

Table of Contents

Agenda	2
Consideration of Authorization to Charge Off Taxes over 10-Year Limitation	
A. Consideration of Authorization to Charge Off Taxes over 10-Year Limitation	4
Call for a Public Hearing for Review and Consideration of Carrington Preliminary Plat	
Carrington Application - Preliminary Plat	5
Call for a Public Hearing for Review and Consideration of Conditional Rezoning for Threshold Church	
Threshold Application - Phase 2	6
Approval of July 18, 2016 Regular Town Council Minutes	
A. Approval of July 18, 2016 Regular Town Council Minutes	9
Review and Consideration of Atherton Estates Conditional Rezoning for Amenity Center	
CZ Staff Report	17
CD Staff Report	19
Amenity Site Plans	21
USI Approval	27
Review and Consideration of Vintage Creek Final Plat Phase 2	
Final Plat Staff Report	28
Phase 2 final plat	31
Review and Consideration of the Falls at Weddington Final Plat Phase 1 Map 2	
Falls Final Plat Staff Report	37
Sheet 1 Final Plat	39
Sheet 2 Final Plat	40
Update from Planner	
Update from Town Planner	41
Code Enforcement Report	
Code Enforcement Report	42
Finance Officer's Reports	
Stmnt of revenues & expenditures July 2016.	44
Balance sheet July 2016	47
July 2016 Tax Report	
July 2016 Tax Report	48
Public Safety Report	
Public Safety Report	49

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, AUGUST 8, 2016 – 7:00 P.M.
WEDDINGTON TOWN HALL
1924 WEDDINGTON ROAD
WEDDINGTON, NC 28104
AGENDA**

Prayer – Mayor Bill Deter

1. Open the Meeting
2. Pledge of Allegiance
3. Determination of Quorum

PUBLIC ADDRESS TO THE COUNCIL

Any individual or group who wishes to address the Council may do so at this time. Each speaker will have three (3) minutes to make their remarks and shall obey reasonable standards of courtesy in their remarks. Typically, this is a time for the Mayor and Council to hear from the public and not respond. If questions are raised, a member of the Town Council or Staff may contact the individual after the meeting to help address issues raised. If the item you wish to speak about is a Public Hearing item, address your concerns during that time and not under the Public Comment period.

4. Public Comments
5. Additions, Deletions and/or Adoption of the Agenda

CONSENT AGENDA

The Council may designate a part of the agenda as the "Consent Agenda." Items placed on the consent agenda are judged to be non-controversial and routine. Any member of the Council may remove an item from the consent agenda and place it on the regular agenda while the agenda is being discussed and revised prior to its adoption at the beginning of the meeting. All items on the consent agenda shall be voted on and adopted by a single motion, with the minutes reflecting the motion and vote on each item.

6. Consent Agenda
 - A. Consideration of Authorization to Charge Off Taxes over 10-Year Limitation
 - B. Call for a Public Hearing for Review and Consideration of Carrington Preliminary Plat
 - C. Call for a Public Hearing for Review and Consideration of Conditional Rezoning for Threshold Church
7. Approval of Minutes
 - A. Approval of July 18, 2016 Regular Town Council Minutes

PUBLIC HEARINGS

The Public must sign up before the beginning of the meeting to speak on an item under Public Hearings. The Mayor will recognize speakers in the order in which their names appear on the sign-up sheet. The Council sets the rules for the Public Hearing. The rules may include, but are not limited to, rules fixing the maximum time allotted to each speaker; providing for the designation of spokespersons for groups of persons supporting or opposing the same

positions; providing for the selection of delegates from groups of persons supporting or opposing the same positions when the number of persons wishing to attend the hearing exceeds the capacity of the Town Hall; and for providing for the maintenance of order and decorum in the conduct of the hearing.

Each speaker must address the Council from the lectern and begin their remarks by giving their name and address. Each speaker will have three (3) minutes to make remarks. A speaker may not yield any of his or her time to another speaker. Speakers must be courteous in their language and presentation. Personal attacks on the Council or members of the public will not be tolerated.

The Mayor may determine whether a speaker has gone beyond reasonable standards of courtesy in his or her remarks and shall rule on objections from other members of the Council on discourteous behavior. A majority vote of the Council may overrule the Mayor's ruling on standards of courtesy. Speakers may leave written comments and/or supporting documents, if any, with the Town Clerk to the Council.

8. Public Hearing and Consideration of Public Hearing

A. Review and Consideration of Atherton Estates Conditional Rezoning for Amenity Center

9. Old Business

None

10. New Business

A. Review and Consideration of Vintage Creek Final Plat Phase 2

B. Review and Consideration of the Falls at Weddington Final Plat Phase 1 Map 2

11. Update from Planner

12. Code Enforcement Report

13. Update from Finance Officer and Tax Collector

14. Public Safety Report

15. Transportation Report

16. Council Comments

17. Adjournment

TO: Mayor and Town Council
FROM: Kim H. Woods, Tax Collector
DATE: August 8, 2016
SUBJECT: Charge Off of 2005 Property Taxes

North Carolina General Statute 105-378(a) establishes a continuing ten year statute of limitations against enforcement remedies provided by law for the collection of taxes or the enforcement of any liens. The ten year period is measured from the September 1st due date.

In accordance with General Statutes 105.378(a), I am hereby requesting authorization to charge off 2005 personal property taxes. The balance is as follows:

2005 \$252.74

Respectfully submitted,

Kim H. Woods
Town of Weddington
Tax Collector

Witness my hand and official seal this 8th day of August, 2016.

Bill Deter, Mayor

Attest:

Peggy Piontek, Town Clerk

**APPLICATION FOR SUBMITTAL
OF
SUBDIVISION PRELIMINARY PLAT**

NAME OF PROPOSED SUBDIVISION: CARRINGTON

LOCATION OF SUBDIVISION: WEDDINGTON-MATTHEWS ROAD AND
HEMBY ROAD/BEAULAH CHURCH ROAD

PARCEL ID 06-120-012, 06-120-012A,
06-120-021 **ZONING DISTRICT** R-CD **TOTAL ACREAGE** 117.61
NUMBER OF LOTS 71

DEVELOPER:
NAME: M/I HOMES OF CHARLOTTE, LLC

ADDRESS: 5350 SEVENTY-SEVEN CENTER DRIVE, SUITE 100
CHARLOTTE, NC 28217

OWNER (if different from above) PATRICIA ANN NEAL & LINDA K. GODWIN TRUSTEE; WANDA M. HONEYCUTT

PHONE: (704) 376-9800

FEE PAID: \$19,525

DATE: 06/01/16

I (We) M/I HOMES as developer(s) of the property to be subdivided have knowledge of the Town's Zoning and Subdivision Ordinances as they pertain to development in the Town of Weddington. I (we) have received a copy of the Subdivision Checklist.

Zoning Administrator

W. Martin Damm
Developer

The Town shall be reimbursed by the subdivider for all costs associated with the Town's engineering and/or consulting services with respect to the review of the preliminary plat prior to preliminary plat approval.

The subdivider shall submit 14 copies of the preliminary plat to the Subdivision Administrator. The Subdivision Administrator shall review the plat within 30 days of submittal.

Town of Weddington Conditional Zoning Application

Application Number: C262616 Application Date: 6/26/16
Applicant's Name: RICHARD T WILSON, EXECUTIVE PASTOR
Applicant's Phone: 704-277-3157
Applicant's Address: 3501 ANTIOCH CHURCH RD, WEDDINGTON, NC 28104
Property Owner's Name: THRESHOLD CHURCH
Property Owner's Phone: 704-578-6554

If applicant is different from the property owner, please provide a notarized authorization from the property owner.

Property Location: 3501 ANTIOCH CHURCH RD, WEDDINGTON, NC 28104
Parcel Number: 06-090-011C Deed Book and Page: 299/164
Total Acreage of Site: 9.8 Existing Zoning: R-CD
Application Fee: \$1,650 Check Number: _____

All applications must include a site plan, drawn to scale, and supporting text that, as approved, will become a part of the Ordinance amendment. The site plan, drawn by an architect, landscape architect, or engineer licensed to practice in North Carolina, shall include any supporting information and text that specifies the actual use or uses intended for the property and any rules, regulations, and conditions in addition to all predetermined Ordinance requirements, will govern the development and use of the property. The applicant acknowledges that he/she will reimburse the Town for all engineering and consulting services associated with the review of the conditional zoning request prior to any zoning permits being issued by the Town for such project. The applicant shall, at a minimum, include as part of the application, each of the items listed below.

Please include the following:

- ✓ A boundary survey showing the total acreage, present zoning classifications, date and north arrow.
- ✓ The owner's names, addresses and the tax parcel numbers of all adjoining properties.

- ✓ All existing easements, reservations, and right-of-way on the property(ies) in question.
- ✓ Proposed principal uses: A general summary of the uses that will take place, with reference made to the list of uses found in section 5.9.1 of the Weddington Zoning Ordinance.
- ✓ Traffic impact analysis/study for the proposed service area, as determined by the Town Engineer, shall be required. In addition, traffic, parking and circulation plans, showing the proposed locations and arrangement of parking spaces and access points to adjacent streets including typical parking space dimensions and locations (for all shared parking facilities) along with typical street cross-sections.
- ✓ General information on the number, height, size and location of structures.
- ✓ All proposed setbacks, buffers, screening and landscaping required by these regulations or otherwise proposed by the petitioner.
- ✓ All existing and proposed points of access to public streets.
- ✓ Proposed phasing of the project.
- ✓ Proposed number, location, type and size of all commercial signs.
- ✓ Exterior treatments of all principal structures.
- ✓ Delineation of all marginal lands including areas within the regulatory floodplain as shown on official Flood Hazard Boundary Maps for Union County.
- ✓ Existing and proposed topography at five-foot contour intervals or less.
- X ✓ Scale and physical relationship of buildings relative to abutting properties.
- ✓ Public Involvement Meeting Labels.

Please Note: The Zoning Administrator requires the petitioner to submit more than one copy of the petition and site plan in order to have enough copies available to circulate to other government agencies for review and comment. The number of copies required shall be determined on a case-by-case basis by the Zoning Administrator.

Zoning Administrator Approval

The Zoning Administrator shall have up to thirty (30) days following any revision of the application to make comments. If the Administrator forwards no comments to the applicant by the end of any such thirty-day period, the application shall be submitted to the Planning Board for their review without any further comment.

Planning Board Review

The applicant shall submit at least ten (10) copies of the application to the Zoning Administrator for transmittal to the Planning Board and other appropriate agencies. The zoning administrator shall present any properly completed application to the planning board at its next regularly scheduled meeting occurring at least 15 days after the application has been deemed complete and ready for submission to the planning board. The Planning Board by majority vote may shorten or waive the time provided for receipt for a completed application. The Planning Board shall have thirty days from the date that the application is presented to it to review the application and to take action.. If such period expires without action taken by the Planning Board, the application shall then be transferred to the Town Council without a Planning Board recommendation.

Action by Town Council

Conditional Zoning District decisions are a legislative process subject to judicial review using the same procedures and standards of review as apply to general use district zoning decisions. Conditional zoning district decisions shall take into account applicable adopted land use plans for the area and other adopted land use policy documents and/or ordinances.

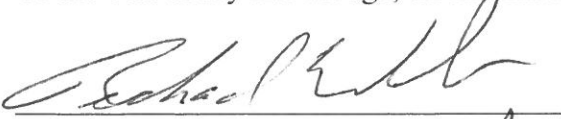
Public Hearing Required

Prior to making a decision on rezoning a piece of property to a Conditional Zoning District, the Town Council shall have held a public hearing. Notice of such public hearing shall have been given as prescribed in section 12.1.7 of the Zoning Ordinance. Once the public hearing has been held, the Town Council shall take action on the petition.

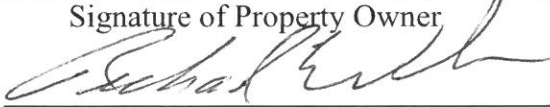
The Town Council shall have the authority to:

- a. Approve the application as submitted.
- b. Deny approval of the application
- c. Approve application with modifications that are agreed to by the applicant.
- d. Submit the application to the Planning Board for further study. The Planning Board shall have up to thirty-one (31) days from the date of such submission to make a report to the Town Council. If no report is issued, the Town Council can take final action on the petition. The Town Council reserves the right to schedule and advertise a new public hearing based on the Planning Board's report.

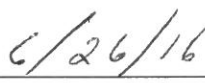
To the best of my knowledge, all information herein submitted is accurate and complete.



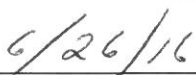
Signature of Property Owner



Signature of Applicant



Date



Date

**TOWN OF WEDDINGTON
REGULAR TOWN COUNCIL MEETING
MONDAY, JULY 18, 2016 – 7:00 P.M.
MINUTES**

The Town Council of the Town of Weddington, North Carolina, met in a Regular Session at the Weddington Town Hall, 1924 Weddington Road, Weddington, NC 28104 on July 18, 2016, with Mayor Bill Deter presiding.

Present: Mayor Bill Deter, Councilmembers Scott Buzzard, Janice Propst, Michael Smith, Town Attorney Anthony Fox, Town Administrator/Clerk Peggy S. Piontek, Finance Officer Leslie Gaylord, and Town Planner Julian Burton

Absent: Mayor Pro Tem Don Titherington

Visitors: Walton Hogan, Larry Wood and Anna-Marie Smith

Mayor Bill Deter offered the Invocation prior to the opening of the meeting.

Item No. 1. Open the Meeting Mayor Deter opened the July 18, 2016 Regular Town Council Meeting at 7:00 p.m.

Item No. 2. Pledge of Allegiance Mayor Deter led in the Pledge of Allegiance.

Item No. 3. Determination of Quorum There was a quorum. Mayor Deter announced that Mayor Pro Tem Don Titherington was absent.

Item No. 4. Public Comments - None

Item No. 5. Additions, Deletions and/or Adoption of the Agenda

Councilwoman Janice Propst moved to adopt the agenda as written. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

Item No. 6. Consent Agenda

- A. Review Consideration of Authorizing the Tax Collector to Collect the 2016 Real Property Taxes for the Town of Weddington **(COPY ATTACHED HERETO AND MADE A PART OF THE RECORD)**
- B. Call for a Public Hearing for Review and Consideration of Atherton Estates Conditional Rezoning for Amenity Center

Councilwoman Propst moved to approve the Consent Agenda as written. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst
NAYS: None

Item No. 7. Approval of Minutes

- A. Approval of May 9, 2016 Regular Town Council Minutes
- B. Approval of June 13, 2016 Regular Town Council Minutes

Councilman Michael Smith moved to approve the May 9, 2016 Regular Town Council minutes. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst
NAYS: None

Councilwoman Propst moved to approve the June 13, 2016 Regular Town Council minutes. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst
NAYS: None

Item No. 8 Public Hearing and Consideration of Public Hearing

- A. **Review and Consideration of Text Amendment to Section 58-4 of the Zoning Ordinance to define the term “Foundation Survey”**

Mayor Deter opened and closed the Public hearing as no one had signed up to speak.

Town Planner Julian Burton - In order to ask for any kind of exception to our zoning ordinance, a property owner must apply for a variance, which is then reviewed and voted on by the Board of Adjustment. A common variance request is from a setback requirement, a foundation survey and subsequent foundation permit. These are important pieces of evidence to determine that a structure was indeed placed in an allowable position when the foundation was poured. Because it is an important piece of evidence it was necessary that staff and the planning board make sure that a foundation survey is clearly defined in the ordinance. It hadn't really been defined at all. So this text amendment defines the term for a foundation survey to better help the Board of Adjustment and help to provide a clear definition in our ordinance.

Councilman Smith moved to approve the Text Amendment to Section 58-4 of the Zoning Ordinance to define the term “Foundation Survey” (**COPY ATTACHED HERETO AND MADE A PART OF THE RECORD**). All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst
NAYS: None

- B. **Review and Consideration of Text Amendment to Section 58-234 to further clarify the relationship between foundation surveys and a setback variance request.**

Mayor Deter opened and closed the Public hearing as no one had signed up to speak.

Town Planner Burton - This text amendment is somewhat related to the one we just approved for 58-4. It also deals with setback variances and talks specifically about that type of procedure during a variance hearing or for a variance application. At one point, the Board of Adjustment was receiving a lot of setback variance requests on finished houses, and was forced to make determinations without knowing when a mistake was made, or who made the mistake. Meaning, a house was built over the setback line, and it was unclear when that house was approved or when it was incorrectly built. This text amendment brings additional clarity to the process. Initially text was added in the ordinance that required that an applicant would need to show proof of an approved foundation permit in order to ask for a setback variance on a completed or partially completed house. Recently the staff and Board realized the text was basically saying you needed to have a foundation permit even if you have not started any type of construction, which did not procedurally make any sense. We wanted to clarify the intent of that and the last sentence of that text amendment explains that you are allowed to apply for a setback variance at any time as long as you haven't gotten any zoning or building permits.

Councilman Smith moved to approve the Text Amendment to Section 58-234 for setback variance request (**COPY ATTACHED HERETO AND MADE A PART OF THE RECORD**). All were in favor with the votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

Item No. 9. Old Business

None

Item No. 10. New Business

A. Review and Consideration of Atherton Estates Final Plat Phase 3

Town Planner Burton – This is the fourth final plat application for the approved subdivision Atherton Estates. This is 30 lots of the approved 130 lot subdivision. It's located on 44.93 acres and is an R40 by right subdivision. US Infrastructure already provided a letter of approval for all phases of Atherton Estates on April 16, 2015. This phase will be served by Union County Water and Sewer. The Bond estimates are currently being reviewed by US Infrastructure. This will come up on our next item on the agenda. Shea Homes is also applying for a final plat for a lot that will contain the proposed amenity center. Phase 3 includes the entire infrastructure necessary to serve and provide access to that amenity lot so it will be important that Phase 3 be recorded before the amenity center lot. Obviously this will not be recorded until we have the bonds in place for the infrastructure or we have proof that everything has been constructed. The Planning Board did recommend at the June meeting unanimously with the following conditions:

1. Performance and Maintenance Bonds to be approved US Infrastructure.
2. Each remaining lot to be recorded in the Atherton subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not

the responsibility of the Town of Weddington and shall be maintained by the Atherton Homeowners Association or its Developer.

3. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.

4. Coordinate with USPS and DOT to provide cluster mailboxes within subdivisions.

Councilman Smith moved to approve Atherton Estates Conventional Subdivision Final Plat Phase 3 with the four conditions. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

B. Review and Consideration of Atherton Estates Final Plat - Amenity Center

Town Planner Burton – This is another final plat but it is for one lot and it is for a lot that will contain the proposed amenity center that was on our Consent Agenda. The conditional zoning will come before the Council next month. This is just the one lot of record and needed to be approved before we could approve a conditional zoning for that piece of property. This is a procedural issue; the main thing I've pointed out in the last item is the one condition of approval:

1. That the amenity center lot shall not be recorded prior to the recording of Final Plat Phase 3.

If we did that it would make a land locked parcel without any access so we need to make sure Phase 3 is recorded first. The Planning Board recommended approval at the June meeting unanimously.

Councilwoman Propst moved to approve Atherton Estates Final Plat amenity center with the condition as noted above. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

C. Review and Consideration for funding of an NCDOT project at Weddington-Matthews Road and Tilley Morris Road

Councilman Scott Buzzard – NCDOT submitted several projects to the CRTPO this spring for the STPDA funding. Basically their intent was to see if they could access some type of funds for a roundabout at the intersection of Weddington-Matthews Road and Tilley Morris Road. When determining funding the CRTPO looks at different scoring systems and this project fell into a pretty straight-forward scoring system which was the problem statement, local priority for funding, lost opportunity and system benefit. The projects are scored against each another. Unfortunately this project scored very low because the local priority for funding and lost opportunity was not submitted which caused the loss of points. After discussion with NCDOT I was informed that they were putting in about 20% funding for the project. The project is slated at \$1,046,000.00. To access the other funding portion of the point system it would have needed to be 25% so I am requesting if Council wants to provide the additional 5% to bring the non-STPDA funding up to 25% of the project. That would score us an

additional 10 points which would put us in the mix for some things. But if we vote to provide these funds I think it will provide additional points for local priority, resulting in an additional 20 points to our scoring. Since they have delegated funds in this budget for infrastructure we could possibly score points for loss opportunity since these funds may not be there in the future. If we are successful in gaining all of those points we would actually have scored high enough to have had this project slated in the first go around in this past spring of STPDA. If this was approved it is likely that construction would start in 2018. The construction calendar for NCDOT runs March through November. The 5% amount would fall somewhere in between NCDOT's estimated cost of \$1,046,000.00 to \$1,214,000.00.

Councilwoman Propst – That would be approximately \$50,000.00 to \$60,000.00 and you would like us to vote on this tonight?

Councilman Buzzard – Yes. Joe Lesh presented a motion to the TCC that they actually release all the funds they have available for these projects. In which case, by default, the project would have come to fruition but that did not get approved by the TCC.

Mayor Deter – For Council's information we created a line item in the budget of \$100,000.00 for projects like this. My question is if this is approved tonight does that lock those funds up?

Councilman Buzzard – I don't think those funds would be locked up until or unless the project was approved and we would probably know that at the CRTPO December meeting - certainly before our next budget.

Councilman Smith – I have concerns about the issues we are having with Cari Lane and the anticipated new development coming in and the possibility of this aggravating the difficulty of the situation that already exists. Can you address that and perhaps they can find a solution to that? They are quite close to each other.

Councilman Buzzard – It is. I drive that route almost daily on my commute to work. I don't know the configuration of the traffic circle; I would imagine that if it's a concern that Council and our residents have we can take that to NCDOT. In looking at the land configuration they might actually move the roundabout further up which would give Cari Lane a little bit longer site distance before they have to get into that traffic pattern.

Councilman Buzzard moved to support the funding of an NCDOT project at Weddington-Matthew Road and Tilley Morris Road roundabout at a rate of 5% of the project not to exceed \$60,000.00. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

D. Review and Consideration of Miracle Amusements invoice for Weddington Country Festival

Mayor Deter – It is time to pay the bill for the September 17th Festival. The amount is \$6,449.24.

Councilwoman Propst moved to approve Miracle Amusements invoice in the amount of \$6,449.24 for Weddington Country Festival. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

E. Land Use Plan Annual Update

Councilwoman Propst – The only thing I saw was “The Town continues to maintain the medians on Providence Road to enhance rural look.” We do maintain medians on Providence Road, Rea Road, and the roundabout on 84, some on Tilley Morris and Hemby. Don’t we want to include all the roads that we maintain in that statement?

Town Planner Burton – I will make that revision. I wanted to point out one of the bigger text amendments that Council approved: The Town Council has approved stronger language to protect viewshed from the road. Where a conservation subdivision is on both sides of a thoroughfare, both viewshed from the road and the distribution of homes is addressed.

F. Review and Consideration of new code enforcement contract with Centralina Council of Governments (COG)

Town Planner Burton – We were considering other options and COG really wanted our business and they came back with a contract for about 1/3 of the price we were paying last year for the same exact scope of work.

Mayor Deter – In the past it was around \$15,000.00 and now it’s about \$5,000.00.

Councilman Smith moved to approve the new code enforcement contract with Centralina Council of Governments in the amount of \$5,000.00. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

A. Discussion and Update of Weddington Country Festival

Mayor Deter – We have sent out letters looking for sponsors and have received some funds. Tomorrow I will be making personal visits to some potential sponsors. We always get volunteers to assist, but we are looking at hiring labor to assist with that. We always provide BBQ for the seniors and it was donated in the past but he is unable to assist us this year. We have found a vendor to provide the food. The solid waste company we use has informed us they will no longer be providing complimentary trash service effective September 30th. Staff is researching other options and will report back to Council. We will be getting tables, chairs and fire trucks from Wesley Chapel Fire Department and they will advise if they are interested in grilling for it. We have lined up an ambulance to be here but there’s a possibility it will get called away. The Temporary Use Permit application will be presented to the Planning Board next Monday. I will be there for any questions. The Hinson Girls will be providing the entertainment. I

meet with staff every couple of weeks to review the progress we've made and tasks needed to be completed. It's all falling into place and we're hoping to have a great festival.

Item No. 11. Update from Planner

Town Planner Burton – Two things I need to add to my memo, we also have a Final Plat for Vintage Creek that is going to be at the next Planning Board meeting and that meeting is going to be a joint meeting with the Board of Adjustment to continue a variance hearing associated with the Falls at Weddington and there is a Falls of Weddington Final Plat that is also dependant on that variance that could potentially be heard that night as well. As Mayor Deter stated there will be a Temporary Use Permit Public Hearing as well.

Item No. 12. Code Enforcement Report

Town Planner Burton – No real changes from last month there are still a couple of outstanding Code Enforcement issues that Mr. Leggett and I are dealing with.

Item No. 13. Update from Finance Officer and Tax Collector

Town Finance Leslie Officer Gaylord – You have the reports in your packets for the preliminary June statements. They are not the final statements for the year because we still have to get some receivables and payables to be recorded but it's pretty close.

Item No. 14. Public Safety Report

Councilman Smith – The Public Safety Committee is in the process of fixing the radar trailer. Mr. Bilbao is working with the deputies on some software issues in deploying the sign. The traffic counter is still in service but is not deployed at this time. They do have some data for Antioch Church Road during and after school and it has been placed in a Drop Box. Mr. Bilbao will be here at the next meeting to present that data. One of the members is looking into getting a price from the Heart Association on getting certified as a CPR Instructor. Ms. Crooks is looking into her and possibly Ms. Piontek to be instructors. This will enable us to provide that service for the residents in the future.

Item No. 15 Transportation Report

Councilman Buzzard – I spoke with Mayor Pro Tem Titherington today and he wanted me to update you on the Rea Road Extension in regard to WCWAA. His conversations with NCDOT are progressing and are still working on a shift of that section of Rea Road to move away from the WCWAA property preventing the loss of fields. In addition when we discuss projects we do have the Ennis Road intersection that we could probably look at to submit to CRTPO. I will work with Mr. Burton on taking care of that. There is a new four way stop at the intersection of Indian Trail and Beulah Church Road. NCDOT is in the process of putting a roundabout there. It's been funded but is not scheduled until 2017 building cycle.

Item No. 16. Council Comments

Councilwoman Propst – I'd like to thank everyone for coming out tonight.

Councilman Smith – No comments.

Councilman Buzzard – Thanks everyone for coming out.

Mayor Deter – Thanks everyone for coming out.

17. Adjournment

Councilwoman Propst moved to Adjourn. All were in favor, with votes recorded as follows:

AYES: Councilmembers Smith, Buzzard, and Propst

NAYS: None

The meeting ended at 7:55 p.m.

Bill Deter Mayor

Attest:

Peggy S. Piontek, Town Clerk



TOWN OF
WEDDINGTON

1924 Weddington Road • Weddington, North Carolina 28104

TO: Mayor and Town Council
FROM: Kim H. Woods, Tax Collector
DATE: July 18, 2016
SUBJECT: 2016 Real Property Taxes

In accordance with General Statutes 105.321, I am hereby requesting authorization to collect the 2016 Real Property Taxes for the Town of Weddington.

State of North Carolina
Town of Weddington

To the Tax Collector of the Town of Weddington

You are hereby authorized, empowered, and commanded to collect the taxes set forth in the tax records filed in the Town of Weddington Collections Department and in the tax receipts herewith delivered to you, in the amounts and from the taxpayers likewise therein set forth. Such taxes are hereby declared to be a first lien upon all real property of the respective taxpayers in the Town of Weddington, and this order shall be a full and sufficient authority to direct, require, and enable you to levy on and sell any real or personal property of such taxpayers, for and on account thereof, in accordance with the law.

Witness my hand and official seal this 18th day of July, 2016.

Bill Deter, Mayor

Attest:

Peggy Piontek, Town Clerk

Telephone (704) 846-2709 • Fax (704) 844-6372

**AN ORDINANCE TO AMEND SECTION 58-4
OF THE CODE OF ORDINANCES
OF THE TOWN OF WEDDINGTON
O-2016-08**

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WEDDINGTON THAT SECTION 58-4 OF THE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:

Sec. 58-4. - Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

[...]

Fabric store means a retail establishment which is primarily in the business of selling fabric, yarn, patterns for clothing and nonclothing items, sewing machines, and various types of notions. Some examples of notions are appliques, bobbins, crochet hooks, cutting tools, drapery rods and fittings, dress shields, elastic, fabric dye, iron-ons, knitting needles, needles, pads, patches, pins, scissors, sewing boxes, snaps, stabilizers, tapes, velcro, zippers, etc.

Facilities, common, means facilities within a conservation subdivision that are located on conservation land and are meant for the enjoyment and use of residents of that subdivision. The term "common facilities " includes, but is not limited to, ballfields, benches, playgrounds, trails, paths, etc.

Family means an individual, or two or more persons related by blood, marriage, or adoption living together as a single housekeeping unit, or a group of not more than six persons, who need not be related by blood, marriage, or adoption, living together as a single housekeeping unit.

Family care home means a home with support and supervisory personnel that provides room and board, personal care and rehabilitation services in a family environment for not more than six resident handicapped persons, as defined in G.S. 168-1(2).

Farmland means those areas that are used for the production and activities related or incidental to the production of crops, fruit, vegetables, ornamental and flowering plants, dairy, livestock, poultry, and all other forms of agricultural products having a domestic or foreign market.

Financial institution means any building in which the principal use is a business which provides financial service involving the management of money, funds, securities, and other financial assets. Financial institutions include banks; savings and loan associations; agricultural, business, and personal credit services and credit unions; security and commodity brokerages, exchanges and services; and other investment firms, lending companies, and credit services.

Floodplain means any land area susceptible to being inundated by water from the base flood. The term "floodplain" refers to that area designated as subject to flooding from the base flood (i.e., 100-year flood) on the Flood Boundary and Floodway Map prepared by the U.S. Department of Housing and Urban Development, dated July 18, 1983, or latest revision thereof, a copy of which is on file in the zoning administrator's office.

Floor area ratio means the total floor area of all buildings or structures in square feet, excluding parking decks, within a development divided by the total area of all lots or tracts containing that development.

**AN ORDINANCE TO AMEND SECTION 58-234
OF THE CODE OF ORDINANCES
OF THE TOWN OF WEDDINGTON
O-2016-09**

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WEDDINGTON THAT SECTION 58-234 OF THE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:

Sec. 58-234. - Variance application procedure.

The following regulations apply to all applications submitted to the board of adjustment:

- (1) Before a petition for an interpretation, appeal, or variance shall be considered, a completed application of a form provided by the town, accompanied by a fee (as established by the town council), shall be submitted to the zoning administrator. No application shall be considered complete or processed by the zoning administrator unless accompanied by said fee; provided, however, that the fee shall be waived for any petition initiated by the zoning administrator. The application shall contain the name, address and telephone number of the applicant, and property owner (if different from applicant), and a description of the subject property with reference to the deed book and page. The application shall also contain a list of names and addresses of adjoining and contiguous property owners on all sides and across any street and public right-of-way from the subject property. This information shall be based upon the current year Union County and Mecklenburg County tax records. The application shall be accompanied by a map clearly showing the subject property and all contiguous property on either side and all property across any street or public right-of-way from the subject property.
- (2) The filing of any application stays all proceedings unless the zoning administrator certifies to the board of adjustment that a stay in his opinion will cause imminent peril to life or property, or that because the violation charged is transitory in nature a stay would seriously interfere with enforcement of this chapter. In that event, proceedings shall not be stayed, except by a restraining order, which may be granted by the board of adjustment, or by a court of record, on application, on notice to the zoning administrator, and on due cause shown.
- (3) The board of adjustment shall hold a hearing on all complete applications no later than 40 days after the application has been filed with the zoning administrator unless consented to by the applicant.
- (4) Before the board of adjustment holds a public hearing with regards to a variance, the board of adjustment shall give notice of the public hearing by sending notices by first class mail to the person or entity whose appeal is the subject of the hearing; to the owner of the property that is the subject of the hearing if the owner did not initiate the hearing; to the owners of all parcels of land abutting the parcel of land that is the subject of the hearing; and to any other persons entitled to receive notice as provided by the zoning ordinance. In the absence of evidence to the contrary, the town may rely on the county tax listing to determine owners of property entitled to mailed notice. The notice must be deposited in the mail at least ten days, but not more than 25 days, prior to the date of the hearing. Within that same time period, the town shall also prominently post a notice of the hearing on the site that is the subject of the hearing or on an adjacent street or highway right-of way.
- (5) A written application for a variance must also demonstrate in detail, the following:
 - a. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district.

- b. That a literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter.
 - c. That said circumstances do not result from the actions of the applicant.
 - d. That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, structures or buildings in the same district.
 - e. That no nonconforming use of neighboring land, structures or buildings in the same district and no permitted use of land, structures or buildings in other districts will be considered grounds for the issuance of a variance.
- (6) In all matters before the board of adjustment, the applicant shall have the burden of providing substantial, competent and material evidence in support of the application.
- (7) Subsequent to the issuance of a zoning permit and construction of a building or structure, the board of adjustment shall have no authority to issue a variance for a waiver of a setback or bulk requirement for a building or structure if the applicant had not first submitted a foundation survey, in accordance with subsection 58-208(8), subsequent to the construction of the foundation and prior to the application for a certificate of compliance. Applicants may still apply for such variance prior to commencement of any construction without meeting the foundation survey requirement.

(Ord. No. O-2010-08, 6-14-2010; Ord. No. O-2014-10, 10-13-2014)

ADOPTED THIS 18TH DAY OF JULY, 2016

Bill Deter, Mayor

Attest:

Peggy S. Piontek, Town Clerk

Floor covering, wallpaper, paint and window covering store means a commercial establishment primarily in the business of selling floor covering, wallpaper, paint and window coverings, and similar and related items.

