the job.
- **Trees, bushes, grass.** If you have low-hanging branches over your roof, some trimming may be necessary. Our team will trim only what is necessary to do an efficient job. You may prefer to have trees trimmed before our work begins. We usually place tarps over shrubs and grass but in warm weather this may cause some yellowing; this is unavoidable and we incur no liability.
- **Light fixtures, pictures, mirrors, ceiling fans.** Re-roofing causes jarring and vibrations in the home. Check to make sure all at-risk items are secured. You agree that we are not responsible for wall or ceiling damage such as nail pops, cracks, paint, etc. due to jarring and vibrations.
- **Tear off.** When removing existing shingles or installing new shingles, some debris may fall through sheathing boards. Ridge vent installation will result in small pieces of sawdust and plywood falling in the attic. We suggest covering or removing any items that require protection.
- **Access.** Your contract price was computed utilizing driveways, walkways and side access yards for trucks and equipment. If this is not acceptable, please notify us PRIOR to work beginning so that adjustments can be made.
- **Solar panels.** Arrangements to remove and replace solar panels is your responsibility unless expressly written in the proposal.
- **Skylights.** We are not responsible for any leaks on existing skylights that were not installed new by us, unless expressly written in this proposal.
- **Awnings, other coverings.** You are responsible for removal and reinstallation of awnings and other coverings near or on the home unless expressly written in this proposal.
- **Wall/dormer flashings.** Sometimes when a new roof is installed, flashing is found to be inadequate. If this case, there will be an additional charge. Our charge is \$4 per linear foot.
- **Broken sheathing.** On older homes, the boards can become dry and crack or holes and knots may fall. At your request, these holes will be repaired and could incur an additional charge.
- **Uneven rafters.** Homes can settle over the years or have poor construction, leaving the rafters and decking uneven. It's especially true on rafters 24" on center. This is cosmetic only and doesn't mean the decking is bad. And we will not take corrective measures.
- **Shingles.** It is normal for all new shingles to not lay flat immediately. Allow 30-60 days of warm weather for shingles to flatten out. If re-roofing in the late fall or winter, it could take until spring for the roof to even out. It is also normal for some slight discoloration of shingles; this is usually the result of packing talc and will disappear within 90 days.
- **HVAC pipes.** Hot water and/or furnace pipes may be accidentally disconnected when the flashings are reset. It is your responsibility to inspect these after the job is finished.
- **Gas/electrical lines.** When new shingles are applied, nails may penetrate the underside of the sheathing boards by as much as an inch. You agree that we are not responsible for any damage resulting from penetrating nails.
- **Satellite dishes.** Roof-mounted dishes must be removed prior to re-roofing. We do not recommend any satellite dishes on the roof. We will remove and reinstall dishes upon request but are not liable for any damage or leaks or satellite alignment problems.
- **Excess materials.** All proposals are based on the completed job, and an excess materials remain the property of 21 Roofing Group. If you want to order additional materials to keep on hand, let us know ahead of time.
- **Siding.** Siding, especially Masonite, is often deteriorated or caulked along the edges near the shingles. When re-roofing, sometimes these damages are disturbed. You agree that we are not responsible for any damages or cosmetic alterations revealed to siding or stucco during re-roofing.
- **Brick chimneys.** Sometimes old mortar or concrete tops will absorb water or cause leakage, especially in winter. Masonry chimneys should be maintained and seal coated regularly. 21 Roofing does not offer this service.
- **Single style & color selection.** Pictures, websites and samples vary. The best way to select a shingle is to see an entire roof on a bright, dry day. We will supply addresses to view our work upon request. You are responsible for final selection and adhering to any HOA regulations.
- **Ventilation.** Shingle manufacturer warranties typically require soffit ventilation in combination with roof-mounted vents. If soffit vents are needed, you must hire an outside contractor.
- **Workmanship warranties.** We will come out during normal business hours, weather permitting, to repair any workmanship-related leaks or missing materials stated in the proposal at no cost. Our workmanship warranty does not cover consequential or incidental damage.
- **Insurance.** If you require additional insurance other than our standard insurance, let us know so we can adjust our price accordingly.

This agreement may be executed in any number of counterparts with the same effect as if all parties had signed the same document. Such executions transmitted by fax or e-mail shall have the full force and effect of an original signature. After this agreement has been executed, 21 Roofing may retain an electronic version, and all parties agree that the electronic version shall have the full force as if it were an original.

You agree to indemnify and hold harmless 21 Roofing and all agents and subcontractors from and against any and all claims, demands, actions, causes of action, costs, expenses and attorney's fees arising out of or in conjunction with any and all injury, including death, to any person, any and all damages to or loss of property (to you or a third party), and any and all damages including consequential or incidental damages, recognized at law or in equity, caused by or resulting from in whole or in part, any act(s) or omission(s), negligent or otherwise, arising out of this proposal.

You agree that the maximum liability whatsoever of 21 Roofing is limited to the total amount you paid 21 Roofing in connection with this proposal. You agree that in the event any action is brought upon or due to this proposal, and we prevail, that you shall pay our reasonable attorney's fees and other costs incurred in connection with such action.

In the event that the applicable law prohibits the enforcement of any clause as written, that clause shall be modified to provide maximum indemnification to 21 Roofing under applicable law. Waiver by 21 Roofing of any terms and conditions of this contract or waiver of any breach hereof shall not be construed as a waiver of any other term, condition or breach. Determination that any provision of this proposal is illegal or invalid shall not affect the validity or enforceability of the remaining provisions.





21 Roofing Group

has achieved status of
Certified™ Weather Stopper® Roofing Contractor
for GAF (Residential Roofing Products Division),
North America's largest roofing manufacturer.



They have pledged to insure that each customer receives their "best and safest choice" in roofing and are authorized to offer the Weather Stopper® System Plus Ltd. Warranty.

GAF License#: CE27319

Valid Through: 5/31/2016

Robert B. Tafaro

Robert B. Tafaro
President and CEO, GAF

James R. Slautson

James R. Slautson
Vice President, Certified Program & Services, GAF



Erik Ramirez

HCI #: 201305142

Attended the 20-Hour Course

Haag Certified Inspector-Residential Roofs



Course Dates: April 30 – May 2, 2013

Location: Sheraton Charlotte Airport North
3315 Scott Futrell Drive
Charlotte, NC 28208

A handwritten signature in black ink, appearing to read "R. Holdhusen".

Ryan Holdhusen
Vice President
Haag Education, LLC

Haag Education, LLC certifies that the person named on this certificate attended the Haag Certified Inspector - Residential Roof program. The person named on this certificate has also passed the Haag Certified Inspector - Residential Roof program examination by at least the minimum standards designated by Haag Education, LLC. The person named on this certificate must maintain their good standing by re-qualifying and renewing their certification on an annual basis. The named Inspector's good standing as a Haag Certified Inspector should be verified at www.haagcertifiedinspector.com to ensure they have kept up with the requirements of the program and are still certified.

Certificate of Membership

Let It Be Known By This Certificate That

Erik Ramirez

Is Hereby A Member In Good Standing Of The
International Association of Certified Home Inspectors

This certificate also confirms that Erik Ramirez has successfully completed all membership requirements listed at www.nachi.org/membership

Member Name: Erik Ramirez
NACHI ID Number: NACHI11032703
State/Province: Florida
Expires: 03/28/13

Nick Gromicko 3/27/12
Date
Nick Gromicko, Founder



**International Association of
Certified Home Inspectors**
1750 30th Street
Boulder, CO 80301
www.nachi.org



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/15/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER

Charlotte Insurance
6400-B South Blvd
Charlotte, NC 28217

CONTACT

NAME: Victor Mairena

PHONE (A/C, No, Ext): 704-887-5503

FAX (A/C, No): 704-552-9547

E-MAIL ADDRESS: victor@charlotteinsurance.com

INSURER(S) AFFORDING COVERAGE

NAIC #

INSURER A: Western World Insurance Group

23816

INSURER B: Integon National

29742

INSURER C: Berkley Risk Administrator

23816

INSURER D:

INSURER E:

INSURER F:

INSURED

21 Roofing Group Inc
8962 Kirkley View Ct
Charlotte, NC 28277

COVERAGES

CERTIFICATE NUMBER: 00000000-0

REVISION NUMBER: 1

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			NPP8278138	10/14/2015	10/14/2016	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			2003072500-00	03/16/2015	03/16/2016	COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ 100,000 BODILY INJURY (Per accident) \$ 300,000 PROPERTY DAMAGE (Per accident) \$ 50,000
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> Y <input type="checkbox"/> N/A		WC-3290-028808-01	10/15/2015	10/15/2016	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

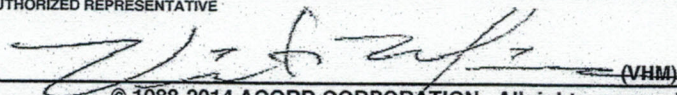
CERTIFICATE HOLDER

2015-2016

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE


(VHM)

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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