Florist and gift shop means a retail store primarily in the business of selling flowers and/or ornamental plants (neither of which shall be grown on-premises) and/or gifts.

Forestland means a biological community dominated by trees and other woody plants covering a land area of 10,000 square feet or greater and includes areas that have at least 100 trees per acre with at least 50 percent of those trees having at least a two-inch or greater diameter at 4.5 feet above the ground.

Foundation Survey is a survey done to collect the positional data on a foundation that has been poured and is cured. This is done to ensure that the foundation was constructed in the location, and at the elevation shown on Town approved plot plan, site plan, or subdivision plan. This survey verifies proper placement of the structure before the builder resumes construction.

Funeral chapel means a building used for the display of the deceased and ceremonies connected therewith before burial. No preparation or embalming of bodies or the cremation of bodies shall take place at a funeral chapel.

Golf course means a tract of land for playing golf improved with tees, fairways, hazards, and may include clubhouses and shelters.

Government or town facility means a building or structure owned, operated, or occupied by a government agency to provide a governmental service to the public.

Green, village, means a small, grassed open area that is centrally located in the neighborhood in which it is located and contains no structures other than benches, pavillions, memorials, etc.

Greenhouse, commercial, means an establishment whose primary business is the growing of plants through the use of one or more on-premises greenhouses.

Grocery store means a retail store greater than 3,000 square feet in area which sells a wide variety of fresh produce, canned and packaged food items, small household goods and similar items which are consumed and used off-premises. In addition, a grocery store may contain a section where prepared foods are sold and consumed on-premises in a specially designated sitdown area. The sale of prepared foods for on-premises consumption, however, must be clearly subordinate to the sale of food and goods intended for consumption and use off-premises. The sale of fuel at fuel stations shall not be permitted at grocery stores.

Gross floor area means the total area of a building (in square feet) measured by taking the outside dimensions of the building at each floor level intended for occupancy or storage.

Hardware store means a retail establishment primarily in the business of selling various household goods, paints, building and hardware products, household animal supplies, nursery and yard goods, and durable goods (e.g., lawn mowers, appliances, etc.).

Health/sports club means a facility designed and equipped for the conduct of sports, exercise or other customary and usual recreational activities, operated for profit or not-for-profit and which can be open only to bona fide members and guests of the club or open to the public for a fee.

Historic site means one or more parcels, structures, or buildings that is either included on the state register of historic properties or designated on the National Register of Historic Places, or authenticated as historic in a survey and report by a registered architect or architectural historian and which has been submitted to and approved by the town.

Historical marker means any manmade plaque or sign containing an inscription with historical information about a person, place, or event.

Horse farm or academy means a site where three or more horses are housed, bred, boarded, trained or sold.

Impervious surface means any material which reduces and prevents absorption of stormwater into previously undeveloped land.

Insurance agency means an office that is primarily in the business of selling insurance.

Jewelry store means a retail store that is primarily in the business of selling, buying and/or repairing jewelry.

Junkyard means the use of more than 600 square feet of the area of any lot for the storage, keeping, or abandonment of junk, including scrap metals or other scrap materials, or for the dismantling, demolition or abandonment of automobiles or other vehicles or machinery or parts thereof.

ADOPTED THIS 18TH DAY OF JULY, 2016

Bill Deter, Mayor

Attest:

Peggy S. Piontek, Town Clerk

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor Deter; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: August 8th, 2016

SUBJECT: Atherton Estates Amenity Center Conditional Zoning

Shea Builders submits a conditional zoning application for an Amenity Center associated with the approved major subdivision, Atherton Estates. Community recreational centers are permitted as conditional uses subject to the requirements listed in Section 58-271.

Application Information:

Property Location: Weddington Road and Weddington-Matthews Road (2 entrances)
Existing Zoning: R-CD
Proposed Zoning: R-CD (CZ – Community Recreational Center)
Existing Land Use: Residential Conservation
Proposed Land Use: Residential Conservation (CZ)
Existing Use: Vacant Land
Parcel Size: 1.67 acres

Project Information:

Atherton Estates is an approved 131 lot subdivision on 170 acres. The amenity center will be located on 1.67 acres and will have a dual drive access off the internal subdivision road, Wheatberry Hill Drive. The site will include a pool, a pool pavilion, and a cabana. The plan includes the required 16 foot landscaped buffer at the border of the site, and all the trees and shrubs are included in the approved species list. A landscaped buffer is not required at the rear of the property because the property will be bordering open space, not residential lots. The “event lawn” will back onto the COS, and provide a view of the pond.

Access and Parking:

The amenity site will be accessed by two drives off Wheatberry Hill Drive and will provide 38 spaces, a number based on the size of the pool.

Traffic Impact Analysis:

Although the amenity center rezoning constitutes a new application and triggers the need for a revised TIA, staff confirmed with the Town's traffic engineer that the improvements already included in the driveway permits are sufficient given the size of the subdivision, and eliminate the need for further study and analysis.

Construction Documents:

US Infrastructure has provided final approval for the construction documents associated with the Amenity Center and the approval letter is included in your packet.

Recommended Conditions of Approval:

1. Final plat including the amenity center site must be recorded prior to construction

Planning Board Action:

Recommended Approval with Conditions (Unanimous)

Town Council Action:

Approve/Approve with Conditions/Deny

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Mayor Deter; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: August 8th, 2016

SUBJECT: Atherton Estates Amenity Center Construction Documents

Shea Builders submits a conditional zoning application for an Amenity Center associated with the approved major subdivision, Atherton Estates. Community recreational centers are permitted as conditional uses subject to the requirements listed in Section 58-271.

Application Information:

Property Location: Weddington Road and Weddington-Matthews Road (2 entrances)
Existing Zoning: R-CD
Proposed Zoning: R-CD (CZ – Community Recreational Center)
Existing Land Use: Residential Conservation
Proposed Land Use: Residential Conservation (CZ)
Existing Use: Vacant Land
Parcel Size: 1.67 acres

Project Information:

Atherton Estates is an approved 131 lot subdivision on 170 acres. The amenity center will be located on 1.67 acres and will have a dual drive access off the internal subdivision road, Wheatberry Hill Drive. The site will include a pool, a pool pavilion, and a cabana. The plan includes the required 16 foot landscaped buffer at the border of the site, and all the trees and shrubs are included in the approved species list. A landscaped buffer is not required at the rear of the property because the property will be bordering open space, not residential lots.

Traffic Impact Analysis:

Although the amenity center rezoning constitutes a new application and triggers the need for a revised TIA, staff confirmed with the Town's traffic engineer that the improvements already included in the driveway permits are sufficient given the size of the subdivision, and eliminate the need for further study and analysis.

Construction Documents:

US Infrastructure has provided final approval for the construction documents associated with the Amenity Center and the approval letter is included in your packet.

Recommended Conditions of Approval:

1. All lighting must me the Town of Weddington lighting ordinance
2. Height of all structures must be below 35 feet measured from grade to the eave.

Planning Board Action:

Recommended Approval with Conditions (Unanimous)

Town Council Action:

Approve/Approve with Conditions/Deny

OVERALL PROPERTY LINE DATA

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	58.22	S71°11'59"W	L48	52.61	S77°25'32"W
L2	51.22	S71°10'06"W	L49	51.79	S71°27'10"W
L3	49.40	S72°12'27"W	L50	51.69	S67°37'34"W
L4	53.15	S72°30'58"W	L51	45.97	S67°14'47"W
L5	47.22	S73°13'54"W	L52	45.47	S65°51'04"W
L6	47.72	S73°12'27"W	L53	55.95	S33°02'31"E
L7	47.35	S73°53'49"W	L54	158.29	N23°58'50"E
L8	48.49	S73°59'47"W	L55	157.03	N26°03'35"E
L9	49.99	S74°03'40"W	L56	193.58	S28°16'06"E
L10	50.22	S74°18'29"W	L57	206.72	S28°11'12"E
L11	48.97	S74°14'47"W	L58	56.69	S27°11'43"E
L12	101.08	S74°24'55"W	L59	184.83	S28°44'25"E
L13	51.59	S74°34'31"W	L60	76.14	S88°45'15"E
L14	51.28	S75°16'39"W	L61	42.37	N17°49'50"W
L15	50.13	S75°19'54"W	L62	50.86	N19°06'50"W
L16	48.57	S75°24'59"W	L63	49.11	N20°58'33"E
L17	53.45	S75°34'01"W	L64	50.20	N22°16'21"W
L18	49.01	S75°49'16"W	L65	46.98	N23°23'22"W
L19	50.78	S75°57'22"W	L66	49.30	N24°17'51"W
L20	49.73	S77°11'16"W	L67	47.61	N25°14'45"W
L21	49.30	S78°30'32"W	L68	51.08	N26°29'12"W
L22	48.40	S80°32'06"W	L69	49.54	N27°22'34"W
L23	50.49	S82°45'31"W	L70	51.60	N28°24'40"W
L24	49.69	S85°39'12"W	L71	49.34	N28°58'40"W
L25	49.16	S88°21'21"W	L72	46.92	N28°17'58"W
L26	48.81	N89°45'04"W	L73	53.53	N30°30'35"E
L27	50.41	N87°54'44"W	L74	48.19	N30°58'53"E
L28	50.15	N85°30'49"W	L75	47.23	N31°11'58"W
L29	49.78	N84°00'11"W	L76	47.73	N31°41'20"W
L30	50.49	N82°08'43"W	L77	49.46	N31°54'51"W
L31	48.97	N82°29'24"W	L78	53.33	N32°28'23"E
L32	50.51	N81°16'00"W	L79	70.73	N32°48'03"E
L33	49.85	N81°01'00"W	L80	123.67	N33°06'08"W
L34	49.74	N80°07'00"W	L81	97.85	N33°11'03"W
L35	48.86	N81°06'47"W	L82	97.36	N33°22'47"W
L36	50.32	N81°18'51"W	L83	99.83	N33°27'33"W
L37	99.47	N81°58'02"W	L84	95.95	N33°31'24"W
L38	91.64	N81°26'20"W	L85	97.80	N33°37'56"W
L39	100.69	N82°08'12"W	L86	102.02	N33°52'46"W
L40	68.51	N82°39'24"W	L87	95.66	N33°56'09"W
L41	52.15	N82°53'17"W	L88	51.86	N33°57'06"W
L42	48.41	N83°17'44"W	L89	51.48	N33°51'50"W
L43	49.29	N83°52'50"W	L90	51.75	N32°52'52"W
L44	49.11	N84°06'16"W	L91	72.22	N33°36'27"W
L45	49.90	N85°16'45"W	L92	238.50	N65°27'19"W
L46	53.07	S89°37'38"W	L93	128.70	N37°48'07"W
L47	50.31	S83°29'39"W	L94	70.09	N28°38'17"W
L48	169.93	N45°20'30"E	L95	169.93	N45°20'30"E

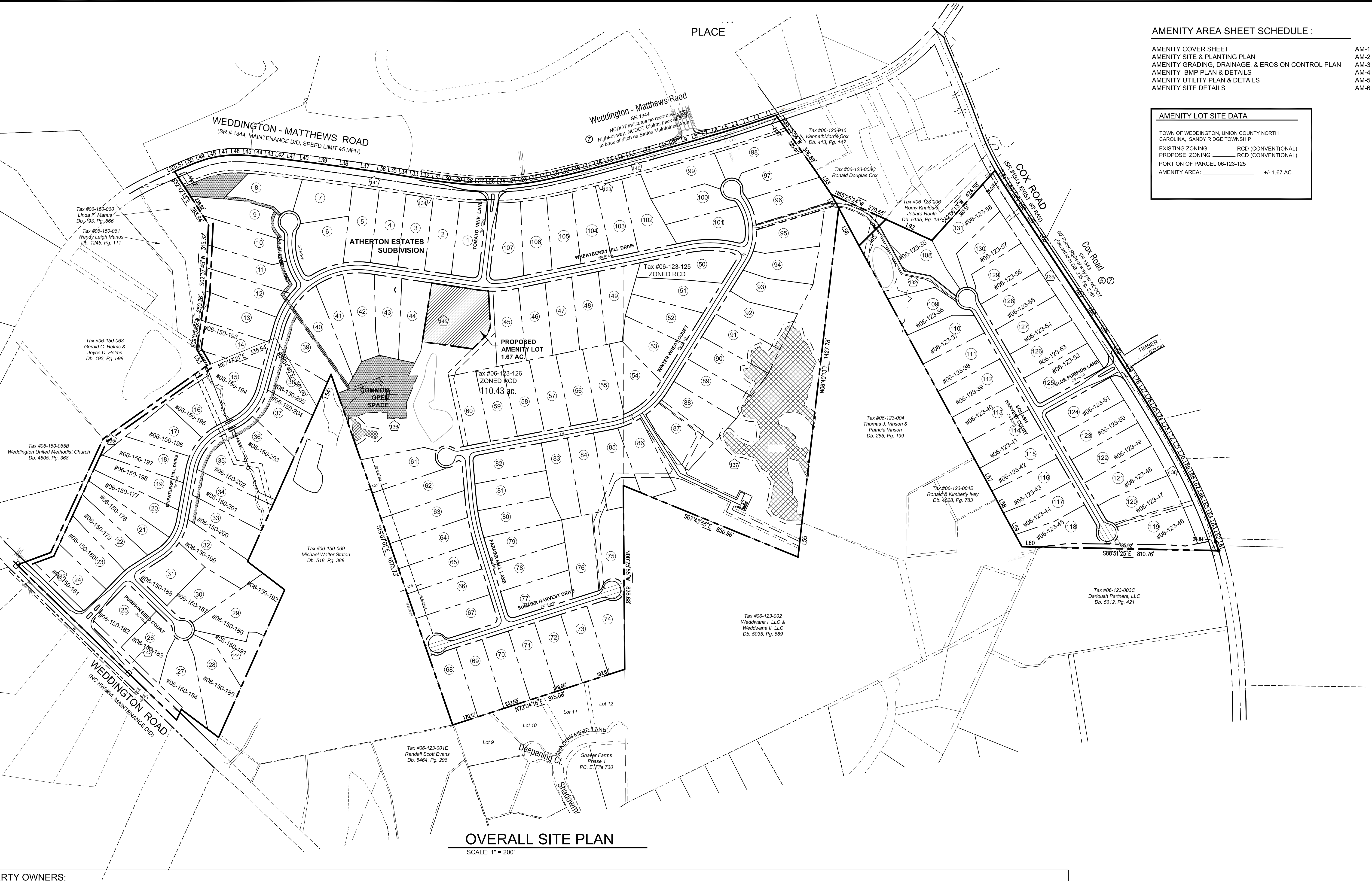
NOTE: 1) BOUNDARY AND ABOVE GROUND PHYSICAL SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY LAWRENCE ASSOCIATES (704-689-1013) DATED 08/27/2013.

2) IN PREPARATION OF THE SURVEY MAP LAWRENCE ASSOCIATES HAD EXAMINED THE FLOOD INSURANCE RATE MAP FOR UNION COUNTY NORTH CAROLINA, COMMUNITY PANEL NUMBER 3710447000, DATED OCTOBER 16, 2008 AND CERTIFY THAT THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

3) THE PROPOSED SEWER UTILITY DESIGN FOR LOTS #1-43 & #38-146 IS INTENDED TO BE INTO THE COUNTY'S PUBLIC SEWER SYSTEM WITHOUT THE USE OF PRIVATE SEPTIC SYSTEMS. PRELIMINARY PLANS HAVE BEEN SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

4) THE PROPOSED SEWER UTILITY DESIGN FOR LOTS #14-43 WILL BE TREATED THROUGH A SEPTIC SYSTEM TO BE PERMITTED BY OTHERS AND APPROVED BY UNION COUNTY. SEPTIC AREAS SHALL BE DELINEATED AND RECORDED ON THE FINAL PLAN.

5) THE PROPOSED WATER UTILITY DESIGN IS INTENDED TO BE INTO THE COUNTY'S PUBLIC WATER SYSTEM. THERE IS PUBLIC WATER AVAILABLE WITHIN 1 MILE OF THE SITE.



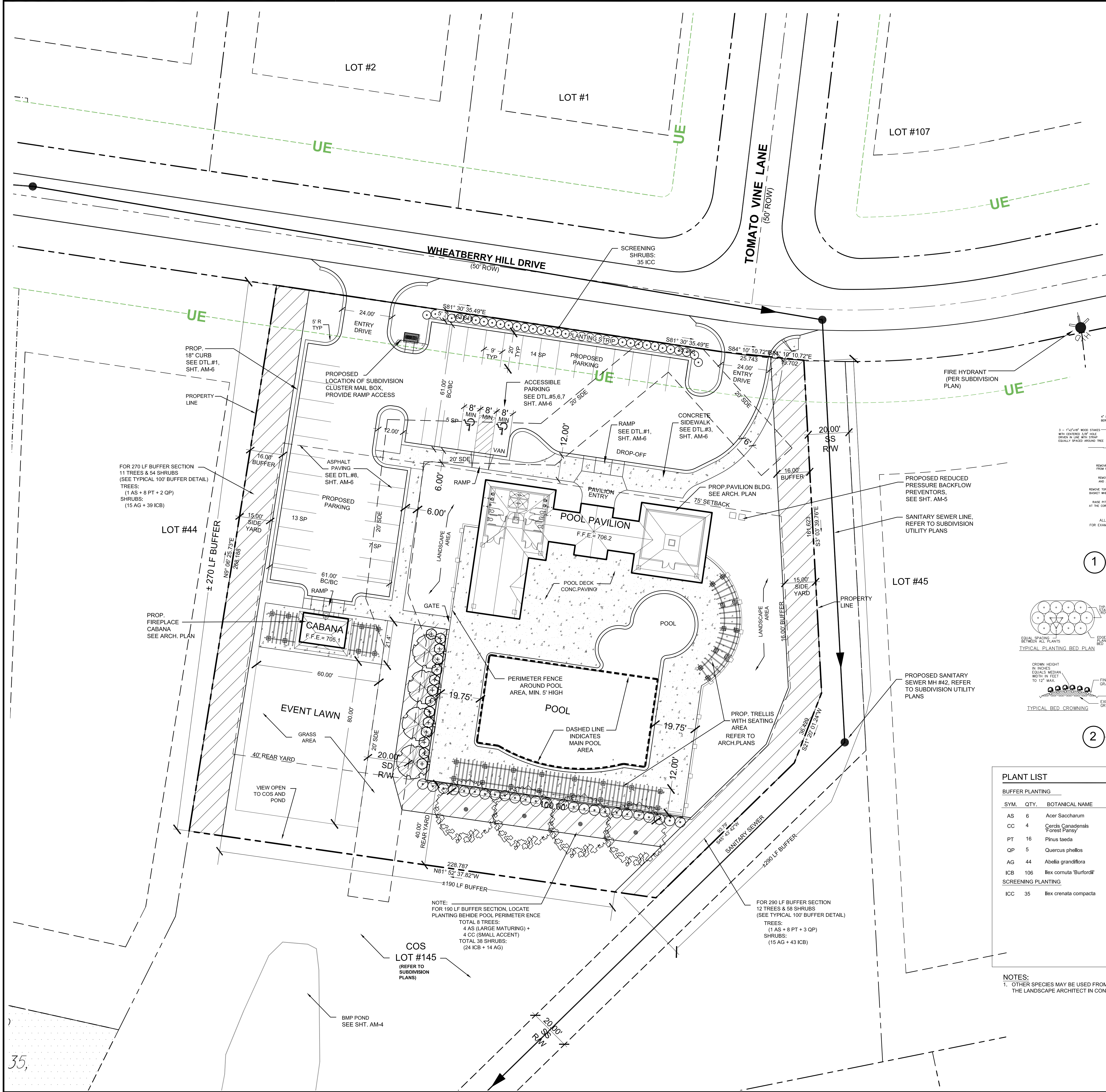
OVERALL SITE PLAN

SCALE: 1" = 200'

ADJOINING PROPERTY OWNERS:

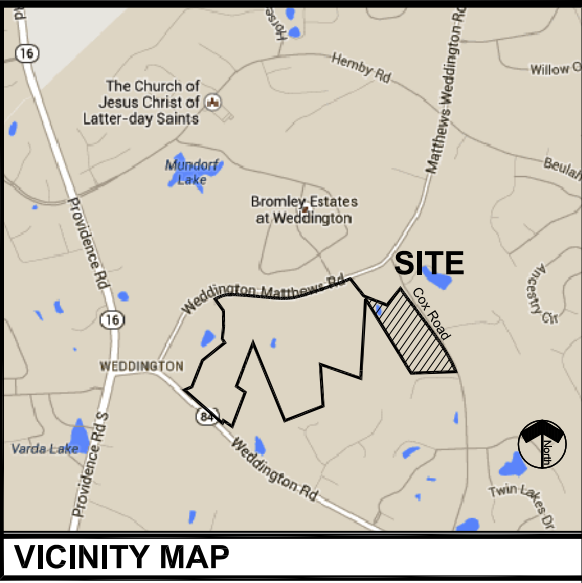
WITHIN 1500 FEET OF PARCEL 06-123-128

Parcel Number	Owner	Owner 2	Mailing Address	Mailing City	State	Mailing Zip	Site Address
06-123-128	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-129	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-130	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-131	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-132	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-133	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-134	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-135	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-136	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-137	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-138	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-139	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-140	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-141	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-142	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-143	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-144	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-145	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-146	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-147	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-148	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-149	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-150	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-151	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-152	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-153	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-154	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-155	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-156	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-157	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-158	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-159	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-160	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-161	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-162	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-163	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-164	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-165	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-166	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-167	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-168	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-169	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-170	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-171	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-172	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-173	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-174	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-175	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-176	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-177	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-178	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-179	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-180	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-181	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-182	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-183	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-184	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-185	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-186	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-187	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-188	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-189	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-190	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-191	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-192	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-193	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-194	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-195	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-196	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-197	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-198	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. APT. 100
06-123-199	EVANS KENNETH W	EVANS KENNETH W	1000 W. 10TH ST. APT. 100	WEDDINGTON	NC	27090	1000 W. 10TH ST. A



AMENITY AREA DEVELOPMENT DATA:

1. PROPOSED AMENITY LOT AREA = 1.67 AC
2. PROPOSED AMENITY IMPERVIOUS AREA = ±40,500 S.F. (0.93 AC.)
3. MAIN POOL AREA = ±3800 SF (SEE PLAN)
4. PARKING REQUIRED = 1 SP / 100 SF OF MAIN POOL = 38 SPACES
5. PROPOSED PARKING = 39 SPACES (2 HANDICAPPED)
6. REQUIRED BUFFER= 16' WIDTH
7. REQUIRED BUFFER PLANTING = 4 TREES AND 20 SHRUBS PER 100 FT
8. POOL PERIMETER FENCE AND GATES SHALL COMPLY WITH SECTION 3109.4 OF NCBC 2012 OR LATEST APPLICABLE CODE



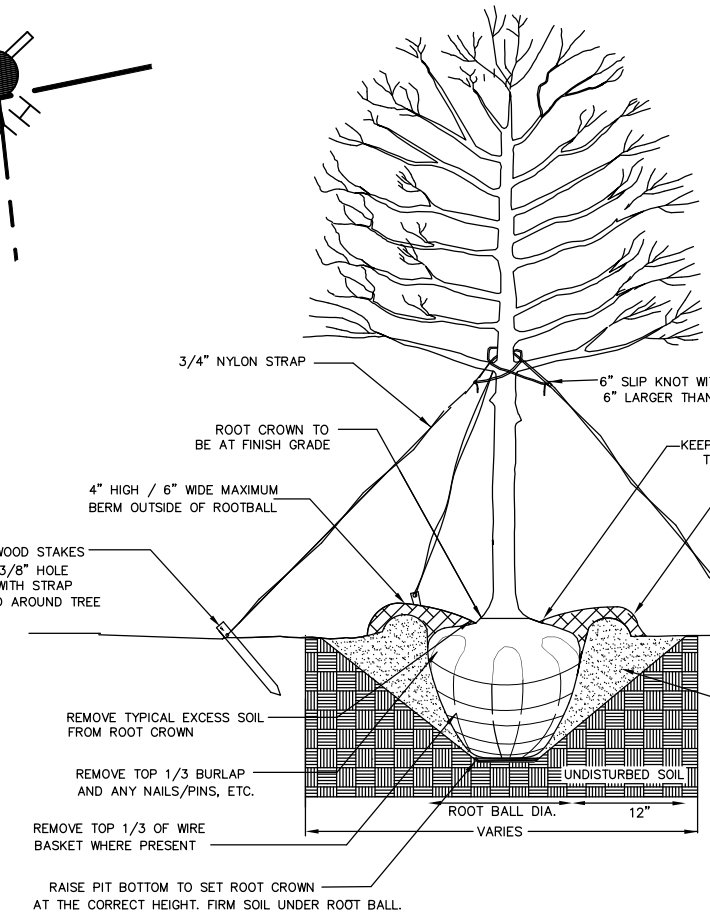
VICINITY MAP

GENERAL NOTES:

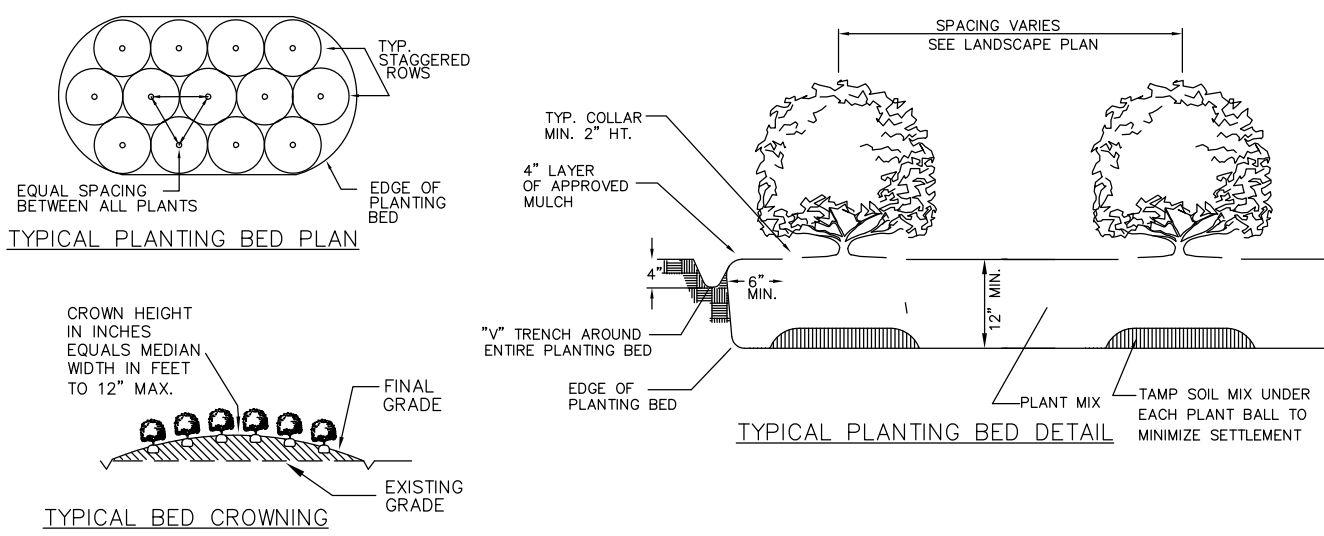
1. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS. ALL STREETS TO BE BUILT IN CONFORMANCE WITH THE LOCAL TOWN/COUNTY LAND DEVELOPMENT STANDARDS.
2. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
3. ALL PROPOSED TREES, BERMS, WALLS, FENCES, AND/OR IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE AT THE STREET CONNECTION. DEVELOPER TO PROVIDE STREET SIGNS AND OTHER TRAFFIC SIGNAGE SUCH AS SPEED LIMIT, STOP SIGNS, ETC PER LOCAL TOWN/COUNTY STANDARDS.
4. ALL DEBRIS FROM CLEARING OPERATIONS TO BE DISPOSED OF OFF SITE IN AN APPROVED LEGAL DISPOSAL AREA.
5. ANY ON-SITE LANDFILL REQUIRES THE ISSUANCE OF A PERMIT FROM THE LOCAL TOWN/COUNTY. NO ON-SITE DEMOLITION BURIAL IS PROPOSED FOR THIS SITE.
6. ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL TOWN/COUNTY LAND DEVELOPMENT STANDARDS AND INSPECTED BY THE COUNTY ENGINEER.
7. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
8. LOCAL TOWN/COUNTY INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO BEGINNING OF CONSTRUCTION.
9. IN ORDER TO ASSURE PROPER DRAINAGE, PROVIDE 0.50% MIN. GRADE ON ALL CURB & GUTTER.
10. DEVELOPER SHALL COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH COUNTY INSPECTOR.
11. ALL FILL PLACED ON BUILDING LOTS SHALL MEET NC STATE BUILDING CODE STANDARDS FOR 2,000 POUNDS PER SQUARE FOOT MINIMUM COMPACTION. MAXIMUM GRADED SLOPES = 2:1
12. CONCRETE MONUMENTS ARE TO BE INSTALLED PER STATE AND LOCAL REQUIREMENTS.
13. IN ROLLING AND HILLY TERRAIN, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
14. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
15. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
16. PRIOR TO PLANT RECORDATION, OFF-SITE R/W AND/OR CONSTRUCTION EASEMENTS IF REQUIRED, MUST BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFF-SITE R/W ACQUISITION PROCESS".
17. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT (WITH THE TOWN/COUNTY) DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
18. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
19. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS, IF PROPOSED, MUST BE SUBMITTED SEPARATELY TO TOWN ENGINEER PRIOR TO CONSTRUCTION. FOR HEIGHTS 4' OR GREATER.

NOTES:

1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.



1 TREE PLANTING DETAIL NTS



2 SHRUB PLANTING DETAIL NTS

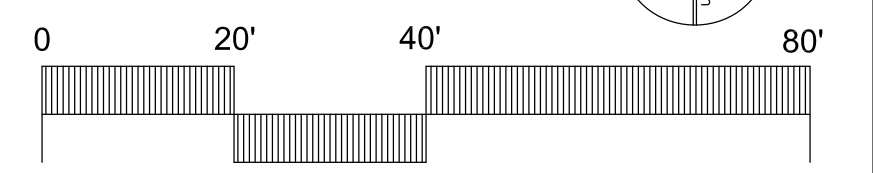
PLANT LIST

BUFFER PLANTING							
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	MIN. HEIGHT	REMARKS
AS	6	Acer Saccharum	Sugar Maple	B&B	2" min.	10'	Large Maturing Tree
CC	4	Cercis Canadensis Forest Pansy	Forest Pansy Red Bud	B&B	2" min.	10'	Small Accent Tree
PT	16	Pinus taeda	Loblolly Pine	B&B	2" min.	10'	Evergreen Tree
QP	5	Quercus phellos	Willow Oak	B&B	2" min.	10'	Large Maturing Tree
AG	44	Abelia grandiflora	Glossy Abelia	3 GAL.		36" min.	Evergreen Accent Shrub
ICB	106	Ilex cornuta 'Burfordii'	Burford Holly	3 GAL.		36" min.	Evergreen Shrub
SCREENING PLANTING							
ICC	35	Ilex crenata compacta	Compact Japanese Holly	3 GAL.		36" min.	Evergreen Shrub

- NOTES:
1. OTHER SPECIES MAY BE USED FROM THE "APPROVED SPECIES LIST" IN THE TOWN ORDINANCE, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT IN CONSULTATION WITH THE TOWN OF WEDDINGTON.

NOTE:

1. SEE SHEET AM-1 FOR OVERALL SUBDIVISION PLAN AND ADJACENT PROPERTY OWNERS.

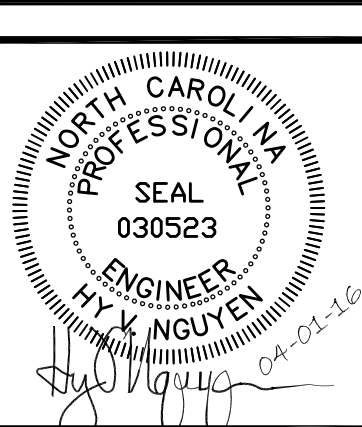
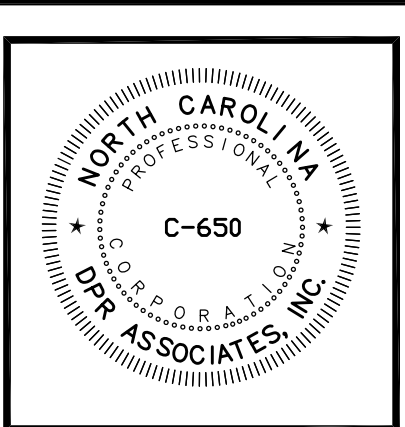


TREE PLANTING NOTES

1. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). SMALL MATURING MULTI-STEM TREES MUST BE TREE FORM, MAXIMUM 3" TRUNKS, AND MINIMUM 8 FEET TALL.
2. UNLESS APPROVED BY THE LOCAL TOWN/COUNTY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING CUTS SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE AGE AND NOT BE BROKEN, DISEASED OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE FROM EXCESSIVE ADVENTITIOUS ROOT GROWTH.
3. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
4. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIN. STANDARDS FOR TREES WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE.
5. LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL TOWN STAFF TO RESOLVE BEFORE PLANTING.
6. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 12" FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES.)
7. ATTENTION LANDSCAPER: NOTIFY TOWN OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
8. PLEASE CALL TOWN FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS, 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.
9. ALL LANDSCAPING SHALL COMPLY WITH THE TOWN OF WEDDINGTON ZONING ORDINANCE, SECTION 46-76.

REVISIONS:			
No.	Date	By	Description
1	03-16-16	AS/RJ	PER USI 1ST REVIEW COMMENTS - NO CHANGES THIS SHEET
2	04-01-16	AS/RJ	PER USI 2ND REVIEW COMMENTS - NO CHANGES THIS SHEET

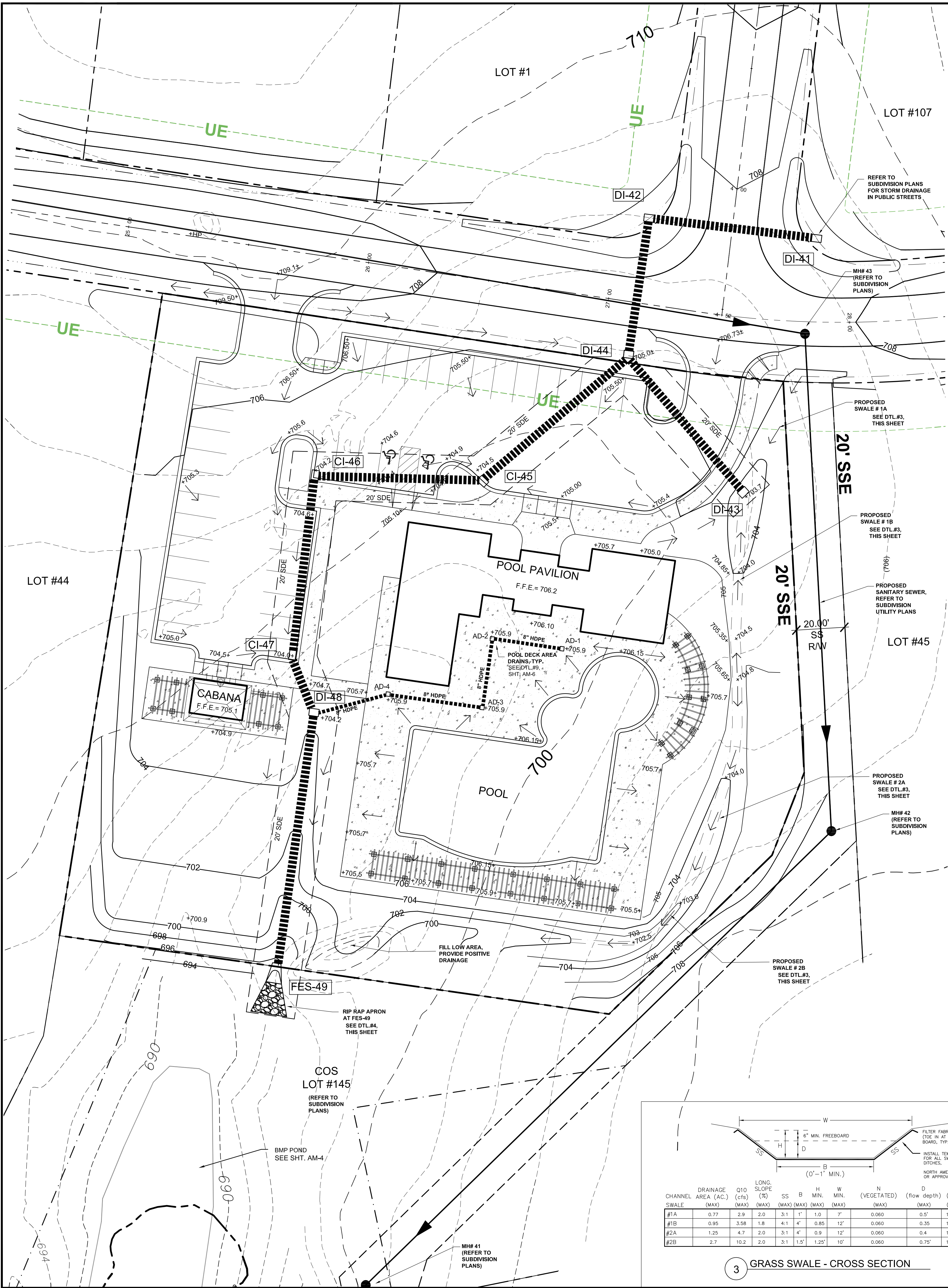
Project Manager HN	Drawn By DL	Checked By HN	Date 2-22-16	Project Number 13031
-----------------------	----------------	------------------	-----------------	-------------------------



DPR landscape architecture
planning
civil engineering

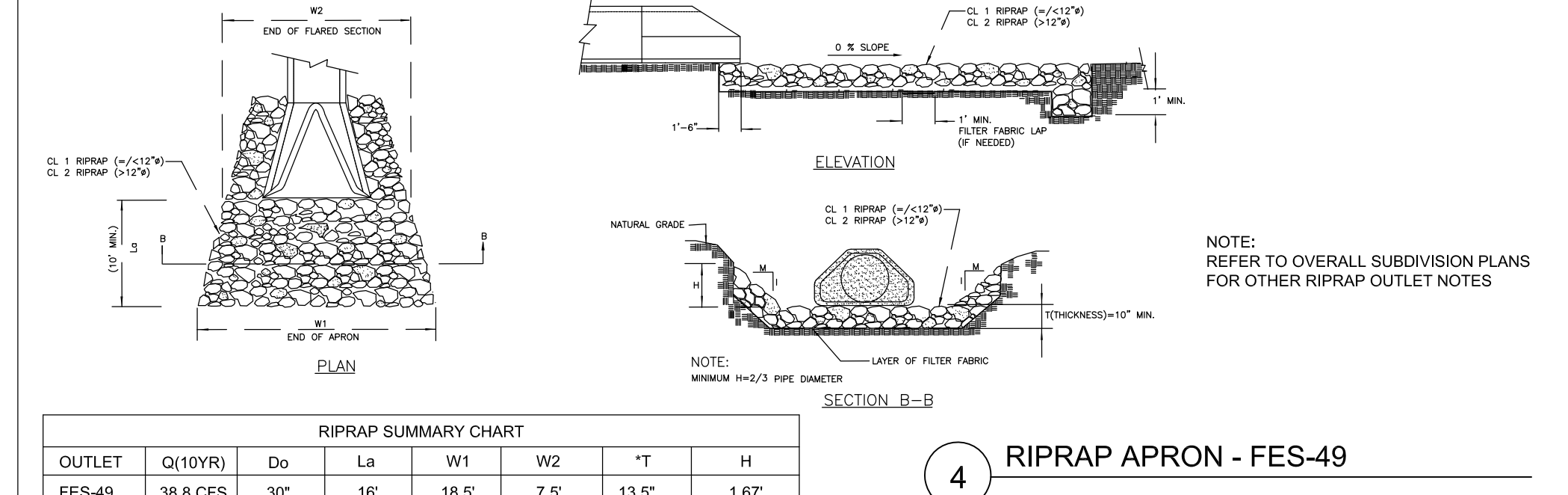
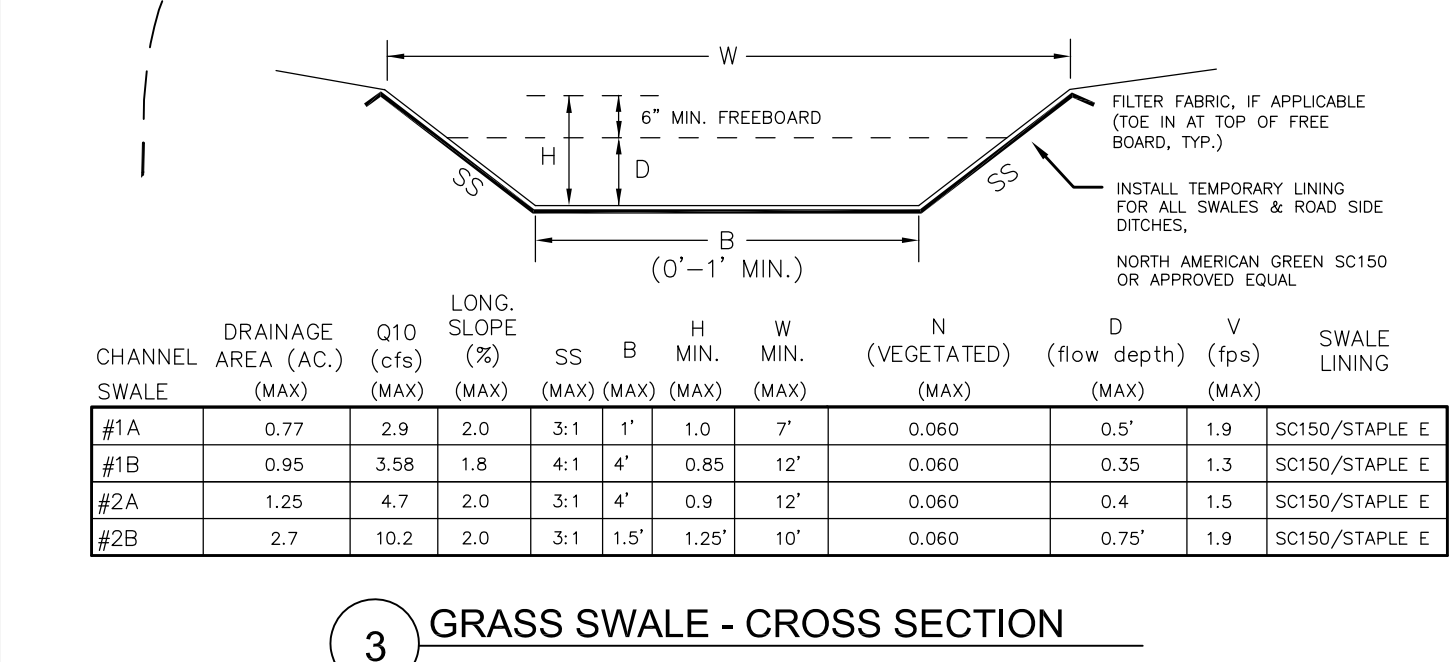
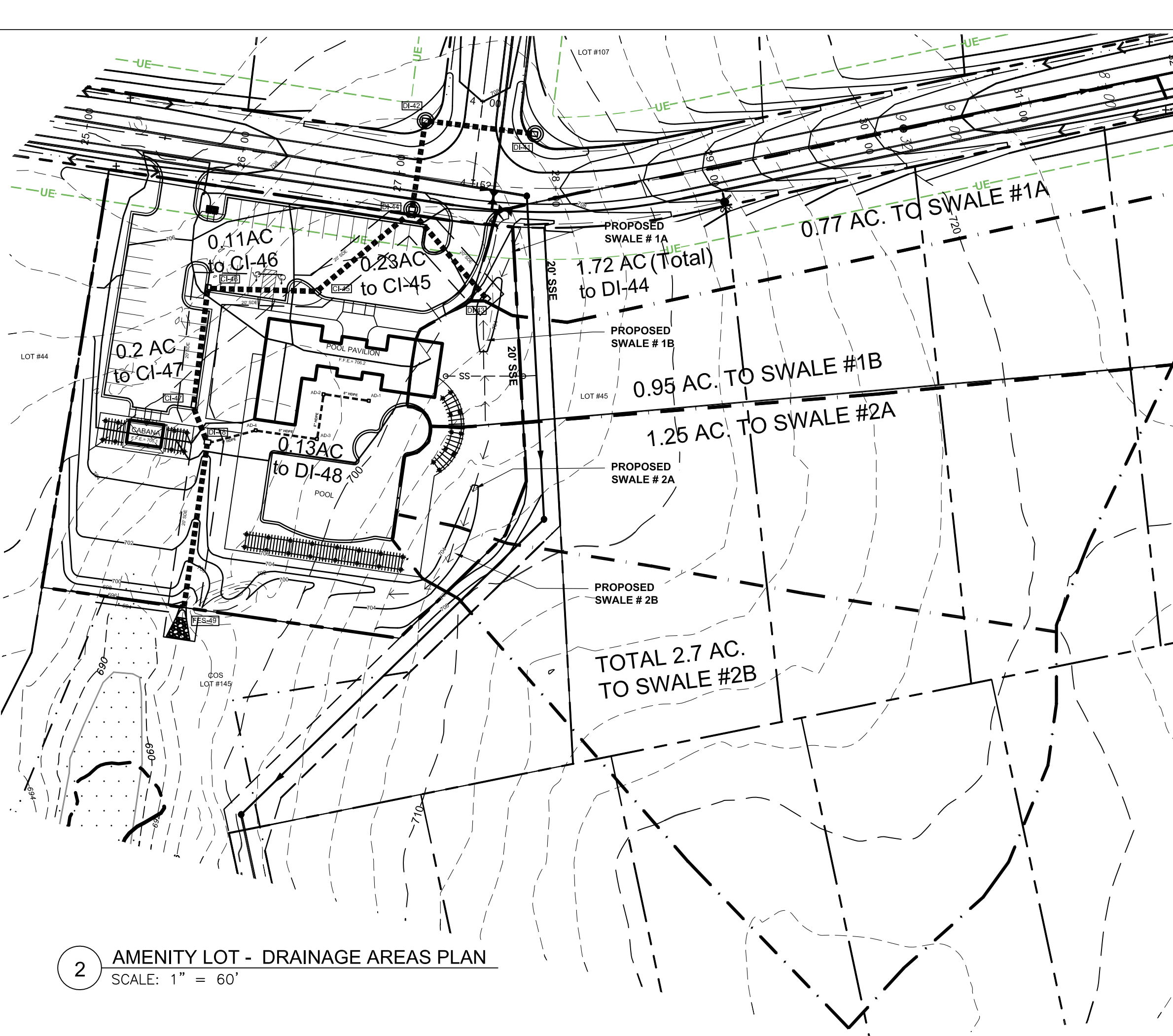
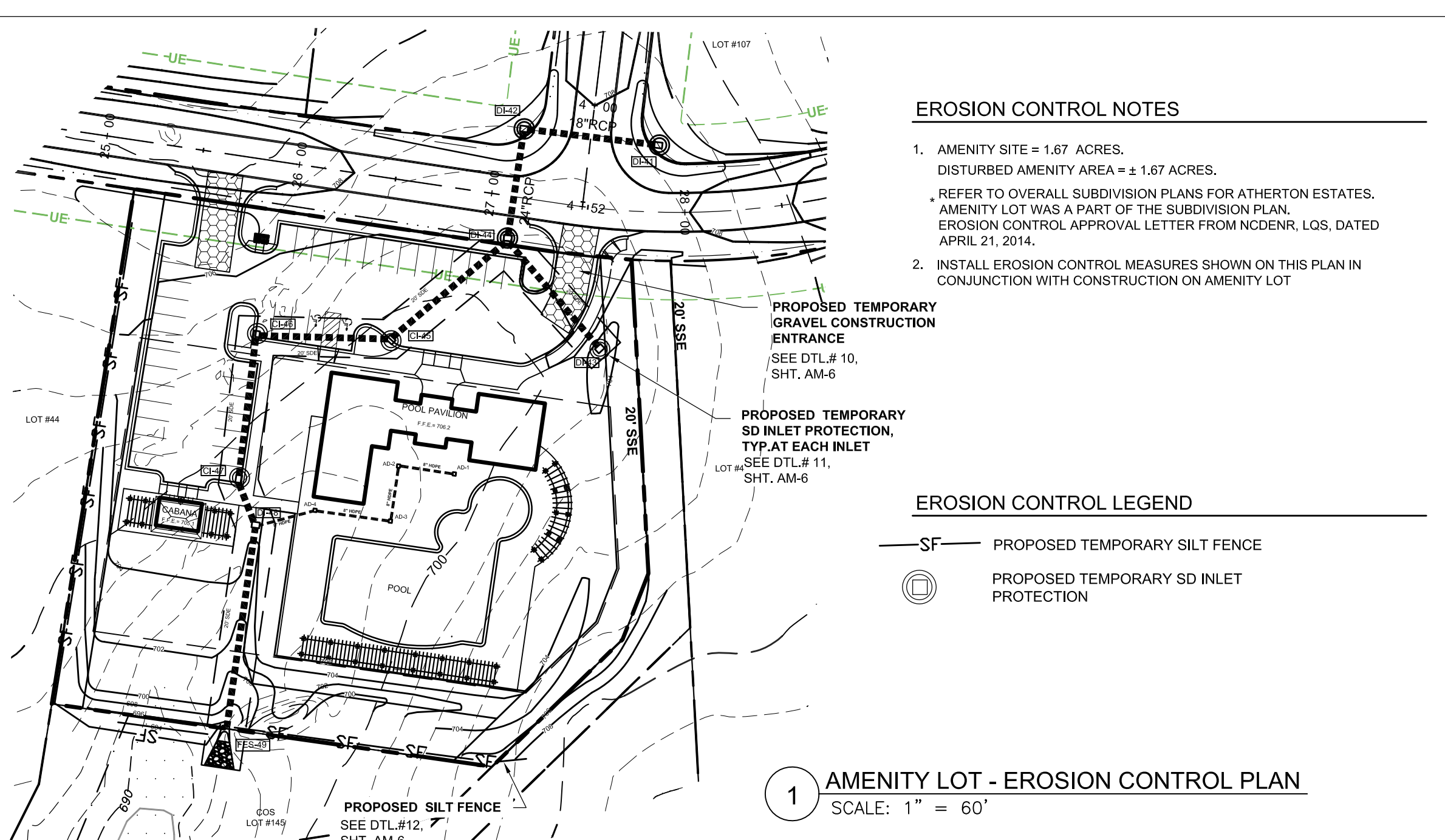
DPR Associates, Inc. | 420 Hawthorne Lane | Charlotte, NC 28204
ph. 704.332.1204 | fx. 704.332.1210 | www.dprassociates.net

AMENITY SITE PLAN & PLANTING PLAN		Scale: 1" = 20'
ATHERTON ESTATES AMENITY AREA WEDDINGTON, UNION COUNTY, NORTH CAROLINA SHEA ATHERTON, LLC		Sheet Number AM-2 SHEET 1 OF X TOTAL
CLIENT / OWNER: SHEA ATHERTON, LLC 8008 CORPORATE CENTER DRIVE, SUITE #300 CHARLOTTE, NORTH CAROLINA 28208 (704) 602-3307		



STORM DRAINAGE - MODIFIED SECTION AT AMENITY LOT
NOTE: DI-43 THROUGH FES-49 REVISED FROM OVERALL SUBDIVISION PLANS

FROM STRUCTURE	NCDOT/ CMLDS #	**RIM	INV IN	INV OUT	PIPE	TO STRUCTURE	Remarks
DI-41	840.04	705.50	---	702.00	70 LF OF 24 in @ 0.71%	DI-42	RCP
DI-42	840.04	705.00	701.50	701.30	54 LF OF 30 in @ 0.56%	DI-44	RCP
DI-43	840.14	703.50	---	700.70	72 LF OF 15 in @ 0.97%	DI-44	RCP
DI-44	840.14	705.00	701.00	699.80	76 LF OF 30 in @ 0.79%	CI-45	RCP
CI-45	840.02	704.50	699.20	699.00	68 LF OF 30 in @ 0.74%	CI-46	RCP
CI-46	840.02	704.20	698.50	698.30	72 LF OF 30 in @ 1.11%	CI-47	RCP
CI-47	840.02	704.00	697.50	695.30	24 LF OF 30 in @ 0.83%	DI-48	RCP
DI-48	840.14	704.20	695.10	694.90	105 LF OF 30 in @ 0.76%	FES-49	RCP
FES-49	SHT L-20	---	---	694.10			



LEGEND:

- 65 LOT NUMBER
- PL- PROPERTY LINE
- RIGHT OF WAY LINE
- LOT LINE
- LIMIT OF GRADING
- EXISTING CONTOUR
- 760 PROPOSED CONTOUR
- SD- STORM DRAINAGE EASEMENT
- 1" S&S- SANITARY SEWER RIGHT OF WAY
- 20" S&S- SETBACK LINE
- 35"X35" ST- SIGHT TRIANGLE
- COS- COMMON OPEN SPACE
- STORM DRAINAGE PIPE (PROPOSED)
- STORM DRAINAGE PIPE (EXISTING)
- DI-2 PROPOSED DROP INLET
- CI-2 PROPOSED CURB INLET
- +750.5 PROPOSED SPOT ELEVATION
- F.F.E. FINISHED FLOOR ELEVATION

STORM DRAINAGE STRUCTURE DETAIL REFERENCES

CONSTRUCTION OF THE FOLLOWING ITEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING DEVELOPMENT STANDARDS:

840.04	NCDOT CONCRETE OPEN THROAT CATCH BASIN
840.14	NCDOT CONCRETE DROP INLET
838.80	NCDOT CONCRETE ENDWALL
840.02	NCDOT STORM MANHOLE
840.16	NCDOT DROP INLET FRAMES & GRATES
840.31	NCDOT CONCRETE JUNCTION BOX
840.34	NCDOT MANHOLE FRAME & COVER
840.06	NCDOT DRAINAGE STRUCTURE STEPS
20.25	TRENCH DETAIL FOR STORM DRAIN PIPES (MECKLENBURG COUNTY LDS)
840.02	NCDOT CONCRETE CURB INLET

GRADING AND STORM DRAINAGE NOTES:

- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED TO 95% A.A.S.H.T.O. STANDARD COMPACTION.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE TO FINISHED ELEVATIONS (TOP OF PAVEMENT). REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL INSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW AWAY ACROSS NEW PAVEMENT AND/OR LANDSCAPE AREAS TO NEW OR EXISTING STORM DRAIN INLETS, DRAINAGE SWALES, OR OVERLAND SHEET FLOW.
- ON-SITE BURIAL PITS REQUIRE AN "ON-SITE DEMOLITION LANDFILL PERMIT" FROM THE ZONING ADMINISTRATOR.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS SUBJECT TO A FINE.
- ALL PERIMETER DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDS STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB, CURB AND GUTTER SHOWN ON THE PLANS, IF ANY, MAY BE ADJUSTED, BASED UPON FIELD STAKING, BY TOWN ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE TOWN/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE TOWN SUBDIVISION ORDINANCE.
- SLOPES SHOWN ON THE STORM DRAINAGE SCHEDULE ARE FOR CONTRACTOR'S REFERENCE ONLY. CONTRACTOR TO BUILD STORM DRAINAGE SYSTEM TO THE ELEVATIONS SHOWN ON THE SCHEDULE.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- NON-STANDARD ITEMS (E.G. PAVEMENT, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- PROOF ROLLING OF STREET SUBGRADE AND AGGREGATE BASE MATERIAL SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S ENGINEER. THE ENGINEER SHALL PROVIDE WRITTEN VERIFICATION TO THE TOWN THAT THE SUBGRADE AND AGGREGATE BASE MATERIAL MEET THE DENSITY REQUIREMENTS AS SPECIFIED. FAILURE TO PROVIDE ENGINEER'S VERIFICATION OF SUBGRADE AND STONE BASE COURSE COMPACTION COULD RESULT IN DELAY OF FINAL ACCEPTANCE OF THE DEVELOPMENT BY THE TOWN.
- ALL CONSTRUCTION ACTIVITIES TO CONFORM WITH NCDOT STANDARD SPECIFICATIONS AND DETAILS.
- AFTER COMPLETION OF CONSTRUCTION, AN AS-BUILT TOPOGRAPHIC SURVEY OF THE REWORKED FARM POND (# 2) SHALL BE SUBMITTED TO THE TOWN BY THE DESIGN ENGINEER THAT INCLUDES DETAILED ELEVATIONS AND DIMENSIONS OF THE OUTLET CONTROL STRUCTURE, DAM AND POND. DESIGN PROFESSIONAL CERTIFICATION SHOULD STATE THAT THE POND IS BUILT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND WILL CONTROL STORM WATER FOR THE SITE AS REQUIRED (I.E. SAFELY BYPASS THE 50-YR STORM).
- TOPOGRAPHY WITHIN THE PROJECTS BOUNDARY IS SURVEY INFORMATION GATHERED FROM LUCAS FORMAN DATED 9-26-2015. UNION COUNTY GIS EXISTING CONTOURS OUTSIDE THE PROJECTS BOUNDARY LIMITS.

NOTES:

- SEE SHEET AM-6 FOR UTILITY DETAILS

Scale: 1" = 20'

Sheet Number: AM-3

SHEET X OF X TOTAL

Project Manager
HN
Drawn By
DL
Checked By
HN
Date
2-22-16
Project Number
13031

REVISIONS:

No.	Date	By	Description
1	03-16-16	AS/RJ	PER USI 1ST REVIEW COMMENTS
2	04-01-16	AS/RJ	PER USI 2ND REVIEW COMMENTS

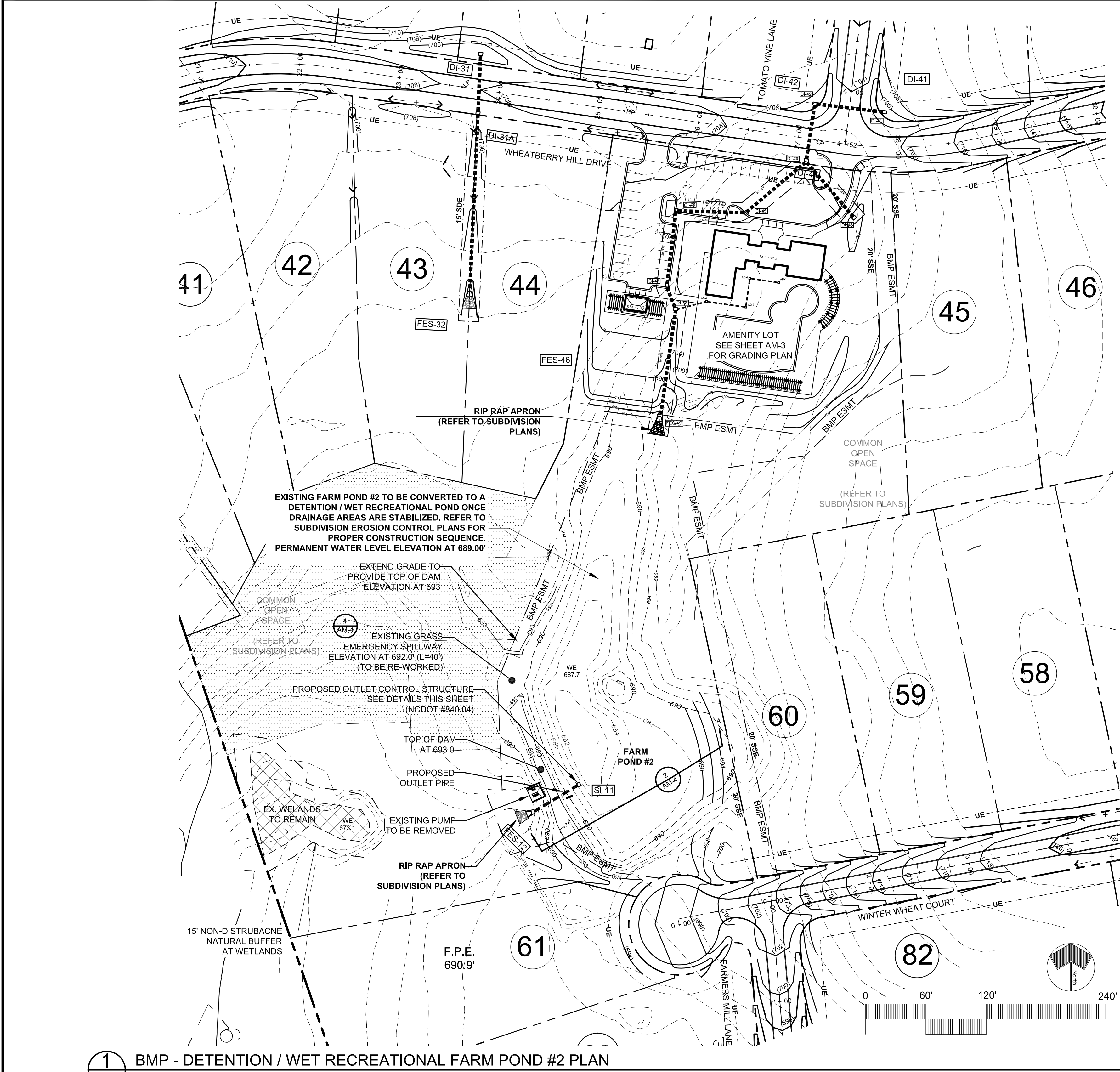
Seal: NORTH CAROLINA PROFESSIONAL ENGINEER
C-650
DPR ASSOCIATES, INC.

Seal: NORTH CAROLINA PROFESSIONAL ENGINEER
H. V. NGUYEN
2-22-16

DPR landscape architecture
planning
civil engineering
DPR Associates, Inc. | 420 Hawthorne Lane | Charlotte, NC 28204
ph. 704.332.1204 | fx. 704.332.1210 | www.dprassociates.net

AMENITY GRADING & DRAINAGE PLAN
ATHERTON ESTATES AMENITY AREA
WEDDINGTON, UNION COUNTY, NORTH CAROLINA
SHEA ATHERTON, LLC

Client / Owner:
SHEA ATHERTON, LLC
8009 CORPORATE CENTER DRIVE,
SUITE #300
CHARLOTTE, NORTH CAROLINA 28226
(704) 692-5337



1
AM-4
BMP - DETENTION / WET RECREATIONAL FARM POND #2 PLAN
SCALE: 1" = 60'

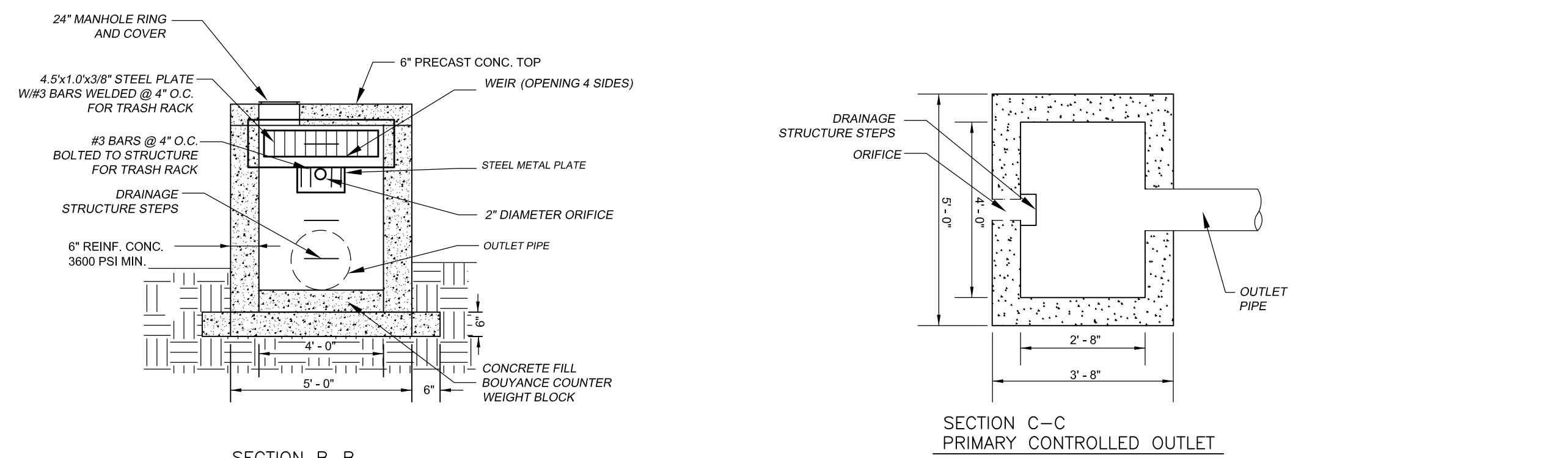
Dry Pond Maintenance Tasks and Schedule	
TASK	SCHEDULE
Forebay inspection and cleanout	Monthly inspection. Remove sediment every 7 years or when sediment volume exceeds 50% of storage volume
Bank moving and inspection / stabilization of eroded areas	Monthly
Outlet / inlet inspection and cleanout	Monthly
Unwanted vegetation and trash removal	Monthly
Inspect for structural damage, leaks, etc	Yearly
Inspect / exercise all mechanical devices, valves, etc	Yearly
Evaluate sediment level (remove as needed)	Yearly
Security	As needed

Detention / Recreational Pond #2	
Project Name:	Atherton Estates Amenity Area
Sequence ID:	Detention / Recreational Pond #2
Surface Area (sq. ft.):	45,600 sf @ 692.0'
Drainage Area (acres):	23.5 ac
Land Use/Development Type:	Residential
Permanent Pool Depth (ft.):	7'
Forebay Permanent Pool Depth (ft.):	N/A
Flow Diverter Present (Y/N):	N
Regulated By:	Twelve Mile Creek, Catawba River Basin
Treatment Effectiveness:	N/A
NC State Plane X (easting):	1475337.18
NC State Plane Y (northing):	466001.16

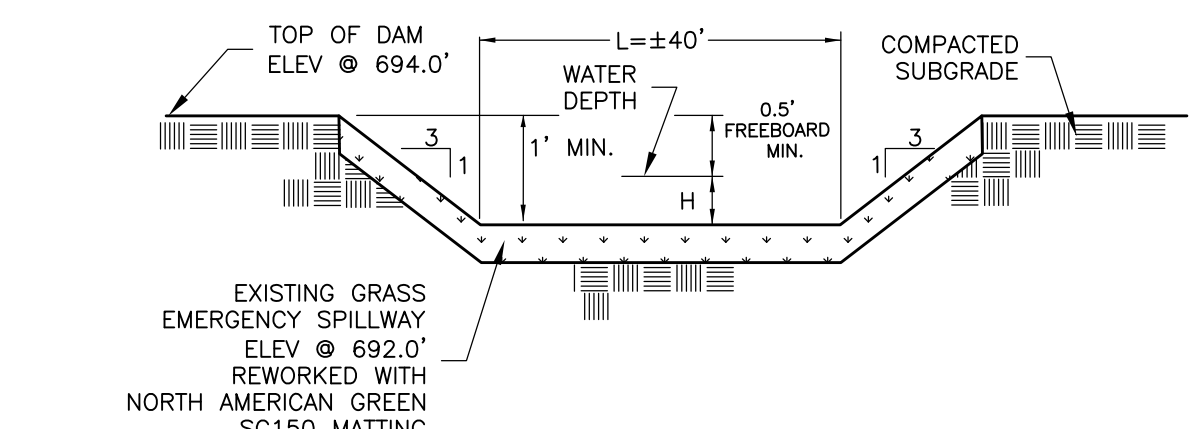
BMP - DETENTION / WET RECREATIONAL POND #2 STAGE / STORAGE VOLUME:

Stage Elevation (ft)	Total Surface (sf)	Incremental (cf)	Total Storage (cf)	Notes
682.0	2,800	0	0	Bottom of Basin
684.0	7,400	10,200	10,200	
686.0	12,900	20,300	30,500	
688.0	25,000	37,900	68,400	
689.0	31,000	28,000	96,400	Permanent Water
689.0	31,000	0	0	Permanent Water
690.0	36,500	33,750	33,750	Storage Depth
690.5	49,100	21,400	55,150	
692.0	45,600	71,025	126,175	Spillway
693.0	50,000	47,800	173,975	Top of Dam

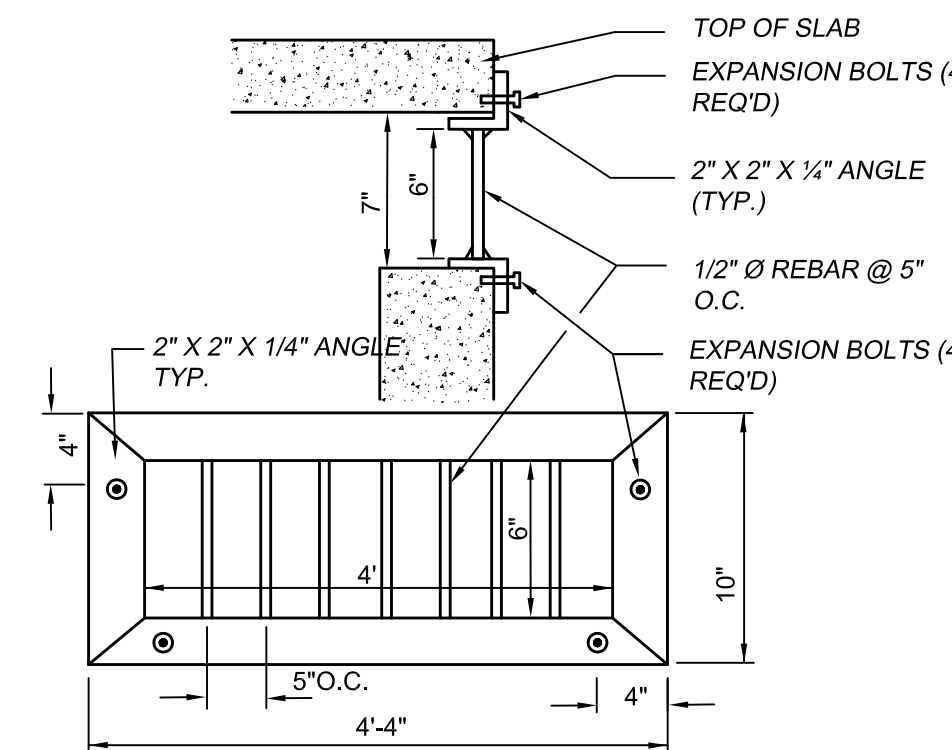
- NOTES:
- BMP GRADING AND DAM IMPROVEMENTS TO BE TO 98% COMPACTION, OR PER GEOTECH RECOMMENDATION.
 - SEE SHEET AM-6 FOR SEEDING SPECS.