05/26/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	Charlotte Insurance 6400-B South Blvd Charlotte, NC 28217	CONTACT NAME: Victor Mairena PHONE (A/C, No, Ext): 704-887-5503 FAX (A/C, No): 704-552-9547 E-MAIL: victor@charlotteinsurance.com ADDRESS: victor@charlotteinsurance.com
INSURED	21 Roofing Group Inc 8962 Kirkley View Ct Charlotte, NC 28277	INSURER(S) AFFORDING COVERAGE INSURER A: Western World Insurance Group NAIC # 23816 INSURER B: Integon National 29742 INSURER C: Berkley Risk Administrator 23816 INSURER D: INSURER E: INSURER F:

COVERAGES

CERTIFICATE NUMBER: 00000000-44478

REVISION NUMBER: 8

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		NPP8278138	10/14/2015	10/14/2016	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPROP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		2003072500-01	03/16/2016	03/16/2017	COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ 100,000 BODILY INJURY (Per accident) \$ 300,000 PROPERTY DAMAGE (Per accident) \$ 50,000
	UMBRELLA LIAB EXCESS LIAB DED RETENTION \$	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE				EACH OCCURRENCE \$ AGGREGATE \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N Y N/A	WC-3290-028808-01	10/15/2015	10/15/2016	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

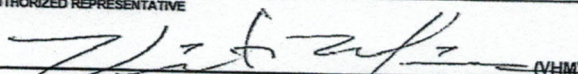
CERTIFICATE HOLDER

CANCELLATION

2016

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE



(VHM)

ACORD 25 (2016/03)

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Printed by VHM on May 26, 2016 at 02:10PM





Steve Larsh (704)763-5454
8319 Golf Ridge Dr
Charlotte, NC 28277

PROPOSAL AND ACCEPTANCE

PROPOSAL RELATED TO: <u>MIKE SMITH</u>	PHONE: <u>302-528-5891</u>	DATE <u>6/13/16</u>
STREET <u>1924 WEDDINGTON RD.</u>	JOB NAME	
CITY, STATE & ZIP	JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR

REPAIRS

1. REMOVE EXISTING SHINGLES ON BACK OF FRONT HIP/PYRAMID IN (2) AREAS WHERE THERE IS NO PITCH IN "DEAD VALLEY"
2. INSPECT DECKING FOR ANY DAMAGE, TO BE REPLACED @ PRICE DETERMINED & AGREED UPON AFTER DISCOVERY.
3. ~~ADD~~ INSTALL & BUILD "CRICKETS" TO CREATE A PITCH FOR WATER TO DRAIN OUT FROM BEHIND STRUCTURE, USING 2X & PLYWOOD.
4. APPLY GAF "WEATHERWATCH" LEAK BARRIER/ICE GUARD TO VALLEYS
5. APPLY EPDM RUBBER WITH ADHESIVE TO CRICKETS.
6. INSTALL NEW "SLATELINE" SHINGLES, TO MATCH EXISTING.
7. CAULK ANY AREAS NEEDED.
8. APPLY SEAM TAPE & ADHESIVE AT BOTTOM END OF BOTH CRICKETS WHERE THEY MEET ROOF & GUTTER.
9. RE-WORK FLASHING AT CORNER OVER LEAK IN CLOSET.
10. CAULK AROUND CORNER.
11. CLEAN UP ALL DEBRIS AND DISPOSE OF.
12. RUN NAIL MAGNET AROUND ENTIRE JOB AREA.

We Propose here by to furnish material and labor—complete in accordance to above specifications, for the Sum of

Payment to be made as follows: UPON COMPLETION

Dollars (\$ 6,450.00)

\$6,450.00

All material is guaranteed to be as specified. All work is to be completed in a workman like manner according to standard practices. Any after actions or deviations from above specified involving extra cost will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by workmen's compensation.

Additions Signature 

Note: This Proposal maybe withdrawn by us if not accepted within _____ days.

Acceptance of Proposal, The above prices, specifications

And conditions are satisfactory and are hereby accepted.

You are authorized to do the work specified. Payment

will be made as outlined above

Date of Acceptance _____

Signature _____

Signature _____



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

05/02/2016

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PRODUCER Cantley Insurance and Financial Services 1811 Sardis Road North Ste. 201 P O Box 79280 Charlotte, NC 28270	CONTACT NAME:	
	PHONE (A/C, No, Ext): (704)841-3888	FAX (A/C, No): (704)841-1721
INSURED Steve Larsh Exterior Repair 1618 Chippendale Road Charlotte, NC 28205	E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
	INSURER A: Erie Insurance Company	
	INSURER B:	
	INSURER C:	
	INSURER D:	
INSURER E:		
INSURER F:		
NAIC #		

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

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A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			Q282721254	4/27/2016	4/27/2017	EACH OCCURRENCE	\$ 1000000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1000000
							MED EXP (Any one person)	\$ 5000
							PERSONAL & ADV INJURY	\$ 1000000
							GENERAL AGGREGATE	\$ 2000000
							PRODUCTS - COMP/OP AGG	\$ 2000000
								\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident)	\$
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A					PER STATUTE	OTH-ER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

HOCOA
4701 Hedgemore Drive SUITE 250
Charlotte, NC 28209

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Peggy Piontek Town Administrator

DATE: September 12, 2016

SUBJECT: Discussion and Consideration of Solid Waste Service for Town Hall

The current provider has informed us that as of September 30th they will no longer be providing free solid waste pick up at Town Hall. I contacted 3 local organizations to get cost quotes, attached is a spread sheet with those quote. I would appreciate Council direction on how to move forward.

PSP

SOLID WASTE COST QUOTE		Pick up	Cost Monthly	Recycle	Pick up
Waste Connections	1 x weekly		\$16.00 per cart		\$7.00 bi-weekly
Waste Pro	1 x weekly		\$45.00 per month for all	2 carts solid waste + 1 recycle	bi weekly
RCS	1 x weekly		\$20 per cart		

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: September 12th, 2016

SUBJECT: **The Enclave at Weddington R-CD Conservation Subdivision
Conditional Zoning Final Plat Phase 1 Map 1**

Project Information:

The Enclave at Weddington is an approved conservation subdivision located on 53.52 acres. Phase 1 Map 1 includes 13 of the 42 approved lots. The subdivision is located on Antioch Church Rd and is being developed by Meritage Homes.

Conservation Land

The conservation land calculations indicate that 29.28 acres of the 53.52 acres has been dedicated to conservation land. 13.564 acres are included within Map 1.

Utilities

- The Enclave at Weddington is to be served by Union County Public Water and Sewer.

Access and Traffic Analysis

- The subdivision will be accessed by one entrance on Antioch Church Road.
- The Town Planner, in coordination with Justin Carroll, determined that the subdivision did not meet the threshold for a formal Traffic Impact Analysis. The applicant is providing a left turn lane in to the site and coordinating with NCDOT for design approvals.

PIMS

- PIMs were held on June 2nd and June 3rd, 2015, both at Town Hall and on-site.

Additional Information:

- Lot 40 is the largest lot at 17072 square feet.
- Lot 42 is the smallest lot at 12,961 square feet.
- The Cluster Mailbox Unit location and hydrant are both shown on the plat

- The subdivision will include curb and gutter, and sidewalks will be provided on one side of the street and around the culs-de-sacs.

Construction Documents

- USI provided final approval for the construction documents on May 9th, 2016.

Recommended Conditions:

1. Bond estimates to be approved by the Town's engineering consultant
2. Bond instruments to be reviewed and approved by the Town Attorney, and the final bond instruments must be submitted to the Town prior to recording of the final plat.
3. Each remaining lot to be recorded in the Enclave at Weddington subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not the responsibility of the Town of Weddington and shall be maintained by the Enclave at Weddington Homeowners Association or its Developer.
4. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.

Planning Board Action (August 22nd, 2016):

Recommended Approval with Conditions (Unanimous)

Town Council Action:

Approve/Approve with Conditions/Deny



US INFRASTRUCTURE OF CAROLINA, INC.

CONSULTING ENGINEERS

September 8, 2016

Ms. Kim Woods, Asst. Zoning Administrator
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: The Enclave at Weddington Phase I Map 1
Performance Bond
USI Project No. 140209- 20

Dear Kim:

USI has reviewed the construction cost estimate submitted by EMH&T (see attached) to verify the proposed amount for the performance bond provided by the developer. Rough grading has been completed on the site. The proposed amount of \$518,750.31 as shown on the estimate is satisfactory for establishing the performance bond for the incomplete roadway, storm drainage, sewer, and water main items and is recommended for approval.

If you have any questions, please contact us at 704-342-3007.

Sincerely,
US Infrastructure of Carolina, Inc.