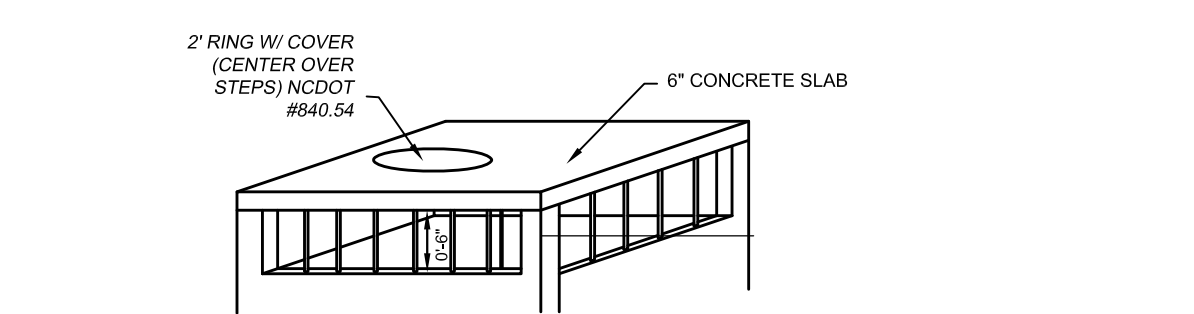
3
AM-4
OUTLET CONTROL STRUCTURE DETAIL (SI-11)
NOT TO SCALE



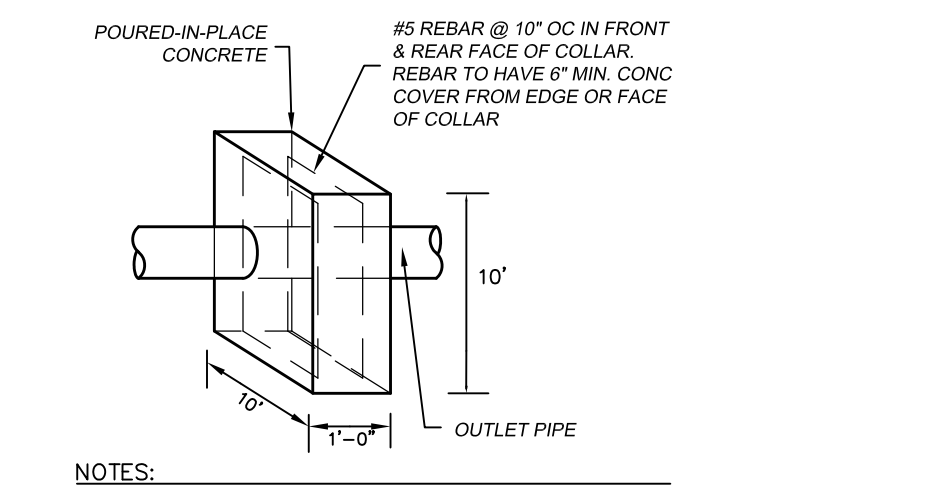
4
AM-4
EMERGENCY GRASSED SPILLWAY (ON-CUT)
NOT TO SCALE



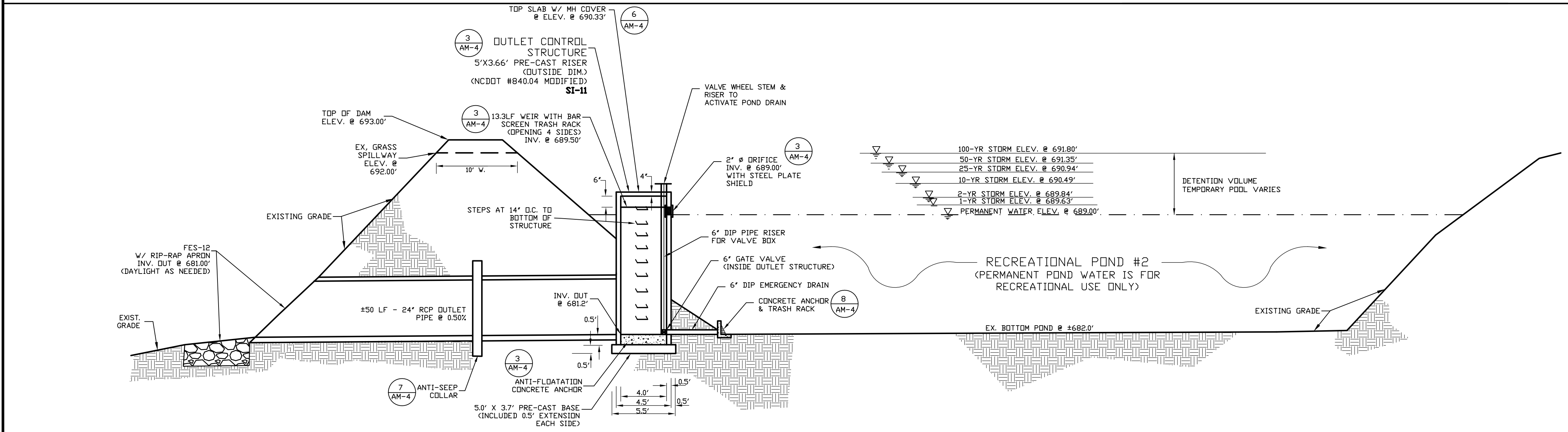
5
AM-4
BAR SCREEN TRASH RACK
NOT TO SCALE



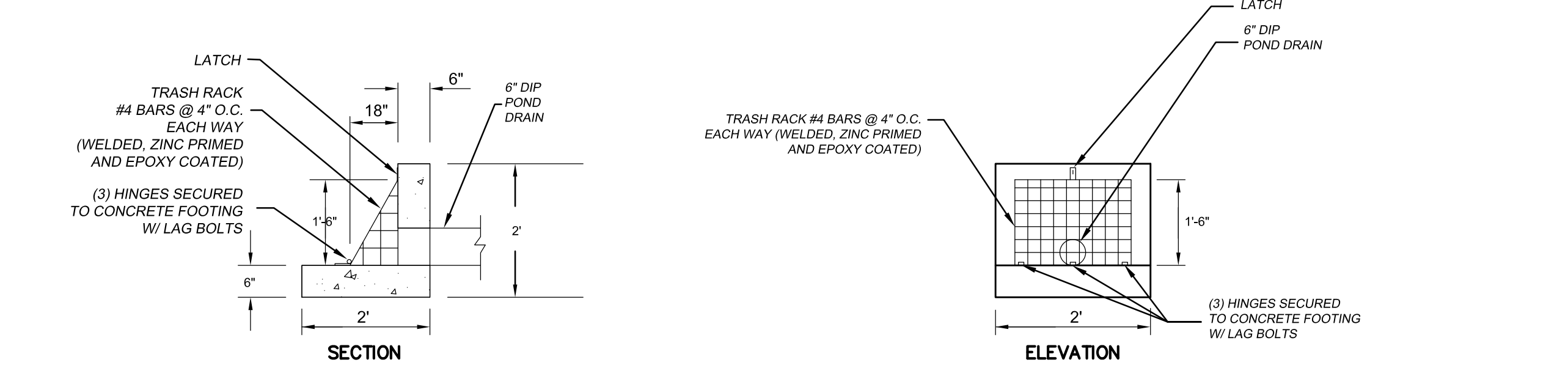
6
AM-4
TRASH RACK (TOP OF BOX) DETAIL
NOT TO SCALE



7
AM-4
CONCRETE ANTI-SEEP COLLAR
NOT TO SCALE



2
AM-4
BMP - DETENTION / WET RECREATIONAL POND #2 CROSS SECTION A-A
NOT TO SCALE



8
AM-4
CONCRETE ANCHOR & TRASH RACK DETAIL
NOT TO SCALE

Project Manager
HN
Drawn By
DL
Checked By
HN
Date
2-22-16
Project Number
13031

No.	Date	By	Description
1	03-16-16	AS/RJ	PER USI 1ST REVIEW COMMENTS
2	04-01-16	AS/RJ	PER USI 2ND REVIEW COMMENTS

NORTH CAROLINA
REGISTERED PROFESSIONAL
C-650
DPR ASSOCIATES, INC.

NORTH CAROLINA
REGISTERED PROFESSIONAL
SEAL
030523
M. K. NGUYEN
04-01-16

DPR Associates, Inc. | 420 Hawthorne Lane | Charlotte, NC 28204
ph. 704.332.1204 | fx. 704.332.1210 | www.dprassociates.net

landscape architecture
planning
civil engineering

AMENITY BMP PLAN & DETAILS

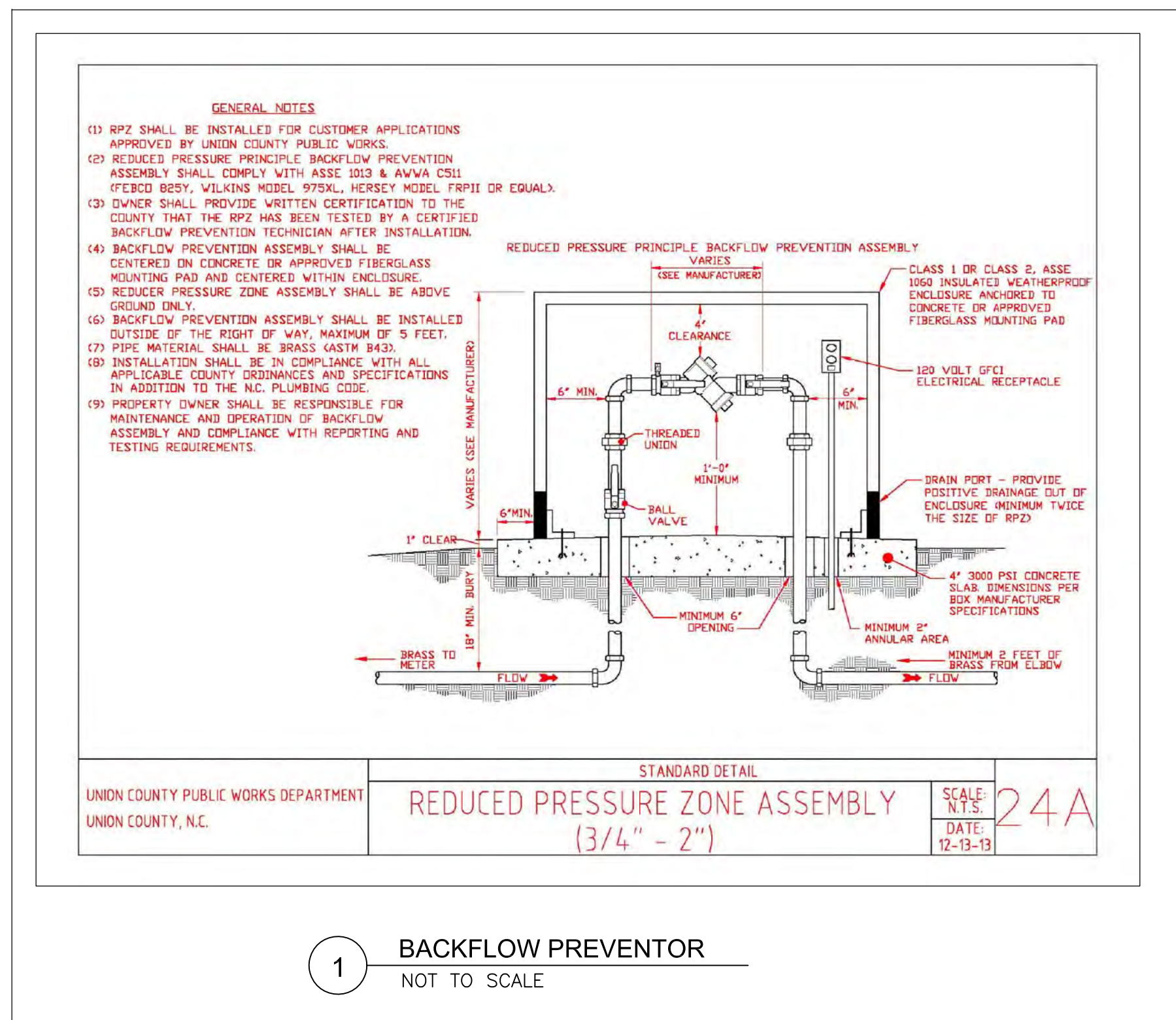
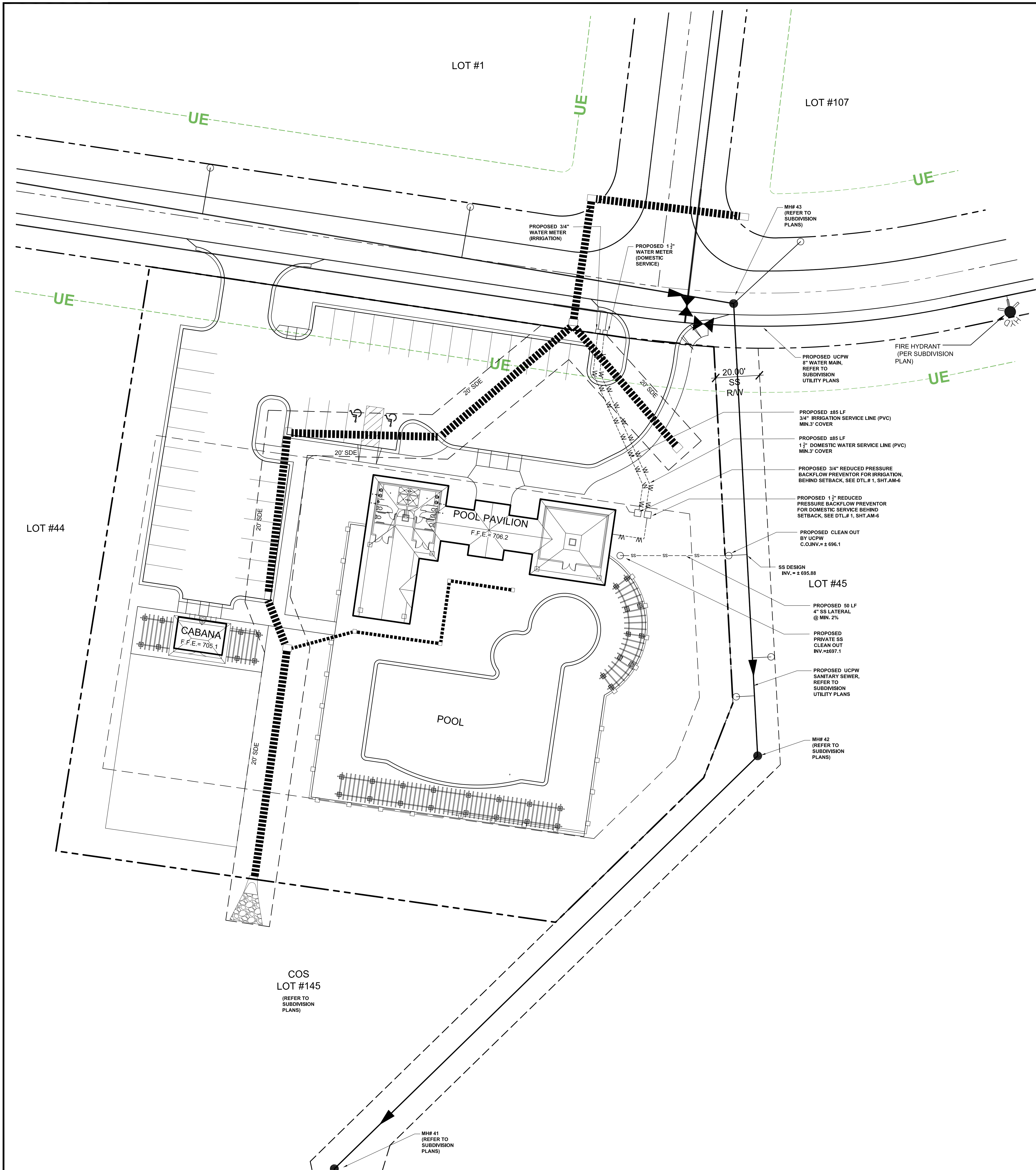
ATHERTON ESTATES AMENITY AREA
WEDDINGTON, UNION COUNTY, NORTH CAROLINA
SHEA ATHERTON, LLC

CLIENT / OWNER:
SHEA ATHERTON, LLC
8008 CORPORATE CENTER DRIVE,
SUITE 4000
CHARLOTTE, NORTH CAROLINA 28226
(704) 602-3307

Scale:
1" = 60'

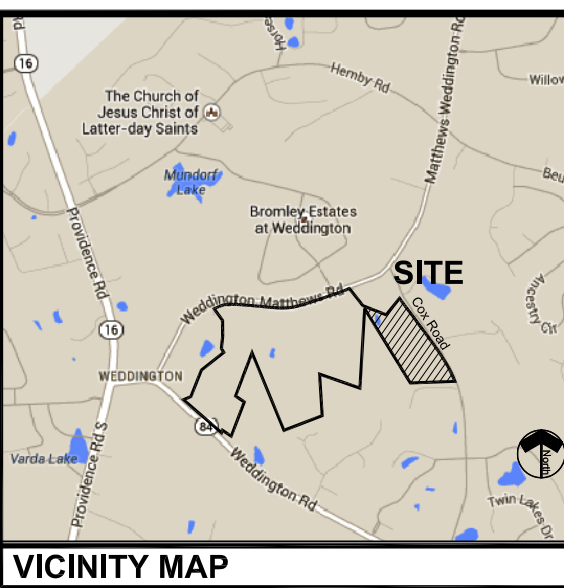
Sheet Number
AM-4
SHEET 1 OF X TOTAL

24

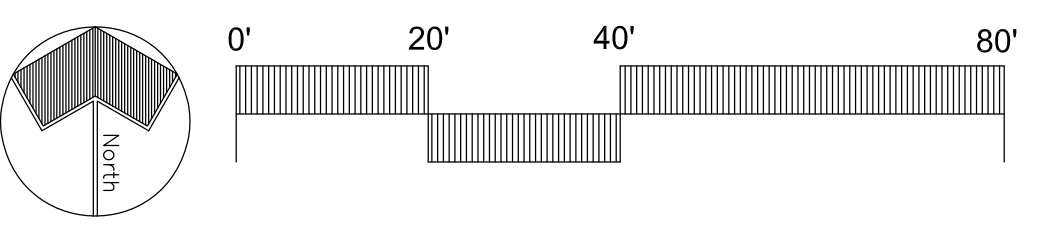


UTILITY NOTES:

- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE UNION COUNTY STANDARDS.
- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL 1-800-632-4949 48 HOURS PRIOR TO COMMENCEMENT OF WORK FOR UTILITY LOCATING SERVICES.
- CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF ANY DRAINAGE STRUCTURES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE DEVELOPER/ CONTRACTOR SHALL MAKE WATER LIVE TAPS AT THE DEVELOPER'S EXPENSE PER UNION COUNTY.
- PERMITTEE SHALL INSTALL AND TEST ALL THE BACKFLOW PREVENTION DEVICES APPROVED BY THE COUNTY. DEVICES SHALL BE TESTED BY A CERTIFIED BACKFLOW PREVENTION TECHNICIAN.
- PERMITTEE SHALL BE RESPONSIBLE FOR ESTABLISHING BUILDING SEWER ELEVATIONS SATISFACTORY TO MEET COUNTY'S TAP LOCATION AND DEPTH AS WELL AS SATISFY NC PLUMBING CODE. IF NECESSARY, PERMITTEE SHALL FURNISH AND OPERATE A LIFT PUMP AS PART OF BUILDING SEWER AT HIS/HER EXPENSE. IT IS THE PERMITTEE'S RESPONSIBILITY TO ARRANGE ON ON-SITE INSPECTION WITH THE UNION COUNTY IF THERE ARE QUESTIONS ABOUT THE LOCATION OR DEPTH LIMITS ON THE COUNTY'S SEWER TAP.
- PERMITTEE SHALL REQUIRE HIS/HER PLUMBER TO DETERMINE IF A BACKWATER VALVE ON BUILDING SEWER OR BUILDING DRAINS ARE REQUIRED IN ACCORDANCE WITH THE NC STATE BUILDING CODE. VOLUME II OR VOLUME VII IF REQUIRED, A BACKWATER VALVE CERTIFICATION TO PLUMBING INSPECTOR THAT PLUMBER HAS DETERMINED ELEVATION OF CLOSEST UPSTREAM MANHOLE OF PUBLIC SEWER IS BELOW THE ELEVATION OF ALL PLUMBING FIXTURES INSTALLED. SEE SITE PLAN FOR LOCATION OF CLOSEST UPSTREAM MANHOLE ON UNION COUNTY PUBLIC SEWER.
- NO METER BOX OR SEWER CLEANOUT SHALL BE LOCATED WITHIN THE DRIVEWAY. ANY CONFLICTS SHALL REQUIRE THE DEVELOPER TO PAY FOR THE SERVICES TO BE RELOCATED BY THE WATER RESOURCES DEPARTMENT.
- ANY GRADING RESULTING IN GRADE CHANGES AROUND FIRE HYDRANTS SHALL REQUIRE FIRE HYDRANTS BE ADJUSTED AT THE DEVELOPER'S/BUILDER'S EXPENSE.
- SEWER CLEANOUTS SHALL BE LOCATED OUTSIDE OF ANY LOW LYING AREAS
- APPLICANT IS TO CALL NC ONE CALL AT 800-632-4949 TO LOCATE ALL UTILITIES PRIOR TO DIGGING. NO PERMANENT STRUCTURES, FENCES, EXTENSIVE LANDSCAPING OR TREES SHALL BE PLACED WITHIN 10-FEET OF A WATER MAIN OR WITHIN 15-FEET OF A SANITARY SEWER MAIN. ANY GRADING RESULTING IN DEPTH OF COVER OVER EXISTING WATER OR SEWER MAINS SHALL REQUIRE WRITTEN APPROVAL FROM WATER RESOURCES DEPARTMENT.
- ANY CONFLICTS WITH EXISTING MAINS OR APPURTENANCES SHALL BE BROUGHT TO THE ATTENTION OF THE WATER RESOURCES ENGINEER FOR REVIEW AND APPROVAL AND RESOLVED AT THE DEVELOPER'S EXPENSE.
- SHOP DRAWINGS OF ALL CONTRACTOR INSTALLED METERS, BACKFLOW DEVICES AND VAULTS MUST BE SUBMITTED TO DPR FOR INITIAL REVIEW AND APPROVAL PRIOR TO INSTALLATION. THEN DPR IS TO SUBMIT 3 SETS OF SHOP DRAWINGS TO UNION COUNTY PUBLIC WORKS ENGINEERING FOR FINAL APPROVAL OF ALL INSTALLED METERS, BACKFLOW DEVICES AND VAULTS. NOT MEETING THE REQUIREMENTS OF UNION COUNTY PUBLIC WORKS STAMPED APPROVED SHOP DRAWINGS SHALL BE REJECTED. FAILURE TO SUBMIT SHOP DRAWINGS OF ALL METERS, BACKFLOW DEVICES AND VAULTS WILL RESULT IN A DELAY IN THE INSPECTION OF THE INSTALLATION AND A DELAY IN OBTAINING THE BUILDING'S CERTIFICATE OF OCCUPANCY. THE PERMITTEE SHALL BE RESPONSIBLE FOR ALL COSTS TO REPLACE UNAPPROVED INSTALLATION OR INSTALLATIONS NOT MEETING ALL REQUIREMENTS.

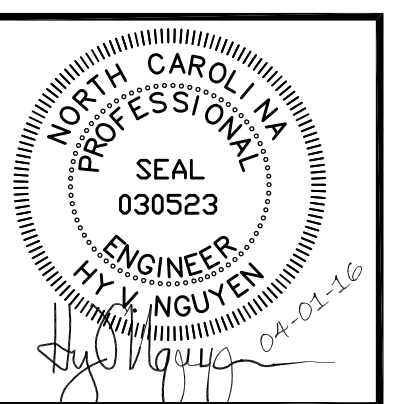


- LEGEND:
- 65 LOT NUMBER
 - PL PROPERTY LINE
 - RIGHT OF WAY LINE
 - LOT LINE
 - PROPOSED SEWER LATERAL
 - PROPOSED SEWER CLEAN OUT
 - PROPOSED WATER LINE



REVISIONS:			
No.	Date	By	Description
1	03-16-16	AS/RJ	PER USI 1ST REVIEW COMMENTS - NO CHANGES THIS SHEET
2	04-01-16	AS/RJ	PER USI 2ND REVIEW COMMENTS - NO CHANGES THIS SHEET

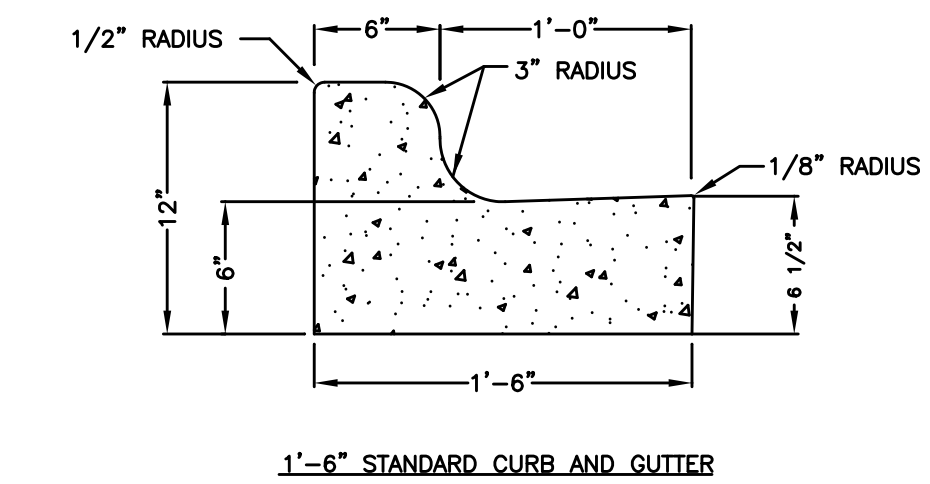
Project Manager HN
Drawn By DL
Checked By HN
Date 2-22-16
Project Number 13031



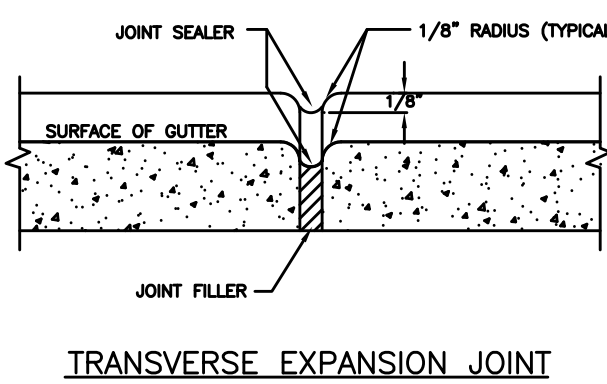
DPR landscape architecture
planning
civil engineering

DPR Associates, Inc. | 420 Hawthorne Lane | Charlotte, NC 28204
ph. 704.332.1204 | fx. 704.332.1210 | www.dprassociates.net

AMENITY UTILITY PLAN		Scale: 1" = 20'
ATHERTON ESTATES AMENITY AREA WEDDINGTON, UNION COUNTY, NORTH CAROLINA SHEA ATHERTON, LLC		Sheet Number AM-5 SHEET X OF X TOTAL
CLIENT / OWNER: SHEA ATHERTON, LLC 8009 CORPORATE CENTER DRIVE, SUITE #300 CHARLOTTE, NORTH CAROLINA 28226 (704) 692-5337		