Bonnie A. Fisher, P.E.
Senior Engineer

Attachment

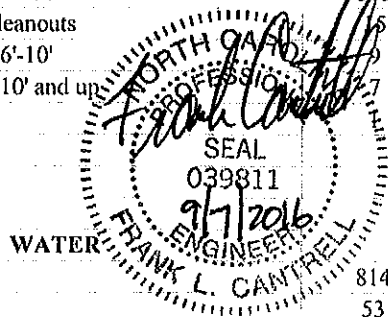
cc: Frank Cantrell, EMH&T



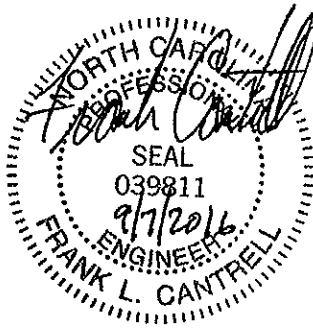
Engineers, Surveyors, Planners, Scientists

PROBABLE CONSTRUCTION BOND COST ESTIMATE
THE ENCLAVE AT WEDDINGTON PHASE 1, Map 1
 September 7, 2016

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
MISCELLANEOUS					
1	Street Trees	44	EACH	\$250.00	\$11,000.00
2	Street Lights	1	EACH	\$600.00	\$600.00
3	Erosion Control Maintenance	1	LS	\$4,500.00	\$4,500.00
SUBTOTAL					\$16,100.00
STORM SEWER					
1	15" Storm Sewer Pipe	658	LF	\$26.00	\$17,108.00
2	18" Storm Sewer Pipe	164	LF	\$28.50	\$4,674.00
3	24" Storm Sewer Pipe	123	LF	\$33.00	\$4,059.00
4	15" FES	1	EACH	\$800.00	\$800.00
5	18" FES	1	EACH	\$1,200.00	\$1,200.00
6	24" Headwall	2	EACH	\$1,100.00	\$2,200.00
7	Catch Basin	10	EACH	\$2,000.00	\$20,000.00
8	Rip Rap Apron	36	TON	\$50.00	\$1,800.00
9	Dry Detention Basin	6760	SF	\$5.10	\$34,476.00
SUBTOTAL					\$86,317.00
PAVEMENT					
1	2" S9.5B Full Depth	482	TON	\$75.00	\$36,150.00
2	3" III19.0B Full Depth	365	TON	\$75.00	\$27,375.00
3	5" B25.0B or C Full Depth	587	TON	\$75.00	\$44,025.00
4	Curb & Gutter Installation	1,803	LF	\$12.00	\$21,636.00
5	Sidewalk	489	SY	\$24.00	\$11,736.00
6	Curb Ramp	2	EACH	\$575.00	\$1,150.00
SUBTOTAL					\$142,072.00
SANITARY					
1	8" Sanitary SDR 35	408	LF	\$23.50	\$9,588.00
2	8" Sanitary SDR 26	593	LF	\$25.00	\$14,825.00
3	8" PVC Sanitary	1297	LF	\$43.75	\$56,743.75
4	4" PVC Sanitary SDR 35	375	LF	\$16.50	\$6,187.50
5	4" PVC Sanitary Cleanouts	15	EACH	\$98.00	\$1,470.00
6	Sanitary Manholes 6'-10'	9	EACH	\$2,225.00	\$20,025.00
7	Sanitary Manholes 10' and up	7	EACH	\$2,750.00	\$19,250.00
8	Testing Sanitary		LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$133,089.25
WATER					
1	8" PVC Water	814	LF	\$18.00	\$14,652.00
2	8" DIP Water	53	LF	\$30.00	\$1,590.00
3	8" Gate Valve and Box	1	EACH	\$1,500.00	\$1,500.00
4	2" Blowoff Assembly	1	EACH	\$1,450.00	\$1,450.00



5	Fire Hydrant Assembly	1	EACH	\$4,000.00	=	\$4,000.00
6	3/4" Meter Assembly	13	EACH	\$585.00	=	\$7,605.00
7	3/4" Water Services	13	EACH	\$125.00	=	\$1,625.00
8	Testing Water	1	LS	\$5,000.00	=	\$5,000.00
				SUBTOTAL	=	\$37,422.00
				TOTAL	=	\$415,000.25
				CONTINGENCY: 25%	=	\$103,750.06
				TOTAL	=	\$518,750.31





US INFRASTRUCTURE OF CAROLINA, INC.

CONSULTING ENGINEERS

September 8, 2016

Ms. Kim Woods, Asst. Zoning Administrator
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: The Enclave at Weddington Phase I Map 2
Performance Bond
USI Project No. 140209- 20

Dear Kim:

USI has reviewed the construction cost estimate submitted by EMH&T (see attached) to verify the proposed amount for the performance bond provided by the developer. Rough grading has been completed on the site. The proposed amount of \$647,824.06 as shown on the estimate is satisfactory for establishing the performance bond for the incomplete roadway, storm drainage, sewer, and water main items and is recommended for approval.

If you have any questions, please contact us at 704-342-3007.

Sincerely,
US Infrastructure of Carolina, Inc.

Bonnie A. Fisher, P.E.
Senior Engineer

Attachment

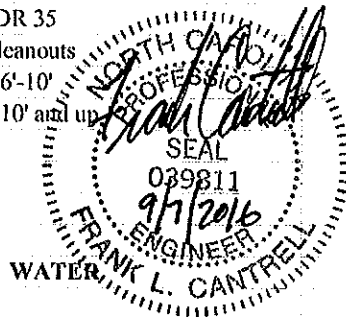
cc: Frank Cantrell, EMH&T



Engineers, Surveyors, Planners, Scientists

PROBABLE CONSTRUCTION BOND COST ESTIMATE
THE ENCLAVE AT WEDDINGTON PHASE 1, Map 2
 September 7, 2016

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
MISCELLANEOUS					
1	Street Trees (40' O.C.)	74	EACH	\$250.00	\$18,500.00
2	Street Lights	4	EACH	\$600.00	\$2,400.00
3	Erosion Control Maintenance	1	LS	\$4,500.00	\$4,500.00
4	Gibson Pond Spillway Improvements				
	a. Tree Removal	1	LS	\$4,500.00	\$4,500.00
	b. Berm/Spillway Grading	1	LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$34,900.00
STORM SEWER					
1	15" Storm Sewer Pipe	967	LF	\$26.00	\$25,142.00
2	18" Storm Sewer Pipe	163	LF	\$28.50	\$4,645.50
3	54" Storm Sewer Pipe	137	LF	\$84.00	\$11,508.00
4	15" FES	2	EACH	\$800.00	\$1,600.00
5	18" FES	1	EACH	\$1,200.00	\$1,200.00
6	54" Headwall	1	EACH	\$2,360.00	\$2,360.00
7	Catch Basin	16	EACH	\$2,000.00	\$32,000.00
8	Rip Rap Apron	48	TON	\$50.00	\$2,400.00
SUBTOTAL					\$80,855.50
PAVEMENT					
1	2" S9.5B Full Depth	475	TON	\$75.00	\$35,625.00
2	3" H19.0B Full Depth	712	TON	\$75.00	\$53,400.00
3	5" B25.0B or C Full Depth	1,146	TON	\$75.00	\$85,950.00
4	Curb & Gutter Installation	3,158	LF	\$12.00	\$37,896.00
5	Sidewalk	994	SY	\$24.00	\$23,856.00
6	Curb Ramp	2	EACH	\$575.00	\$1,150.00
SUBTOTAL					\$237,877.00
SANITARY					
1	8" Sanitary SDR 35	111	LF	\$23.50	\$2,608.50
2	8" Sanitary SDR 26	213	LF	\$25.00	\$5,325.00
3	8" PVC Sanitary	705	LF	\$43.75	\$30,843.75
4	8" DIP Sanitary	400	LF	\$42.00	\$16,800.00
5	4" PVC Sanitary SDR 35	675	LF	\$16.50	\$11,137.50
6	4" PVC Sanitary Cleanouts	27	EACH	\$98.00	\$2,646.00
7	Sanitary Manholes 6'-10'	6	EACH	\$2,225.00	\$13,350.00
8	Sanitary Manholes 10' and up	2	EACH	\$2,750.00	\$5,500.00
9	Testing Sanitary	1	LS	\$5,000.00	\$5,000.00
SUBTOTAL					\$93,210.75
1	8" PVC Water	1067	LF	\$18.00	\$19,206.00



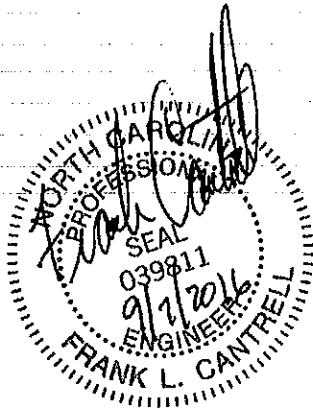
2	8" DIP Water	106	LF	\$30.00	=	\$3,180.00
3	2" PVC Water	536	LF	\$15.00	=	\$8,040.00
4	2" Gate Valve and Box	2	EACH	\$1,500.00	=	\$3,000.00
5	8" Gate Valve and Box	1	EACH	\$1,500.00	=	\$1,500.00
6	2" Blowoff Assembly	2	EACH	\$1,450.00	=	\$2,900.00
7	Fire Hydrant Assembly	2	EACH	\$4,000.00	=	\$8,000.00
8	3/4" Meter Assembly	29	EACH	\$585.00	=	\$16,965.00
9	3/4" Water Services	29	EACH	\$125.00	=	\$3,625.00
10	Testing Water	1	LS	\$5,000.00	=	\$5,000.00

SUBTOTAL	=	\$71,416.00
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TOTAL	=	\$518,259.25
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CONTINGENCY: 25%	=	\$129,564.81
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TOTAL	=	\$647,824.06
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DEVELOPMENT DATA:

ZONING: R-CD(CONSERVATION)
PROPOSED USE: CONVENTIONAL SUBDIVISION

ZONING LOT CRITERIA:

MINIMUM LOT SIZE REQUIRED: 12,000 SF (0.28 AC)
MINIMUM LOT SIZE PROVIDED: 12,961 SF (0.30 AC)
MINIMUM STREET FRONTAGE REQUIRED: 30 FEET
MINIMUM LOT WIDTH REQUIRED (AT BUILD TO LINE): 80 FEET

SETBACKS:

FRONT YARD: 20 FT
SIDE YARD: 5 FT *
STREETSIDE SIDE YARD: 15 FT **
REAR YARD: 30 FT
* MINIMUM 30 FEET SEPARATION FOR PRINCIPAL BUILDINGS ON ADJACENT LOTS, WITH NO SIDE YARD LESS THAN FIVE FEET.
** THE STREETSIDE SIDE YARD ON A CORNER LOT (i.e., THE LOT FRONTING A STREET THAT IS NOT THE "FRONT YARD") SHALL BE AT LEAST 15 FEET.

CONSERVATION LAND CALCULATIONS:

TOTAL SITE AREA (GROSS): 53.52 AC

CONSERVATION LAND REQUIRED: 26.76 AC (SA X 50%)
CONSERVATION LAND PROVIDED (PER PLAN): 29.28 AC
CONSERVATION LAND PROVIDED (PH 1 MAP 1): 13.564 AC
CONSERVATION LAND PROVIDED TO DATE: 13.564 AC

NOTES:

THE PROPERTY MAY BE SUBJECT TO ANY ADDITIONAL RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY.

SUBJECT TRACT TAX ID# 06090005, 06090005B 06090008, & 06090008A.

SUBJECT TRACT REFERENCE: DB 6674 PG 572 & DB 6674 PG 576.

#5 REBAR SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

AREAS COMPUTED BY COORDINATE METHOD.

UNADJUSTED RATIO OF PRECISION: 1:294,744

TOTAL ACREAGE FOR THE AREA ENCOMPASSED BY THIS PLAT IS 19.196 ACRES.

TOTAL NUMBER OF LOTS: 13 BUILDABLE
TOTAL LINEAR FEET OF ROADWAY = 875
DATE OF SURVEY: AUGUST 2016

PID #07150662
BROOKHAVEN CITIZENS
ASSEMBLY INC
DB 6431 PG 287

THIS PROPERTY IS GRAPHICALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA, AS DELINEATED ON UNION COUNTY, NORTH CAROLINA FLOOD INSURANCE RATE MAP/FLOOD HAZARD BOUNDARY MAP PANEL 3710448700J DATED OCTOBER 16, 2008.

NO DEVELOPMENTAL STUMP HOLES REPORTED TO THIS FIRM WITHIN THE LOTS WHICH MAKE UP THIS MAP.

35'x35' AND 10'x70' SIGHT TRIANGLES AT INTERSECTION.

ALL LIGHTING WILL MEET THE REQUIREMENTS OF THE TOWN OF WEDDINGTON ZONING ORDINANCE.

CONSERVATION LANDS WILL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.

LANDSCAPING WITHIN ANY EASEMENTS LOCATED UPON LOTS TO BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS.

IN THE EVENT THE ROADWAYS ARE NOT ACCEPTED FOR MAINTENANCE BY NCDOT OR ANY OTHER GOVERNMENTAL ENTITY, THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ROADWAYS.

SEE AREA, LINE & CURVE TABLES ON SHEET 3 OF 3

(TIE LINE)
N89°58'14"W
11,846.26 (GROUND)
11,546.45 (GRID)
-INTS-

NCGS MON. "KNOX"
NC GRID COORDS
NAD 83/2011
N=484,551.24
E=1,474,267.50
CF: 0.99984783

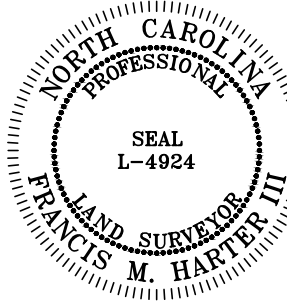
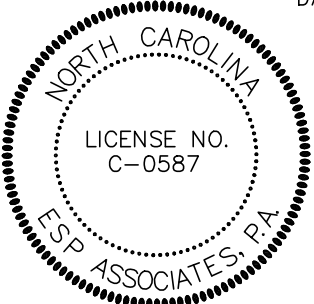
PID #07150662
BROOKHAVEN CITIZENS
ASSEMBLY INC
DB 6431 PG 287

REVIEW OFFICER

I, _____, REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE



ESP Associates, P.A.
P.O. Box 7030 3475 Lakemont Blvd.
Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

LEGEND:

DB - DEED BOOK
PG - PAGE
SF - SQUARE FEET
AC - ACRES
CBU - CLUSTER BOX UNIT
WLE - WATERLINE EASEMENT
SDE - STORM DRAINAGE EASEMENT
SSE - SANITARY SEWER EASEMENT
STE - SIGHT TRIANGLE EASEMENT
MBS - MINIMUM BUILDING SETBACK
RY - REAR YARD
SY - SIDE YARD
R/W - RIGHT OF WAY
NCDOT - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
NAD - NORTH AMERICAN DATUM
NAVD - NORTH AMERICAN VERTICAL DATUM
FMN - FOUND MAG NAIL
{NTS} - NOT TO SCALE
O - SET CORNER (#5 REBAR UNLESS OTHERWISE NOTED)
● - FOUND CORNER (AS NOTED)
■ - FOUND CONCRETE MONUMENT
● - FIRE HYDRANT
#101 - ADDRESS
--- - PROPERTY/LOT LINE
--- - ADJOINING PROPERTY LINE (NOT SURVEYED)
--- - EASEMENT LINE
--- - RIGHT OF WAY LINE
--- - UTILITY EASEMENT
--- - STORM DRAINAGE EASEMENT

NORTH ORIENTED TO
NC GRID NAD 83/2011

PID #06090007
RONALD L PATZ
DB 5922 PG 669

PID #06090007A
BRADFORD M &
ANGELA YANDA
DB 3413 PG 171

10' TEMPORARY
CONSTRUCTION EASEMENT
20' UTILITY EASEMENT

CONCRETE MONUMENT
NC GRID COORDS
NAD 83/2011
N=478,444.65
E=1,484,418.76

1680
133977 SF
3.076 AC
CONSERVATION LAND 1

N12°46'29"E 214.33'

CERTIFICATE OF SURVEY AND ACCURACY

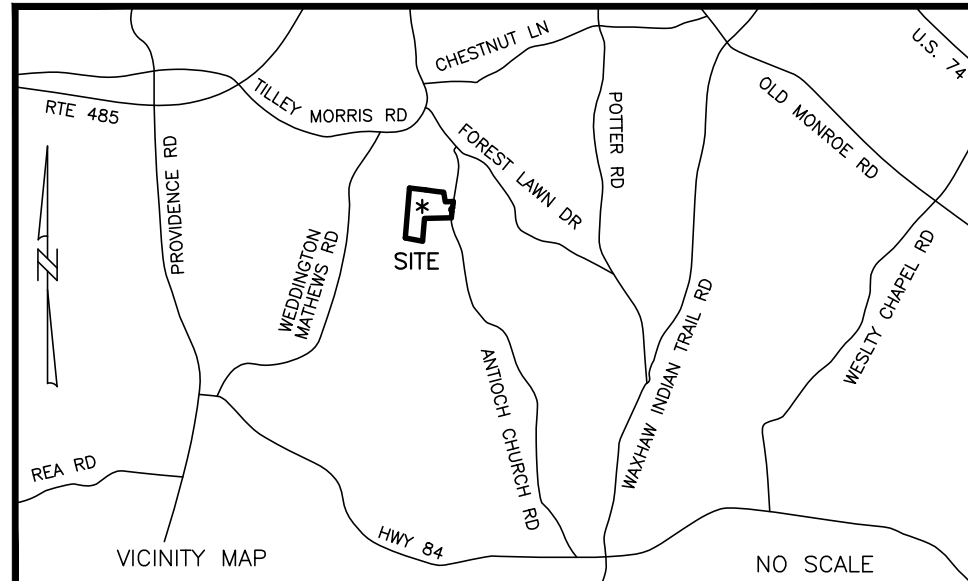
I, FRANCIS M. HARTER III, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 6674, PAGE 572 AND DEED BOOK 6674, PAGE 576); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGES SHOWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:294,744; THAT THE GLOBAL POSITIONING SYSTEM (GPS) WAS USED TO ORIENT THIS SITE TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM. PARTICULARS OF THE GPS SURVEY ARE AS FOLLOWS:

CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.03
TYPE OF GPS FIELD PROCEDURE: NCVRS
DATE OF SURVEY: 4/06/16
DATUM/EPOCH: NAD83/2011
PUBLISHED/FIXED-CONTROL USE: NCGS MONUMENT "KNOX" PID: FA2452
GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 17-30 AND I CERTIFY THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 17-30, SECTION F-11-A
WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXTH DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924

PRELIMINARY PLAT-NOT FOR
RECORDATION, CONVEYANCES,
OR SALES

MATCH TO SHEET 2



FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1
LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA
OWNER:
MREC FALLS AT WEDDINGTON, LLC
C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-24-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M1
1 OF 3 SHT

REVIEW OFFICER

I, _____ REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

DATE

OWNER:

MREC FALLS AT WEDDINGTON, LLC
c/o Mountain Real Estate Company
9171 Towne Centre Drive, Suite 315
San Diego, CA 92122
Contact: Justin Rutherford
Phone#: 858.230.6451

DEVELOPER:

Meritage Homes of the Carolinas, Inc.
11605 North Community House Rd.
Suite 250 - Calhoun Bldg
Charlotte, NC 28277
Contact: Brett Manery
Phone#: 704.944.8900

LANDSCAPE ARCHITECTS:

LandDesign Inc.
223 North Graham St.
Charlotte, NC 28202
Contact: Mark Kime
Phone#: 704.333.0325

Cardno, Inc.
7606 Whitehall Executive Center Dr.
Suite 800
Charlotte, NC 28273
Contact: Andrew Hill
Phone#: 704.927.9700

CIVIL ENGINEERS:

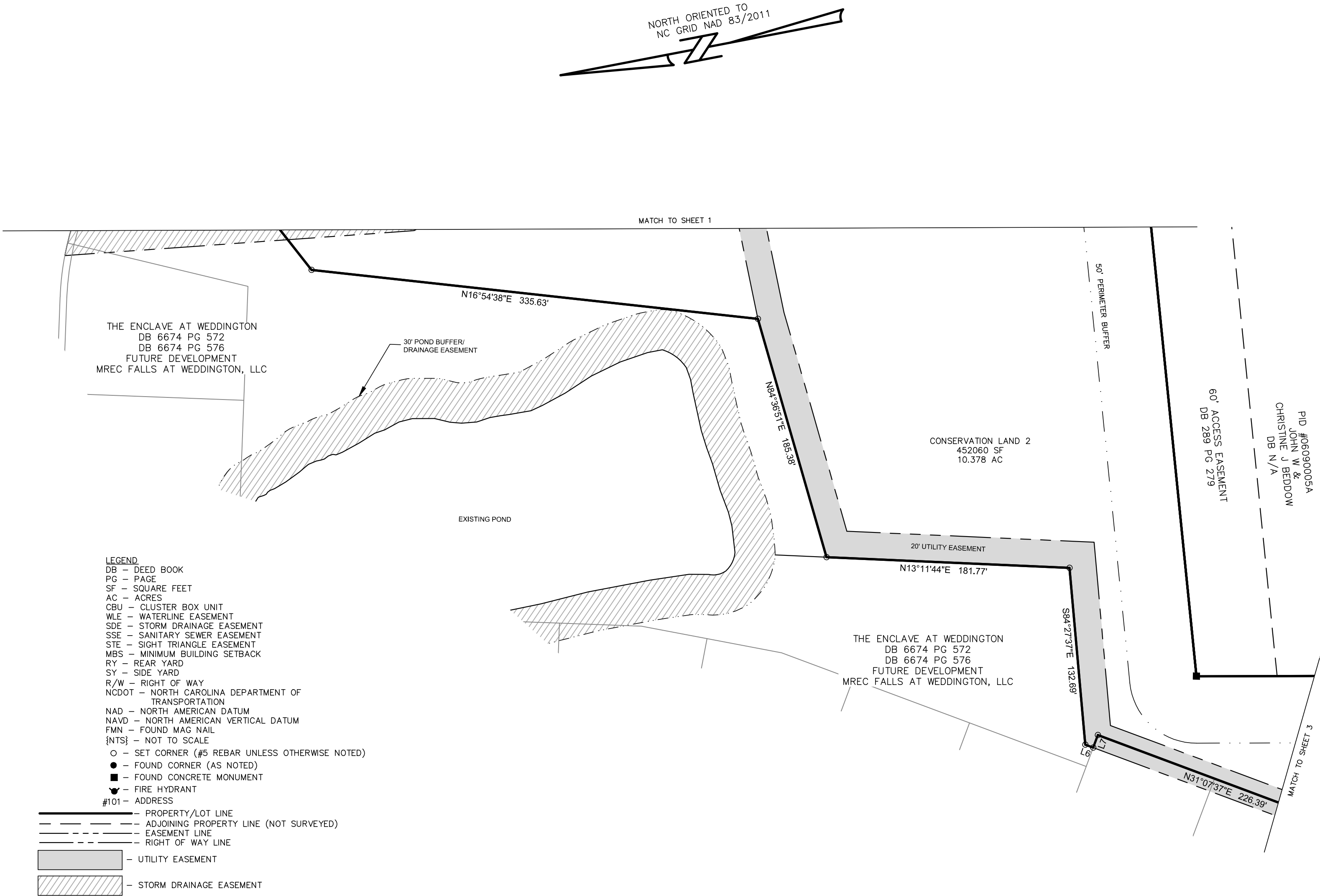
LandDesign Inc.
223 North Graham St.
Charlotte, NC 28202
Contact: Robb Klauk
Phone#: 704.333.0325

EMH&T
301 McCullough Dr. Suite 109
Charlotte, NC 28262
Contact: Frank Cantrell
Phone#: 704.548.0333

LAND SURVEYORS:

LDSI, Inc.
508 W. 5th Street, Suite 125
Charlotte, NC 28202
Contact: David Boyles
Phone#: 704.337.8329

ESP ASSOCIATES, P.A.
3475 Lakemont Boulevard
Fort Mill, SC 29708
Contact: Trey Harter
Phone#: 803.802.2440



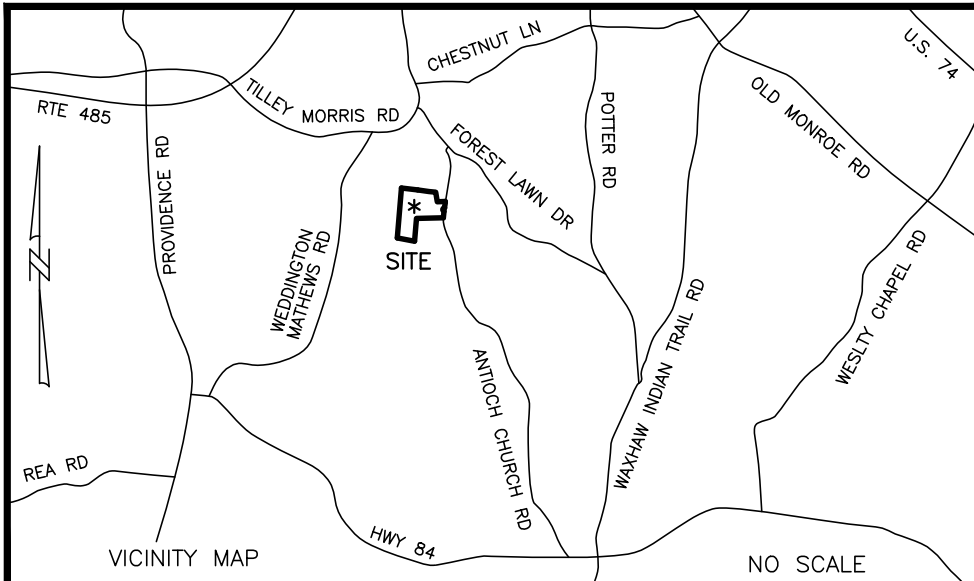
LEGEND
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CERTIFICATE OF SURVEY AND ACCURACY

I, FRANCIS M. HARTER III, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 6674, PAGE 576); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGES SHOWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:294,744; THAT THE GLOBAL POSITIONING SYSTEM (GPS) WAS USED TO ORIENT THIS SITE TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM. PARTICULARS OF THE GPS SURVEY ARE AS FOLLOWS:

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POSITIONAL ACCURACY: 0.03
TYPE OF GPS FIELD PROCEDURE: NCVRS
DATE OF SURVEY: 4/06/16
DATUM/EPOCH: NAD83/2011
PUBLISHED/FIXED-CONTROL USE: NCGS MONUMENT "KNOX" PID: FA2452
GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 17-60 AND I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 17-30 SECTION F-11-A
WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXST DAY OF XXXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924



FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1

LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

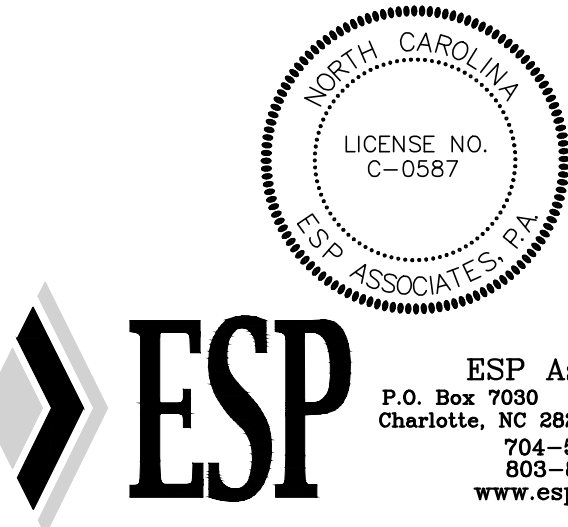
OWNER:

MREC FALLS AT WEDDINGTON, LLC

C/O MOUNTAIN REAL ESTATE COMPANY
9171 TOWNE CENTER DRIVE, SUITE 315,
SAN DIEGO, CA 92122
(858) 230-6451

PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-24-16
DRAWN BY
JLN
CHECKED BY
FMH
DATE OF SURVEY
AUGUST 2016
DRAWING NO.
EP04 ENCLAVE PH1 M1

2 OF 3 SHT



ESP Associates, P.A.
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Charlotte, NC 28241 Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

REVIEW OFFICER

I, _____, REVIEW OFFICER OF UNION COUNTY, CERTIFY THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF UNION COUNTY. THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE, AND EASEMENTS EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE, AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL USE AUTHORIZED BY LAW WHEN SUCH OTHER USE IS APPROVED BY THE BOARD OF COMMISSIONERS IN THE PUBLIC INTEREST.

DATE _____ MREC FALLS AT WEDDINGTON, LLC

NOTARY FOR OWNER

I, _____, A NOTARY PUBLIC OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGE THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____, 2016.

MY COMMISSION EXPIRES: _____

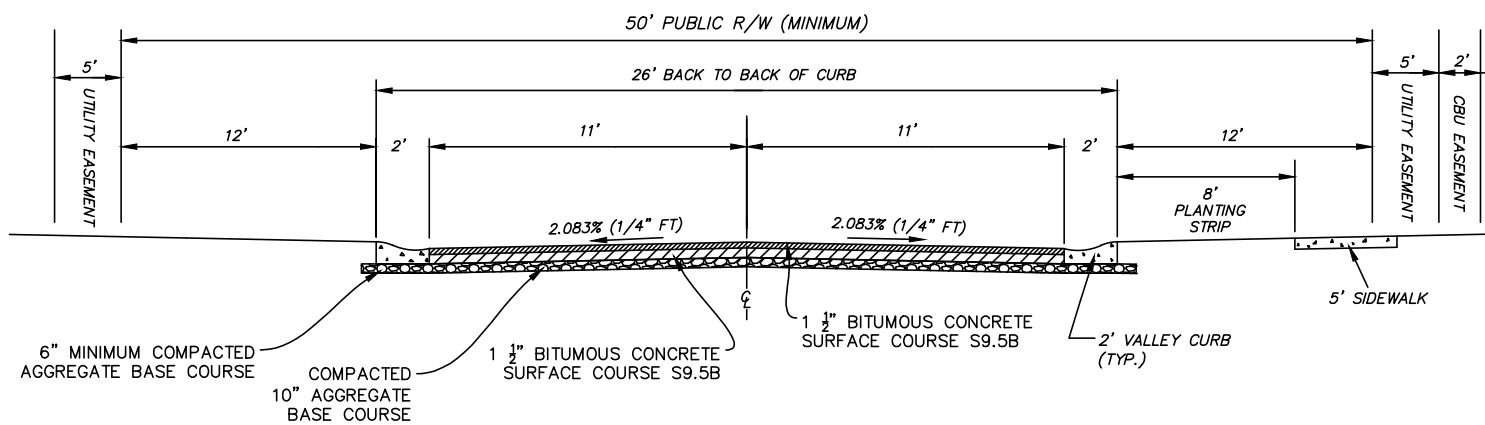
NOTARY PUBLIC _____

NC DEPARTMENT OF TRANSPORTATION

DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS PROPOSED SUBDIVISION ROAD CONSTRUCTION STANDARD CERTIFICATION

APPROVED _____
DISTRICT ENGINEER
DATE _____

ONLY NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVED STRUCTURES ARE TO BE CONSTRUCTED ON PUBLIC RIGHT OF WAY



THE ENCLAVE AT WEDDINGTON
LOCAL ROAD SECTION
50' RIGHT-OF-WAY

CERTIFICATE OF SURVEY AND ACCURACY

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GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.99984783
UNITS: USFT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 17-60 AND I CERTIFY THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 17-30 SECTION F-11-A
WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE XXST DAY OF XXXX, 2016.
FRANCIS M. HARTER III, PLS REGISTRATION NO. L-4924

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF WEDDINGTON, NORTH CAROLINA, AND THAT THIS PLAT HAS BEEN APPROVED BY THE WEDDINGTON TOWN COUNCIL FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS FOR UNION COUNTY, NORTH CAROLINA.
THIS _____ DAY OF _____, _____

MAYOR OF THE TOWN OF WEDDINGTON
NORTH CAROLINA

PID #06090009A
CATHERINE M HEATH
PC J-715

PID #06090009
VIRGINIA CLAIRE RITTER
DB 3338 PG 763

PID #06093007
THE FALLS AT
WEDDINGTON LLC
DB 6418 PG 714

AREA TABLE	SQ FT	ACRES
LOTS	181,889	4.175
RIGHT OF WAY DEDICATION	18,408	0.423
RIGHT OF WAY (ENCLAVE BLVD)	45,032	1.034
COMMON OPEN SPACE	4,809	0.110
CONSERVATION AREA	586,037	13.454
TOTAL	836,175	19.196

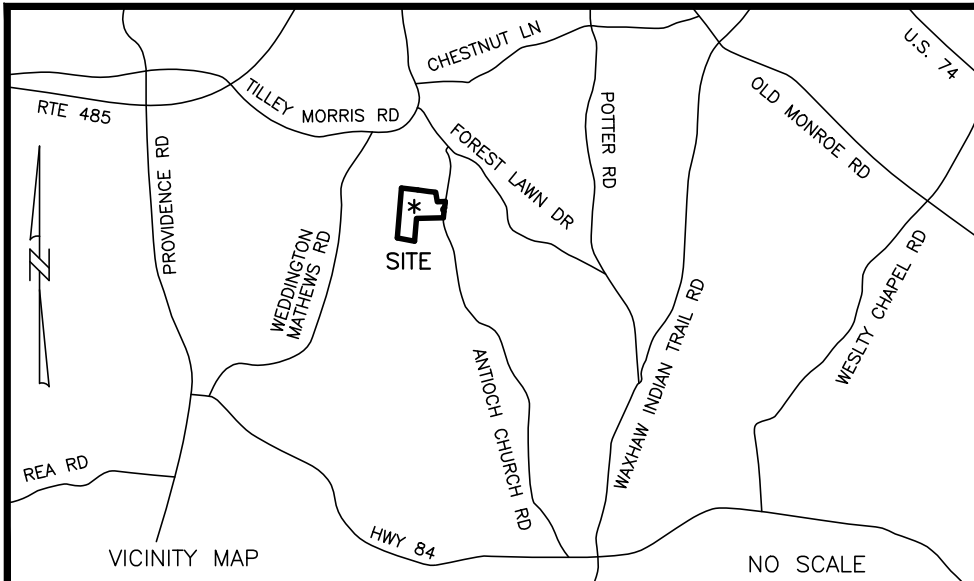
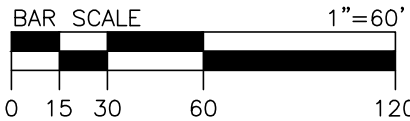
Line Table		
Line #	Direction	Length
L1	N 28°52'29" W	17.45
L2	S 27°23'04" E	22.38
L3	N 4°52'06" W	14.65
L4	N 20°53'58" W	28.85
L5	N 40°11'22" W	15.14
L6	N 31°07'34" E	6.30
L7	N 58°52'23" W	10.00
L8	S 78°43'55" E	12.51
L9	S 77°12'18" E	56.66
L10	N 58°01'09" E	61.34
L11	N 32°03'37" W	61.08
L12	N 77°12'18" W	56.83