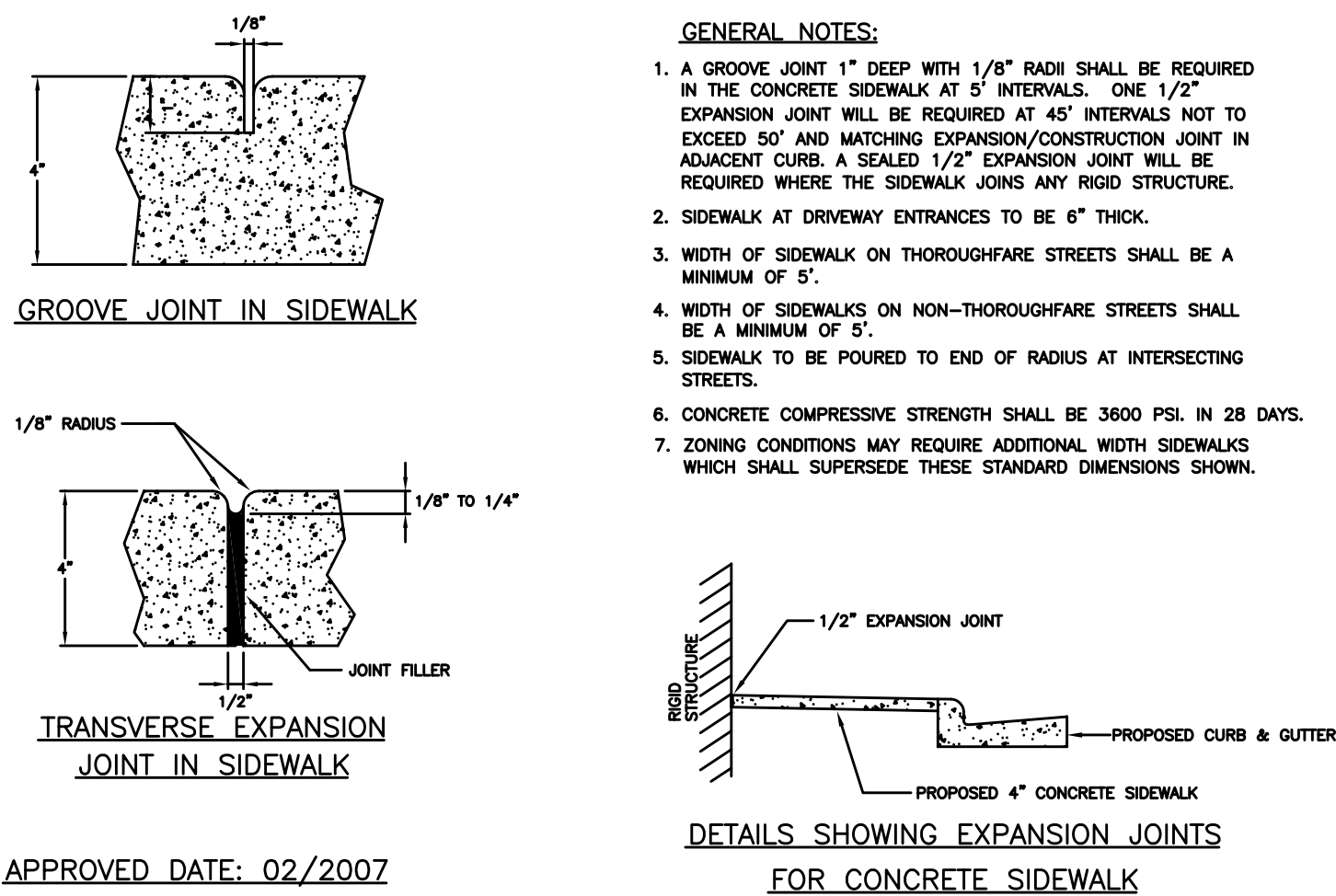


1 STANDARD CURB AND GUTTER
NOT TO SCALE

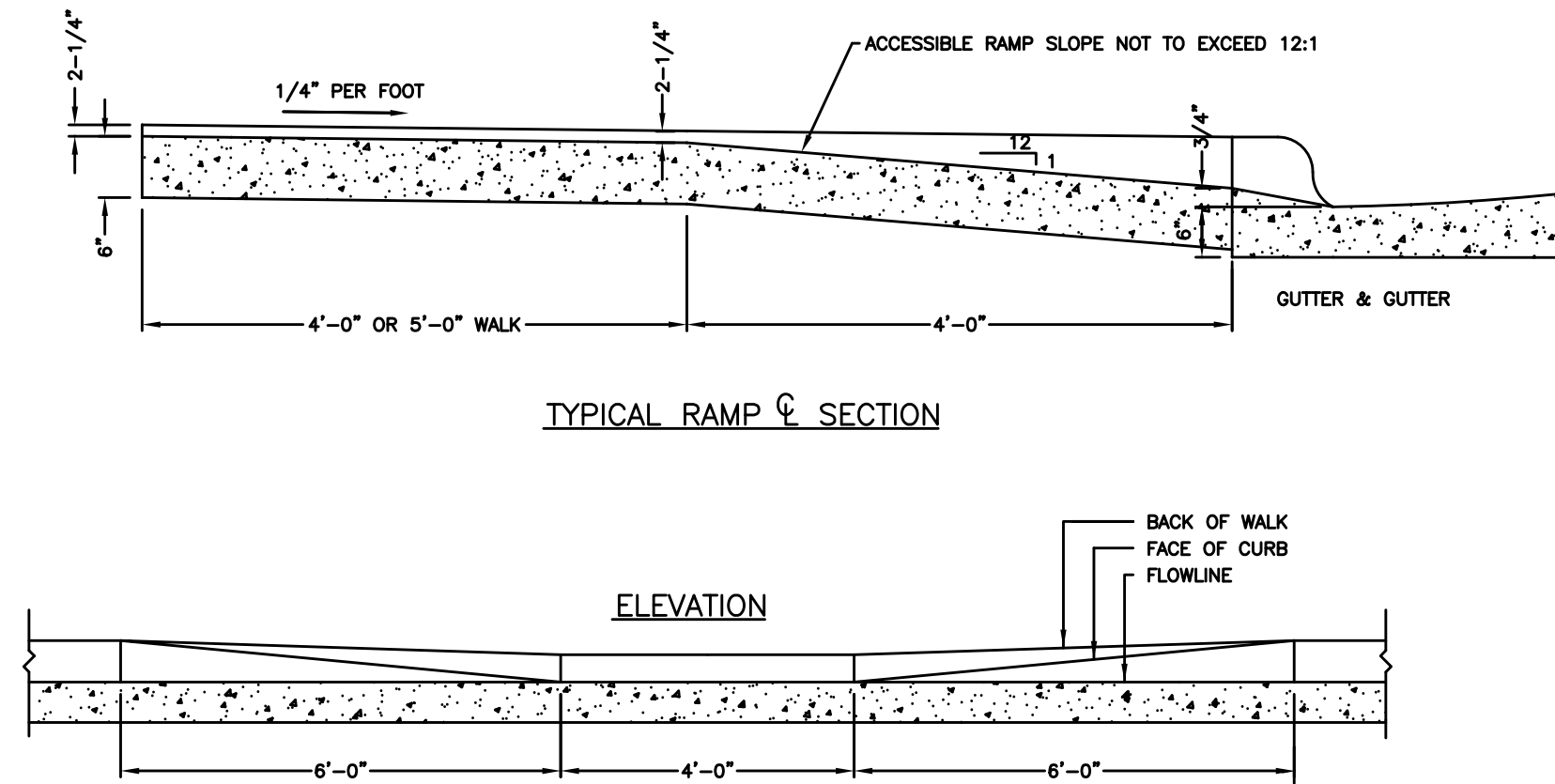


- NOTES:
- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS, FOR VALLEY GUTTER, A 10-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE COUNTY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
 - ALL EXPANSION JOINTS SHALL BE SPACED AT 80-FOOT INTERVALS, AND ADJACENT TO ALL ROAD OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS ON ADJUTING SIDEWALK.
 - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
 - CURB SHALL BE DEPRESSSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
 - TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

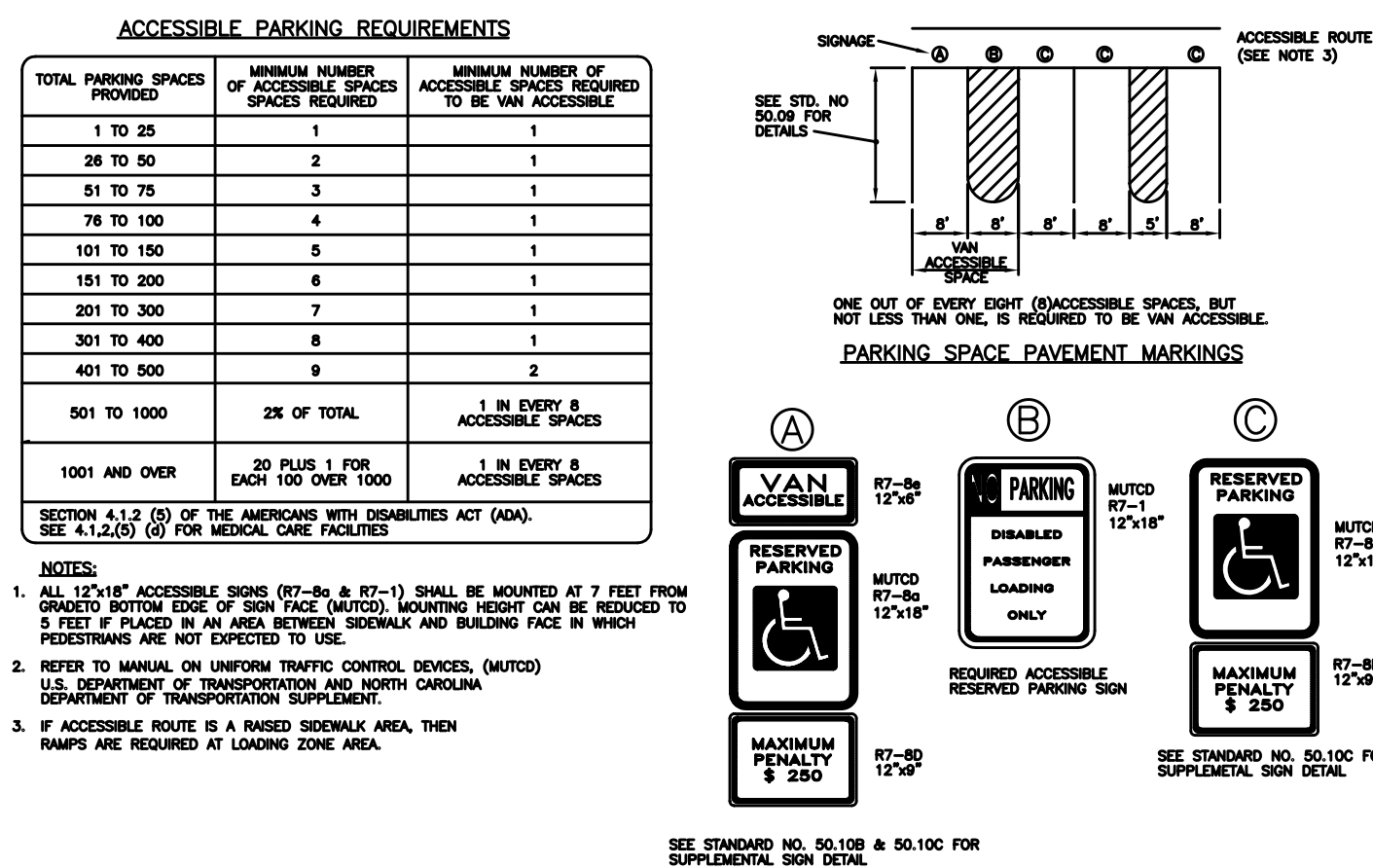
2 CONCRETE CONTRACTION JOINT
NOT TO SCALE



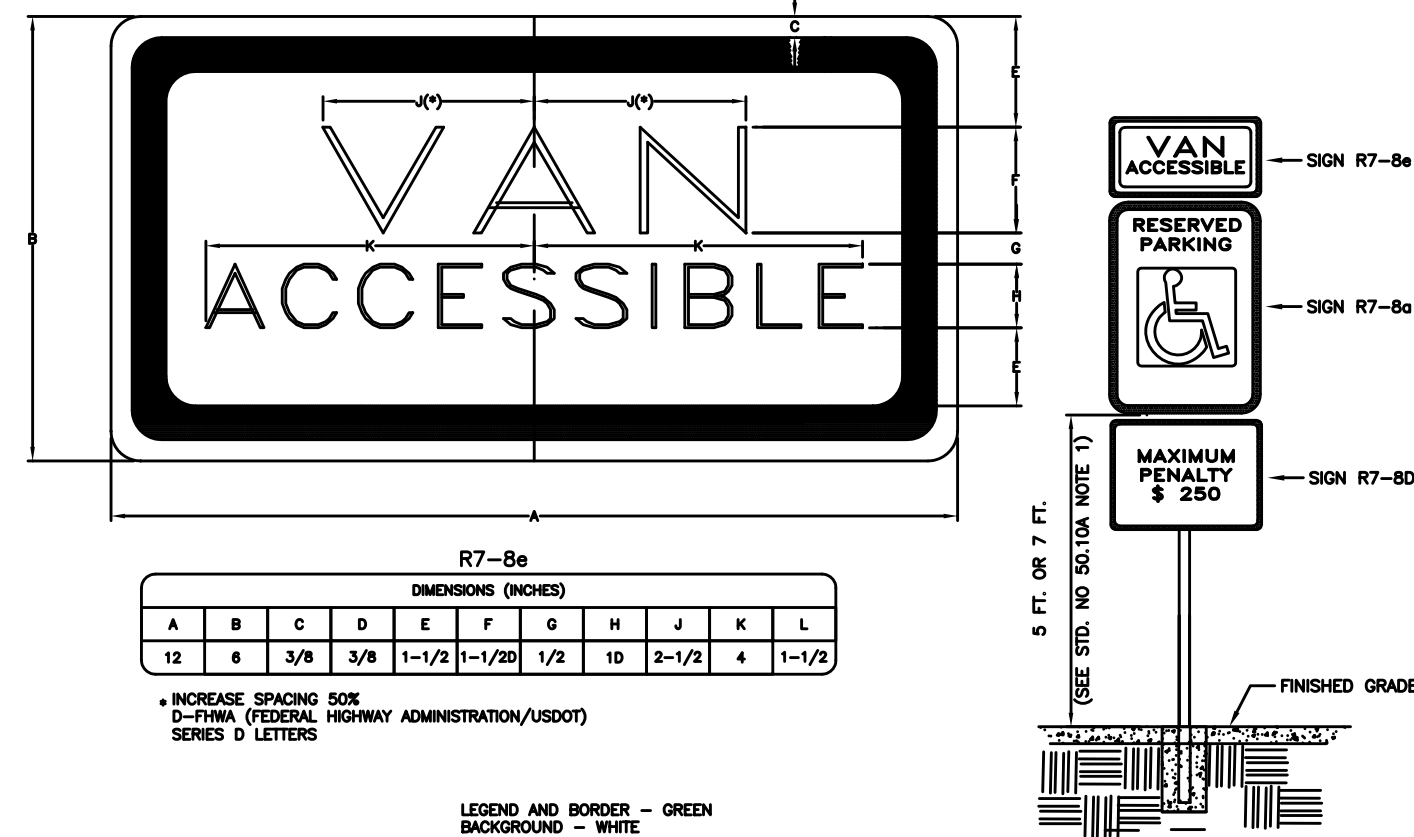
3 CONCRETE SIDEWALK
NOT TO SCALE



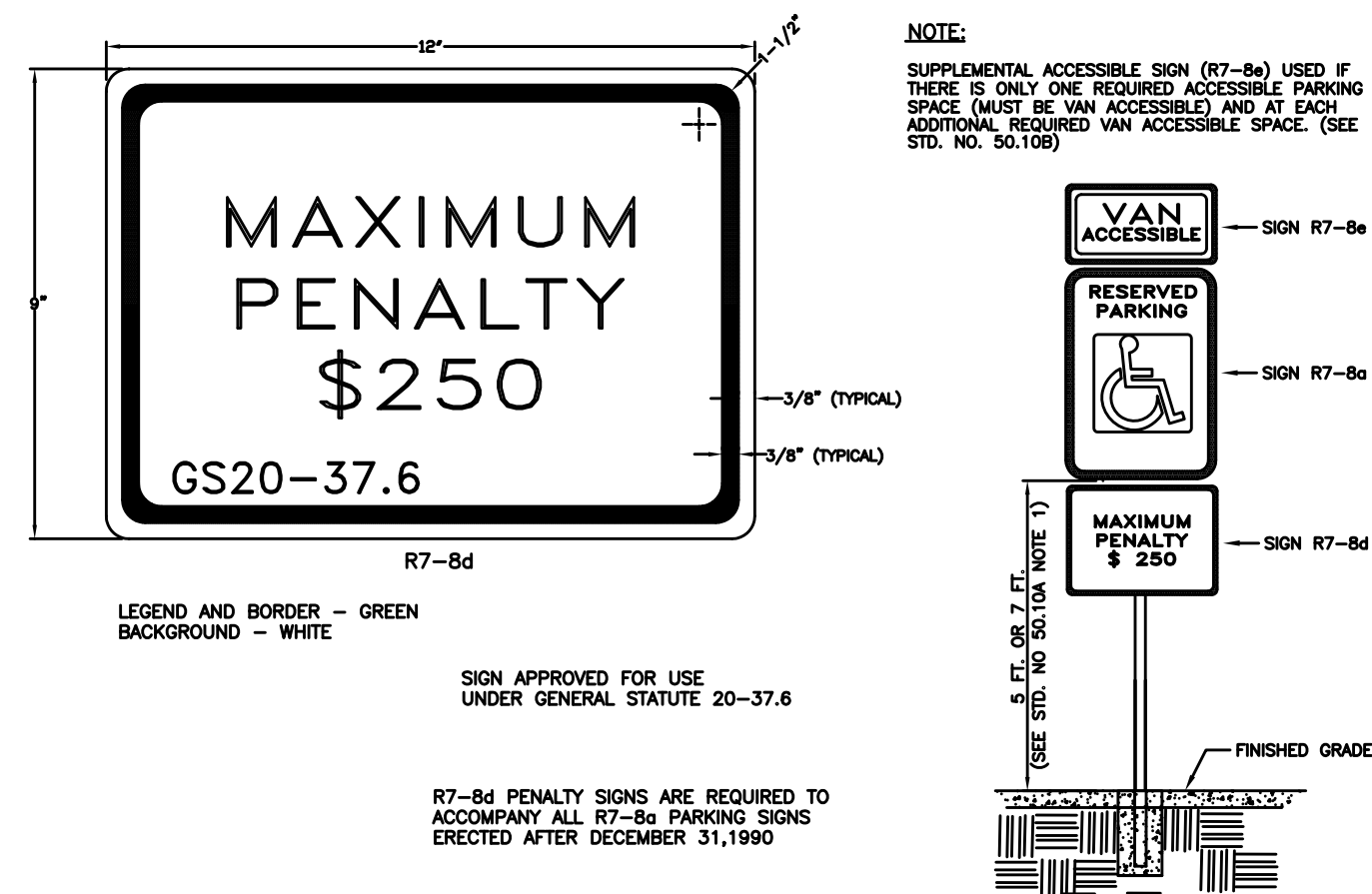
4 ACCESSIBLE RAMP
NOT TO SCALE



5 ACCESSIBLE PARKING AND SIGNAGE STANDARDS
NOT TO SCALE



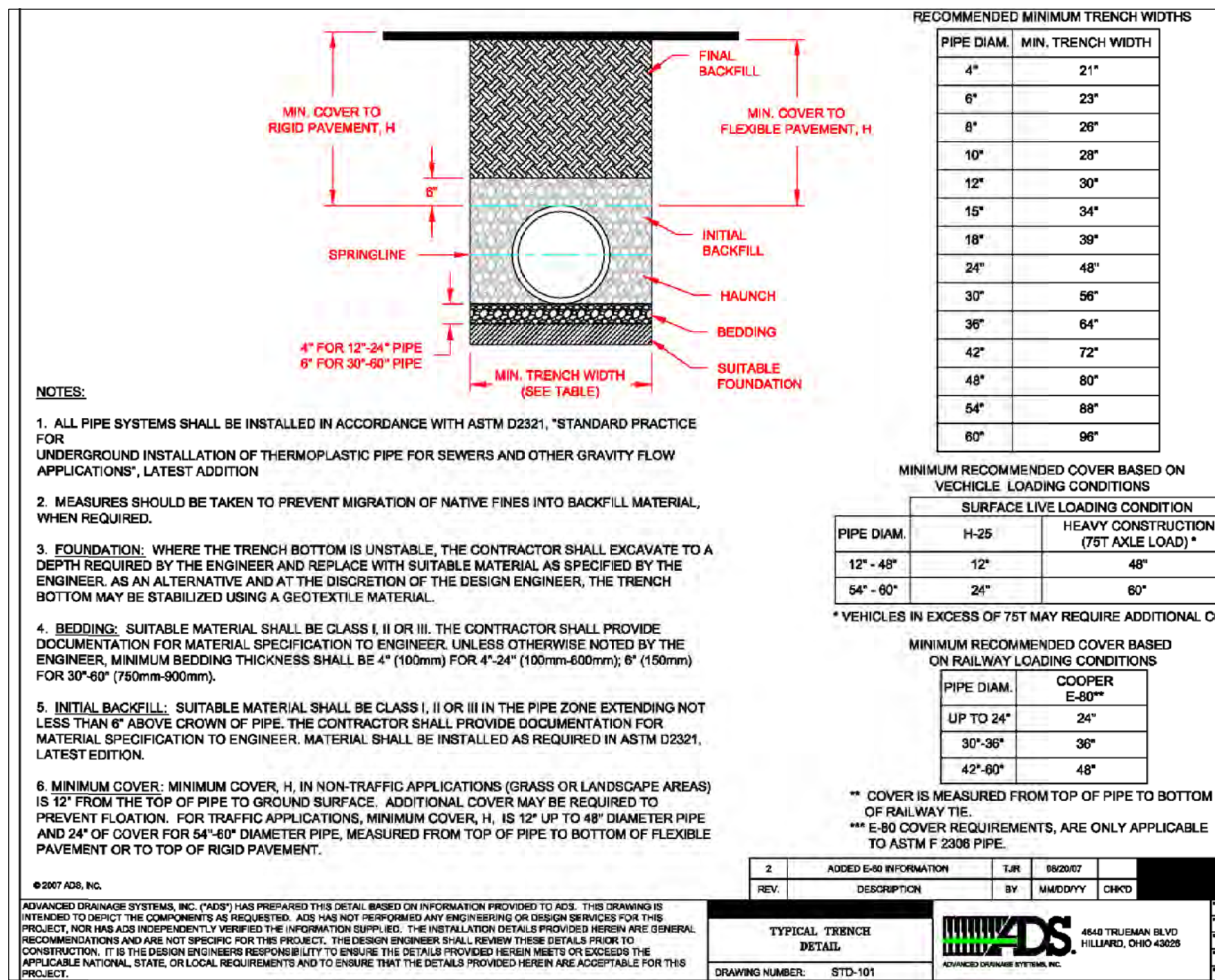
6 SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e)
NOT TO SCALE



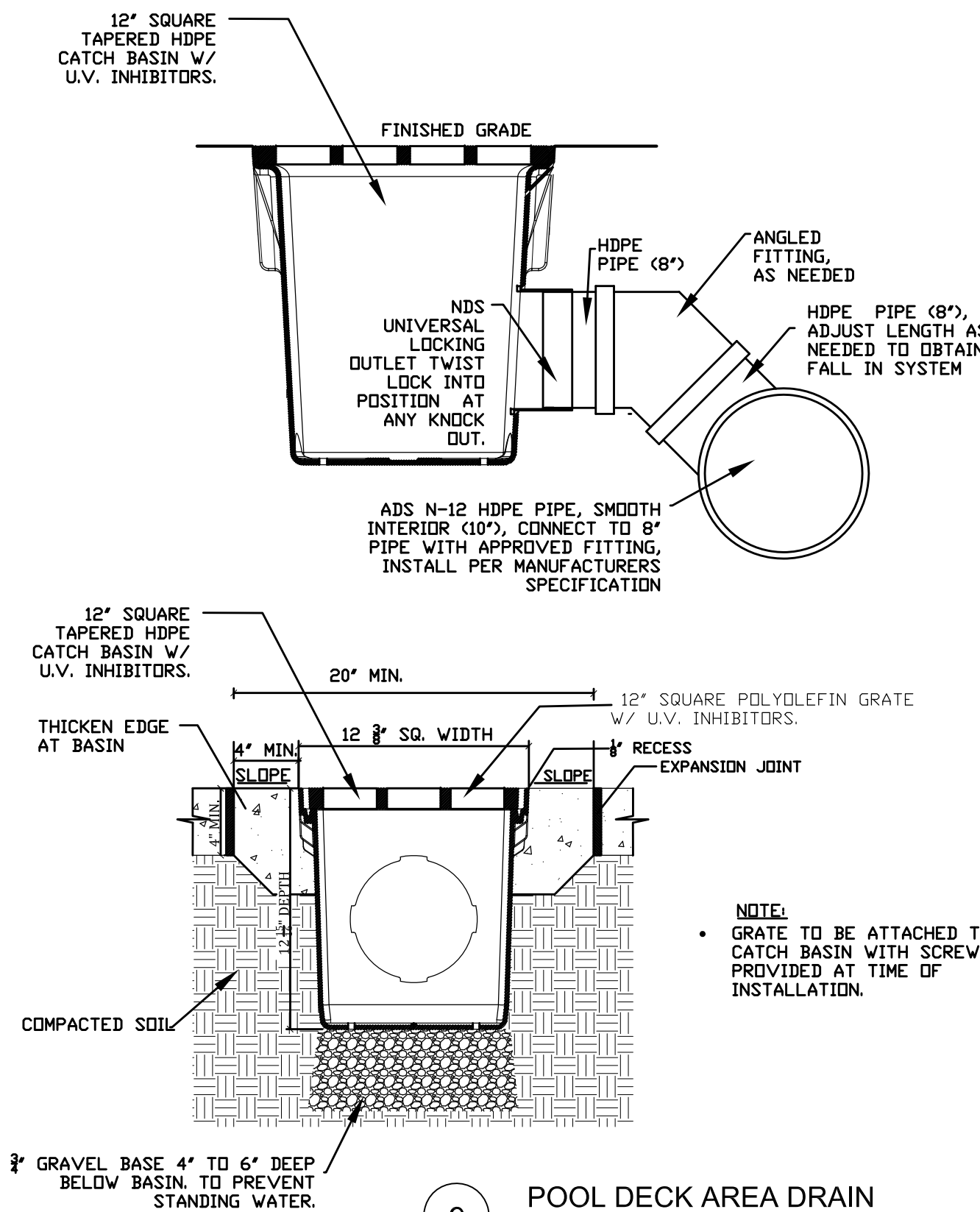
7 SUPPLEMENTAL ACCESSIBLE SIGN (R7-8d)
NOT TO SCALE



8 ASPHALT PAVING - PRIVATE DRIVE & PARKING
NOT TO SCALE



- AREA DRAIN - DRAINAGE NOTES:
- AREA DRAIN PIPE TO BE HDPE PIPE (CORRUGATED EXTERIOR, SMOOTH INTERIOR), INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - AREA DRAINS TO BE PRE-FAB 12" SQUARE TAPERED HDPE CATCH BASIN W/ U.V. INHIBITORS, INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS OF AREA DRAIN DRAINAGE SYSTEM TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.
 - THE LAYOUT DEPICTED ON THE GRADING & STORM DRAINAGE PLANS MAY DIFFER IN THE FIELD BASED ON THE CONDITIONS AT EACH LOT. REFER TO GRADING PLAN FOR GENERAL LAYOUT OF SYSTEM. ALL HDPE PIPE SHALL HAVE A MINIMUM SLOPE OF 1/8%.
 - ROOF DRAINS TO BE TIED INTO THE AREA DRAIN SYSTEM WHEN POSSIBLE (AVOID OVERLAND RELEASE OF ROOF DRAINS).
 - SOME AREAS OF THE SYSTEM MAY NEED TO BE TRANSITIONED FROM 8" TO 10" PIPE. CONTRACTOR TO USE MANUFACTURER APPROVED CONNECTIONS IN THESE SCENARIOS.
 - TEE INTERSECTIONS SHALL INCLUDE CLEAN OUTS WITH ACCESS CAPS SET AT GRADE. "Y" INTERSECTIONS MAY BE USED AND DO NOT NEED CLEANOUTS.



9 POOL DECK AREA DRAIN
NOT TO SCALE

13 SEEDING SPECIFICATION

SEEDBED PREPARATION NOTES:

- ALL PERMETER DITCHES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTION SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION. SURFACE FOR FINAL SEEDBED PREPARATION, AT FINISH GRADES SHOWN, SHALL BE REASONABLY SMOOTH AND UNIFORM.
- IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME ACCORDING TO SEEDING SPECIFICATIONS.
- IF SOIL TEST IS TAKEN, PROVIDE LIME AND FERTILIZER ACCORDING TO SOIL TEST REPORT.
- LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.

SEEDING SCHEDULE

	GENTLE SLOPES	STEEP SLOPES
SEEDING MIXTURE	80 lbs/acre of tall fescue	100 lbs/acre tall fescue 30 lbs/acre Sericea lespedeza (unscarified after August 15) 10 lbs/acre Kobe lespedeza
SEEDING DATES	FALL: August 25 - October Late winter: February 15 - April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.	FALL: August 25 - October 15 Late winter: February 15 - April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10-10-10 fertilizer.	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10-10-10 fertilizer.

SEEDING SCHEDULE

	EARLY SUMMER SEASON	STEEP SLOPES
SEEDING MIXTURE	40 lbs/acre of German millet 80 lbs/acre of tall fescue	120 lbs/acre Rye (grain) 80 lbs/acre tall fescue
SEEDING DATES	May 1 - August 15 Refertilize if growth is not fully adequate.	October 25 - December 30 Between December 30 - February 15, add 50 lbs/acre of annual Kobe lespedeza.
SEEDING AMENDMENTS	Apply 4000 lbs/acre straw or equivalent hydrosedding.	Apply 4000 lbs/acre straw or equivalent hydrosedding.

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

REVISIONS:	No.	Date	By	Description
	1	03-16-16	AS/RJ	PER USI 1ST REVIEW COMMENTS - ADDED SEEDING SPECS
	2	04-01-16	AS/RJ	PER USI 2ND REVIEW COMMENTS - NO CHANGED THIS SHEET

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031

Project Manager	HN
Drawn By	DL
Checked By	HN
Date	2-22-16
Project Number	13031



US INFRASTRUCTURE OF CAROLINA, INC.

CONSULTING ENGINEERS

April 7, 2016

Mr. Julian Burton, Zoning Administrator/Town Planner
Town of Weddington
1924 Weddington Road
Weddington, NC 28104

SUBJECT: Atherton Estates Amenity Center – Final Plan Review
USI Project No. 140209 - 29

Dear Julian:

Final revisions have been made and all review comments have been satisfactorily addressed for the Atherton Estates Amenity site. Therefore, the plans sealed by the designer on April 1, 2016 are recommended for acceptance.

An as-built survey and engineer's certification for the pond improvements should be submitted to the Town upon completion of the work.

If you have any questions, please contact us at 704-342-3007.

Sincerely,

US Infrastructure of Carolina, Inc.

Bonnie A. Fisher, P.E.
Senior Engineer

cc: Hy Nguyen, DPR Associates

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: August 8th, 2016

SUBJECT: Vintage Creek Residential Conservation Subdivision and Conditional Zoning District Final Plat Phase II

Standard Pacific of the Carolinas, LLC submits a final plat application for 40 lots (54.75 acres) of the approved 90 lot Residential Conservation Subdivision on 116.52 acres located on Weddington-Matthews Road.

Application Information:

Subdivision Name: Vintage Creek
Date of Application: June 1st, 2016
Applicant/Developer/Owner Name: Standard Pacific of the Carolinas, LLC
Parcel ID#: 060-90-004
Property Location: Weddington-Matthews Road
Existing Zoning: RCD
Proposed Zoning: RCD (Conservation Subdivision through the Conditional Zoning process)
Existing Land Use: Residential Conservation
Proposed Land Use: Residential Conservation
Existing Use: Vacant Land
Proposed Use: Single Family Residential Subdivision
Map Size: 54.757 acres

Project Information:

The Vintage Creek Subdivision is a proposed 90 lot subdivision on 116.52 acres. The subdivision is located on and accessed by Weddington-Matthews Road and is being developed by Standard Pacific of the Carolinas.

A conservation subdivision must base the number of proposed lots on a yield plan per *Section 46-42 of the Weddington Subdivision Ordinance*. This yield plan must show the number of lots that would be allowed if the tract was developed as a conventional subdivision with 40,000 square foot lots. The Vintage Creek yield plan yielded 90, 40,000 square foot lots. Conservation subdivisions shall

be density neutral (same number of lots as would be permitted in a conventional subdivision). The site is 0.77 dwelling units per acre.

Background Information:

- A pre-sketch conference was held on December 14, 2011 and June 18, 2012.
- A site walk occurred on-site May 3, 2012.
- Public Involvement Meetings were held on Monday, July 9th on-site from 2:00-4:00pm and Wednesday, July 11th at Town Hall from 6:00-8:00pm.
- The Planning Board approved the Sketch Plan on July 23, 2012.
- The Planning Board gave a unanimous favorable recommendation of the Preliminary Plat on March 25, 2013.
- The Town Council approved the preliminary plat on June 10th, 2013.
- Final Plat Phase I was approved on December 8th, 2014.

Phase 2

- Phase 2 is 40 lots (54.757 acres)
- Development Standards are as follows:
 - Front Yard Setback: 30'
 - Side Yard Setback: 5' (30' separation between principal buildings)
 - Side Corner Setback: 15' (with street frontage)
 - Rear Setback: 20'
- Smallest Lots: 43-45, 75-79, 90, 91 at 13,500 square feet.
- Phase II is to be served by Union County Public Water and Sewer.

Amanda Drive

The following condition was placed on the preliminary plat approval in 2013:

“The Applicant commits to the construction of the extension of Amanda Drive, east of the roundabout proposed within Phase II, within thirty (30) days following written notice from the Town that development is occurring on the adjacent property (Parcel Tax ID# 06093007-Deed Book 3741 Page 317). Applicant agrees that in lieu of the Amanda Drive extension construction, Applicant may fund through the establishment of an escrow account all costs for the construction of the Amanda Drive extension. The escrow account funds shall be established commensurate with the filing of the first plat within Phase II of the Vintage Creek subdivision and shall be used to construct the Amanda Drive extension. The escrow account funds shall be based on the Town’s engineers’ estimated cost to construct the Amanda Drive extension and shall be based on the projected construction date. The escrow amount shall be established by the Town and approved by the Weddington Town Council.”

US Infrastructure approved the bond amounts for the construction of Amanda Drive, and the bond instrument was delivered to the Town of Weddington for the approved amount.

Additional Information

- USI provided final approval for the construction documents
- Declared Covenants, Conditions, and Restrictions (CCR's) were approved by the Town attorney.
- Bond instruments for a majority Phase II have been delivered to the Town (US Infrastructure approved the bond amounts). An additional bond (or proof of construction) will be required to cover the construction of the connection with existing Amanda Drive (See Condition 4).

Recommended Conditions of Approval:

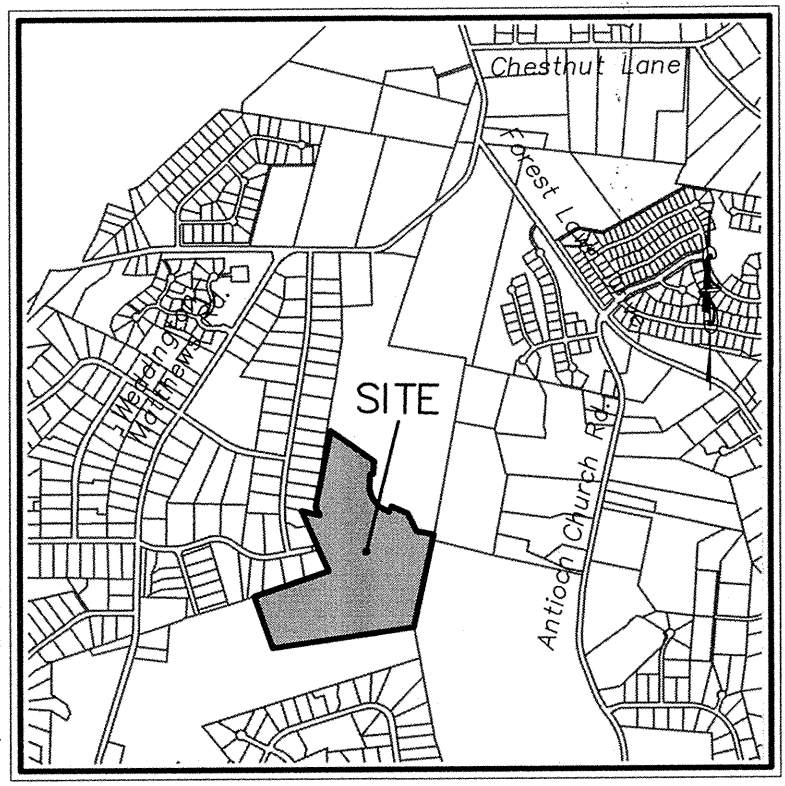
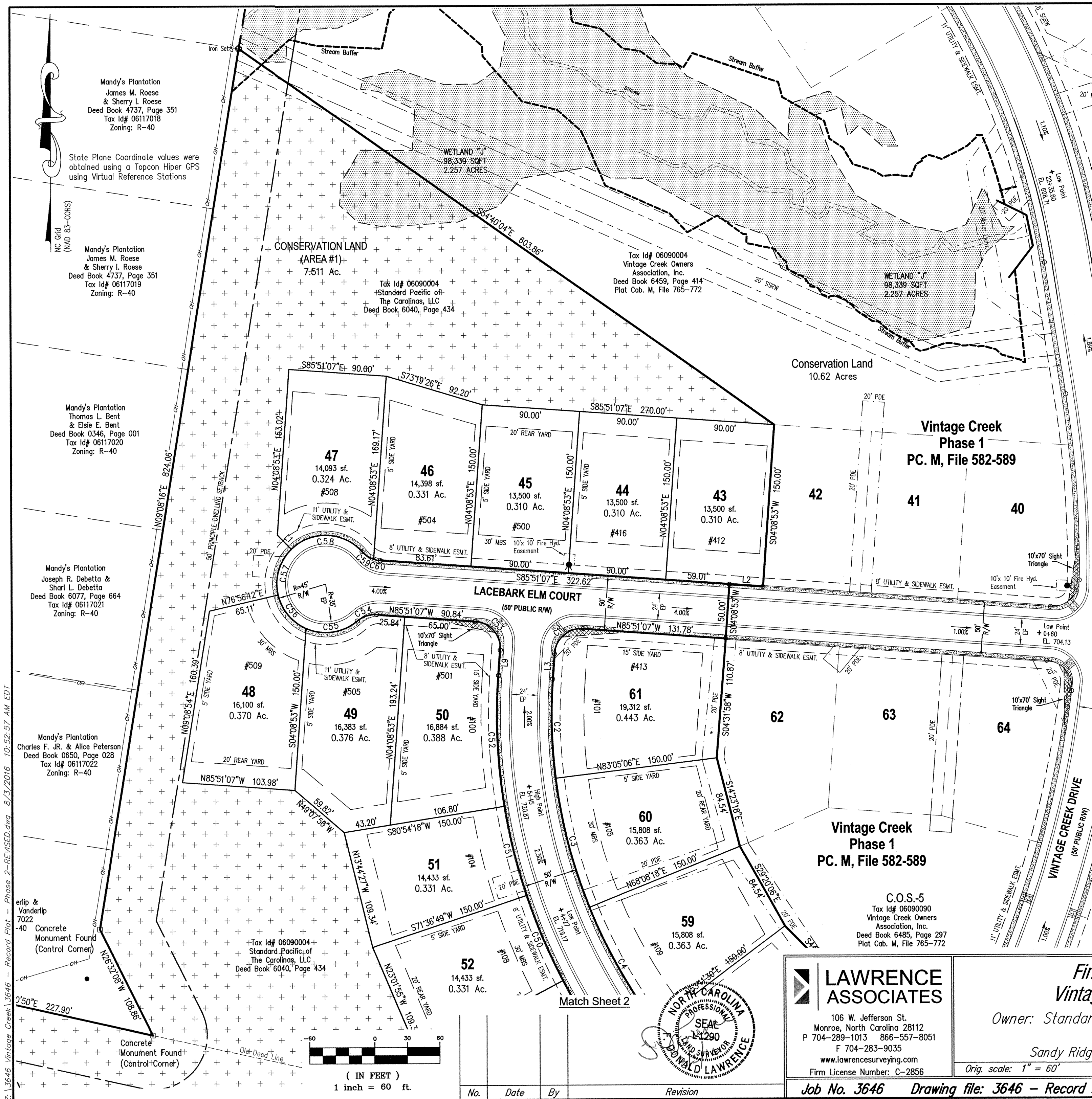
1. Each remaining lot to be recorded in the Vintage Creek subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not the responsibility of the Town of Weddington and shall be maintained by the Vintage Creek Homeowners Association or its Developer.
2. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.
3. Coordinate with USPS and DOT to provide cluster mailboxes within subdivision.
4. Bond or proof of construction submitted to Town to cover the connection with existing Amanda Drive.

Planning Board Action:

Recommended approval with Conditions (unanimous)

Town Council Action:

Approve/Approve with Conditions/Deny



Vicinity Map (NTS)

Ownership of all Common Open Space (COS) and Conservation Land shall be retained by Standard Pacific of The Carolinas, LLC until such time as a Homeowners Association (HOA) entity has been created. Ownership will be conveyed to that HOA entity upon it's creation.

Site Data:
Parcel ID: 06-090-004, 06-093-007A & 06-093-011
Zoning: R-CD (Town of Weddington)
Total Lots: 40
Smallest Lot: Lots 43-45, 75-79, 90 & 91 (13,500 sf.)
Street Data: 3,819 LF
Total Area This Map: 54,757 Ac.
Area in Right of way: 4,537 Ac.
Area in Lots: 13,924 Ac.
Area in COS: 5,655 Ac.
Area in Conservation Land: 29,437 Ac.
Minimum Lot Size: 12,000 sf.
Minimum Lot Width: 80' (Measured at Setback)
Yard Requirements:
Front Yard Setback: 30' (Measured from Street R/W)
Side Yard Setback: 5' (30' Separation for Principal Buildings)
Side Corner Setback: 15' (With Street Frontage)
Rear Yard Setback: 20'

Note: Roadway Horizontal/Vertical Alignment and Grades were taken from design plans, not asbuilt data.

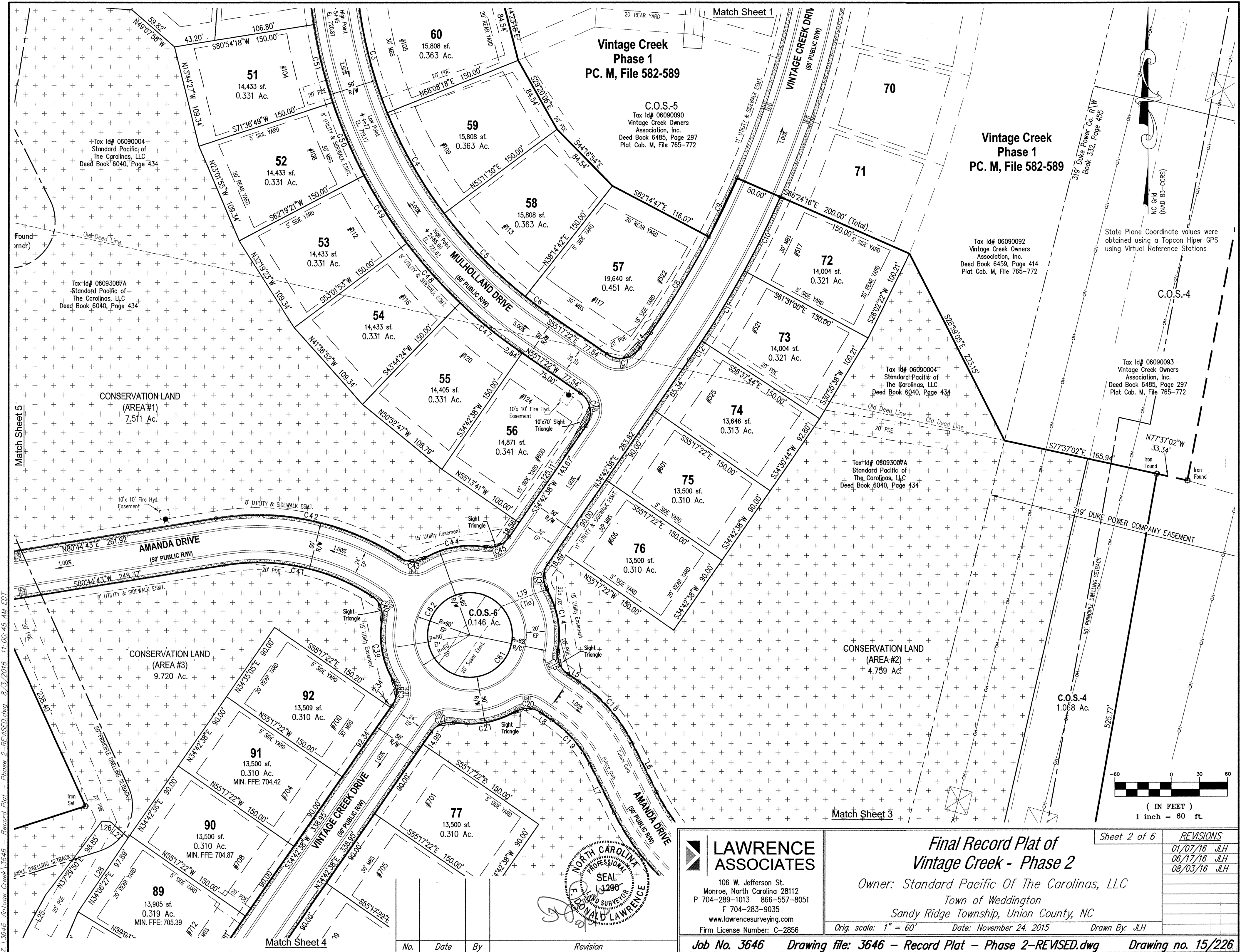
Owner Information:
Standard Pacific Of The Carolinas, LLC
6701 Carmel Road
Suite 425
Charlotte, NC 28226
Ph. 704-519-6193
Contact: Trey McDaniel
Engineer:
ESP Associates, P.A.
3475 Lakemont Blvd.
Fort Mill, SC 29708
Ph. 803-802-2440
Contact: Danis Simmons, PE

LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

**Final Record Plat of
Vintage Creek - Phase 2**
Owner: Standard Pacific Of The Carolinas, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC
Orig. scale: 1" = 60' Date: November 24, 2015 Drawn By: JLH

REVISIONS	
01/07/16	JLH
06/17/16	JLH
08/03/16	JLH

Job No. 3646 Drawing file: 3646 - Record Plat - Phase 2-REVISED.dwg Drawing no. 15/226



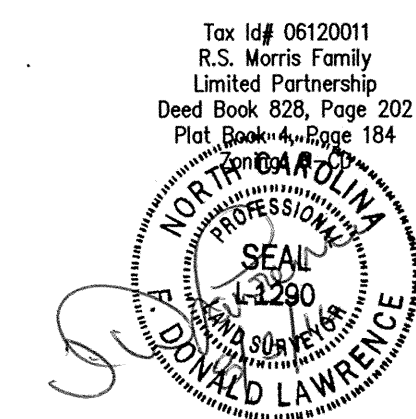
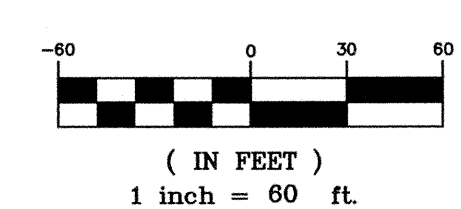
Z:\3646 Vintage Creek\3646 - Record Plat - Phase 2-REVISED.dwg 8/23/2016 11:00:45 AM EDT

 LAWRENCE ASSOCIATES 106 W. Jefferson St. Monroe, North Carolina 28112 P 704-289-1013 866-557-8051 F 704-283-9035 www.lawrencesurveying.com Firm License Number: C-2856	Final Record Plat of Vintage Creek - Phase 2 Owner: Standard Pacific Of The Carolinas, LLC Town of Weddington Sandy Ridge Township, Union County, NC Orig. scale: 1" = 60' Date: November 24, 2015 Drawn By: JLH	Sheet 2 of 6	REVISIONS 01/07/16 JLH 06/17/16 JLH 08/03/16 JLH
	Job No. 3646 Drawing file: 3646 - Record Plat - Phase 2-REVISED.dwg Drawing no. 15/226		



Z:\3646 Vintage Creek\3646 - Phase 2-REVISED.dwg 8/3/2016 10:54:05 AM EDT

Tax Id# 06120011
R.S. Morris Family
Limited Partnership
Deed Book 828, Page 202
Plat Book 4, Page 184
Zoning: R-CD



LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

**Final Record Plat of
Vintage Creek - Phase 2**
Owner: Standard Pacific Of The Carolinas, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC
Orig. scale: 1" = 60' Date: November 24, 2015 Drawn By: JLH

Sheet 3 of 6		REVISIONS
		01/07/16 JLH
		06/17/16 JLH
		08/03/16 JLH

Job No. 3646 Drawing file: 3646 - Record Plat - Phase 2-REVISED.dwg Drawing no. 15/2226

Z:\3646 Vintage Creek\3646 - Record Plat - Phase 2-REVISED.dwg 8/13/2016 10:54:05 AM EDT

Theodore B. Davis III
& Linda W. Davis
Deed Book 0395, Page 486
Tax Id# 06117029 & 029A
Zoning: R-40

LOT 22
Ritter Grading &
Landscaping Inc.
Deed Book 0365, Page 068
Tax Id# 06117028
Zoning: R-40

LOT 21
Clarence M. Ritter
Deed Book 0401, Page 121
Tax Id# 06117027
Zoning: R-40

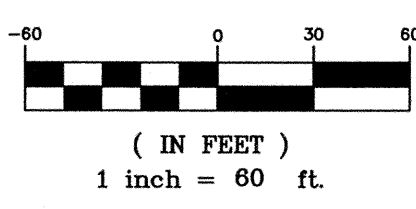
Tax Id# 06093007A
Standard Pacific of
The Carolinas, LLC
Deed Book 6040, Page 434

Tax Id# 06093011
Standard Pacific of
The Carolinas, LLC
Deed Book 6040, Page 434

Tax Id# 06120011
R.S. Morris Family
Limited Partnership
Deed Book 828, Page 202
Plat Book 4, Page 184
Zoning: R-CD

NC Grid
(NAD 83-CORS)

State Plane Coordinate values were
obtained using a Topcon Hiper GPS
using Virtual Reference Stations



No.	Date	By	Revision

LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrencesurveying.com
Firm License Number: C-2856

Final Record Plat of Vintage Creek - Phase 2		Sheet 4 of 6	REVISIONS
Owner: Standard Pacific Of The Carolinas, LLC			01/07/16 JLH
Town of Weddington			06/17/16 JLH
Sandy Ridge Township, Union County, NC			08/03/16 JLH
Orig. scale: 1" = 60'		Date: November 24, 2015	Drawn By: JLH
Job No. 3646		Drawing file: 3646 - Record Plat - Phase 2-REVISED.dwg	Drawing no. 15/226

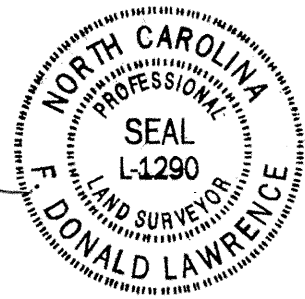
Flood Certification
I have examined the Flood Insurance Rate Map for Union County North Carolina, Community Panel Number 3710447600J, dated October 16, 2008 and hereby certify that this property is not located in a special flood hazard area as determined by the Federal Emergency Management Agency.

Use of land within a flood way or flood plain is substantially restricted by Article XXIV of the Union County Land Use Ordinance.

Certificate of Survey and Accuracy
State of North Carolina, Union County
I, F. Donald Lawrence, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed recorded in Book and Page as shown); that the boundaries not surveyed are clearly indicated as dashed lines drawn from adjoining owners deeds as shown; that the ratio of precision as calculated is 1:10,000 or better; that this plat was prepared in accordance with G.S. 47-30 as amended.

This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
Witness my original signature, registration number and seal this the

3 day of Aug, A.D., 2015
F. Donald Lawrence
F. Donald Lawrence, NCPLS L-1290



I, _____, a duly registered Professional Engineer, licensed in the State of North Carolina, do hereby certify that the drainage easements shown on this plat are sufficient to carry the 100 year storm runoff within the easement limits as shown.

N.C.P.E. # _____

Date: _____
(Signature and Seal)

Certificate of Ownership and Dedication

I hereby certify that I am the owner of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Weddington and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicated all streets, alleys, walks, and other sites and easements to public or private use as noted.

Date _____
Signature of owner(s) _____

Certificate of approval of the design and installation of streets, utilities, and other required improvements.

I hereby certify that all streets and other required improvements have been installed in as acceptable manner and according to NC Department of Transportation and/or Town of Weddington specifications and standards in the Vintage Creek Subdivision or that guarantees the installation of the required improvements in an amount and manner satisfactory to the Town of Weddington have been given and received.

Mayor of the Town of Weddington, North Carolina Date

Certificate of Approval

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Weddington, North Carolina and that this plat has been approved by the Weddington Town Council for recording in the Office of the Register of Deeds of Union County, North Carolina.

This ____ day of _____, 2008.

Mayor of the Town of Weddington, North Carolina

NOTES

REBAR SET AT ALL CORNERS UNLESS NOTED OTHERWISE.

AREAS COMPUTED USING COORDINATE GEOMETRY.

THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. SURVEY SUBJECT TO FULL TITLE SEARCH.

THIS PROPERTY MAY BE SUBJECT TO RIGHT OF WAYS, EASEMENTS OR RESTRICTIONS EITHER RECORDED OR IMPLIED.

ALL ADJOINING PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".

ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES

LAWRENCE ASSOCIATES MAKES NO GUARANTEES TO THE COMPACTION OR TO THE NONEXISTENCE OF ADDITIONAL SPOILS AREAS.

BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.

STRUCTURES SHOWN ON ADJOINING PROPERTIES WERE TAKEN FROM ENGINEERING PLANS BY OTHERS AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LAWRENCE ASSOCIATES MAKES NO GUARANTEE TO THE ACCURACY OF THEIR LOCATION.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N44°19'26"W	18.31
L2	N85°51'07"W	30.99
L3	S04°08'53"W	23.50
L4	N34°42'38"E	20.15
L5	S55°17'22"E	14.16
L6	N26°23'37"W	57.44
L7	N26°23'37"W	57.44
L8	N55°17'22"W	14.16
L9	N04°08'53"E	23.50
L10	S34°42'38"W	90.00
L11	S34°42'38"W	3.50
L12	S31°34'08"W	81.18
L13	S31°34'08"W	3.07
L14	S10°49'14"E	70.42
L15	S10°49'14"E	2.28
L16	S21°08'10"E	77.34
L17	S01°19'25"W	62.13
L18	S15°00'00"E	51.44
L19	S69°33'38"W	51.77

LINE TABLE		
LINE	BEARING	LENGTH
L20	S56°26'15"W	19.48
L21	N11°21'01"W	18.64
L22	S67°04'05"W	8.09
L23	N43°27'18"W	12.28
L24	N48°07'20"E	13.18
L25	N28°36'47"E	43.29
L26	S86°04'02"E	8.90
L27	S48°07'28"E	25.38
L28	S34°06'27"W	94.79
L29	S72°17'57"E	67.80
L30	N34°56'27"E	43.60
L31	S25°21'46"E	15.49
L32	S12°14'59"W	53.25
L33	N58°21'25"W	26.49
L34	S40°47'59"W	89.69
L35	N12°21'38"W	45.23
L36	N82°47'51"W	26.13
L37	N69°49'19"W	18.35

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG.	CHORD DIST.
C1	39.27	25.00	S49°08'53"W	35.36
C2	91.72	475.00	S01°23'00"E	91.57
C3	123.91	475.00	S14°23'18"E	123.56
C4	123.91	475.00	S29°20'06"E	123.56
C5	123.91	475.00	S44°16'54"E	123.56
C6	29.30	475.00	S53°31'20"E	29.30
C7	39.27	25.00	N79°42'38"E	35.36
C8	119.83	975.00	N31°11'23"E	119.75
C9	69.32	975.00	N25°37'56"E	69.30
C10	87.44	1025.00	N26°02'22"E	87.41
C11	87.44	1025.00	N30°55'38"E	87.41
C12	23.96	1025.00	N34°02'27"E	23.96
C13	28.53	25.00	S02°01'22"W	27.00
C14	67.57	95.00	N10°17'22"W	66.15
C15	28.53	25.00	S22°36'06"E	27.00
C16	88.26	175.00	N40°50'30"W	87.32
C17	180.59	205.00	S51°37'50"E	174.81
C18	224.64	255.00	S51°37'50"E	217.44
C19	63.04	125.00	N40°50'30"W	62.37
C20	28.53	25.00	N87°58'38"W	27.00
C21	67.57	95.00	N79°42'38"E	66.15
C22	28.53	25.00	S67°23'54"W	27.00
C23	68.35	275.00	S27°35'26"W	68.17
C24	170.69	275.00	S02°41'21"W	167.96
C25	7.89	275.00	S15°54'50"E	7.89
C26	21.13	25.00	S40°57'15"E	20.51
C27	46.25	45.00	N35°43'58"W	44.24
C28	15.29	45.00	N03°26'36"E	15.22
C29	54.00	45.00	N47°33'23"E	50.82
C30	54.00	45.00	S63°41'19"E	50.82
C31	41.43	45.00	S02°56'08"E	39.98
C32	18.05	25.00	N02°45'41"E	17.66
C33	29.93	325.00	S15°16'44"E	29.92
C34	82.39	325.00	S05°22'41"E	82.17
C35	82.39	325.00	S09°08'52"W	82.17
C36	82.39	325.00	S23°40'24"W	82.17
C37	21.41	325.00	S32°49'24"W	21.41
C38	28.53	25.00	N02°01'22"E	27.00
C39	67.43	95.00	S10°19'48"E	66.03
C40	29.47	25.00	N23°46'01"W	27.79
C41	163.82	225.00	N78°23'49"W	160.22
C42	203.71	275.00	N78°02'00"W	199.09
C43	27.89	25.00	S88°45'59"E	26.46
C44	67.66	95.00	S79°40'58"W	66.24
C45	28.53	25.00	N67°23'54"E	27.00
C46	39.27	25.00	N10°17'22"W	35.36
C47	82.74	525.00	S50°46'29"E	82.65
C48	85.14	525.00	S41°36'52"E	85.04
C49	85.14	525.00	S32°19'23"E	85.04
C50	85.14	525.00	S23°01'55"E	85.04
C51	85.14	525.00	S13°44'27"E	85.04
C52	121.35	525.00	S02°28'25"E	121.08
C53	39.27	25.00	N40°51'07"W	35.36
C54	19.38	25.00	S71°56'25"W	18.90
C55	50.36	45.00	N81°47'39"E	47.77
C56	41.69	45.00	S39°36'14"E	40.21
C57	46.13	45.00	S16°18'23"W	44.14
C58	72.95	45.00	N87°52'49"W	65.22
C59	12.92	25.00	S56°14'27"E	12.78
C60	6.46	25.00	S78°26'54"E	6.44
C61	121.20	45.00	N34°42'38"E	87.75
C62	161.54	45.00	S34°42'38"W	87.75
C63	86.00	51.87	S66°15'37"E	76.48
C64	70.45	79.41	S32°55'37"W	68.16
C65	78.04	77.80	S15°46'25"E	74.81
C66	76.01	34.16	N53°24'43"W	61.27
C67	59.47	33.10	N64°50'59"E	51.79

State of North Carolina
County of Union

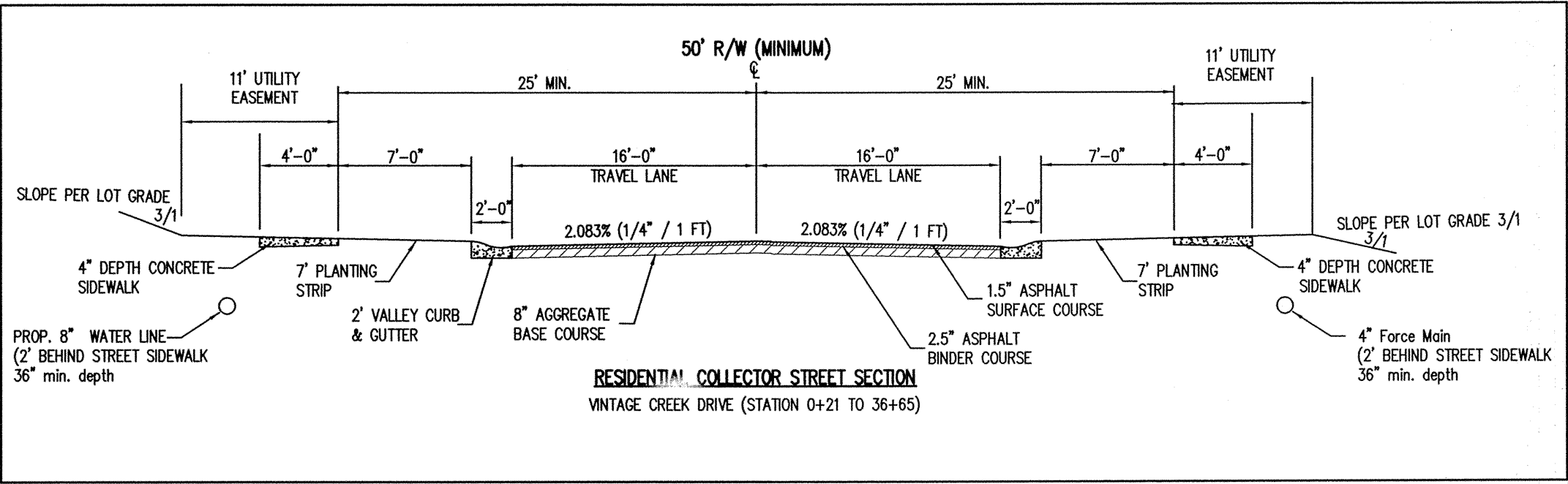
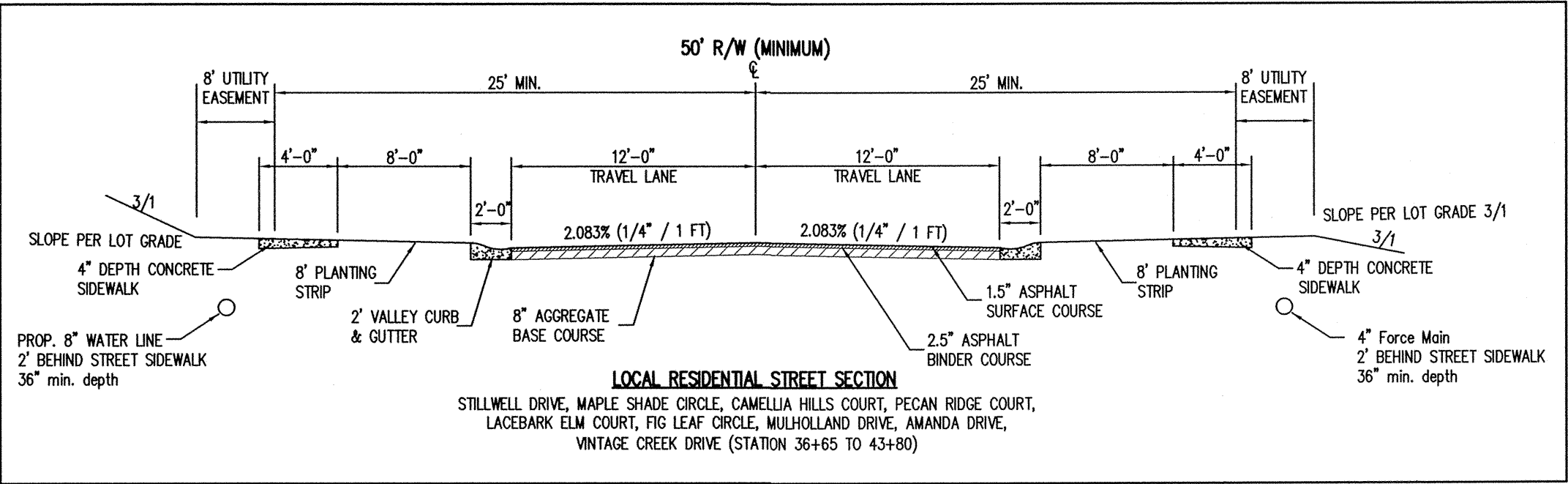
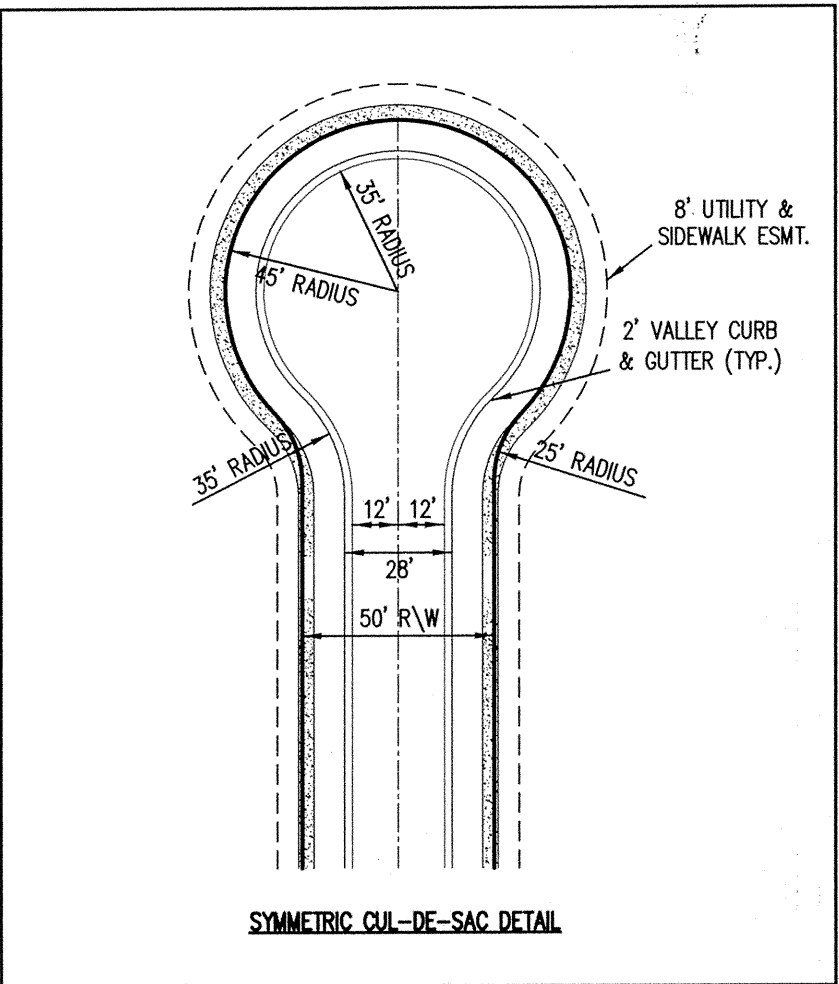
I _____ Review Officer of Union County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Date _____ Review Officer _____

NC DOT Construction Standards Certification

I hereby certify that the streets on this plat designated as public are or will be in accordance with the minimum right of way and construction standards established by the Board of Transportation for acceptance on the State Highway System.

District Engineer _____ Date _____



Ownership of all Common Open Space (COS) and Conservation Land shall be retained by Standard Pacific of The Carolinas, LLC until such time as a Homeowners Association (HOA) entity has been created. Ownership will be conveyed to that HOA entity upon it's creation.

Note: Roadway Horizontal/Vertical Alignment and Grades were taken from design plans, not asbuilt data.

LAWRENCE ASSOCIATES
106 W. Jefferson St.
Monroe, North Carolina 28112
P 704-289-1013 866-557-8051
F 704-283-9035
www.lawrenceassociates.com
Firm License Number: C-2856

**Final Record Plat of
Vintage Creek - Phase 2**
Owner: Standard Pacific Of The Carolinas, LLC
Town of Weddington
Sandy Ridge Township, Union County, NC
Orig. scale: _____ Date: November 24, 2015 Drawn By: JLH

Sheet 6 of 6
REVISIONS
01/07/16 JLH
06/17/16 JLH
08/03/16 JLH

Job No. 3646 Drawing file: 3646 - Record Plat - Phase 2-REVISED.dwg Drawing no. 15/226

TOWN OF W E D D I N G T O N

MEMORANDUM

TO: Bill Deter, Mayor; Town Council

FROM: Julian Burton, Zoning Administrator/Planner

DATE: August 8th, 2016

SUBJECT: The Falls At Weddington RCD Conservation Subdivision Conditional Zoning Final Plat Phase 1 Map 2

Falls at Weddington, LLC, submits a subdivision final plat application for 23 lots of the approved Residential Conservation Subdivision, The Falls at Weddington, located off Antioch Church Rd. The subdivision is located on both sides of Antioch Church Road and Final plat Phase 1 Map 2 includes lots and conservation land located on the west side of Antioch Church Road, downstream from the Richter Dam and pond.

Application Information:

Date of Application: May 10th, 2016
Applicant/Developer Name: The Falls at Weddington, LLC
Parcel ID#: 06093007
Property Location: Antioch Church Rd.

Project Information:

The Falls at Weddington Subdivision preliminary plat consists of 185 lots and was approved on December 8th, 2014. The subdivision is located on both sides of Antioch Church Rd and is being developed by Falls at Weddington, LLC, as an RCD conservation subdivision.