Curve Table				
Curve #	Radius	Length	Bearing	Chord
C1	50.00	78.22	S 57°58'35" W	70.49
C2	50.00	78.66	S 32°08'04" E	70.80
C3	205.00	92.54	N 39°21'46" W	91.76
C4	225.00	33.50	S 25°09'55" E	33.47
C5	225.00	10.44	S 30°45'39" E	10.44
C6	225.00	9.56	S 33°18'30" E	9.56
C7	225.00	75.84	S 44°10'58" E	75.49
C8	225.00	85.41	S 64°42'50" E	84.90
C9	225.00	6.35	S 76°23'48" E	6.35
C10	175.00	13.09	N 75°03'46" W	13.08
C11	175.00	158.89	N 46°54'36" W	153.49
C12	255.00	28.86	N 24°08'31" W	28.85
C13	255.00	110.87	N 39°50'22" W	109.99

LEGEND

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#101 - ADDRESS

— PROPERTY/LOT LINE
--- ADJOINING PROPERTY LINE (NOT SURVEYED)
- - - EASEMENT LINE
- - - RIGHT OF WAY LINE
[Hatched Box] - UTILITY EASEMENT
[Hatched Box] - STORM DRAINAGE EASEMENT



FINAL PLAT OF
THE ENCLAVE AT WEDDINGTON
PHASE 1 MAP 1
LOCATED IN: SANDY RIDGE TOWNSHIP
TOWN OF WEDDINGTON
UNION COUNTY, NORTH CAROLINA

OWNER:

MREC FALLS AT WEDDINGTON, LLC

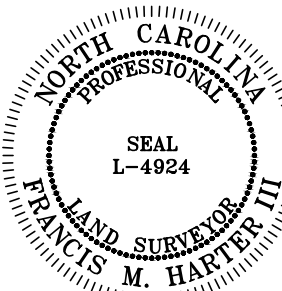
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SAN DIEGO, CA 92122
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PROJECT NO
EP04.810.000
SCALE
1"=60'
DATE
8-24-16
DRAWN BY
JLN
CHECKED BY
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DATE OF SURVEY
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DRAWING NO.
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3 OF 3 SHT



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WEDDINGTON CODE ENFORCEMENT REPORT

September 8, 2016

1. 404 Cottonfield Cir., James & Shannon Cox

- Wrecked car and inoperative pickup truck parked in side yard and visible from both streets
- Hearing scheduled and held at Town Hall. Owner and wife attended. Vehicles removed/relocated. 2/5/15
- Stockade style fence has been extended to screen side yard from view from front of property; vehicles disposed or relocated?; will continue to monitor—3/15/15
- 6/3/15---- Received email from Julian and website address and advertisement Mr. Cox is running on internet advertising his motor rebuilding business. 8 vehicles and enclosed trailer parked in driveway at this property
- 7/6/15----Issued citation with fine effective 7/10/15
- 8/3/15----5 vehicles in driveway, garage door closed, gate closed.
- 9/3/15----Town attorney to issue a "Cease and desist" letter to Cox.
- 9/9/15----5 vehicles in drive, garage door closed; gate closed.
- 9/16/15-----Attorney (Odom) called on behalf of Cox. Informed him that property is in violation of Zoning Ordinance and must be brought in to compliance to avoid legal action by Town to obtain compliance.
- 10/15/15----Violation continues.. Legal action needed.
- 2/29/16---Legal enforcement needed.
- 4/1/16—No change. Legal action pending.
- 5/2/16—No Change. Legal action pending.
- 6/7/16—No Change. Legal action pending.
- 8/4/16—No Change. Legal action pending.
- 9/8/16—No Change

2. 2101 Eagle Pass Ct., Richard Mrugalski, Jr.

- Electrical contractor business operating from home
- Owner is moving business to commercial space (first of Feb., 2016)
- 3/9/16—Notice of Violation and Citation issued with fines commencing 3/14/16.
- 3/15/16—Owner has moved business to commercial space in Indian Trail.
- 4/1/16—Will continue to monitor this one.
- 5/2/16—Continuing to monitor this one. Construction underway for large addition to residence and also a large building at rear of property for storage of vehicles.
- Still monitoring this one.
- 8/4/16---No commercial activity observed. Will still monitor until construction of addition to house is completed.
- 9/8/16---No Change, construction on addition continuing.

3. 4005 Ambassador Ct., Inez B. McRae Trust
 - Corresponding with owner and his attorney, urging corrective action to prevent further deterioration of house.
 - 4/4/16---No response to correspondence sent 3/1/16 to owner and attorney. Will continue to monitor this one.
 - Still monitoring this one. See attached explanation of code enforcement process.
 - Still monitoring this one.
 - 8/4/16--Still monitoring this one.
 - 9/8/16---Still monitoring this one.
4. Highway 84 & Twelve Mile Creek Rd.
 - Large amount of stumps and demolition debris hauled in and dumped on this property. Contacting owner to have it removed.
 - 6/7/16—Courtesy letter sent to owner informing him debris must be removed. No response. Notice of Violation with fine is next step.
 - 8/4/16---Citation and fine issued. Meeting property owner on 8/4/16 to perform on- site inspection and to clarify what must be removed to clean property.
 - 9/8/16---Owner is cleaning/hauling debris away and evicting tenant.
5. 1164 Willow Oaks Tr.
 - 5/26/16—Inspection of property. Utility building built w/out permit and too close to property line. Courtesy letter sent to property owner informing them of need for permit and for building to be moved to meet 15 ft. setback.
 - 8/4/16---Building to be moved to comply with required setbacks from property lines
 - 9/8/16---Building has been moved to comply with zoning setbacks.
6. “Illegal sign sweep”.
 - 5/3/16— 21 signs removed and disposed of.
 - 5/26/16—5 illegal signs removed and disposed of.
 - 8/4/16----No signs found during month.
 - 9/8/16---No signs found during month.
7. * 8/4/16----8119 Lake Providence Dr.---construction of residence has discontinued. Courtesy letter sent to property owner seeking on-site inspection and closing/securing building to prevent unauthorized entry.
 - 9/8/16---One owner is deceased; surviving owner (wife) is incarcerated (per neighbor). At this time, it does not appear that anyone has been entering building; will continue to monitor this one. House is “dried in”, deterioration from weather is not an issue.

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

08/01/2016 TO 08/31/2016

		<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
REVENUE:					
10-3101-110	AD VALOREM TAX - CURRENT	95,117.89	95,117.89	985,000.00	90
10-3102-110	AD VALOREM TAX - 1ST PRIOR	197.70	249.54	3,500.00	93
10-3103-110	AD VALOREM TAX - NEXT 8	0.00	0.00	1,500.00	100
10-3110-121	AD VALOREM TAX - MOTOR	0.00	0.00	80,000.00	100
10-3110-122	AD VALOREM TAX -MOTOR	8,420.78	8,420.78	0.00	0
10-3115-180	TAX INTEREST	19.95	23.44	2,250.00	99
10-3231-220	LOCAL OPTION SALES TAX REV	0.00	0.00	311,250.00	100
10-3322-220	BEER & WINE TAX	0.00	0.00	45,000.00	100
10-3324-220	UTILITY FRANCHISE TAX	0.00	0.00	475,000.00	100
10-3340-400	ZONING & PERMIT FEES	3,920.00	6,700.50	24,850.00	73
10-3350-400	SUBDIVISION FEES	4,920.00	4,920.00	58,300.00	92
10-3830-891	MISCELLANEOUS REVENUES	250.00	266.00	1,000.00	73
10-3831-491	INVESTMENT INCOME	0.00	0.00	5,000.00	100
	TOTAL REVENUE	<u>112,846.32</u>	<u>115,698.15</u>	<u>1,992,650.00</u>	<u>94</u>
	AFTER TRANSFERS	<u>112,846.32</u>	<u>115,698.15</u>	<u>1,992,650.00</u>	
4110 GENERAL GOVERNMENT					
EXPENDITURE:					
10-4110-126	FIRE DEPT SUBSIDIES	58,288.75	116,577.50	717,710.00	84
10-4110-127	FIRE DEPARTMENT	0.00	0.00	10,000.00	100
10-4110-128	POLICE PROTECTION	0.00	64,250.25	258,620.00	75
10-4110-192	ATTORNEY FEES - GENERAL	2,247.50	2,247.50	95,000.00	98
10-4110-193	ATTORNEY FEES - LITIGATION	1,266.00	1,266.00	100,000.00	99
10-4110-195	ELECTION EXPENSE	0.00	0.00	3,500.00	100
10-4110-340	PUBLICATIONS	0.00	0.00	12,000.00	100
10-4110-341	WEDDINGTON FESTIVAL	-5,325.41	-6,615.41	10,000.00	166
10-4110-342	HOLIDAY/TREE LIGHTING	0.00	0.00	6,500.00	100
10-4110-343	SPRING EVENT	0.00	0.00	750.00	100
10-4110-344	OTHER COMMUNITY EVENTS	0.00	0.00	500.00	100
10-4110-495	OUTSIDE AGENCY FUNDING	0.00	0.00	1,500.00	100
	TOTAL EXPENDITURE	<u>56,476.84</u>	<u>177,725.84</u>	<u>1,216,080.00</u>	<u>85</u>
	BEFORE TRANSFERS	<u>-56,476.84</u>	<u>-177,725.84</u>	<u>-1,216,080.00</u>	
	AFTER TRANSFERS	<u>-56,476.84</u>	<u>-177,725.84</u>	<u>-1,216,080.00</u>	
4120 ADMINISTRATIVE					
EXPENDITURE:					
10-4120-121	SALARIES - CLERK	6,055.42	12,110.84	73,150.00	83
10-4120-123	SALARIES - TAX COLLECTOR	3,596.55	6,738.22	47,650.00	86
10-4120-124	SALARIES - FINANCE OFFICER	881.18	1,298.08	14,250.00	91
10-4120-125	SALARIES - MAYOR & TOWN	2,100.00	4,200.00	25,200.00	83
10-4120-181	FICA EXPENSE	966.37	1,862.41	12,800.00	85