Conservation Easement:

Section 58-58 (4) of the Weddington Zoning Ordinance stipulates that a minimum of 50% of the gross acreage must be retained as conservation land. Conservation lands must remain conservation lands in perpetuity. This is often done by requiring conservation easements and/or review and approval of neighborhood CCR's.

Construction Documents

US Infrastructure has partially approved the construction documents associated with the Falls at Weddington Preliminary Plat. The one outstanding item is NCDOT approval of the culvert under the bridge upstream from Phase 1 Map 2. A variance was granted on August 1st to allow for 2

inches of freeboard on the existing Richter Dam, instead of the required 6 inches of freeboard during a 50 year storm.

Recommended Conditions of Approval:

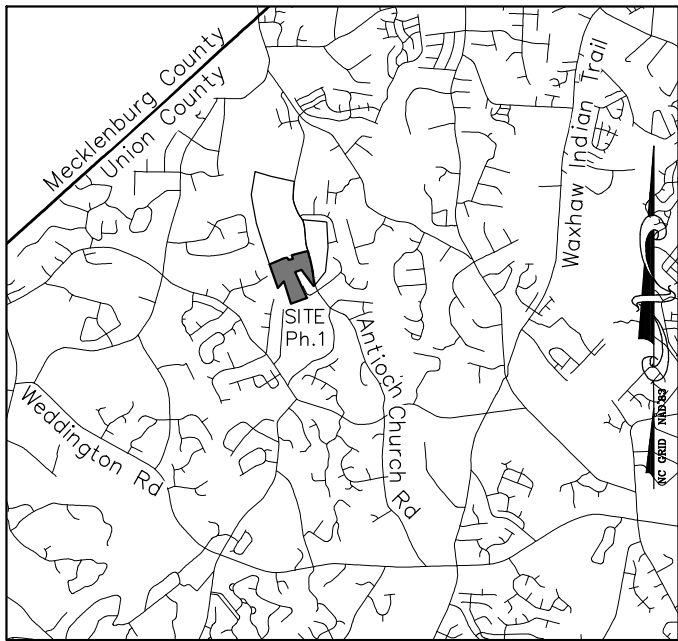
1. Bond estimates to be approved by the Town's engineering consultant
2. Bond instruments to be reviewed and approved by the Town Attorney, and the final bond instruments must be submitted to the Town prior to recording of the final plat.
3. Construction Documents to be approved by the Town Engineer
4. Each remaining lot to be recorded in the Falls at Weddington subdivision shall include on its Deed a statement that any roads in the subdivision that are not accepted by NCDOT are private and not the responsibility of the Town of Weddington and shall be maintained by the Falls at Weddington Homeowners Association or its Developer.
5. Vehicle control signs including but not limited to stop signs and speed limit signs shall be installed by the Developer and maintained by the Homeowners Association on any roads not accepted by NCDOT. All speed limits within the subdivision shall be no greater than 25 mph.
6. Coordinate with USPS and DOT to provide cluster mailboxes within subdivision.

Planning Board Action:

Recommended Approval with Conditions (Unanimous)

Town Council Action:

Approve/Approve with Conditions/Deny



Vicinity Map - Not to Scale

Legend

- EIP Existing Iron Pin
- IPS Iron Pin Set (#5 Rebar)
- CM Concrete Monument
- PT Calculated Point
- DB Deed Book
- PG Page
- SSE Sanitary Sewer Easement
- SDE Storm Drain Easement
- UE Utility Easement
- ST Sight Triangle
- COS Common Open Space
- R/W Right-of-Way
- N/F Now or Formerly
- CGF Combined Grid Factor
- [xx] Address
- FHE 10' Fire Hydrant Easement
- STE Site Triangle Easement
- C/L Centerline
- CBUE Cluster Box Unit Easement

Surveyor

LDSI, Inc.
508 W. Fifth St.
(704) 337-8329
David B. Boyles-PLS
Seth F. Martin-PLS

Engineer

LandDesign, Inc.
223 N. Graham St.
(704) 333-0325
Dale Stewart-PE
Mark Kime-LA

Owner

The Falls at Weddington, LLC
by RRJ Land, LLC.
Robert Stiegele, Manager
811 Coral Ridge Drive
Coral Springs, FL 33071
954-324-1711

Lender

M. Blaise Adams
Market President
Centennial Bank
2200 Airport Boulevard
Pensacola, FL 32502
Ph: 850-501-36141



State of North Carolina
County of Union

I, _____ Review Officer of Union
County certify that the map of plat to which this certification
is affixed meets all statutory requirements for recording.

Date _____ Review Officer _____

Certificate of approval of the design and installation of streets, utilities, and other required
improvements.

I hereby certify that all streets and other required improvements have been installed in an
acceptable manner and according to N.C. Department of Transportation and/or Town of
Weddington specifications and standards in the Highclere Subdivision or that guarantees of the
installation of the required improvements in an amount and manner satisfactory to the Town
of Weddington have been given and received.

Mayor of the Town of Weddington, NC _____ Date _____

I hereby certify that the subdivision plat shown hereon has been found to comply with the
Subdivision Regulations of the Town of Weddington, North Carolina, and that this plat has been
approved by the Weddington town council for recording in the Office of the Register of Deeds
of Union County, North Carolina. This _____ day of December, 2015.

Mayor of the Town of Weddington, NC _____ Date _____

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C7	4207.52'	49.92'	49.92'	N12°48'28"W
C8	50.00'	78.62'	70.77'	N32°34'40"E
C9	205.00'	150.58'	147.21'	S81°20'04"E
C11	4107.52'	100.00'	100.00'	S12°28'09"E
C14	4237.52'	57.80'	57.80'	S13°34'19"E
C15	4207.52'	60.19'	60.19'	N13°33'27"W
C16	205.00'	159.65'	155.65'	N82°36'10"W
C17	25.00'	21.03'	20.41'	S50°59'30"W
C18	50.00'	59.20'	55.80'	N60°48'50"E
C19	50.00'	46.28'	44.64'	N58°45'13"W

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C20	50.00'	46.04'	44.43'	N05°51'33"W
C21	50.00'	44.62'	43.15'	N46°04'59"E
C22	50.00'	45.06'	43.55'	S82°32'18"E
C23	25.00'	21.03'	20.41'	S80°49'07"E
C24	25.00'	39.27'	35.36'	N30°05'12"E
C25	25.00'	39.27'	35.36'	S59°54'48"E
C26	255.00'	44.83'	44.77'	N80°07'22"E
C27	255.00'	86.24'	85.83'	S85°09'11"E
C28	255.00'	67.53'	67.33'	S67°52'43"E
C29	50.00'	78.54'	70.71'	S59°54'48"E

Certification of Ownership and Dedication

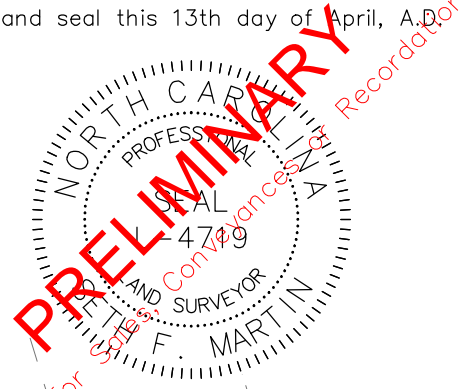
I hereby certify that I am the owner of the property described hereon, which is located in
the subdivision jurisdiction Town of Weddington and that I hereby adopt this plan of
subdivision with my free consent, establish minimum building setback lines, and dedicate all
streets, walks, parks, and other sites and easements to public or private use as noted.
Furthermore, I hereby dedicate all infrastructure being the whole system of improvements
required for the use of the subdivision that allow it to be used for its intended subdivided
purpose. This includes but is not limited to public streets, street curb and gutter, sidewalks,
public sewer, public water, storm water detention, drainage features, traffic control devices,
street lighting, street signs, and landscaping to the appropriate agency.

The Falls at Weddington, LLC, Owner _____ Date _____

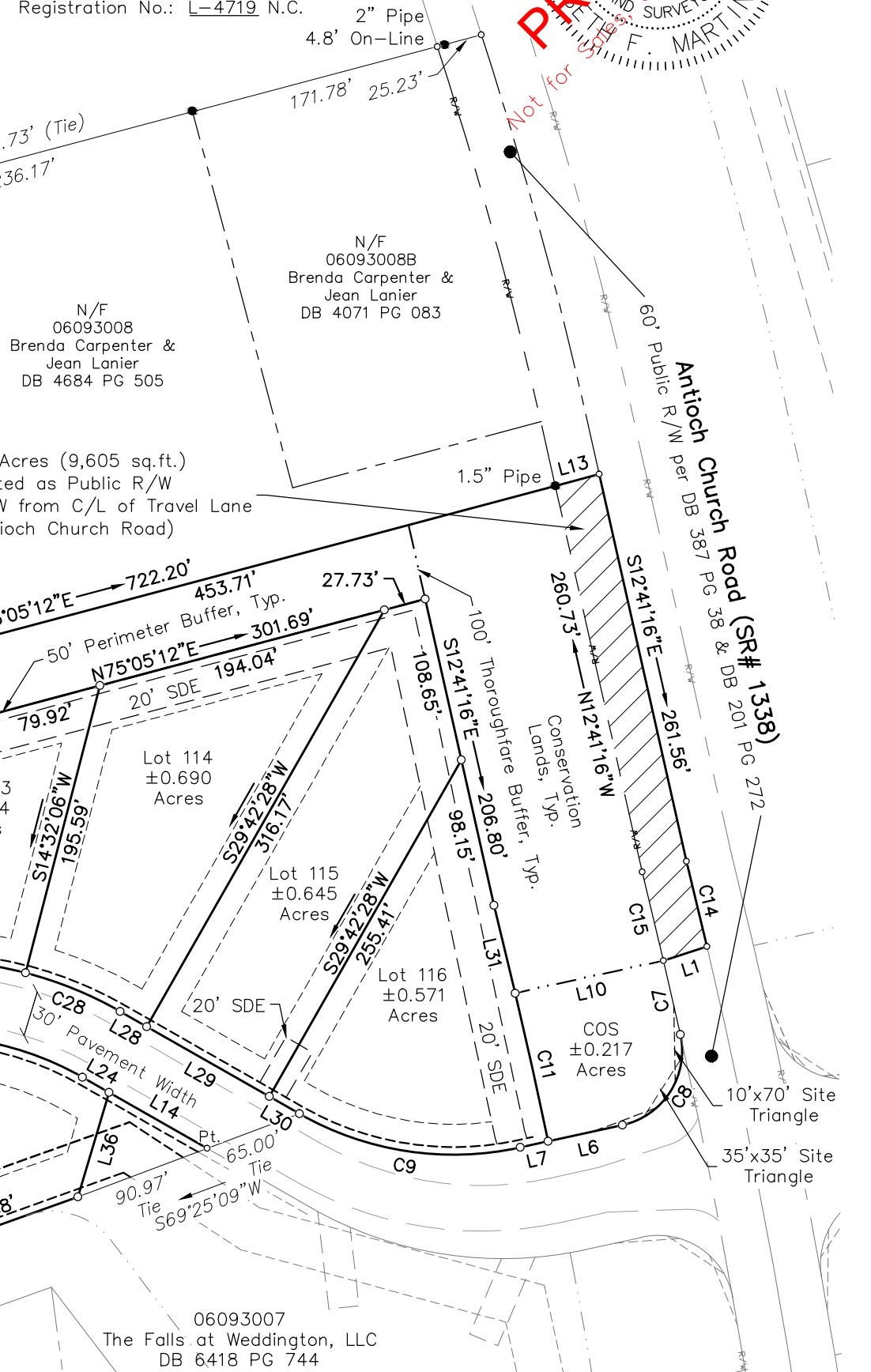
Centennial Bank _____ Date _____

I, Seth F. Martin, certify that this plat was drawn under my supervision from an
actual survey made under my supervision; that the boundaries not surveyed are
clearly indicated as drawn from information found in Book 6418, Page 714; that the
ratio of precision as calculated is 1: 10,000+; that this plat was prepared in
accordance with G.S. 47-30 as amended; that this plat creates a subdivision of land
within a county or municipality that has an ordinance that regulates parcels of land.

Witness my original signature, registration number and seal this 13th day of April, A.D. 2016.



Registration No.: L-4719 N.C.



Final Plat
The Falls at Weddington
Phase 1 Map 2
for
The Falls at Weddington, LLC,
Antioch Church Road,
Town of Weddington,
Sandy Ridge Township,
Union County,
North Carolina

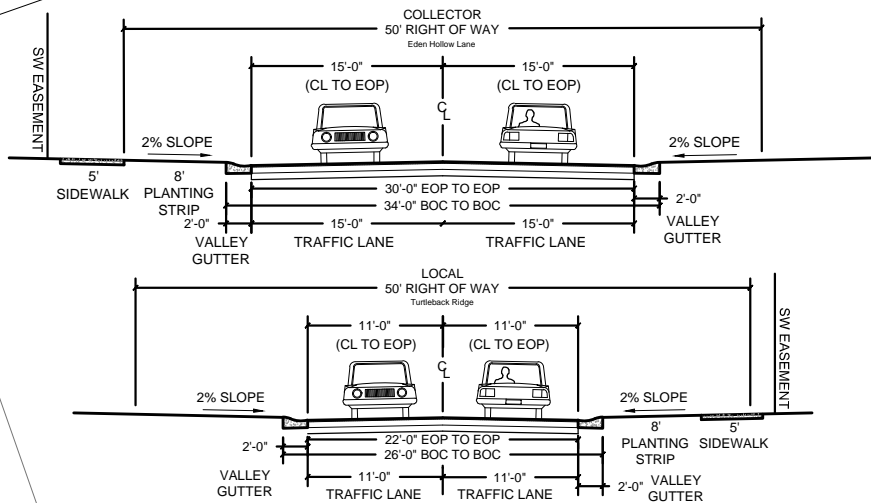
LDSI
Phone: (704) 337-8329
Fax: (866) 661-1277
508 W. 5th St., Suite 125
Charlotte, NC 28202
License No.: C-1925

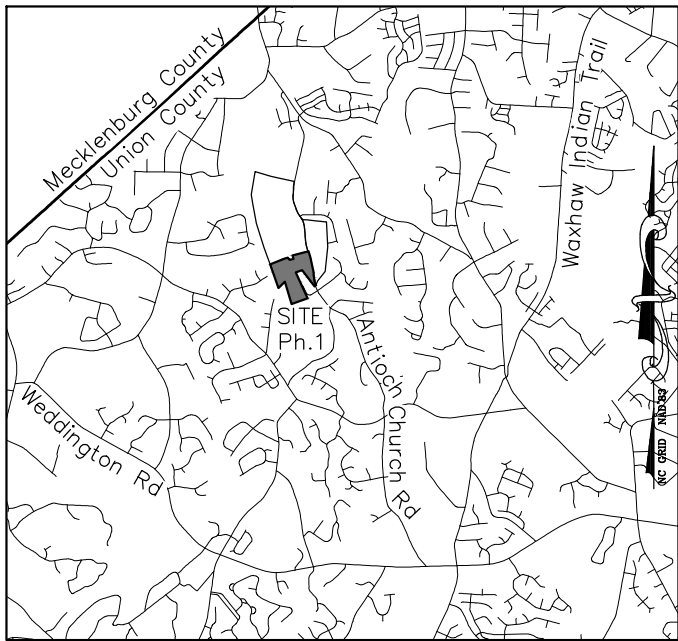
Scale: 1"= 100'
100 50 0 100

Date: April 13, 2016
Project Number: 4114029
Sheet 2
Owner: The Falls at
Weddington, LLC
811 Coral Ridge Drive
Coral Springs,
Florida, 33071

- Notes:
- Deed Reference(s) - DB 6418, PG 744
 - Tax Parcel ID - 06093007
 - Current Owner - The Falls at Weddington, LLC
 - All bearings are NC Grid bearings.
 - All distances are shown horizontal.
 - Grid distance = Horizontal distance x Combined Grid Factor (0.99984616)
 - Area - Total: ±49.216 Acres
Lots: ±9.557 Acres
R/W: ±1.952 Acres
Dedicated R/W: ±0.836 Acres
Conservation Open Space: ±36.438 Acres
COS: ±0.433 Acres
Total lots Map 1, Sheet 2: 23
 - Building Setbacks - Front Yard: 20'
Side Yard: 5' (30' Aggregate)
Rear Yard: 30'
 - Iron pins (#5 Rebar) or other monummentation (as shown) found or set at all property corners.
 - Zoning - R-CD
 - This property is located in a special Flood Hazard Area as determined by FEMA and the State of North Carolina. Reference Community Panel Number: 3710448700J Dated: 10/16/2008
 - The North Carolina Grid Coordinates shown on this map were derived by real-time kinematic GPS observations using Trimble R8 Receivers and processed using North Carolina Geodetic Survey Virtual Reference System.
 - All Common Open Space will be maintained by the Weddington Falls Subdivision HOA.
 - Site Triangles typical in all areas; 10'X70' and 35'X35'

LINE	BEARING	DISTANCE
L23	S14°55'22"E	45.63'
L24	N60°17'32"W	20.02'
L25	S75°05'12"W	2.66'
L26	S75°05'12"W	13.10'
L27	N75°05'12"E	19.10'
L28	S60°17'32"E	20.18'
L29	S60°17'32"E	93.00'
L30	S60°17'32"E	22.93'
L31	S13°33'29"E	59.65'
L32	N82°46'58"E	37.34'
L33	N75°05'12"E	103.00'
L34	S75°05'12"W	100.00'
L35	S75°05'12"W	90.00'
L36	S16°29'23"W	71.88'





Vicinity Map - Not to Scale

Legend

- EIP
 - IPS
 - CM
 - PT
 - DB
 - PG
 - SSE
 - SDE
 - TCE
 - UE
 - ST
 - COS
 - R/W
 - N/F
 - CGF
 - xxx
 - FHE
 - STE
- Existing Iron Pin
Iron Pin Set (#5 Rebar)
Concrete Monument
Calculated Point
Deed Book
Page
Sanitary Sewer Easement
Storm Drain Easement
Temporary Construction Easement
Utility Easement
Sight Triangle
Common Open Space
Right-of-Way
Now or Formerly
Combined Grid Factor
Address
10' Fire Hydrant Easement
Site Triangle Easement

LINE	BEARING	DISTANCE
L1	N72°07'31"E	30.10'
L2	S21°50'43"E	17.10'
L3	S38°37'47"W	34.48'
L4	N21°50'43"W	34.11'
L5	S38°37'47"W	50.65'
L6	N77°37'24"E	50.22'
L7	N77°37'24"E	18.69'
L8	N60°17'32"W	78.83'
L9	S77°37'24"W	37.83'
L10	N77°37'24"E	100.01'
L11	S12°28'09"E	100.00'
L12	N77°37'24"E	100.14'

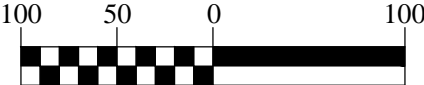
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	4237.52'	428.23'	428.04'	S10°17'10"E
C2	906.78'	248.97'	248.19'	S13°55'56"E
C3	936.78'	257.31'	256.50'	N13°55'45"W
C4	4207.52'	147.19'	147.18'	N08°23'58"W
C5	4207.52'	48.03'	48.03'	N09°43'43"W
C6	4207.52'	177.15'	177.14'	N11°15'42"W
C7	4207.52'	49.92'	49.92'	N12°48'28"W
C8	50.00'	78.62'	70.77'	N32°34'40"E
C9	205.00'	150.58'	147.21'	S81°20'04"E
C10	255.00'	187.30'	183.12'	N81°20'04"W
C11	255.00'	10.47'	10.47'	S78°47'57"W
C12	50.00'	80.57'	72.13'	N56°12'58"W
C13	4107.52'	100.30'	100.30'	S10°01'43"E

Final Plat
The Falls at Weddington
Phase 2 Map 1
for
The Falls at Weddington, LLC
Antioch Church Road,
Town of Weddington,
Sandy Ridge Township,
Union County,
North Carolina

LDSI

Phone: (704) 337-8329
Fax: (866) 661-1277
508 W. 5th St., Suite 125
Charlotte, NC 28202
License No.: C-1925

Scale: 1" = 100'



Date: April 13, 2016
Project Number: 4114029
Sheet 1

Owner: The Falls at Weddington, LLC
811 Coral Ridge Drive
Coral Springs, Florida, 33071

Certificate of approval of the design and installation of streets, utilities, and other required improvements.

I hereby certify that all streets and other required improvements have been installed in an acceptable manner and according to N.C. Department of Transportation and/or Town of Weddington specifications and standards in the Highclere Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Weddington have been given and received.

Mayor of the Town of Weddington, NC Date

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Weddington, North Carolina, and that this plat has been approved by the Weddington town council for recording in the Office of the Register of Deeds of Union County, North Carolina. This _____ day of December, 2015.

Mayor of the Town of Weddington, NC Date

State of North Carolina
County of Union

I _____ Review Officer of Union County certify that the map of plat to which this certification is affixed meets all statutory requirements for recording.

Date Review Officer

Department of Transportation
Division of Highways

Proposed Subdivision Road Construction Standards Certification

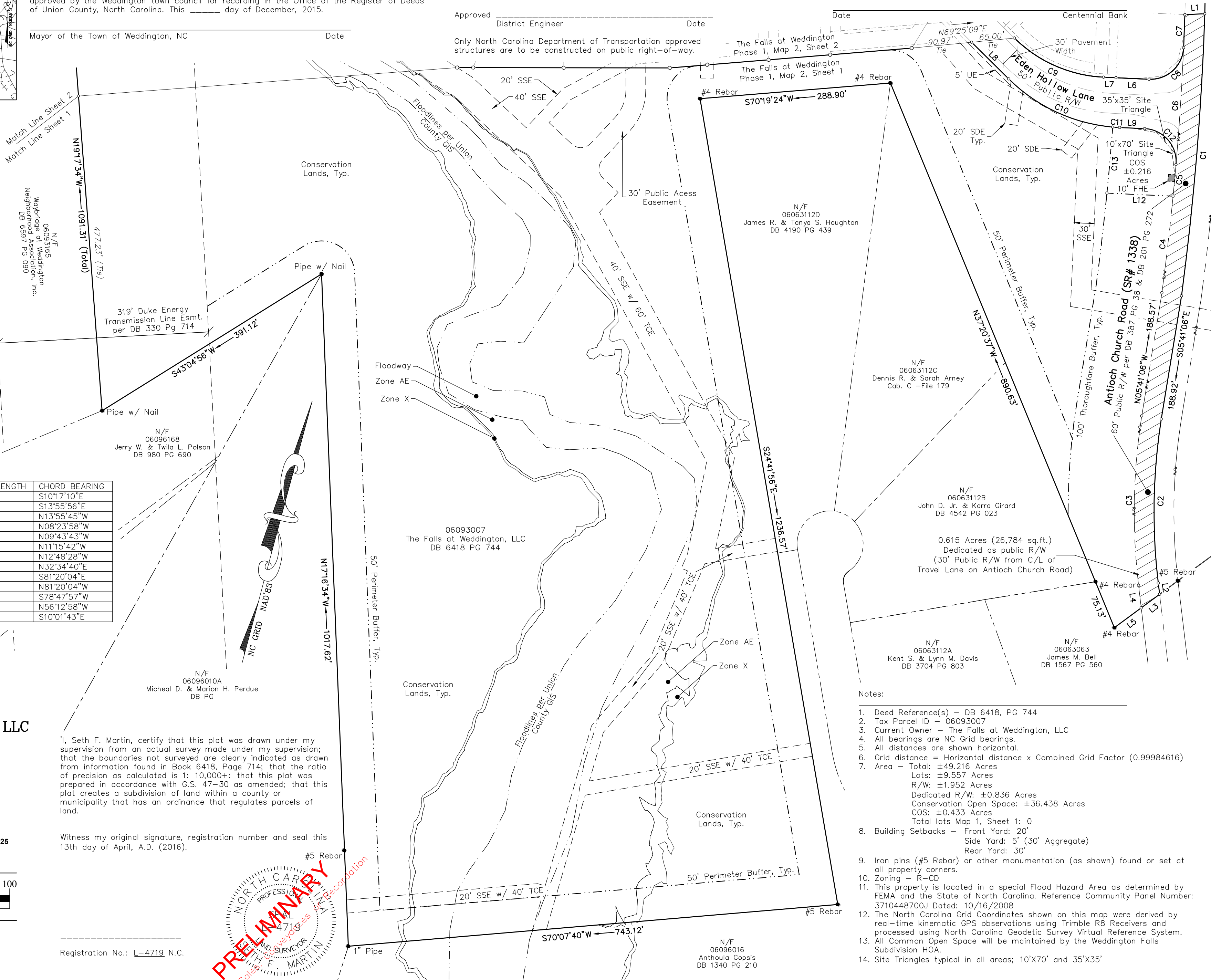
Approved District Engineer Date

Only North Carolina Department of Transportation approved structures are to be constructed on public right-of-way.

Certification of Ownership and Dedication

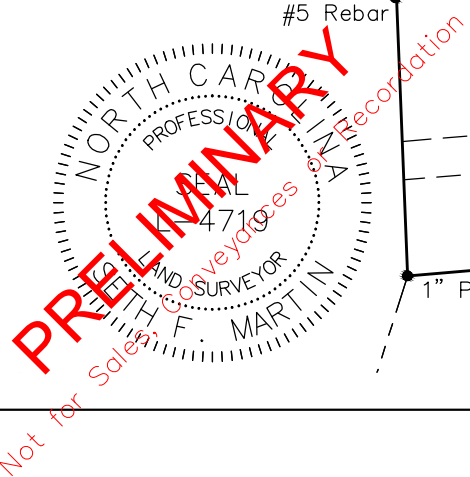
I hereby certify that I am the owner of the property described hereon, which is located in the subdivision jurisdiction Town of Weddington and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicate all streets, walks, parks, and other sites and easements to public or private use as noted. Furthermore, I hereby dedicate all infrastructure being the whole system of improvements required for the use of the subdivision that allow it to be used for its intended subdivided purpose. This includes but is not limited to public streets, street curb and gutter, sidewalks, public sewer, public water, storm water detention, drainage features, traffic control devices, street lighting, street signs, and landscaping to the appropriate agency.

Date The Falls at Weddington, LLC, Owner



Notes:

- Deed Reference(s) - DB 6418, PG 744
- Tax Parcel ID - 06093007
- Current Owner - The Falls at Weddington, LLC
- All bearings are NC Grid bearings.
- All distances are shown horizontal.
- Grid distance = Horizontal distance x Combined Grid Factor (0.99984616)
- Area - Total: ±49.216 Acres
Lots: ±9.557 Acres
R/W: ±1.952 Acres
Dedicated R/W: ±0.836 Acres
Conservation Open Space: ±36.438 Acres
COS: ±0.433 Acres
Total lots Map 1, Sheet 1: 0
- Building Setbacks - Front Yard: 20'
Side Yard: 5' (30' Aggregate)
Rear Yard: 30'
- Iron pins (#5 Rebar) or other monumentation (as shown) found or set at all property corners.
- Zoning - R-CD
- This property is located in a special Flood Hazard Area as determined by FEMA and the State of North Carolina. Reference Community Panel Number: 3710448700J Dated: 10/16/2008
- The North Carolina Grid Coordinates shown on this map were derived by real-time kinematic GPS observations using Trimble R8 Receivers and processed using North Carolina Geodetic Survey Virtual Reference System.
- All Common Open Space will be maintained by the Weddington Falls Subdivision HOA.
- Site Triangles typical in all areas; 10'X70' and 35'X35'



Witness my original signature, registration number and seal this 13th day of April, A.D. (2016).

Registration No.: L-4719 N.C.

TOWN OF WEDDINGTON

MEMORANDUM

TO: Bill Deter, Mayor; Town Council
FROM: Julian Burton; Town Planner/Zoning Administrator
DATE: August 8th, 2016
SUBJECT: Update from the Town Planner

SUBDIVISIONS

- Sugar Magnolia has submitted a Preliminary Plat application for the 18 lot subdivision located off Weddington Road (August Planning Board)
- The Enclave at Weddington submitted their first final plat application. Should be on the August Planning Board agenda.

WEDDINGTON CODE ENFORCEMENT REPORT

August 4, 2016

1. 404 Cottonfield Cir., James & Shannon Cox

- Wrecked car and inoperative pickup truck parked in side yard and visible from both streets
- Hearing scheduled and held at Town Hall. Owner and wife attended. Vehicles removed/relocated. 2/5/15
- Stockade style fence has been extended to screen side yard from view from front of property; vehicles disposed or relocated?; will continue to monitor—3/15/15
- 6/3/15---- Received email from Julian and website address and advertisement Mr. Cox is running on internet advertising his motor rebuilding business. 8 vehicles and enclosed trailer parked in driveway at this property
- 7/6/15----Issued citation with fine effective 7/10/15
- 8/3/15----5 vehicles in driveway, garage door closed, gate closed.
- 9/3/15----Town attorney to issue a "Cease and desist" letter to Cox.
- 9/9/15----5 vehicles in drive, garage door closed; gate closed.
- 9/16/15-----Attorney (Odom) called on behalf of Cox. Informed him that property is in violation of Zoning Ordinance and must be brought in to compliance to avoid legal action by Town to obtain compliance.
- 10/15/15----Violation continues.. Legal action needed.
- 2/29/16---Legal enforcement needed.
- 4/1/16—No change. Legal action pending.
- 5/2/16—No Change. Legal action pending.
- 6/7/16—No Change. Legal action pending.
- 8/4/16—No Change. Legal action pending.

2. 2101 Eagle Pass Ct., Richard Mrugalski, Jr.

- Electrical contractor business operating from home
- Owner is moving business to commercial space (first of Feb., 2016)
- 3/9/16—Notice of Violation and Citation issued with fines commencing 3/14/16.
- 3/15/16—Owner has moved business to commercial space in Indian Trail.
- 4/1/16—Will continue to monitor this one.
- 5/2/16—Continuing to monitor this one. Construction underway for large addition to residence and also a large building at rear of property for storage of vehicles.
- Still monitoring this one.
- 8/4/16---No commercial activity observed. Will still monitor until construction of addition to house is completed.

3. 4005 Ambassador Ct., Inez B. McRae Trust

- Corresponding with owner and his attorney, urging corrective action to prevent further deterioration of house.
- 4/4/16---No response to correspondence sent 3/1/16 to owner and attorney. Will continue to monitor this one.
- Still monitoring this one. See attached explanation of code enforcement process.
- Still monitoring this one.
- 8/4/16--Still monitoring this one.

4. Highway 84 & Twelve Mile Creek Rd.

- Large amount of stumps and demolition debris hauled in and dumped on this property. Contacting owner to have it removed.
- 6/7/16—Courtesy letter sent to owner informing him debris must be removed. No response. Notice of Violation with fine is next step.
- 8/4/16---Citation and fine issued. Meeting property owner on 8/4/16 to perform on- site inspection and to clarify what must be removed to clean property.

5. 1164 Willow Oaks Tr.

- 5/26/16—Inspection of property. Utility building built w/out permit and too close to property line. Courtesy letter sent to property owner informing them of need for permit and for building to be moved to meet 15 ft. setback.
- 8/4/16---Building to be moved to comply with required setbacks from property lines.

6. "Illegal sign sweep".

- 5/3/16— 21 signs removed and disposed of.
- 5/26/16—5 illegal signs removed and disposed of.
- 8/4/16----No signs found during month.

7. * 8/4/16----8119 Lake Providence Dr.---construction of residence has discontinued. Courtesy letter sent to property owner seeking on-site inspection and closing/securing building to prevent unauthorized entry.

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

07/01/2016 TO 07/31/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
REVENUE:				
10-3101-110 AD VALOREM TAX - CURRENT	0.00	0.00	985,000.00	100
10-3102-110 AD VALOREM TAX - 1ST PRIOR	51.84	51.84	3,500.00	99
10-3103-110 AD VALOREM TAX - NEXT 8	0.00	0.00	1,500.00	100
10-3110-121 AD VALOREM TAX - MOTOR	0.00	0.00	80,000.00	100
10-3115-180 TAX INTEREST	3.49	3.49	2,250.00	100
10-3231-220 LOCAL OPTION SALES TAX REV	0.00	0.00	311,250.00	100
10-3322-220 BEER & WINE TAX	0.00	0.00	45,000.00	100
10-3324-220 UTILITY FRANCHISE TAX	0.00	0.00	475,000.00	100
10-3340-400 ZONING & PERMIT FEES	2,780.50	2,780.50	24,850.00	89
10-3350-400 SUBDIVISION FEES	0.00	0.00	58,300.00	100
10-3830-891 MISCELLANEOUS REVENUES	16.00	16.00	1,000.00	98
10-3831-491 INVESTMENT INCOME	0.00	0.00	5,000.00	100
TOTAL REVENUE	2,851.83	2,851.83	1,992,650.00	100
AFTER TRANSFERS	2,851.83	2,851.83	1,992,650.00	
4110 GENERAL GOVERNMENT				
EXPENDITURE:				
10-4110-126 FIRE DEPT SUBSIDIES	58,288.75	58,288.75	717,710.00	92
10-4110-127 FIRE DEPARTMENT	0.00	0.00	10,000.00	100
10-4110-128 POLICE PROTECTION	64,250.25	64,250.25	258,620.00	75
10-4110-192 ATTORNEY FEES - GENERAL	0.00	0.00	95,000.00	100
10-4110-193 ATTORNEY FEES - LITIGATION	0.00	0.00	100,000.00	100
10-4110-195 ELECTION EXPENSE	0.00	0.00	3,500.00	100
10-4110-340 PUBLICATIONS	0.00	0.00	12,000.00	100
10-4110-341 WEDDINGTON FESTIVAL	-1,290.00	-1,290.00	10,000.00	113
10-4110-342 HOLIDAY/TREE LIGHTING	0.00	0.00	6,500.00	100
10-4110-343 SPRING EVENT	0.00	0.00	750.00	100
10-4110-344 OTHER COMMUNITY EVENTS	0.00	0.00	500.00	100
10-4110-495 OUTSIDE AGENCY FUNDING	0.00	0.00	1,500.00	100
TOTAL EXPENDITURE	121,249.00	121,249.00	1,216,080.00	90
BEFORE TRANSFERS	-121,249.00	-121,249.00	-1,216,080.00	
AFTER TRANSFERS	-121,249.00	-121,249.00	-1,216,080.00	
4120 ADMINISTRATIVE				
EXPENDITURE:				
10-4120-121 SALARIES - CLERK	6,055.42	6,055.42	73,150.00	92
10-4120-123 SALARIES - TAX COLLECTOR	3,141.67	3,141.67	47,650.00	93
10-4120-124 SALARIES - FINANCE OFFICER	416.90	416.90	14,250.00	97
10-4120-125 SALARIES - MAYOR & TOWN	2,100.00	2,100.00	25,200.00	92
10-4120-181 FICA EXPENSE	896.04	896.04	12,800.00	93
10-4120-182 EMPLOYEE RETIREMENT	1,410.89	1,410.89	19,650.00	93

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

07/01/2016 TO 07/31/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4120-183 EMPLOYEE INSURANCE	2,026.00	2,026.00	26,000.00	92
10-4120-184 EMPLOYEE LIFE INSURANCE	30.24	30.24	400.00	92
10-4120-185 EMPLOYEE S-T DISABILITY	24.00	24.00	300.00	92
10-4120-191 AUDIT FEES	0.00	0.00	8,500.00	100
10-4120-193 CONTRACT LABOR	0.00	0.00	19,000.00	100
10-4120-200 OFFICE SUPPLIES - ADMIN	157.04	157.04	13,000.00	99
10-4120-210 PLANNING CONFERENCE	0.00	0.00	4,000.00	100
10-4120-321 TELEPHONE - ADMIN	182.31	182.31	3,500.00	95
10-4120-325 POSTAGE - ADMIN	-8.50	-8.50	2,500.00	100
10-4120-331 UTILITIES - ADMIN	129.97	129.97	4,250.00	97
10-4120-351 REPAIRS & MAINTENANCE -	0.00	0.00	22,500.00	100
10-4120-352 REPAIRS & MAINTENANCE -	5,237.50	5,237.50	65,000.00	92
10-4120-354 REPAIRS & MAINTENANCE -	0.00	0.00	63,520.00	100
10-4120-355 REPAIRS & MAINTENANCE -	595.00	595.00	1,000.00	41
10-4120-356 REPAIRS & MAINTENANCE -	0.00	0.00	6,000.00	100
10-4120-370 ADVERTISING - ADMIN	0.00	0.00	1,000.00	100
10-4120-397 TAX LISTING & TAX	-2.50	-2.50	500.00	101
10-4120-400 ADMINISTRATIVE:TRAINING	0.00	0.00	4,000.00	100
10-4120-410 ADMINISTRATIVE:TRAVEL	17.28	17.28	5,000.00	100
10-4120-450 INSURANCE	13,533.28	13,533.28	15,500.00	13
10-4120-491 DUES & SUBSCRIPTIONS	14,091.92	14,091.92	18,000.00	22
10-4120-498 GIFTS & AWARDS	0.00	0.00	3,000.00	100
10-4120-499 MISCELLANEOUS	13.02	13.02	5,000.00	100
TOTAL EXPENDITURE	50,047.48	50,047.48	484,170.00	90
BEFORE TRANSFERS	-50,047.48	-50,047.48	-484,170.00	
AFTER TRANSFERS	-50,047.48	-50,047.48	-484,170.00	

4130 PLANNING & ZONING

EXPENDITURE:

10-4130-121 SALARIES - ZONING	4,798.62	4,798.62	58,750.00	92
10-4130-122 SALARIES - ASST ZONING	46.41	46.41	2,250.00	98
10-4130-123 SALARIES - ADMINISTRATIVE	1,632.00	1,632.00	25,725.00	94
10-4130-124 SALARIES - PLANNING BOARD	225.00	225.00	5,200.00	96
10-4130-125 SALARIES - SIGN REMOVAL	222.74	222.74	4,000.00	94
10-4130-181 FICA EXPENSE - P&Z	529.76	529.76	8,025.00	93
10-4130-182 EMPLOYEE RETIREMENT - P&Z	986.44	986.44	13,500.00	93
10-4130-183 EMPLOYEE INSURANCE	2,026.00	2,026.00	27,000.00	92
10-4130-184 EMPLOYEE LIFE INSURANCE	20.44	20.44	300.00	93
10-4130-185 EMPLOYEE S-T DISABILITY	12.00	12.00	150.00	92
10-4130-193 CONSULTING	-4,176.17	-4,176.17	10,000.00	142
10-4130-194 CONSULTING - COG	0.00	0.00	21,750.00	100
10-4130-200 OFFICE SUPPLIES - PLANNING	237.03	237.03	5,000.00	95
10-4130-201 ZONING SPECIFIC OFFICE	0.00	0.00	2,500.00	100
10-4130-215 HISTORIC PRESERVATION	6.06	6.06	2,500.00	100

TOWN OF WEDDINGTON
REVENUE & EXPENDITURE STATEMENT BY DEPARTMENT

FY 2016-2017

07/01/2016 TO 07/31/2016

	<u>CURRENT PERIOD</u>	<u>YEAR-TO-DATE</u>	<u>BUDGETED</u>	<u>% BUDGET REM</u>
10-4130-220 INFRASTRUCTURE	0.00	0.00	94,500.00	100
10-4130-321 TELEPHONE - PLANNING &	182.31	182.31	3,500.00	95
10-4130-325 POSTAGE - PLANNING & ZONING	-8.50	-8.50	2,500.00	100
10-4130-331 UTILITIES - PLANNING & ZONING	129.97	129.97	4,250.00	97
10-4130-370 ADVERTISING - PLANNING &	0.00	0.00	1,000.00	100
TOTAL EXPENDITURE	<u>6,870.11</u>	<u>6,870.11</u>	<u>292,400.00</u>	<u>98</u>
 BEFORE TRANSFERS	 <u>-6,870.11</u>	 <u>-6,870.11</u>	 <u>-292,400.00</u>	
 AFTER TRANSFERS	 <u>-6,870.11</u>	 <u>-6,870.11</u>	 <u>-292,400.00</u>	
 GRAND TOTAL	 <u>-175,314.76</u>	 <u>-175,314.76</u>	 <u>0.00</u>	

TOWN OF WEDDINGTON
BALANCE SHEET

FY 2016-2017

PERIOD ENDING: 07/31/2016

10

ASSETS

ASSETS

10-1120-000	TRINITY CHECKING ACCOUNT	841,911.19
10-1120-001	TRINITY MONEY MARKET	1,110,651.32
10-1170-000	NC CASH MGMT TRUST	531,365.62
10-1212-001	A/R PROPERTY TAX - 1ST YEAR PRIOR	4,709.77
10-1212-002	A/R PROPERTY TAX - NEXT 8 PRIOR YRS	11,479.99
10-1232-000	SALES TAX RECEIVABLE	1,606.22
10-1610-001	FIXED ASSETS - LAND & BUILDINGS	1,753,018.11
10-1610-002	FIXED ASSETS - FURNITURE & FIXTURES	23,513.12
10-1610-003	FIXED ASSETS - EQUIPMENT	118,306.60
10-1610-004	FIXED ASSETS - INFRASTRUCTURE	26,851.01
TOTAL ASSETS		<u>4,423,412.95</u>

LIABILITIES & EQUITY

LIABILITIES

10-2110-000	ACCOUNTS PAYABLE	64.85
10-2115-000	ACCOUNTS PAYABLE ACCRUAL	5,039.25
10-2120-000	BOND DEPOSIT PAYABLE	75,002.25
10-2155-000	HEALTH INSURANCE PAYABLE	-12.00
10-2620-000	DEFERRED REVENUE - DELQ TAXES	4,709.77
10-2630-000	DEFERRED REVENUE-NEXT 8	11,479.99
TOTAL LIABILITIES		<u>96,284.11</u>

EQUITY

10-2620-001	FUND BALANCE - UNASSIGNED	2,238,530.00
10-2620-003	FUND BALANCE-ASSIGNED	54,000.00
10-2620-004	FUND BALANCE-INVEST IN FIXED ASSETS	1,921,691.04
10-2620-005	CURRENT YEAR EQUITY YTD	288,222.56
CURRENT FUND BALANCE - YTD NET REV		-175,314.76
TOTAL EQUITY		<u>4,327,128.84</u>

TOTAL LIABILITIES & FUND EQUITY	<u>4,423,412.95</u>
---------------------------------	---------------------

TOWN OF WEDDINGTON

MEMORANDUM

TO: Mayor and Town Council

FROM: Kim Woods, Tax Collector

DATE: August 8, 2016

SUBJECT: Monthly Report –July 2016

Transactions:	
Interest Charges	\$78.21
Penalty & Interest Payments	\$(5.99)
Taxes Collected:	
2015	\$(51.84)
As of July 31, 2016; the following taxes remain Outstanding:	
2005	\$252.74
2006	\$56.80
2007	\$93.78
2008	\$1033.81
2009	\$865.35
2010	\$729.72
2011	\$381.13
2012	\$2329.63
2013	\$2732.77
2014	\$3004.26
2015	\$4709.77
Total Outstanding:	\$16189.76

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {07/01/2016} And {07/31/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1606335-000	07/01/2016	10:24:53	1644 RIDGEHAVEN RD	611 Dispatched & cancelled en ro
16-1606336-000	07/01/2016	10:54:01	10033 STRIKE THE GOLD LN	311 Medical assist, assist EMS c
16-1606338-000	07/01/2016	13:40:47	1004 MATILDA LN /INDIAN T	311 Medical assist, assist EMS c
16-1606340-000	07/01/2016	14:40:37	ENNIS RD & S PROVIDENCE R	322 Motor vehicle accident with
16-1606346-000	07/01/2016	20:48:41	305 ARMISTEAD CT /MARVIN,	911 Citizen complaint
16-1606352-000	07/01/2016	22:14:44	S PROVIDENCE RD & REA RD	324 Motor Vehicle Accident with
16-1606365-000	07/02/2016	05:01:02	8905 SNAPPFINGER CT	745 Alarm system activation, no
16-1606371-000	07/02/2016	10:50:43	5810 WAXHAW HWY /Monroe,	111 Building fire
16-1606385-000	07/02/2016	21:02:33	5037 DOCKSIDE CT /WEDDING	735 Alarm system sounded due to
16-1606388-000	07/02/2016	21:38:18	1602 CRESTGATE DR /WESLEY	571 Cover assignment, standby, m
16-1606425-000	07/03/2016	18:46:59	7056 STIRRUP CT /WEDDINGT	746 Carbon monoxide detector act
16-1606432-000	07/03/2016	21:27:02	9723 ROYAL COLONY DR	622 No Incident found on arrival
16-1606445-000	07/04/2016	09:25:29	1473 LONGLEAF CT /Wedding	321 EMS call, excluding vehicle
16-1606449-000	07/04/2016	09:34:33	400 RANELAGH DR	553 Public service
16-1606450-000	07/04/2016	10:24:57	9509 DOVEWOOD PL /MARVIN,	311 Medical assist, assist EMS c
16-1606451-000	07/04/2016	10:27:31	4400 HORSESHOE BND /Weddi	553 Public service
16-1606452-000	07/04/2016	11:31:25	9818 POTTER RD & WESLEY C	322 Motor vehicle accident with
16-1606475-000	07/04/2016	20:12:26	1108 FIRETHORNE CLUB DR /	553 Public service
16-1606474-000	07/04/2016	20:58:48	8801 LONGVIEW CLUB DR /Su	553 Public service
16-1606480-000	07/05/2016	00:30:33	NEW TOWN RD & CRANE RD	324 Motor Vehicle Accident with
16-1606493-000	07/05/2016	09:32:15	509 WEDDINGTON RD /WEDDIN	745 Alarm system activation, no
16-1606518-000	07/05/2016	23:59:22	9507 BLACKGOLD CIR	733 Smoke detector activation du
16-1606520-000	07/06/2016	02:03:02	7165 COBBLECREEK DR /WEDD	311 Medical assist, assist EMS c
16-1606524-000	07/06/2016	08:34:23	7308 STONEHAVEN DR /MARVI	745 Alarm system activation, no
16-1606525-000	07/06/2016	08:52:53	10210 ALOUETTE DR	743 Smoke detector activation, n
16-1606542-000	07/06/2016	19:53:07	5607 WEDDINGTON RD /Weddi	321 EMS call, excluding vehicle
16-1606545-000	07/06/2016	22:05:50	REA RD & TOM SHORT RD	323 Motor vehicle/pedestrian acc
16-1606554-000	07/07/2016	05:33:22	136 N INDIAN TRAIL RD /In	111 Building fire
16-1606568-000	07/07/2016	15:31:17	840 SPRING OAKS DR /WEDDI	745 Alarm system activation, no
16-1606569-000	07/07/2016	17:30:37	3016 STANBURY DR /Indian	611 Dispatched & cancelled en ro
16-1606586-000	07/08/2016	06:35:20	8408 BONDS GROVE CHURCH R	744 Detector activation, no fire
16-1606607-000	07/08/2016	18:28:46	805 CARISBROOKE LN	554 Assist invalid
16-1606617-000	07/08/2016	21:48:40	200 DEVONPORT DR /Wedding	553 Public service
16-1606622-000	07/08/2016	21:59:34	6203 LOWERGATE DR /WESLEY	611 Dispatched & cancelled en ro
16-1606623-000	07/08/2016	22:10:42	NEW TOWN RD & LEGACY OAK	324 Motor Vehicle Accident with
16-1606629-000	07/09/2016	02:48:58	401 SMOKEY HOLLOW DR /MAR	736 CO detector activation due t
16-1606632-000	07/09/2016	06:59:57	624 UNDERWOOD RD /Wesley	611 Dispatched & cancelled en ro
16-1606636-000	07/09/2016	07:41:04	3304 BANYAN WAY /MARVIN,	553 Public service
16-1606638-000	07/09/2016	08:06:43	9715 SADDLE /MARVIN, NC 2	311 Medical assist, assist EMS c
16-1606645-000	07/09/2016	13:13:51	8514 CHATSWORTH LN	321 EMS call, excluding vehicle
16-1606676-000	07/10/2016	09:52:38	5799 WEDDINGTON RD & JIM	322 Motor vehicle accident with
16-1606677-000	07/10/2016	10:38:18	13901 PROVIDENCE RD /Wedd	311 Medical assist, assist EMS c
16-1606683-000	07/10/2016	14:35:54	1301 N BROOME ST	611 Dispatched & cancelled en ro
16-1606708-000	07/11/2016	07:19:30	UNDERWOOD RD & WAXHAW IND	324 Motor Vehicle Accident with
16-1606707-000	07/11/2016	07:53:56	4823 WAXHAW INDIAN TRAIL	622 No Incident found on arrival
16-1606711-000	07/11/2016	09:00:22	311 PALMERSTON LN	321 EMS call, excluding vehicle

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {07/01/2016} And {07/31/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1606728-000	07/11/2016	17:04:34	1006 WILLOUGHBY RD /MONRO	321 EMS call, excluding vehicle
16-1606736-000	07/11/2016	17:16:06	4809 ANTIOCH CHURCH RD /W	321 EMS call, excluding vehicle
16-1606747-000	07/11/2016	17:20:22	7156 COBBLECREEK DR /Wedd	163 Outside gas or vapor combust
16-1606746-000	07/11/2016	17:31:24	2800 TOM LANEY RD /Minera	111 Building fire
16-1606729-000	07/11/2016	17:39:40	6610 OLD MONROE RD /India	611 Dispatched & cancelled en ro
16-1606737-000	07/11/2016	18:02:40	8604 SAMANTHA CT	814 Lightning strike (no fire)
16-1606757-000	07/12/2016	06:05:50	466 S PROVIDENCE RD /Wedd	321 EMS call, excluding vehicle
16-1606765-000	07/12/2016	08:32:41	1325 LINDEN GLEN DR /WESL	321 EMS call, excluding vehicle
16-1606774-000	07/12/2016	12:42:29	2066 APPLEBROOK DR /Monro	611 Dispatched & cancelled en ro
16-1606778-000	07/12/2016	13:26:24	3410 ANTIOCH CHURCH RD /W	138 Off-road vehicle or heavy eq
16-1606776-000	07/12/2016	13:28:06	5607 WEDDINGTON RD /WEDDI	745 Alarm system activation, no
16-1606788-000	07/12/2016	16:46:43	813 SPRINGWOOD DR	746 Carbon monoxide detector act
16-1606790-000	07/12/2016	17:31:13	5918 WEDDINGTON RD /Monro	322 Motor vehicle accident with
16-1606791-000	07/12/2016	18:12:57	5999 WEDDINGTON RD & S PO	
16-1606797-000	07/12/2016	19:46:37	8101 KENSINGTON DR	733 Smoke detector activation du
16-1606799-000	07/12/2016	20:56:44	3009 MICHELLE DR /Matthew	311 Medical assist, assist EMS c
16-1606815-000	07/13/2016	12:42:23	6390 WEDDINGTON RD /WESLE	511 Lock-out
16-1606821-000	07/13/2016	14:19:52	407 DEER BRUSH LN	631 Authorized controlled burnin
16-1606823-000	07/13/2016	14:33:18	3101 ANTIOCH CHURCH RD /I	733 Smoke detector activation du
16-1606829-000	07/13/2016	16:47:52	1120 BALTUSROL LN /MARVIN	553 Public service
16-1606844-000	07/14/2016	05:07:05	9005 SKIPAWAY DR	311 Medical assist, assist EMS c
16-1606845-000	07/14/2016	05:17:45	1301 N BROOME ST	611 Dispatched & cancelled en ro
16-1606848-000	07/14/2016	08:20:02	2012 S PROVIDENCE RD /MAR	311 Medical assist, assist EMS c
16-1606849-000	07/14/2016	09:59:36	1301 N BROOME ST	611 Dispatched & cancelled en ro
16-1606856-000	07/14/2016	11:28:07	3824 BOUNTY CT /Weddingto	321 EMS call, excluding vehicle
16-1606864-000	07/14/2016	16:43:40	405 EAGLE BEND DR	743 Smoke detector activation, n
16-1606872-000	07/14/2016	20:00:17	9009 HAMMERSLEY DR	622 No Incident found on arrival
16-1606878-000	07/15/2016	01:37:28	4027 FRANKLIN MEADOWS DR	611 Dispatched & cancelled en ro
16-1606883-000	07/15/2016	05:48:41	2900 CRANE RD	100 Fire, Other
16-1606888-000	07/15/2016	12:06:32	5025 HEMBY RD /WEDDINGTON	321 EMS call, excluding vehicle
16-1606903-000	07/15/2016	18:24:38	S PROVIDENCE RD & REA RD	324 Motor Vehicle Accident with
16-1606902-000	07/15/2016	19:30:58	1088 SHUMARD CIR /INDIAN	651 Smoke scare, odor of smoke
16-1606919-000	07/16/2016	05:25:27	907 ROBINBROOK LN	622 No Incident found on arrival
16-1606929-000	07/16/2016	13:11:54	REA RD & CRANE RD	622 No Incident found on arrival
16-1606934-000	07/16/2016	16:18:04	3220 OAK BROOK DR /MARVIN	321 EMS call, excluding vehicle
16-1606966-000	07/17/2016	09:04:04	2634 CRANE RD	381 Rescue or EMS standby
16-1606958-000	07/17/2016	10:16:06	NEW TOWN RD & WAXHAW INDI	311 Medical assist, assist EMS c
16-1606970-000	07/17/2016	17:25:58	3117 MICHELLE DR /WEDDING	321 EMS call, excluding vehicle
16-1606973-000	07/17/2016	19:22:31	3033 MICHELLE DR /Wedding	743 Smoke detector activation, n
16-1606976-000	07/17/2016	20:32:31	6006 EMBASSY CT /WESLEY C	321 EMS call, excluding vehicle
16-1606993-000	07/18/2016	15:05:23	908 WOODHURST DR /WESLEY	321 EMS call, excluding vehicle
16-1607002-000	07/18/2016	19:56:42	5270 SILVERLEAF LN /Wesle	311 Medical assist, assist EMS c
16-1607032-000	07/19/2016	17:47:37	5700 CHERRY HOLLOW LN /We	321 EMS call, excluding vehicle
16-1607043-000	07/19/2016	21:36:05	601 JIM PARKER RD /WESLEY	
16-1607066-000	07/20/2016	10:11:19	1708 HICKORY RIDGE DR /MA	
16-1607083-000	07/20/2016	14:34:16	10022 ROYAL COLONY DR	311 Medical assist, assist EMS c

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {07/01/2016} And {07/31/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1607086-000	07/20/2016	15:27:07	2001 APOGEE DR /INDIAN TR	
16-1607096-000	07/20/2016	17:39:37	3101 ANTIOCH CHURCH RD /I	611 Dispatched & cancelled en ro
16-1607101-000	07/20/2016	20:23:34	815 BECKFORD GLEN DR	163 Outside gas or vapor combust
16-1607105-000	07/20/2016	21:00:06	3100 GREYWOOD LN /Wedding	611 Dispatched & cancelled en ro
16-1607123-000	07/21/2016	10:03:05	6318 PUMPERNICKEL LN /WES	321 EMS call, excluding vehicle
16-1607124-000	07/21/2016	10:29:11	202 EAGLE BEND DR	311 Medical assist, assist EMS c
16-1607129-000	07/21/2016	12:05:05	3905 S PROVIDENCE RD /B	111 Building fire
16-1607141-000	07/21/2016	20:09:51	9805 STRIKE THE GOLD LN	622 No Incident found on arrival
16-1607143-000	07/21/2016	20:31:56	9904 NEW TOWN RD /MARVIN,	553 Public service
16-1607146-000	07/21/2016	21:28:53	9300 CLERKENWELL DR	553 Public service
16-1607147-000	07/21/2016	21:34:01	ANTIOCH CHURCH RD & FORES	322 Motor vehicle accident with
16-1607173-000	07/22/2016	19:29:53	509 WEDDINGTON RD /WEDDIN	743 Smoke detector activation, n
16-1607181-000	07/23/2016	04:01:24	2208 GREENBROOK PKWY /Wed	611 Dispatched & cancelled en ro
16-1607187-000	07/23/2016	08:55:34	7905 MONTANE RUN CT /MARV	321 EMS call, excluding vehicle
16-1607193-000	07/23/2016	12:44:05	7413 SPARKLEBERRY DR /IND	611 Dispatched & cancelled en ro
16-1607197-000	07/23/2016	15:43:08	7118 FOREST RIDGE RD /WED	553 Public service
16-1607209-000	07/23/2016	21:37:13	7025 HIGH MEADOW DR /WEDD	735 Alarm system sounded due to
16-1607214-000	07/24/2016	01:08:07	6003 OAK RIDGE CT /WEDDIN	622 No Incident found on arrival
16-1607217-000	07/24/2016	01:19:31	8101 KENSINGTON DR	735 Alarm system sounded due to
16-1607216-000	07/24/2016	01:35:13	1005 BALDWIN LN	622 No Incident found on arrival
16-1607232-000	07/24/2016	14:33:13	8716 WINGARD RD	553 Public service
16-1607243-000	07/24/2016	17:42:45	1419 LANGDON TERRACE DR /	311 Medical assist, assist EMS c
16-1607244-000	07/24/2016	18:04:56	1213 OLEANDER LN	311 Medical assist, assist EMS c
16-1607249-000	07/24/2016	20:18:41	220 HOLLISTER ESTATES DR	311 Medical assist, assist EMS c
16-1607252-000	07/24/2016	20:38:00	2912 JULIAN GLEN CIR	321 EMS call, excluding vehicle
16-1607258-000	07/25/2016	01:40:50	3000 KENSLEY DR	733 Smoke detector activation du
16-1607260-000	07/25/2016	07:02:23	7708 WESTMONT WAY	311 Medical assist, assist EMS c
16-1607263-000	07/25/2016	08:15:15	6350 WEDDINGTON RD /WESLE	733 Smoke detector activation du
16-1607265-000	07/25/2016	09:25:43	WEDDINGTON RD & COX RD /W	324 Motor Vehicle Accident with
16-1607273-000	07/25/2016	13:06:38	2005 PRINCESA DR /WESLEY	734 Heat detector activation due
16-1607286-000	07/25/2016	15:08:32	2808 TUSCARORA LN	311 Medical assist, assist EMS c
16-1607292-000	07/25/2016	16:04:11	410 COTTONWOOD CIR /WESLE	111 Building fire
16-1607319-000	07/26/2016	09:06:00	3110 FOXMEADE DR /Wedding	321 EMS call, excluding vehicle
16-1607321-000	07/26/2016	09:59:25	803 WOODLAND FOREST DR /M	733 Smoke detector activation du
16-1607326-000	07/26/2016	13:04:28	601 WEDDINGTON RD /Weddin	321 EMS call, excluding vehicle
16-1607337-000	07/26/2016	21:34:39	8927 NELLIE LN /MARVIN, N	311 Medical assist, assist EMS c
16-1607341-000	07/27/2016	01:05:26	817 LILLIESHALL RD	611 Dispatched & cancelled en ro
16-1607342-000	07/27/2016	01:27:38	817 LILLIESHALL RD	311 Medical assist, assist EMS c
16-1607353-000	07/27/2016	08:55:29	5549 POTTER RD /Indian Tr	735 Alarm system sounded due to
16-1607357-000	07/27/2016	09:36:27	5808 SILVER CREEK DR	553 Public service
16-1607361-000	07/27/2016	10:38:50	1234 LADERA DR & NEW TOWN	321 EMS call, excluding vehicle
16-1607368-000	07/27/2016	15:01:07	1400 BECKLOW CT /Indian T	735 Alarm system sounded due to
16-1607370-000	07/27/2016	15:46:15	2021 FITZHUGH LN /Wedding	734 Heat detector activation due
16-1607376-000	07/27/2016	18:23:28	9003 DARTINGTON LN	511 Lock-out
16-1607380-000	07/27/2016	19:07:50	1028 SPYGLASS LN /MARVIN,	736 CO detector activation due t
16-1607386-000	07/27/2016	21:25:24	3011 SEMMES LN /INDIAN TR	743 Smoke detector activation, n

Wesley Chapel VFD

Incident List by Alarm Date/Time

Alarm Date Between {07/01/2016} And {07/31/2016}

Incident-Exp#	Alm Date	Alm Time	Location	Incident Type
16-1607393-000	07/28/2016	05:00:50	1002 MAGNA LN /INDIAN TRA	735 Alarm system sounded due to
16-1607398-000	07/28/2016	09:06:41	6864 NEW TOWN RD /WESLEY	322 Motor vehicle accident with
16-1607406-000	07/28/2016	13:20:34	6513 BLACKWOOD LN	321 EMS call, excluding vehicle
16-1607423-000	07/29/2016	07:39:41	218 HORN TASSEL CT /Wesle	311 Medical assist, assist EMS c
16-1607429-000	07/29/2016	11:42:24	5007 GROVE DR /Mineral Sp	138 Off-road vehicle or heavy eq
16-1607431-000	07/29/2016	12:51:38	6725 WEDDINGTON MATTHEWS	321 EMS call, excluding vehicle
16-1607451-000	07/30/2016	00:58:20	2868 BEULAH CHURCH RD /We	311 Medical assist, assist EMS c
16-1607457-000	07/30/2016	11:50:02	730 LINGFIELD LN /WEDDING	142 Brush or brush-and-grass mix
16-1607459-000	07/30/2016	12:21:02	6400 WEDDINGTON RD /Suite	553 Public service
16-1607466-000	07/30/2016	17:31:22	311 PALMERSTON LN	321 EMS call, excluding vehicle
16-1607467-000	07/30/2016	17:43:50	5000 GROVES EDGE LN /MARV	735 Alarm system sounded due to
16-1607474-000	07/30/2016	20:01:51	315 WAXHAW INDIAN TRAIL R	321 EMS call, excluding vehicle
16-1607478-000	07/30/2016	21:27:04	1009 MATILDA LN /INDIAN T	611 Dispatched & cancelled en ro
16-1607495-000	07/31/2016	14:01:22	1504 S PROVIDENCE RD	311 Medical assist, assist EMS c
16-1607497-000	07/31/2016	16:03:23	516 PACER LN /MARVIN, NC	554 Assist invalid
16-1607504-000	07/31/2016	19:46:48	6201 LOWERGATE DR /Wesley	321 EMS call, excluding vehicle
16-1607506-000	07/31/2016	20:28:12	9006 DARTINGTON LN	413 Oil or other combustible liq

Total Incident Count 155



Union County Sheriff's Office

Events By Nature

For the Month of: July 2016

Date of Report

8/1/2016

9:00:41AM

<u>Event Type</u>	<u>Total</u>
911 HANG UP	59
911 MISDIAL	5
911 TEST CALL	3
ACCIDENT EMD	6
ACCIDENT HITRUN PD LAW	1
ACCIDENT PD COUNTY NO EMD	8
ALARMS LAW	76
ANIMAL BITE FOLLOW UP	5
ANIMAL COMP SERVICE CALL LAW	8
ASSAULT WEAPONS LAW	1
ASSIST EMS OR FIRE	1
ATTEMPT TO LOCATE	2
BOLO	13
BURGLARY COMMERCIAL BUSINESS	1
BURGLARY HOME OTHER NONBUSINESS	2
BURGLARY VEHICLE	2
BUSINESS CHECK	15
CALL BY PHONE	17
CHILD CUSTODY INVESTIGATION	1
DELIVER MESSAGE	3
DISCHARGE OF FIREARM	2
DISTURBANCE OR NUISANCE	3
DOMESTIC DISTURBANCE	3
DRUG ACTIVITY IN PROGRESS	1
DSS CALL FOR SERVICES	1
ESCORT	3
FIREWORKS VIOLATION REPORT	2
FOLLOW UP INVESTIGATION	7

<u>Event Type</u>	<u>Total</u>
FOOT PATROL	1
FOUND PERSON	1
FRAUD DECEPTION FORGERY	2
HARASSMENT STALKING THREATS	4
INVESTIGATION	1
JURISDICTION CONFIRMATION LAW	5
LARCENY THEFT	4
LOST OR FOUND PROPERTY	2
MEET REQUEST NO REFERENCE GIVN	3
MISCELLANEOUS CALL LAW	2
MISSING PERSON	1
MOTORIST ASSIST	2
NOISE COMPLAINT	6
PREVENTATIVE PATROL	341
PROP DAMAGE VANDALISM MISCHIEF	2
RADAR PATROL INCLUDING TRAINIG	13
REFERAL OR INFORMATION CALL	4
RESIDENTIAL CHECK	2
SERVE CRIMINAL CIVIL SUBPOENA	1
SERVE CRIMINAL SUMMONS	2
SUSPICIOUS CIRCUMSTANCES	2
SUSPICIOUS PERSON	8
SUSPICIOUS VEHICLE	9
THEFT OF VEHICLE OR PARTS	1
TRAFFIC DIRECT CONTROL	1
TRAFFIC HAZARD	5
TRAFFIC STOP	46
TRAFFIC VIOLATION COMPLAINT	17
TRESPASSING UNWANTED SUBJ	3
VEHICLE FIRE EFD	1
WEAPONS FIREARMS INCIDENTS	1
WELL BEING CHECK	5

Event Type

Total

Total Calls for Month: 749

Weddington

7/2016

UCR Code	Description	Date of Report	Incident ID	
13B				
13B	CHILD ABUSE - MISD	7/7/16	201606062	Unfounded
13B	ASSAULT AND BATTERY	7/12/16	201606220	
			Total:	2
220				
220	BREAKING/ENTERING-FELONY	7/1/16	201605835	
220	BREAKING/ENTERING-FELONY	7/18/16	201606415	
			Total:	2
23F				
23F	BEL / THEFT FROM MOTOR VEHICLE	7/20/16	201606482	
23F	BEL / THEFT FROM MOTOR VEHICLE	7/22/16	201606519	
			Total:	2
23H				
23H	LARCENY-MISDEMEANOR	7/8/16	201606085	
23H	LARCENY-MISDEMEANOR	7/20/16	201606470	
23H	LARCENY-MISDEMEANOR	7/26/16	201606622	
23H	LARCENY-MISDEMEANOR	7/28/16	201606690	
			Total:	4
35A				
35A	TRAFFICKING IN COCAINE	7/7/16	201606053	
35A	SIMPLE POSSESS SCH VI CS (M)	7/21/16	201606510	
			Total:	2
90Z				
90Z	HARASSING PHONE CALL	7/8/16	201606096	
			Total:	1
999				
999	ACCIDENT NO VISIBLE INJURY	7/1/16	201605845	
999	ACCIDENT NO VISIBLE INJURY	7/2/16	201605866	
999	HIT & RUN - LEAVE SCENE	7/8/16	201606067	
999	INDUSTRIAL ACCIDENT	7/11/16	201606168	
999	ACCIDENT NO VISIBLE INJURY	7/13/16	201606242	
999	ACCIDENT NO VISIBLE INJURY	7/16/16	201606347	
999	ANIMAL CALL	7/16/16	201606349	
999	ANIMAL CALL	7/17/16	201606374	
999	MISSING PERSON	7/20/16	201606469	
999	ACCIDENT NO VISIBLE INJURY	7/20/16	201606473	
999	INVESTIGATION	7/24/16	201606580	
999	ACCIDENT POSSIBLE INJURY	7/25/16	201606587	
999	ACCIDENT NO VISIBLE INJURY	7/29/16	201606699	
			Total:	13

Weddington

Monthly Crime Total

26