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

08/01/2016 TO 08/31/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4120-182 EMPLOYEE RETIREMENT	1,480.66	2,891.55	19,650.00	85
10-4120-183 EMPLOYEE INSURANCE	2,026.00	4,052.00	26,000.00	84
10-4120-184 EMPLOYEE LIFE INSURANCE	30.24	60.48	400.00	85
10-4120-185 EMPLOYEE S-T DISABILITY	24.00	48.00	300.00	84
10-4120-191 AUDIT FEES	0.00	0.00	8,500.00	100
10-4120-193 CONTRACT LABOR	0.00	0.00	19,000.00	100
10-4120-200 OFFICE SUPPLIES - ADMIN	1,977.89	2,134.93	13,000.00	84
10-4120-210 PLANNING CONFERENCE	0.00	0.00	4,000.00	100
10-4120-321 TELEPHONE - ADMIN	204.17	386.48	3,500.00	89
10-4120-325 POSTAGE - ADMIN	150.00	141.50	2,500.00	94
10-4120-331 UTILITIES - ADMIN	192.48	322.45	4,250.00	92
10-4120-351 REPAIRS & MAINTENANCE -	0.00	0.00	22,500.00	100
10-4120-352 REPAIRS & MAINTENANCE -	2,826.63	8,064.13	65,000.00	88
10-4120-354 REPAIRS & MAINTENANCE -	3,062.50	3,062.50	63,520.00	95
10-4120-355 REPAIRS & MAINTENANCE -	0.00	595.00	1,000.00	41
10-4120-356 REPAIRS & MAINTENANCE -	400.00	400.00	6,000.00	93
10-4120-370 ADVERTISING - ADMIN	107.10	107.10	1,000.00	89
10-4120-397 TAX LISTING & TAX	-44.10	-46.60	500.00	109
10-4120-400 ADMINISTRATIVE:TRAINING	0.00	0.00	4,000.00	100
10-4120-410 ADMINISTRATIVE:TRAVEL	331.61	348.89	5,000.00	93
10-4120-450 INSURANCE	0.00	13,533.28	15,500.00	13
10-4120-491 DUES & SUBSCRIPTIONS	0.00	14,091.92	18,000.00	22
10-4120-498 GIFTS & AWARDS	500.00	500.00	3,000.00	83
10-4120-499 MISCELLANEOUS	-9.10	3.92	5,000.00	100
TOTAL EXPENDITURE	26,859.60	76,907.08	484,170.00	84

BEFORE TRANSFERS	-26,859.60	-76,907.08	-484,170.00
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AFTER TRANSFERS	-26,859.60	-76,907.08	-484,170.00
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4130 PLANNING & ZONING

EXPENDITURE:

10-4130-121 SALARIES - ZONING	6,513.11	11,311.73	58,750.00	81
10-4130-122 SALARIES - ASST ZONING	99.45	145.86	2,250.00	94
10-4130-123 SALARIES - ADMINISTRATIVE	1,843.20	3,475.20	25,725.00	86
10-4130-124 SALARIES - PLANNING BOARD	425.00	650.00	5,200.00	88
10-4130-125 SALARIES - SIGN REMOVAL	222.74	445.48	4,000.00	89
10-4130-181 FICA EXPENSE - P&Z	696.45	1,226.21	8,025.00	85
10-4130-182 EMPLOYEE RETIREMENT - P&Z	1,281.84	2,268.28	13,500.00	83
10-4130-183 EMPLOYEE INSURANCE	2,026.00	4,052.00	27,000.00	85
10-4130-184 EMPLOYEE LIFE INSURANCE	20.44	40.88	300.00	86
10-4130-185 EMPLOYEE S-T DISABILITY	12.00	24.00	150.00	84
10-4130-193 CONSULTING	0.00	-4,176.17	10,000.00	142
10-4130-194 CONSULTING - COG	-595.00	-595.00	21,750.00	103
10-4130-200 OFFICE SUPPLIES - PLANNING	1,515.43	1,752.46	5,000.00	65
10-4130-201 ZONING SPECIFIC OFFICE	0.00	0.00	2,500.00	100

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

08/01/2016 TO 08/31/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4130-215 HISTORIC PRESERVATION	243.40	249.46	2,500.00	90
10-4130-220 INFRASTRUCTURE	0.00	0.00	94,500.00	100
10-4130-321 TELEPHONE - PLANNING &	204.18	386.49	3,500.00	89
10-4130-325 POSTAGE - PLANNING & ZONING	150.00	141.50	2,500.00	94
10-4130-331 UTILITIES - PLANNING & ZONING	192.48	322.45	4,250.00	92
10-4130-370 ADVERTISING - PLANNING &	107.10	107.10	1,000.00	89
TOTAL EXPENDITURE	<u>14,957.82</u>	<u>21,827.93</u>	<u>292,400.00</u>	<u>93</u>
BEFORE TRANSFERS	<u>-14,957.82</u>	<u>-21,827.93</u>	<u>-292,400.00</u>	
AFTER TRANSFERS	<u>-14,957.82</u>	<u>-21,827.93</u>	<u>-292,400.00</u>	
GRAND TOTAL	<u><u>14,552.06</u></u>	<u><u>-160,762.70</u></u>	<u><u>0.00</u></u>	

TOWN OF WEDDINGTON
BALANCE SHEET

FY 2016-2017

PERIOD ENDING: 08/31/2016

10

ASSETS

ASSETS

10-1120-000	TRINITY CHECKING ACCOUNT	868,997.03
10-1120-001	TRINITY MONEY MARKET	1,110,651.32
10-1170-000	NC CASH MGMT TRUST	531,365.62
10-1211-001	A/R PROPERTY TAX	911,848.00
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	5,607.28
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	11,270.30
10-1232-000	SALES TAX RECEIVABLE	1,666.32
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	1,753,018.11
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	23,513.12
10-1610-003	FIXED ASSETS - EQUIPMENT	118,306.60
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.01
TOTAL ASSETS		<u>5,363,094.71</u>

LIABILITIES & EQUITY

LIABILITIES

10-2110-000	ACCOUNTS PAYABLE	1,269.74
10-2120-000	BOND DEPOSIT PAYABLE	75,002.25
10-2156-000	LIFE INSURANCE PAYABLE	-8.96
10-2620-000	DEFERRED REVENUE - DELQ TAXES	5,607.28
10-2625-000	DEFERRED REVENUE - CURR YR TAX	911,848.00
10-2630-000	DEFERRED REVENUE-NEXT 8	11,270.30
TOTAL LIABILITIES		<u>1,004,988.61</u>

EQUITY

10-2620-001	FUND BALANCE - UNASSIGNED	2,238,530.00
10-2620-003	FUND BALANCE-ASSIGNED	54,000.00
10-2620-004	FUND BALANCE-INVEST IN FIXED ASSETS	1,921,691.04
10-2620-005	CURRENT YEAR EQUITY YTD	304,647.76
CURRENT FUND BALANCE - YTD NET REV		-160,762.70
TOTAL EQUITY		<u>4,358,106.10</u>

TOTAL LIABILITIES & FUND EQUITY	<u>5,363,094.71</u>
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TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: September 12, 2016

SUBJECT: Monthly Report –August 2016

Transactions:	
2016 Tax Charges	\$1083915.52
2016 Tax Exemptions	\$(54887.73)
2016 Tax Deferments	\$(21376.44)
2016 Tax Below 5.00	\$(992.02)
2005 Write-off Over 10 years	\$(252.74)
2016 Late List Penalty	\$133.22
Interest Charges	\$78.35
Discoveries	\$1084.98
Adjustments Under 5.00	\$(2.31)
Refunds	\$212.17
Penalty & Interest Payments	\$(30.39)
Taxes Collected:	
2016	\$(95149.09)
2015	\$(197.70)
As of August 31, 2016; the following taxes remain Outstanding:	
2006	\$56.80
2007	\$93.78
2008	\$1033.81
2009	\$865.35
2010	\$729.72
2011	\$381.13
2012	\$2329.63
2013	\$2753.26
2014	\$3026.82
2015	\$5607.28

2016	\$911848.00
Total Outstanding:	\$928725.58